



**City of Sonoma  
Design Review and Historic  
Preservation Commission  
REVISED AGENDA**

**Meeting of December 15, 2015 - 6:30 P.M.  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Kelso Barnett, Chair

Commissioners: Tom Anderson  
Christopher Johnson  
Micaelia Randolph  
Leslie Tippell  
Bill Essert (Alternate)

**COMMENTS FROM THE PUBLIC**

*Presentations by audience members on items not appearing on the agenda.*

**CORRESPONDENCE**

<b>ITEM #1A – CONSENT CALENDAR</b>	<b><u>Request:</u></b>	<b><u>RECOMMENDED ACTION:</u></b>
These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party.  <b>Staff:</b> Wendy Atkins	Request to install banners on Plaza light standards – Sonoma Valley Hospital.	Approve.
<b>ITEM 1 – Continued Design Review</b>	<b><u>Project Location:</u></b> 227 East Spain Street	<b><u>RECOMMENDED ACTION:</u></b>  Commission discretion.
<b><u>REQUEST:</u></b> Site design and architectural review of proposed alterations and an addition to a residence.	<b><u>General Plan Designation:</u></b> Low Density Residential (LR)	<b><u>CEQA Status:</u></b> Categorically Exempt
<b><u>Applicant:</u></b> Robert Baumann & Associates	<b><u>Zoning:</u></b> <b>Planning Area:</b> Northeast Area	
<b>Staff:</b> Wendy Atkins	<b>Base:</b> Low Density Residential (R-L) <b>Overlay:</b> Historic (/H)	

<p><b>ITEM 2 – Sign Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of a new monument sign for a mobile home park (Sonoma Oaks).</p> <p><b><u>Applicant:</u></b> Thomsen Properties</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 19275 Sonoma Highway</p> <p><b><u>General Plan Designation:</u></b> Mobilehome Park (MH)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> West Napa-Sonoma Hwy Corridor</p> <p><b><u>Base:</u></b> Mobile Home Park (R-P) <b><u>Overlay:</u></b> None</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #3 – Sign Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of a new monument sign and a window sign for a mixed use building.</p> <p><b><u>Applicant:</u></b> Lucy Moreno</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 545 West Napa Street</p> <p><b><u>General Plan Designation:</u></b> Commercial (C)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> West Napa/Sonoma Corridor <b><u>Base:</u></b> Commercial (C) <b><u>Overlay:</u></b> None</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #4 – Design Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of new paint colors for a hotel (El Dorado Hotel).</p> <p><b><u>Applicant:</u></b> El Dorado Hotel</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 405 First Street West</p> <p><b><u>General Plan Designation:</u></b> Commercial (C)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> Downtown District <b><u>Base:</u></b> Commercial (C) <b><u>Overlay:</u></b> Historic (/H)</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #5 – Discussion Item</b></p> <p><b><u>ISSUE:</u></b> Discussion and review of sign regulations related to commercial real estate signs.</p> <p><b><u>Staff:</u></b> Wendy Atkins</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Discuss and provide direction.</p>	

- ISSUES UPDATE
- COMMENTS FROM THE COMMISSION
- COMMENTS FROM THE AUDIENCE
- ELECTION OF OFFICERS
- ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on December 11, 2015.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

**Rights of Appeal: Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

***Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.***

***If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.***

***In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.***

## Memo

**DATE:** December 15, 2015

**TO:** Design Review and Historic Preservation Commissioners

**FROM:** Wendy Atkins, Associate Planner

**SUBJECT:** Request to install banners on Plaza light standards—Sonoma Valley Hospital

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The Sonoma Valley Hospital is proposing to install banners on Plaza light standards from May 1, 2016, to May 31, 2016. The banners are consistent with the Plaza Banner Administrative Policy approved by the City Council on May 21, 2008.

If approved, the applicant shall submit a fee in the amount of \$1,380 to the City of Sonoma. This fee will cover the costs of installing and removing the banners, the staff time required to support installing and removing banners, and associated City administrative expenses.

Attachments

1. *Plaza Banner Form*
2. *Sample of proposed banners*

cc: Sonoma Valley Hospital  
Attn: Celia Kruse de la Rosa  
347 Andrieux Street  
Sonoma, CA 95476

Terry Melberg, Parks Supervisor

Colleen Pratt, Public Works Administrative Assistant

# City of Sonoma

Planning and Community  
Development  
No. 1, The Plaza  
Sonoma, CA 95476



## Plaza Banner Form

Please read the Plaza Banner  
Administrative Policy (attached) prior to  
filling out form.

Phone: (707) 938-3681 Fax: (707) 938-8775 E-mail: [cityhall@sonomacity.org](mailto:cityhall@sonomacity.org) Web: [www.sonomacity.org](http://www.sonomacity.org)

Please submit completed form to City Hall no later than 90 days prior to the requested banner installation date for new banners and 30 days prior to the requested banner installation date for previously approved banners.

Required banner size: 30" x 94", with 4" stitched pocket with grommet at top and bottom; no text in pocket area.

Date application submitted: December 7, 2015

### Applicant Information:

Organization name: Sonoma Valley Hospital  
Contact: Celia Kruse de la Rosa  
Phone number: 707. 935. 5257  
Address: 347 Andrieux street, Sonoma, 95476  
Email: ckrusedelaRosa@svh.com

Event Name: Celebrating 70 years of Service

Event Description: N/A

Event Sponsor(s): N/A

Event Start and End Dates: Start: N/A End: \_\_\_\_\_

Number of street light poles requested: 21  Other number requested  \_\_\_\_\_  
(If other number requested please include justification in project narrative).

Requested 30-day installation period: From: May 1 To: May 31  
Additional desired installation period (maximum period is 60 days, subject to availability):

From: \_\_\_\_\_ To: \_\_\_\_\_

New banners: Yes  No  Or reusing existing banners: Yes  No

Please attach proposed banner design(s) (if new), or graphic/photo of existing banner(s). Drawing should be in color and to scale.

I have read and agree to the terms, conditions, and responsibilities outlined in the attached documents: **RECEIVED**



# SONOMA VALLEY HOSPITAL

CELEBRATING

**70** YEARS

1946 - 2016

SERVING THE  
HEALTH OF THE  
SONOMA VALLEY



*Healing Here at Home*



# SONOMA VALLEY HOSPITAL

CELEBRATING

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HEALTH OF THE  
SONOMA VALLEY



*Healing Here at Home*

## MEMO

**To:** Design Review and Historic Preservation Commission  
**From:** Associate Planner Atkins  
**Re:** Continued design review of proposed alterations and an addition to the residence located at 227 East Spain Street

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### Site Description

The subject property is a 12,081-square foot parcel located on the south side of East Spain Street less than two blocks from the Plaza. The property is currently developed with a  $\pm 2,000$  square-foot, two-story home with a detached garage connected to a guest room/tower, and separate greenhouse (a swimming pool and some trees at the back of the parcel were recently removed in anticipation of construction). The property slopes downward from East Spain Street to the south (96 to 91 feet above msl). The frontage is improved with curb, gutter, and sidewalk, with a driveway on the east side. A six-foot tall fence is located directly behind the sidewalk along with two Japanese maples trees and a large oak tree in the front yard. The residence was initially constructed circa 1850 with a substantial renovation occurring in 1918 and subsequent alterations since that time. Adjoining land uses consist of single-family homes.

### Evaluation of Historic Significance

The property is located within the City's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP district. A recently updated Historic Resource Evaluation and Determination of Effect prepared by APD Preservation (enclosed) found that: 1) the home does not appear to be historically significant as an individual resource due to loss of integrity; 2) it is significant as a *contributing* resource to the streetscape and surrounding NRHP district. This finding is consistent with the determination of the initial assessment, but the revised report incorporates responses to questions that were raised regarding the analysis. As requested by the DRHPC, the historic consultant met with representatives of the League for Historic Preservation in order to clarify question areas, resolve areas of disagreement, and discuss potential modifications to the design.

### Background

At the November 17<sup>th</sup> DRHPC meeting the DRHPC conducted a preliminary review of proposed alterations and an addition to the residence located at 227 East Spain Street. The DRHPC continued the review of the project to a future meeting and provided the applicant with feedback with regard to site design and massing of the project:

- The massing of the building is excessive and it may appear too large from the street.

- The existing west elevation is preferable, with the inclusion of the bay window, and it should be retained.
- The intensity of the color selection should be toned down to fit in with the neighborhood. In addition, an alternative color scheme was requested.
- A preference for a “salt box” roof-line was expressed.
- It was suggested that the garage be detached from the residence and set back further from the street.
- Streetscape perspectives were requested.
- The drawings should better distinguish existing building element from new construction.
- The project may not be consistent with the Secretary’s Standards for Rehabilitation.
- The design of the façade should be revised to fit in better with the existing streetscape.

These directions were provided by individual Commissioners and do not necessarily represent a consensus of the Commission.

### **Revised Project Description**

At this time, a revised proposal has been prepared and is presented to the DRHPC for review including an updated Historic Resource Evaluation and Determination of Effect (attached). The revised proposal features the following modifications:

- The ridge height increase has been scaled back to 18 inches, rather than the 3 feet called for in the previous design.
- The addition is now set back two feet from the existing façade.
- The addition would be clad in shiplap siding that would align with the existing cove-lap siding.
- The new dormer on the addition has been changed to a shed roof design, rather than replicating the gable dormer on the older section of the house.
- The roof design on the new garage has been changed from a gable end to a shed roof, including a shed roof dormer design.
- A revised color scheme has been provided.
- An alternate style for the dormer over the garage has been submitted, showing an eyebrow window instead of a shed dormer (the applicant would like both options to be approved by the DRHPC).

The revised elevations and color scheme are attached, along with streetscape elevations showing nearby residences.

**CEQA Compliance:** As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a Historic Resource Evaluation and Determination of Effect was prepared for the residence and suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an analysis was conducted to determine whether the

proposal is consistent with the Standards (refer to attached Historic Resource Evaluation and Determination of Effect 227 East Spain Street, Sonoma, Sonoma County, California, prepared by ADP Preservation). The analysis concluded that the proposed project meets the Secretary of the Interior's Standards for Rehabilitation, which means that application is considered to be categorically exempt from CEQA.

**Required Findings:** As set forth in §19.54.080.G of the Development Code, in order to approve an application for site design and architectural review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. *The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.*

The project complies with the applicable policies and regulations set forth in the Development Code.

2. *On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.*

The elements of the property that contribute to the overall time, place, and historical development of the Sonoma Plaza NRHP District are its location, setting, material, and feeling. The proposed project would not impair those aspects of the property. Therefore, the project is consistent with the applicable design guidelines of the Development Code.

3. *The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.*

The project proposes a residential addition, which is compatible with adjacent development and consistent with height and setback requirements. As noted above, the large oak tree on the site would be preserved.

4. *The project will not impair the historic character of its surroundings.*

The proposed addition makes use of design elements of the existing house in terms of materials, decoration, scale, etc., which is consistent with the surrounding single-family dwellings.

5. *The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.*

While the property is identified as a contributing resource to the Sonoma Plaza NRHP District, it does not appear to be historically significant as an individual resource because of loss of integrity. However, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district. The façade of the building and its massing are compatible with the property and the overall historic feeling of the surrounding NRHP district. The proposed additions to the house are sensitive to the surrounding historic resources in terms of scale, massing, and materials.

6. *The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).*

In staff's view, the project complies with SMC 19.42 in that the preservation and rehabilitation efforts for the proposed addition preserve the essential architectural features of the structure that help to identify its individual style and thereby further its contribution to the historic character of the surrounding neighborhood.

7. *The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.*

The project is not located within a local historic district.

8. *The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.*

The Historic Resource Evaluation and Determination of Effect on Historic Resource prepared by APD Preservation finds that the elements of the property that contribute to the overall time, place, and historical development of the Sonoma Plaza NRHP District are its location, setting, materials, and feeling. The proposed project would not impair those aspects of the property. Furthermore, based on the analysis of the compatibility of the proposed project with the 'Secretary of the Interior's Standards for Rehabilitation' and an assessment of the projects consistency with the City of Sonoma's current design guidelines, the project would have no adverse effect on the Sonoma Plaza NRHP District.

These findings are applicable based on the conclusion of the Historic Resources Evaluation that the building is significant as a contributing resource but not as an individually significant resource. Staff would note that the historic consultant and the League for Historic Preservation concur that the modified design would not cause a substantial change to the historic integrity of the structure as a contributor to the District.

## **Recommendation**

Staff recommends commission discretion.

### Attachments

1. Project Narrative.
2. Historic Resource Evaluation and Determination of Effect 227 East Spain Street, Sonoma, Sonoma County, California
3. Elevations.
4. Site Plan.
5. Elevations with Material Notations.
6. Existing Site Conditions.
7. Exterior Materials Palette.
8. Exterior Elevation Alternate Option
9. Correspondence

cc: Robert Baumann (via email)  
Robert Baumann & Associates  
545 Third Street West  
Sonoma, CA 95476

Bill Wisialowski (via email)  
40 Homeplace Ct.  
Hillsborough, CA 94101

Alice Duffee (via email)  
APD Preservation  
13125 Arnold Drive  
Glen Ellen, CA 95442

Cathy and Gene Sperring  
442 Second Street East  
Sonoma, CA 95476

Patricia Cullinan, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

George McKale, via email



**Robert Baumann + Associates**  
**CA License # C28431**  
545 Third Street West, Sonoma, CA 95476  
P - 707.996.7947 F - 707.996.7904  
[rb@robertbaumann.com](mailto:rb@robertbaumann.com)

RECEIVED

DEC 08 2015

CITY OF SONOMA

DATE: December 7, 2015  
TO: City of Sonoma, Planning Department

**RE: D.R.H.P.C. PROJECT NARRATIVE – Wisialowski Residence, 227 East Spain Street**

In anticipation of remodeling an existing home just 2 blocks from Sonoma's historic plaza, the Owner of this property hired Alice P. Duffee of APD Preservation, LLC, to conduct an evaluation of the historic character of the house. The results of her thorough research have been compiled in the attached Historic Resource Evaluation (HRE), which has been revised to reflect design changes and to include additional information as requested by members of the Sonoma League for Historic Preservation. Alice's research has determined that the structure *individually* is not historically significant due to loss of integrity; in other words, no single element or feature is an authentic, historically important component. However, according to the Historic Resource Evaluation, the building does still "*remain significant as a contributing resource to the streetscape and surrounding NRHP district*". To clarify this ambiguity, planning staff recommended to the Owner in a pre-application meeting that design features at the front of the house be preserved, and final character, scale and style should be compatible with neighboring structures. We used this recommendation, as well as those made by the D.R.H.P.C. Commissioners and by members of the Sonoma League for Historic Preservation to aid us in the re-design of this project.

The existing 1988 square foot house is located fairly close to the street, encroaching into the front yard setback approximately 3 feet. Unfortunately, the structure is less than acceptable in its existing condition and must be altered programmatically to conform to the Owner's redevelopment plans. While the guidelines for Preservation and Adaptive Reuse recognize that additions to historically valuable structures may be necessary to ensure their continued use, they also promote the preservation of essential architectural features. The challenge for this project lies in the question of what exactly needs to be preserved.

The façade of the home shall be restored, and the outline of the 1918 renovation will be maintained. Existing foundations at the perimeter of the home shall be re-used where possible. Exterior materials, door styles and window styles shall all be preserved or replaced in like kind if they have deteriorated beyond re-use. The majority of exterior wall surfaces have horizontal wood siding with a cove-lapped joint and 8" exposure. Other types of siding that resulted from various renovations and additions over the years shall be replaced with siding to match existing cove-lapped siding.

Approximately 1455 square feet of living space shall be added on to the home, along with a garage of 524 square feet, expanding the building footprint to the east and south. The addition to the main section of the house will be set back 2' from the front façade of the existing home, in order to provide a clear differentiation between old and new construction. In response to the concerns raised regarding the building massing at the D.R.H.P.C. meeting on November 17, the main ridge height will be increased by only 18", rather than the 3' increase from the previous design, to provide a useable upper level (while still remaining 5'-6" below the maximum ridge height). The roof pitch will remain the same.

An existing detached garage with connected guest house and tower structure is set back from the house and was not found to be historically significant. These structures shall be removed and their building materials recycled and re-used where possible. The removal of these structures allows for a new attached garage and master bedroom addition on the east side of the home, in a conforming location with regard to side property line setback. Since the previous submittal, this addition has been moved back an additional 2' from the existing facade, the center portion of the roof has been removed to be less imposing on the east elevation, and the remaining ridge has been reduced in height by as much as 2'. The Owner is considering an alternate style for the dormer to be placed over the garage doors; attached to this submittal is an alternate north elevation showing an eyebrow window instead of the shed dormer, for which we now request approval for that option.

A number of diseased and poorly located small trees have been removed. A large oak tree in the front yard, characteristic of the older downtown parcels, shall be preserved. The existing fence in the front yard, non-conforming in its height, shall be replaced with a new fence conforming to height guidelines.

With the exception of contiguous asphalt composition roofing, exterior materials at the addition will relate to, but not be an exact duplication of, exterior materials on the existing historic home. New horizontal wood siding will not have the cove-lap joint, but coursing joints shall align with the coursing joints of the main house siding. Revised color specifications have been submitted and a material sample board will be presented at the hearing on December 15<sup>th</sup>.

The Owner is an advocate of sustainable building practices. In addition to the mandatory requirements of the CalGreen building code, the following measures and systems are being incorporated into this project:

1. Donation of deconstructed materials to Habitat for Humanity including stone pavers, plumbing fixtures and lighting fixtures.
2. Recycling of existing wood framing as interior accent features.
3. Re-use of existing concrete foundations and various building materials where possible.
4. Efforts to improve storm water management on site, including implementation of water retention swales, and permeable driveway and walkway surfaces.
5. Adoption of water efficiency measures, including specifying low-flow plumbing fixtures, and drought tolerant plants allowing low-volume landscape irrigation.
6. Implementation of photovoltaic panels as the primary source of electrical power; high-efficiency water heaters and furnaces, Energy Star rated appliances; and Dual pane, low-E clad wood windows shall be used throughout.
7. Maximizing indoor environmental quality through the use of products having zero to low Volatile Organic Compound (V.O.C.) emissions or off-gassing.

We feel strongly that this project conforms to the guidelines for design within the Historic Overlay District as well as the Guidelines for In-Fill Development. The proposed forms, scale, fenestration and exterior materials for this project are very respectful of the surrounding structures and maintain this property's contribution to the fabric of Sonoma's historic plaza.

If you require additional information, or have any questions about the submitted material, please contact me at your earliest convenience.

Thank you,

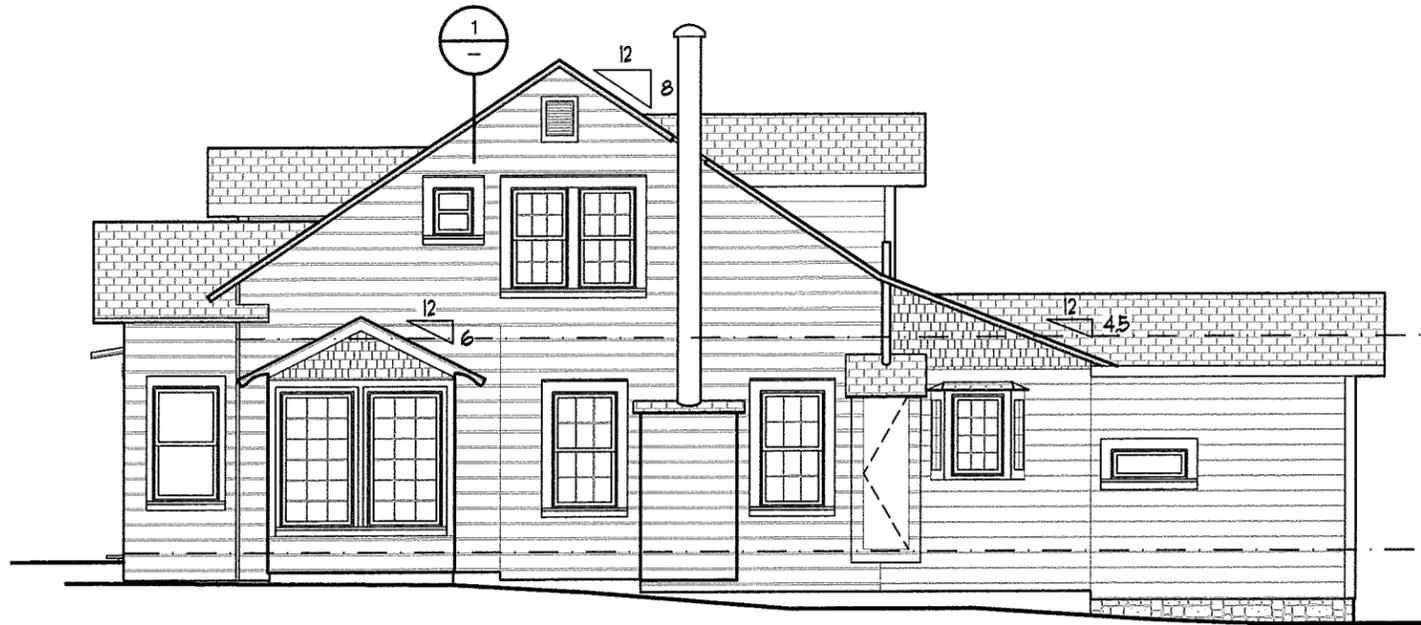


Robert Baumann, *Architect*



(PROPOSED) NORTH ELEVATION  
 SCALE: 1/8"=1'-0"

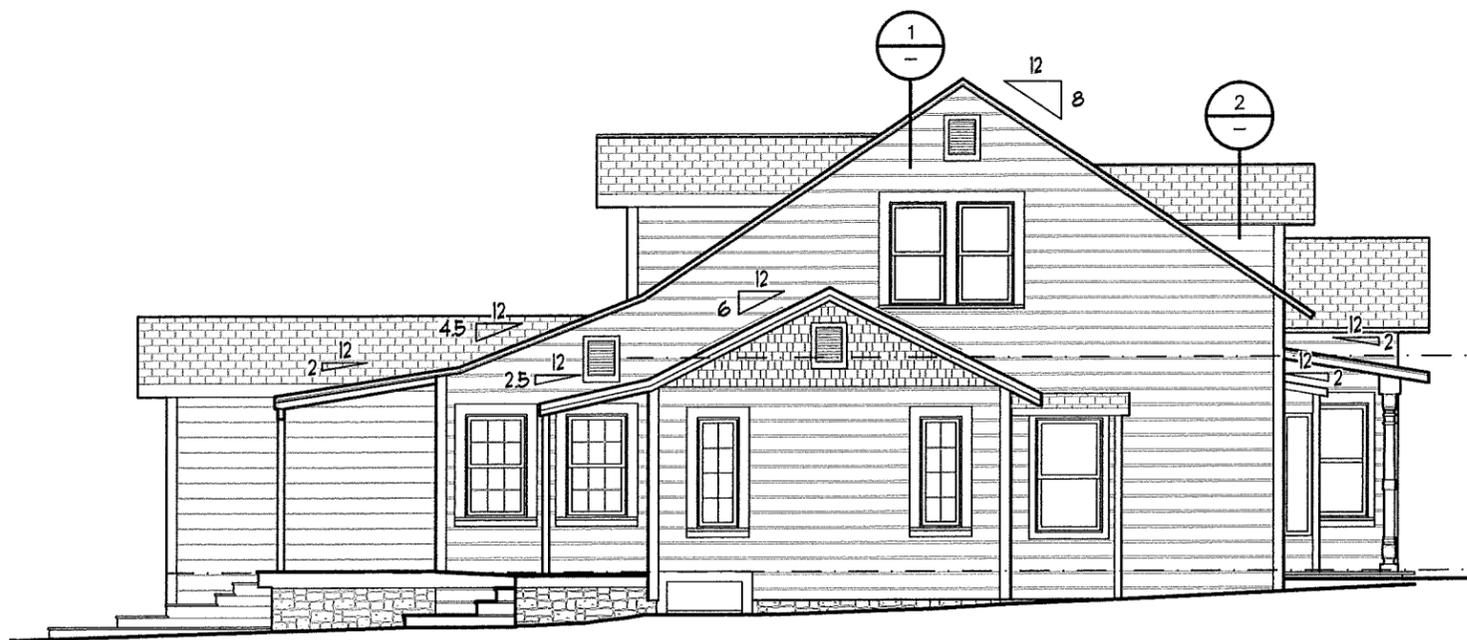




**D** EXIST. WEST ELEVATION  
SCALE: 1/8"=1'-0"



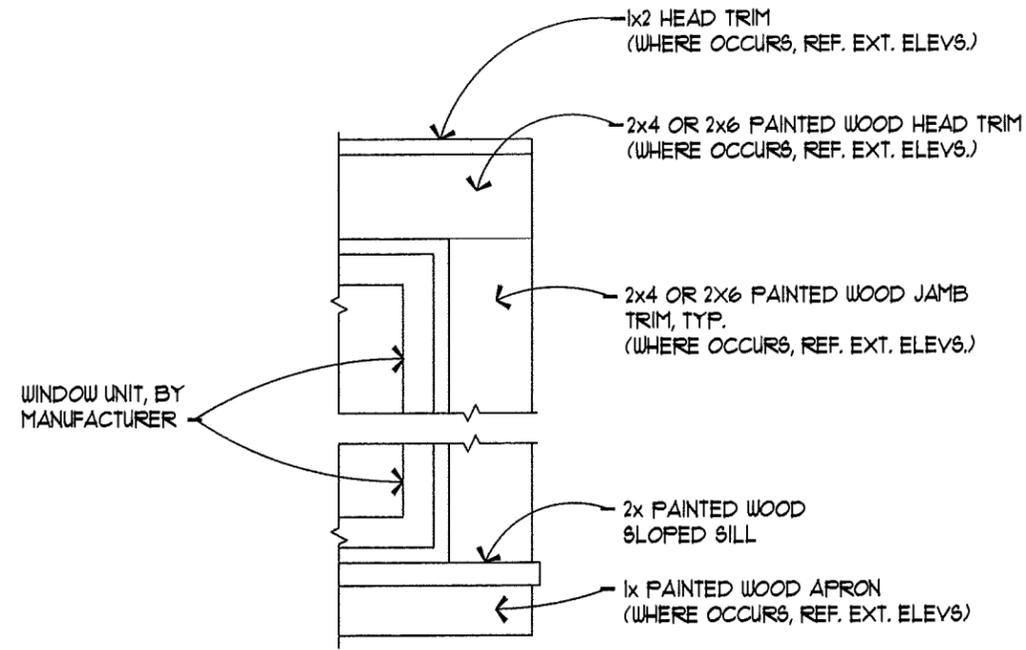
**C** EXIST. SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



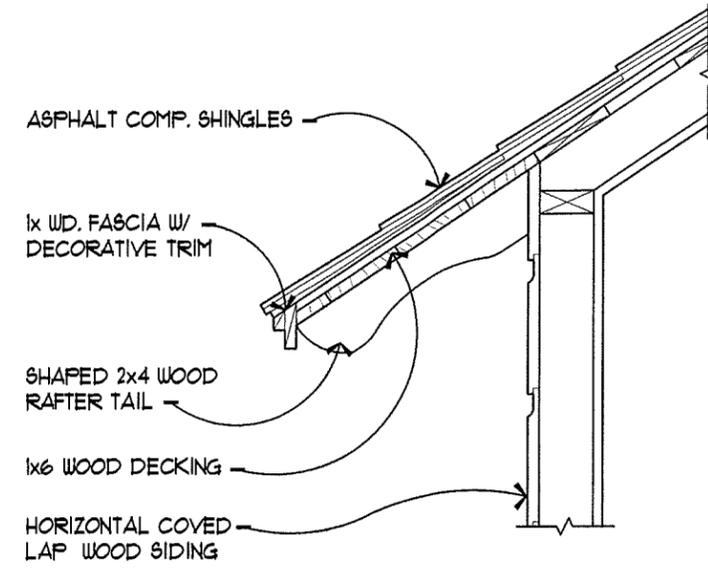
**B** EXIST. EAST ELEVATION  
SCALE: 1/8"=1'-0"



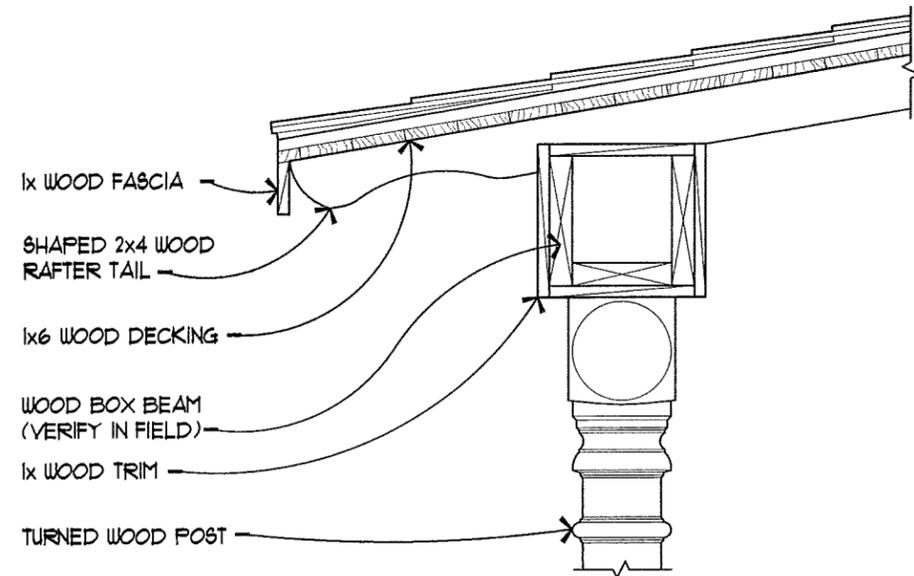
**A** EXIST. NORTH ELEVATION  
SCALE: 1/8"=1'-0"



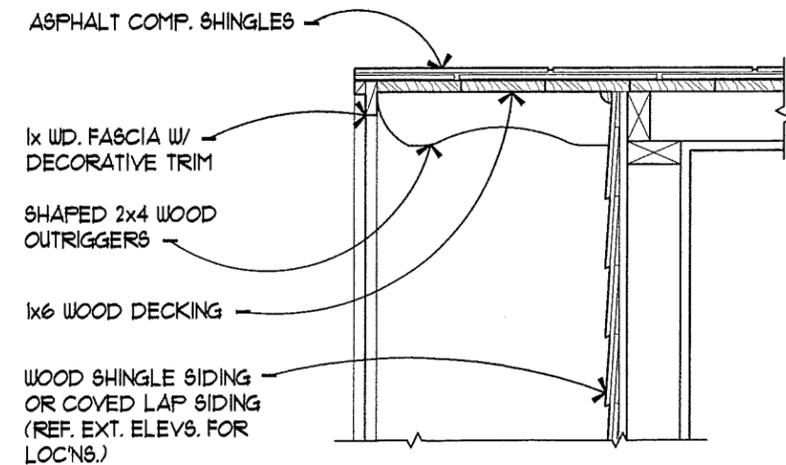
**4** EXIST. TYP. WINDOW TRIM DETAIL  
SCALE: 1" = 1'-0"



**2** EXIST. TYP. EAVE DETAIL  
SCALE: 1" = 1'-0"



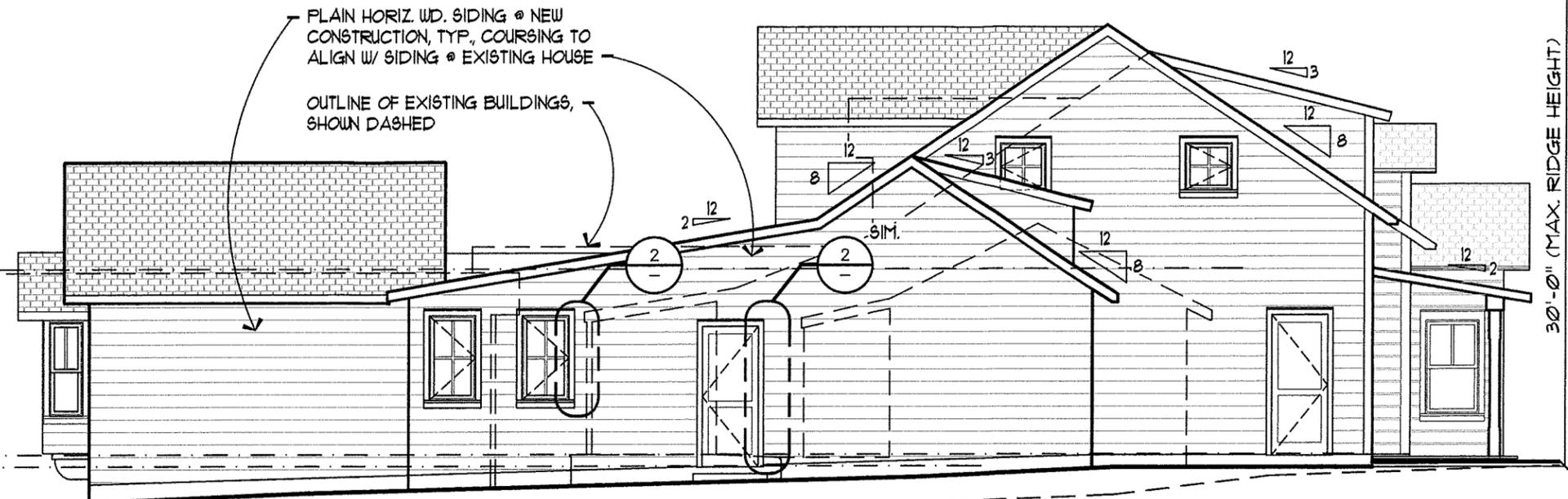
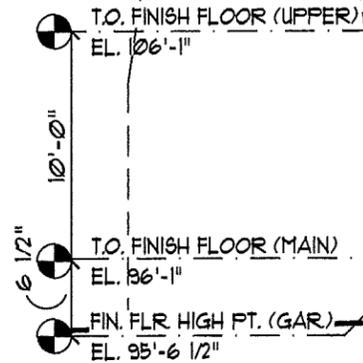
**3** EXIST. PORCH EAVE DETAIL  
SCALE: 1" = 1'-0"



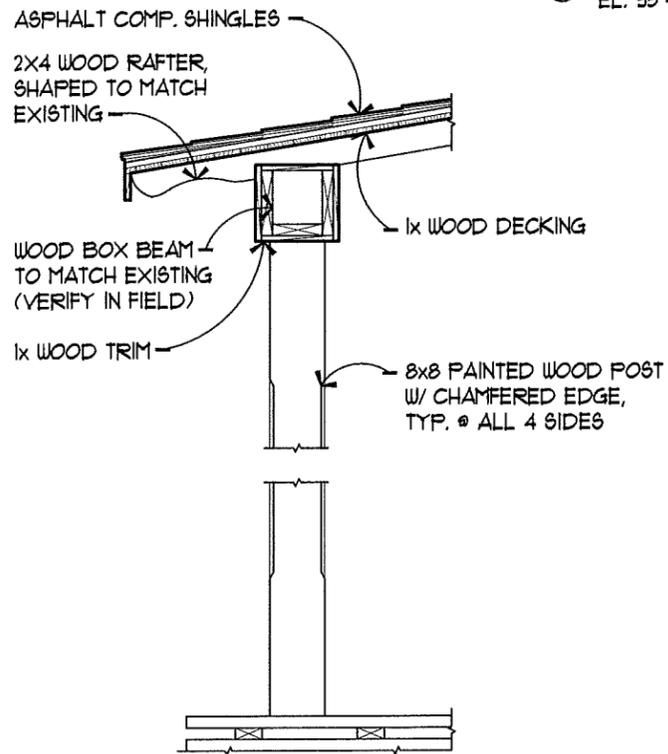
**1** EXIST. RAKE DETAIL  
SCALE: 1" = 1'-0"

- 1" x 1 1/4" (NET) PAINTED WOOD TRIM, TYP.
- 1x4 PAINTED WOOD HEAD TRIM, TYP.
- 1x4 PAINTED WOOD JAMB TRIM, TYP.
- WINDOW UNIT, BY MANUFACTURER
- 2x PAINTED WOOD SLOPED SILL
- 1x PAINTED WOOD APRON

**2 (PROP.) TYP. WNDW. TRIM (DR. SIM.)**  
SCALE: 1/2" = 1'-0"



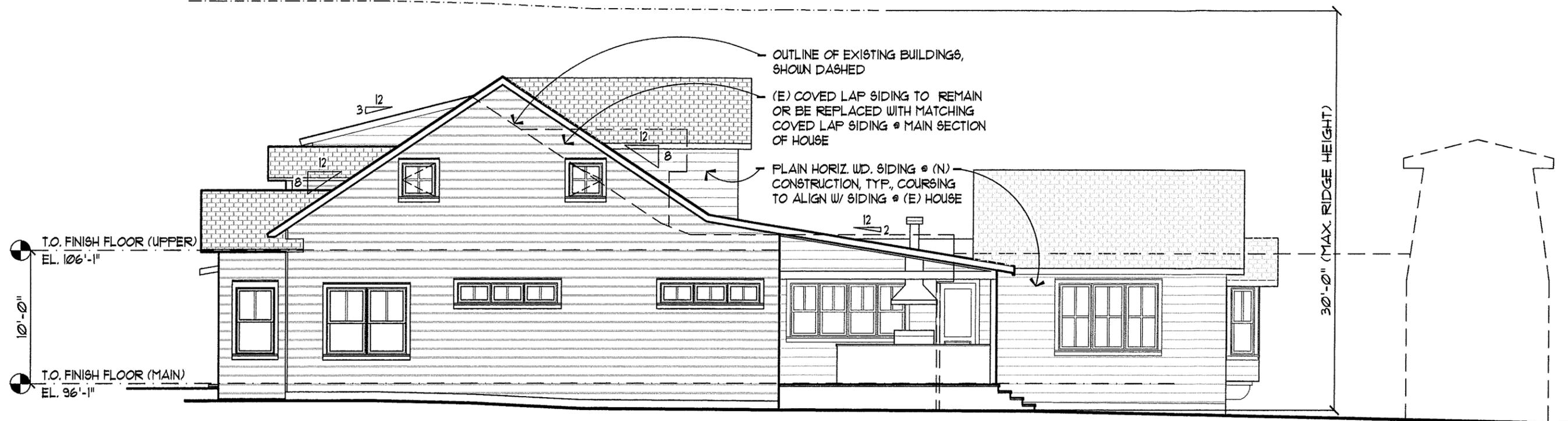
**B (PROPOSED) EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



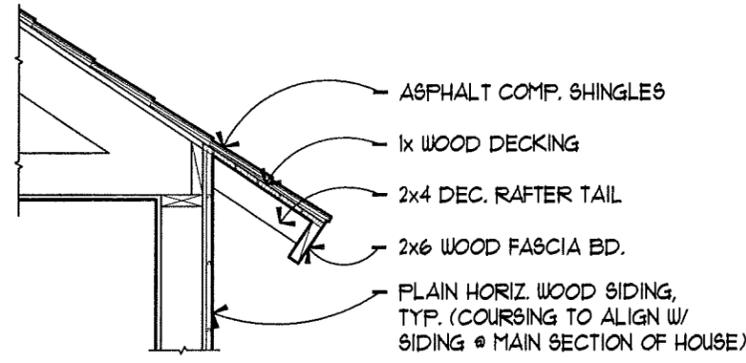
**1 (PROP.) ENT. PORCH COLUMN**  
SCALE: 1/2" = 1'-0"



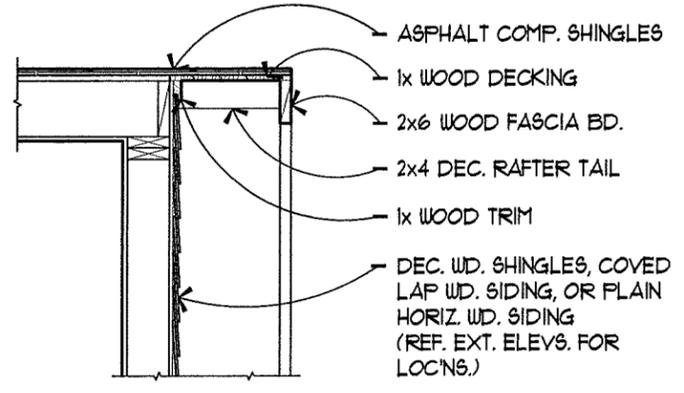
**A (PROPOSED) NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



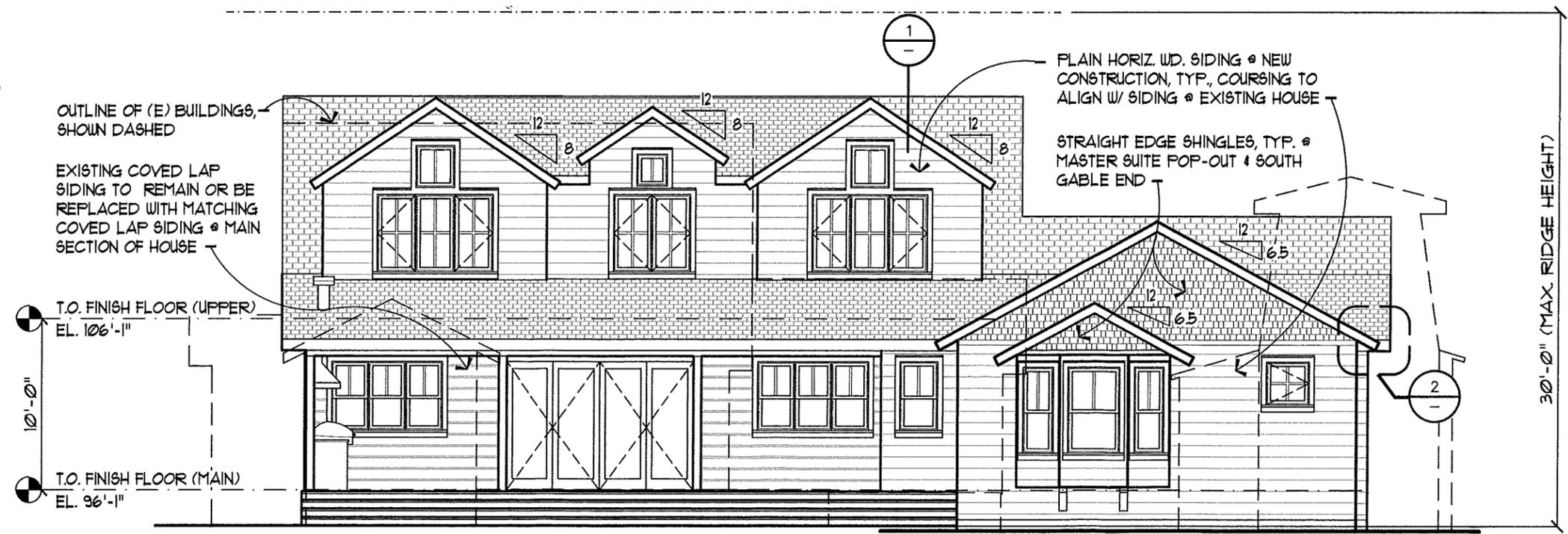
**B (PROPOSED) WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**2 (PROP.) EAVE @ ADDITION**  
SCALE: 1/2"=1'-0"



**1 (PROP.) TYP. RAKE**  
SCALE: 1/2"=1'-0"



**A (PROPOSED) SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



227 EAST SPAIN STREET (SOUTH SIDE)  
SCALE: 3/64" = 1'-0"

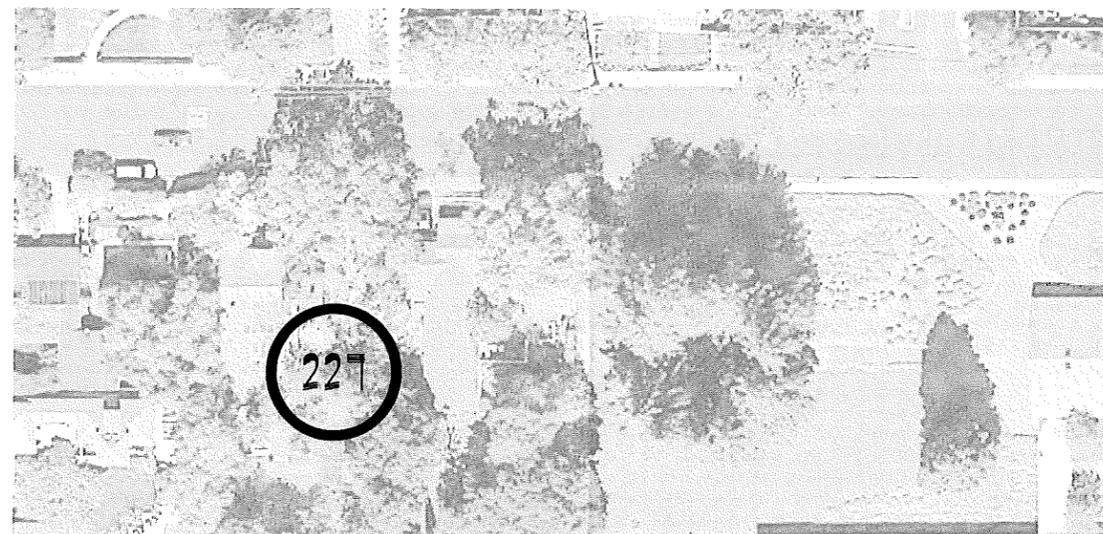


220 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"

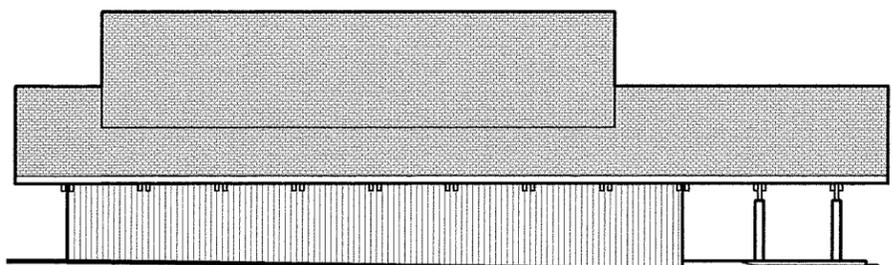


256 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"

EAST SPAIN STREET (NORTH SIDE)



EAST SPAIN STREET AERIAL VIEW  
NOT TO SCALE



275 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"



245 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"



227 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"



205 EAST SPAIN STREET  
SCALE: 3/64" = 1'-0"

EAST SPAIN STREET (SOUTH SIDE)

WOOD SHINGLE COLOR  
BENJAMIN MOORE 'SWANS MILL CREAM' 260

SIDING COLOR  
BENJAMIN MOORE  
'MUSHROOM CAP' 177

TRIM COLOR  
BENJAMIN MOORE  
'POWDER SAND' OC-113

FRONT DOOR COLOR  
BENJAMIN MOORE  
'COTTAGE RED' FM-15

FIN FLR HIGH PT. (GAR.)  
EL. 95'-6 1/2"

T.O. FINISH FLOOR (UPPER)  
EL. 106'-11"

T.O. FINISH FLOOR (MAIN)  
EL. 96'-11"

ROBERT BAUMANN + ASSOCIATES  
12/7/15

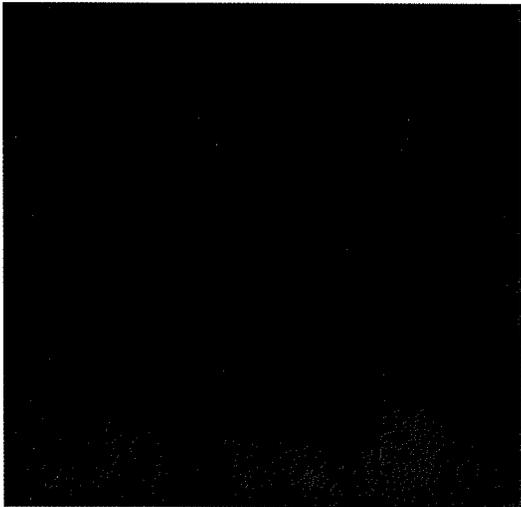


# NORTH ELEVATION

NOT TO SCALE

WISIALOWSKI RESIDENCE  
COLOR SAMPLE SHEET

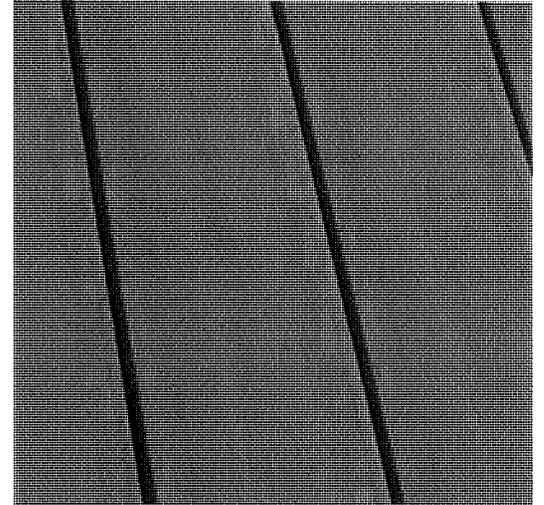
DEC 07 2015



GAF 'CAMELOT II' ASPHALT SHINGLES IN CHARCOAL



ALTERNATE OPTION:  
ZAPPONE ALUMINUM SHINGLES IN SLATE GRAY



ALTERNATE OPTION:  
STANDING SEAM METAL ROOFING



STRAIGHT EDGE WOOD SHINGLES  
(REFER TO COLOR SAMPLE SHEET  
FOR PAINT COLOR)



CUSTOM PLAIN HORIZONTAL SIDING (COURSING TO MATCH EXISTING)  
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



CUSTOM COVERED LAP SIDING (TO MATCH EXISTING)  
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)

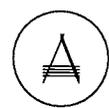
Linen 032

White 001

SIERRA PACIFIC (OR EQUAL)  
ALUMINUM CLAD WINDOWS &  
EXTERIOR DOORS IN WHITE OR LINEN



EYEBROW WINDOW AS  
ALTERNATE TO SHED DORMER



(PROP.) NORTH ELEV. - ALTERNATE

SCALE: 1/8"=1'-0"

EYEBROW WINDOW AS  
ALTERNATE TO SHED DORMER



(PROP.) NORTH ELEV. - ALTERNATE

SCALE: 1/8"=1'-0"

ROBERT BAUMANN + ASSOCIATES  
12/7/15

WISIALOWSKI RESIDENCE  
EXT. ELEVATION ALTERNATE OPTION

DEC 07 2015

**Sonoma League for Historic Preservation**

12/04/2015

To: Design Review and Historic Preservation Commission

Re: Historic Resource Evaluation/Determination of Effect 227 East Spain Street,  
Sonoma, Sonoma County, California (APN018-222-019-000)

The Sonoma League for Historic Preservation (SLHP) is providing comments regarding the above referenced reports prepared by Alice P. Duffee, Historic Preservation Planner, APD Preservation LLC.

George McKale, representative for the Sonoma League for Historic Preservation, met with the Robert Baumann & Associates, Alice Duffee and other interested parties regarding the proposed project at 227 East Spain Street.

The applicant presented two proposed design changes to the original plans. It is the League's opinion that design change #2, if implemented, would not cause a substantial change to the historic integrity, specifically as a contributor to the district.

**RECEIVED**

**DEC 04 2015**

**CITY OF SONOMA**

Historic Resource Evaluation and Determination of Effect  
227 East Spain Street, Sonoma,  
Sonoma County, California  
(APN 018-222-019-000)



**Prepared for:**  
Bill Wisialowski  
bill@wiz3.com



**Prepared by:**  
Alice P. Duffee, Historic Preservation Planner  
APD Preservation LLC  
July 2015, revised November 2015

DEC 07 2015

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## Project Overview & Executive Summary

The owners of the property at 227 East Spain Street in Sonoma, California, are assessing the historic character of the house on this property and assessing the impact of a proposed renovation project on the resource. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. They have also hired Alice Duffee to assess the proposed project's potential impact on the resource. This report is the result of those evaluations.

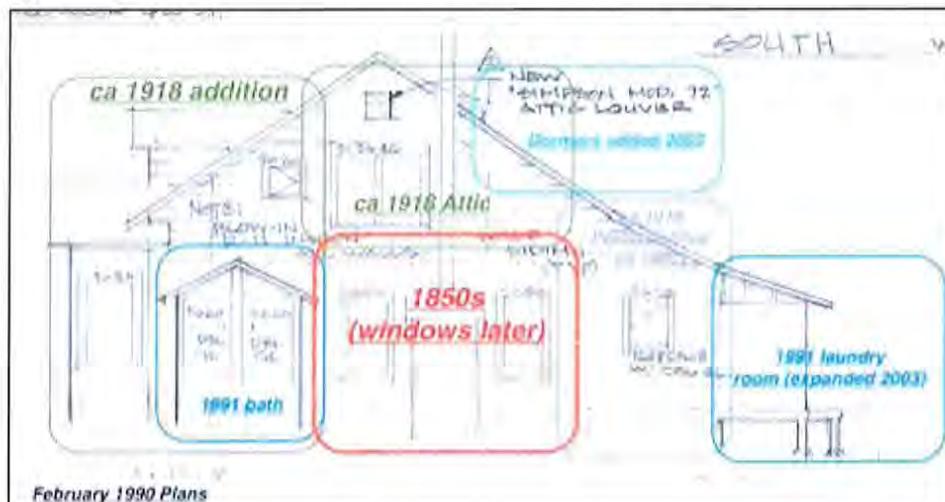
### Historic Resources

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does qualify as an historic resource under the California Environmental Quality Act (CEQA) because of its inclusion as a contributing element to the Sonoma Plaza National Register Historic.

A structure has occupied this lot since at least 1852, though that original house has since been engulfed in a 1918 renovation and exists only as a few structural members embedded within the current walls. The Goess Family purchased the house shortly before 1900 and embarked on a major renovation project in 1918, adding a Queen Anne façade, removing a wing, raising the building a half storey, and adding a back porch. The house stayed in the Goess family nearly 80 years, until it was sold in 1979. Subsequent owners embarked on a long series of renovations that have eroded away the buildings historic integrity:

- 1918: Queen Anne façade, roof redesigned and raised ½ storey, wing removed, rear porch added
- 1982: rear porch (1918) partially infilled, wing added off of SW corner
- 1991: bathroom wing on west
- 2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

The severe loss of integrity of design, materials, feeling, and workmanship render the building not historically significant as an individual resource. However, the façade of this building and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district. Historically significant resources near the property include the Ray-Nash Adobe immediately to the west, the Adler House across the street, and a frame house immediately to the east (245 East Spain Street).



### Proposed Project

The owners of 227 East Spain Street propose to raise the ridgeline of the oldest section of the house by 18" and replace the 2003 wing on the east with a new wing that extends towards the rear of the property. This new wing would also replace the existing garage/guest house, which would be demolished as part of this project. At the rear of the house, the owners propose to remove the 1982 wing off the kitchen, reconfigure the porch and rebuild the dormers.

### Determination of Effect

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation" and the City's guidelines as outlined in the Municipal Code, the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) and CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.
- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

### Methodology

On July 12, 2015, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Northwest Information Center (NWIC)
- Sonoma County Recorder's office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

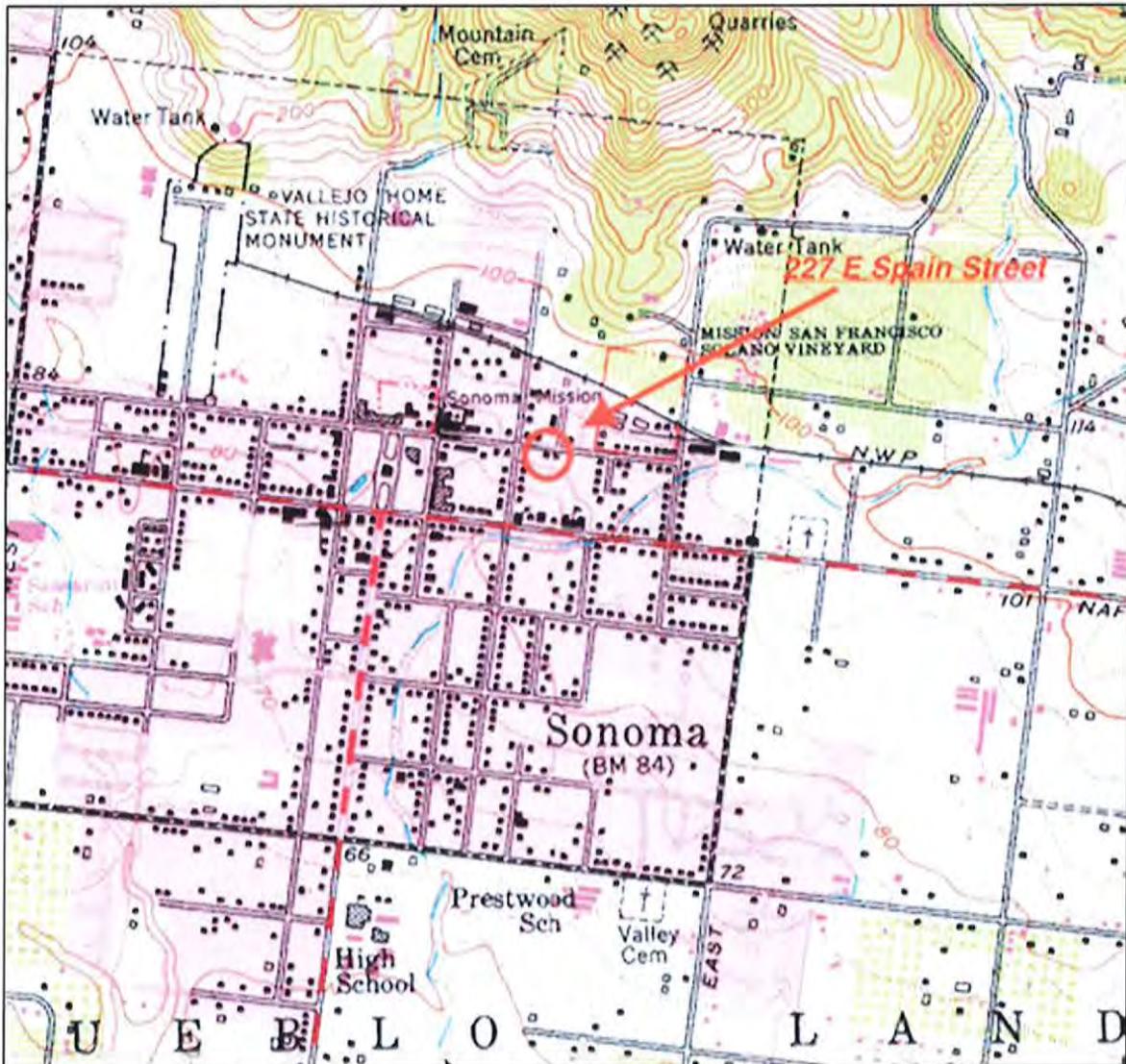
### Evaluator qualifications

Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the house at 227 East Spain Street in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical

Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

### Site Location

The house at 227 East Spain Street sits on the north side of East Spain Street, just east of the intersection of Second Street East in the City of Sonoma. A 6' wood board fence surrounds the entire property, shielding it from view from the street and its neighbors. The streetscape is established mature landscaping around modest single-family residences from the early to mid twentieth century. This section of East Spain Street has two lanes of traffic (two-way) with street parking on both sides.



Location of 227 East Spain Street (Sonoma Quadrangle, USGS Map, 2012)



*Aerial view of Parcel*

## Description

The one-and-a-half-storey cottage at 227 East Spain Street consists of a central block with additions on the east, south and east sides and a projecting bay off of the front facade. The house is further set back from East Spain Street than either of its neighbors to the east or west. It is separated from the street by a sidewalk, mature trees, and a 6' wood board fence. All sections of the structure are clad in wood shiplap siding and rest on a modern concrete foundation. The roof was most recently replaced in 1999 with modern composition shingles.

The primary, gable-roofed block has a shed-roofed porch that spans the eastern two-thirds of the façade and terminates in the three-sided, gabled-roofed bay window off the northwest corner. The front door is centered on the primary (north) façade and consists of a pair of Queen Anne style, arched light, French doors with two raised and heavily moulded panels below the lights (see figure 3). A modern (2003) bay window projects from the wall east of the doors. The three windows of the bay are one-over-one, double-hung modern windows (see figure 6). The gables of the 2<sup>nd</sup> storey dormer and the projecting bay are filled with scale and diamond shape shingles. The dormer features three vertical windows of five lights each. Modern (post-1978) turned posts support the porch roof (see figure 4). The porch floor is painted wooden boards. The overhanging eaves of the porch, dormer and house all display scrolled rafter tails (see figures 2 and 4).

A modern (2003) gable-roofed addition dominates the east elevation. The decorative details of the original block have been repeated on this wing: shingled gable, scrolled rafter tails, shiplap siding, louvered ventilation opening (see figure 7). Two fixed pane windows occupy the east façade of the addition. On the principal block of the house, a pair of one-over-one, double-hung wood windows occupies the gable and is surmounted by a louvered ventilation opening into the attic (see figures 7 and 12). A modern (2003), shed-roofed bay window butts up against the addition where the north façade meets the older block of the house (see figure 14).

The rear of the house faces south and is an eclectic mix of renovations over the past century. A pair of gable-roofed dormers (2003) has been cut into the roof to provide more living space in the second storey attic. Another gable-roofed addition with a shingled gable end and scrolled rafter tails projects off the southwest corner of the main block. Shed roof porches, supported on square 4 x 4 posts, span the 2003 addition on the east as well as the east two-thirds of the main block of the house. A wood deck unites the

main block and the eastern addition. A pair of modern French doors accesses the deck from the addition, while a single door accesses the deck from the main block. One-over-one, double-hung, modern windows flank the back door. A single one-over-one, double hung window is centered on the south façade of the addition on the southwest corner. Modern solar panels occupy the south facing roof slopes (see figure 15).

The west façade features a pair of six-over-six, modern, double-hung replacement windows set in a simple wood frame in the gable. A smaller, one-over-one, double-hung window is positioned immediately north of the pair of windows. A louvered ventilation opening is at the top of the gable. Two six-over-six, double-hung windows flank a metal flue pipe that runs up the side of the building, venting the first floor fireplace. The hot water heater is enclosed in a shed roofed, clapboard cabinet south of the chimney flu (see figure 24). A hip-roofed, three sided bay projects from the kitchen. A modern (1991) addition projects from the northwest corner, towards the west property line, and contains a large bathtub (see figure 29). All of the original windows on this elevation have been replaced.

The other structure on the property is a combined garage/guest house. Like the main house, the building is wood frame with a gabled roof. A single garage door and a pedestrian door occupy the north end, while the west façade has two 6-paned windows. The board and batten addition on the back was constructed in 1990 and copies designs of local water towers. Exterior wood stairs lead to a room and porch on the second floor (see figures 35 and 37).

A modern pool (ca. 1980) occupies the rear section of the yard (see figure 38).

Permit records for this property include:

- 1958: electrical upgrades
- 1959: replacement of the garage
- 1979: a new foundation
- 1980: a pool
- 1983, 1989, 1999: roofing
- 1990: modifications to the garage/guest house
- 1991: bathroom expansion (west side)
- 2003: major renovation (addition on east, addition on southwest, dormers on rear)

### Historical Context of Sonoma

The house at 227 East Spain Street is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

## History of 227 East Spain Street

The lot that contains 227 East Spain Street was on the northeastern corner of what was originally known as Lot 37 on the early pueblo map of Sonoma. The earliest mention of a structure on the property appears July 14, 1851 when Joseph & Nancy Ann Neville sold the property for \$2,000 to Robert Hopkins who, according to the deed, was already living on the property.<sup>1</sup> John G. Ray had erected an adobe house next door (on the corner of East Spain and 1<sup>st</sup> Street East) in 1847 and sold off the land containing the project area to Neville in 1850.<sup>2</sup> Ray or Neville may have erected a small frame building on the current parcel sometime between 1847 and 1851, though there is no further record of it. Otto V. Geldern's 1875 map shows the Ray Adobe, but no building on the project area. Lewis Adler owned the property at this time, and the structure may have been too inconsequential to merit inclusion on Geldern's map.



Detail of Otto V. Geldern's 1875 Plan of Sonoma showing property location.

Robert Hopkins was born in Kentucky in 1822, and came to Sonoma from Vermont with his family before 1849. In 1849, he was chosen as the first District Judge for Sonoma. He served as the first mayor of Sonoma from 1853-1854. By 1860, however, he had relocated to Napa and his family had returned to Vermont.<sup>3</sup>

Lewis Adler had bought the property at 227 East Spain Street before 1865. The property changed hands several more times until George Andrew ("Andrew") Goess and his wife, Jennette Robinson Simmons Goess, purchased the property sometime before 1900.<sup>4</sup> Andrew Goess was the son of a German immigrant (George Andreas Goess) who arrived in the United States from Bavaria in 1848. Andrew Goess was born in California in 1858 and was living in Sonoma at least by 1870.<sup>5</sup> In 1882 he married

<sup>1</sup> Sonoma County Deed Book F, page 157.

<sup>2</sup> Sonoma County Deed Book A, page 32.

<sup>3</sup> 1860 US Federal Census.

<sup>4</sup> The 1900 US Federal Census shows the Goess family living in this house, though I have not located the deed for this property transfer in the records of the Sonoma County Recorder's Office.

<sup>5</sup> 1870 US Federal Census.

Jennette Robinson Simmons. Andrew Goess was a carpenter and had four children with Jennette.<sup>6</sup> They owned the property until 1921 when the couple gifted it to their two married daughters, Jennette Goess Homer and Hazel Goess Fowler.<sup>7</sup> Andrew Goess died August 15, 1926 in Sonoma, followed by Jennette Goess on November 13, 1926.<sup>8</sup>

The Goess daughters retained the property until 1979, renting it out while the two sisters resided in San Francisco.<sup>9</sup> Jennette Homer died in 1938 and willed her share of the property to Hazel Fowler, who later sold the property in 1979 to Peter Law.<sup>10</sup> Hazel Fowler died August 18, 1981. Peter Law sold the property three years later to a widowed realtor from San Francisco, Elizabeth Evans. Penny McNaughton bought the property from Elizabeth Evans in 1986 and her estate sold it to the current owners, William and Karen Wisialowski in May 2015.<sup>11</sup>

A dwelling appears on the site in the 1905, 1911 and 1923 Sanborn Fire Insurance maps (see maps below). In both 1905 and 1911 the house is represented as a one-storey frame structure with a shingled roof, tile chimney, and one-storey porch across the front. It was roughly "L" shaped, with an addition on the east side of the central block.

On the 1923 map, however, the footprint changes. The main block of the building appears the same, but the eastern addition is gone. The front section of the building is now 1½ storey, frame, shingle roof, tile chimney, with a three-sided bay window off the northwest corner and a porch across the front. A one-storey, frame section with a shingled roof on the rear of the house also had a porch across its length. Property records suggest that this renovation occurred in 1918.<sup>12</sup>



1905 Sanborn Fire Insurance Map



1911 Sanborn Fire Insurance Map

<sup>6</sup> www.ancestry.com

<sup>7</sup> Sonoma County Deed Book 110, page 499.

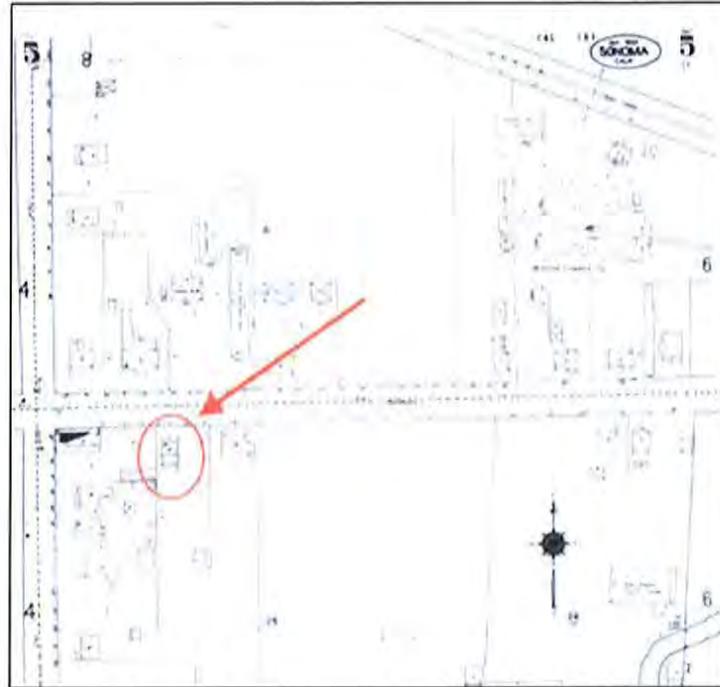
<sup>8</sup> Both are buried in Mountain Cemetery in Sonoma. www.ancestry.com

<sup>9</sup> Jennette moved to Los Angeles prior to her death in 1938. www.ancestry.com

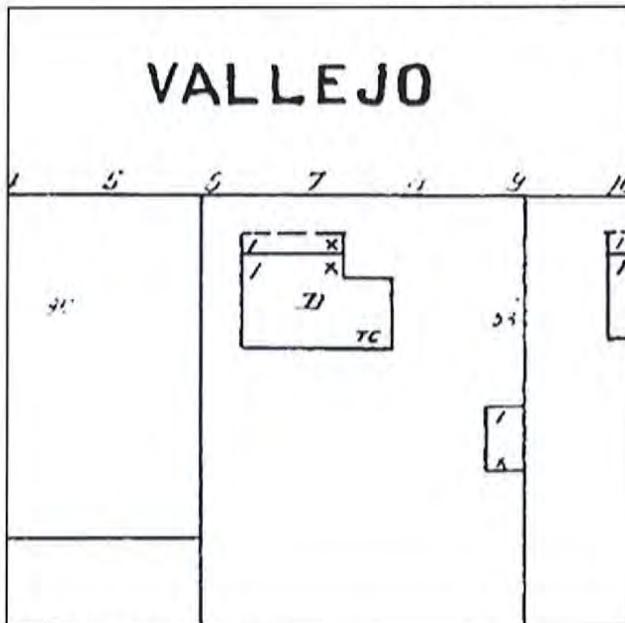
<sup>10</sup> Sonoma County Deed Book 470, page 203 and Deed 1982058617. Decree of Distribution Book 2141, page 406.

<sup>11</sup> Property records do not support the Sonoma Index-Tribune article of 11/13/2003 that states that the O'Neals owned the property. The O'Neals may have rented the property, though. Similarly, Robert Hopkins was from Maryland, not Kentucky, and the house was not added onto until 1911-1923 (not the 1880s or 1890s). It may have resembled the house to the east, though we have no documentation to that effect. And neither one of them would be considered "salt box" in design.

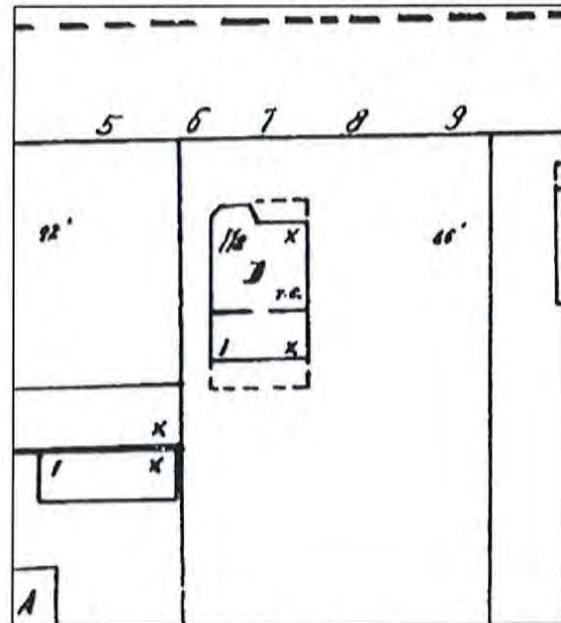
<sup>12</sup> I found no newspaper references or permit history to confirm this information, but it is within the timeframe of 1911-1923.



Sanborn Fire Insurance Map, October 1923.



1905 Sanborn Detail



1923 Sanborn Detail



An inspection of the interior of the house indicates that the main block of the 1850s building was incorporated into the larger <1923 dwelling. Type B Machine cut nails (ca. 1820 – 1900) are present in the framing members of the walls of what is now the middle room, adjacent to the modern dining room. This section was built using braced frame construction, which was common through the mid-nineteenth century because of its strength and affordability (see figure 30). The beams in this section are also hand hewn and joined with half dovetail tenons (see figure 31). The ceiling in this section is about a foot lower than the ceiling in the north section of the

house, suggesting that they were built at different times, as well. The original house has no evidence of a chimney, though it probably had a wood or coal stove.

The physical and primary resource evidence suggest that the ca. 1850 house possibly built by Robert Hopkins was fully engulfed within a new house constructed by Andrew Goess between 1911 – 1923. Property records indicate that the exact date was 1918. Goess raised the roof another half storey, added an attic, added three rooms and a porch across the front of the house, demolished the east wing, and built a porch across the back. The 1850s front door became the entrance into the back room (see figure 33). He added a staircase in the old block of the house to access the attic (see figure 34). All that remained of the original house was the west wall, the east wall, and the south wall. The roof was gone and the north wall was fully enclosed.

The 1918 addition used popular details, such as the bay window, the shaped shingles and the scrolled rafter ends. There is no evidence that this 1918 addition had a fireplace either, though the Sanborn Maps indicate that it did have a tile chimney, which probably serviced a stove.

Peter Law and Bob Tait undertook the next major renovation in 1982. Besides replacing the foundation, Law and Tait built the pool and redesigned the rear of the house. They partially enclosed the rear porch and built a small addition off the southwest corner as part of a kitchen remodel.<sup>13</sup> Tait and Law also added or enlarged the windows on the west façade, flanking the flue pipe, cutting into the 1850s brace at the northwest corner of the room (see figure 30). On the front porch, Law and Tait replaced the plain square posts with Victorian-inspired posts and replaced the front door with a pair of Queen Anne-style French doors. The replaced elements appear in the photograph of 227 East Spain included in the Historic Resource Inventory of 1978.



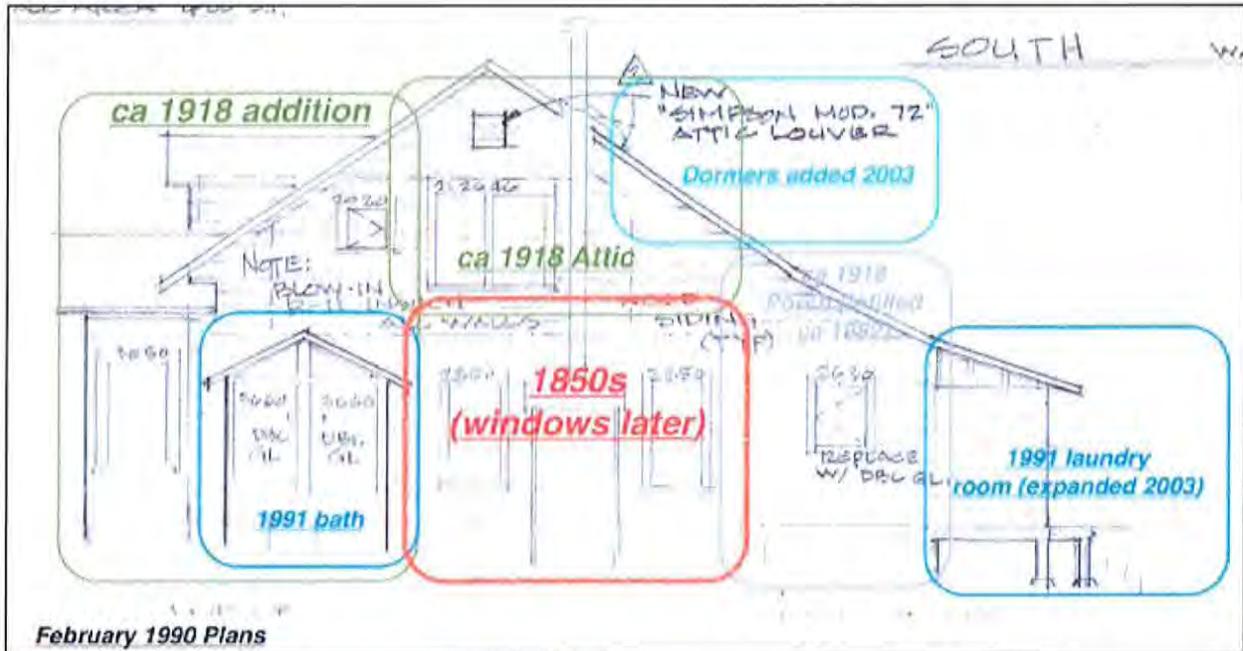
*Historic Resource Inventory photo, 1978. Note the square posts and original front door*

Penny McNaughton undertook the next three phases of renovation. In 1990 she built the "Water Tower" at the back of the 1959 garage, and in 1991 built the bathtub addition off the northwest corner of the house. She undertook the largest project in 2003:

- construction of a new wing on the east side
- replacement or enlargement of the small wing off the kitchen on the southwest corner
- addition of the two dormers on the rear of the house
- reconfiguring the attic space
- insertion of new bay windows on the north (the window east of the front door), the east (window at junction of new eastern addition), and west (kitchen).

Over the course of the numerous renovations, all of the windows and doors were replaced at least once.

<sup>13</sup> Henley, "Honoring the Past," *Sonoma Index-Tribune*, 11/13/2003. And building permit records.



### Determination of Historic Significance

In order for a resource to be historically significant it must meet pass three tests: 1) it must be over 45 years old;<sup>14</sup> 2) it must meet one or more of the "criteria of eligibility" (outlined below); AND 3) it must retain enough integrity to convey its significance as it relates to the aforementioned criteria.

The core of the house at 227 East Spain Street is over 165 years old, and its 1918 addition is nearly 100 years old and potentially historic in its own right. The building lies in Sonoma's Historic Overlay District, is included in the Sonoma League for Historic Preservation's "Historic Resource Survey,"<sup>15</sup> and is listed as a contributing element to the Sonoma Plaza National Register of Historic Places (NRHP) Historic District (1992).

However, its integrity has been severely compromised over time to the extent that it is not historically significant as an individual structure. It does, however, contribute to the historic feeling and setting of the NRHP district.

### ARCHAEOLOGY

Even though the site has been severely disturbed during 150 years of human occupation, there remains a possibility that buried archaeological deposits could be present and that accidental discovery could occur. In keeping with the CEQA guidelines, if such archaeological remains are unearthed, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds.<sup>16</sup>

Prehistoric archaeological indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g. slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items, with the possible addition of bone and shell remains and fire-affected stones.

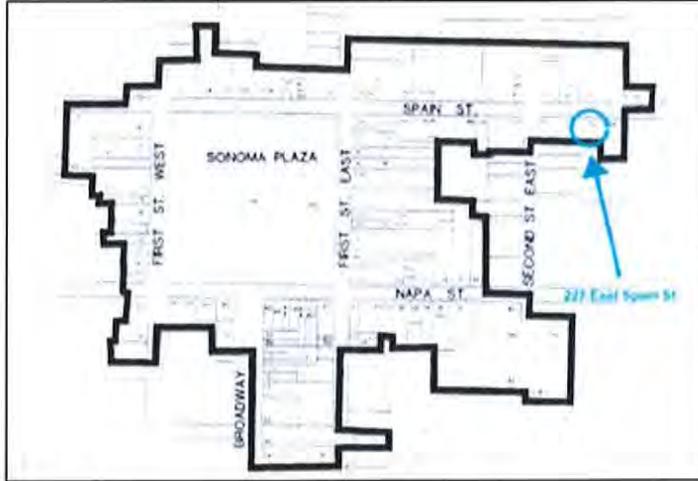
<sup>14</sup> In certain situations, the age requirement may be waived.

<sup>15</sup> Some of the "Survey" information is false, including the name of the property: "Gaese Residence." The construction date of 1900 is also unsupported, though the 1850 date may be correct. Robert Hopkins may or may not have built the house though he did live in a house on the property in 1851.

<sup>16</sup> 14 CCR 15064.5 (f)

Historic period site indicates generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains, such as building foundations and discrete trash deposits (e.g. wells. Privy pits, dumps).

### SONOMA PLAZA NATIONAL REGISTER HISTORIC DISTRICT



The Sonoma Plaza National Register District was listed in the National Register of Historic Places in 1975 for its architectural significance and its contribution to the early establishment of the town of Sonoma. The original period of significance for this district was 1825-1849.

The boundaries of the District were expanded in 1992 and the period of significance was redefined as 1835-1944. The 1992 NRHP nomination form describes the district as a "small country town center" characterized by a mix of commercial and residential structures. The broad description in the nomination reads as follows:

USDI/NPS NRHP Sonoma Plaza (National Register Boundary Increase) Page 3

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7. Description

Architectural Classification:  
Mid-19th Century: Other: California Monterey Colonial  
Late Victorian: Queen Anne, Eastlake  
Late 19th and 20th Century Revival: Beaux Arts, Mission, Spanish Colonial Revival  
Late 19th and Early 20th Century American Movements: Bungalow

Materials:  
foundations: brick, stone walls: frame, stone, brick, adobe  
roof: mission tile, asphalt shingle, wood shake

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Describe present and historic physical appearance.

X See continuation sheets

This revised district includes 88 contributing resources, and 58 non-contributing resources. For a resource to be included as contributing, it had to "retain architectural integrity to [its] construction date, [retain] integrity of location, and [retain] the ability to convey a sense of history of the change and development of the district during the period of significance." Though not included in the original 1975 District, the house at 227 East Spain Street is included as a contributing resource in the revised district nomination based on the changed period of significance:

54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.

227 East Spain Street Entry from NRHP Nomination (1992)

Many of the "Queen Anne" details that may have been attributed to the significance of this house, including the ornate front doors and turned porch posts, are actually recycled architectural materials applied to the house after 1978 (see HRE for further information and pre-1978 photos).

The house, however, does "convey a sense of history of the change and development of the district" in that it represents the early-twentieth century residential development of the East Side of Sonoma.<sup>17</sup> Specifically, the elements of 227 East Spain that retain enough integrity to contribute to the sense of time, place and historical development of the Sonoma Plaza are its location, setting, materials, and feeling.

**CRITERIA OF ELIGIBILITY FOR THE CALIFORNIA REGISTER**

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria:<sup>18</sup>

Criteria	227 East Spain Street
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	It was not directly associated with a major local or regional development trend or event.
2. <b>Associated with the lives of persons important to local, California or national history.</b>	<p>The original block of the house is associated with Robert Hopkins, who is <b>significant at the local</b> level as the first mayor of Sonoma and the first District Judge of Sonoma.</p> <p>The Goess family owned the house for nearly 80 years, though they only occupied it for the first 25 years. They rented out the property from at least 1926-1979.</p>
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	The 1918 façade typifies early-twentieth century Queen Anne cottages, though its integrity has been severely compromised by the replacement of character defining original details: window, porch posts, and door. The replacement of the porch posts and front door lend a degree of false historicism to the building. Only hints of the structure of the ca. 1850 house remain buried in the walls of the 1918 structure. All of the windows on the building have been replaced, and the rear of the building has been totally redesigned several times.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	The area has been significantly disturbed by development on the lot, and is not known to contain any archeological resources. No surveys have been conducted on or immediately adjacent to the site.

<sup>17</sup> See also, National Park Service, "Manual for State Historic Preservation Review Boards." (<http://www.nps.gov/nr/publications/bulletins/strevman/strevman10.htm>)

<sup>18</sup> Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



**INTEGRITY ANALYSIS OF THE INDIVIDUAL RESOURCE**

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.<sup>19</sup>

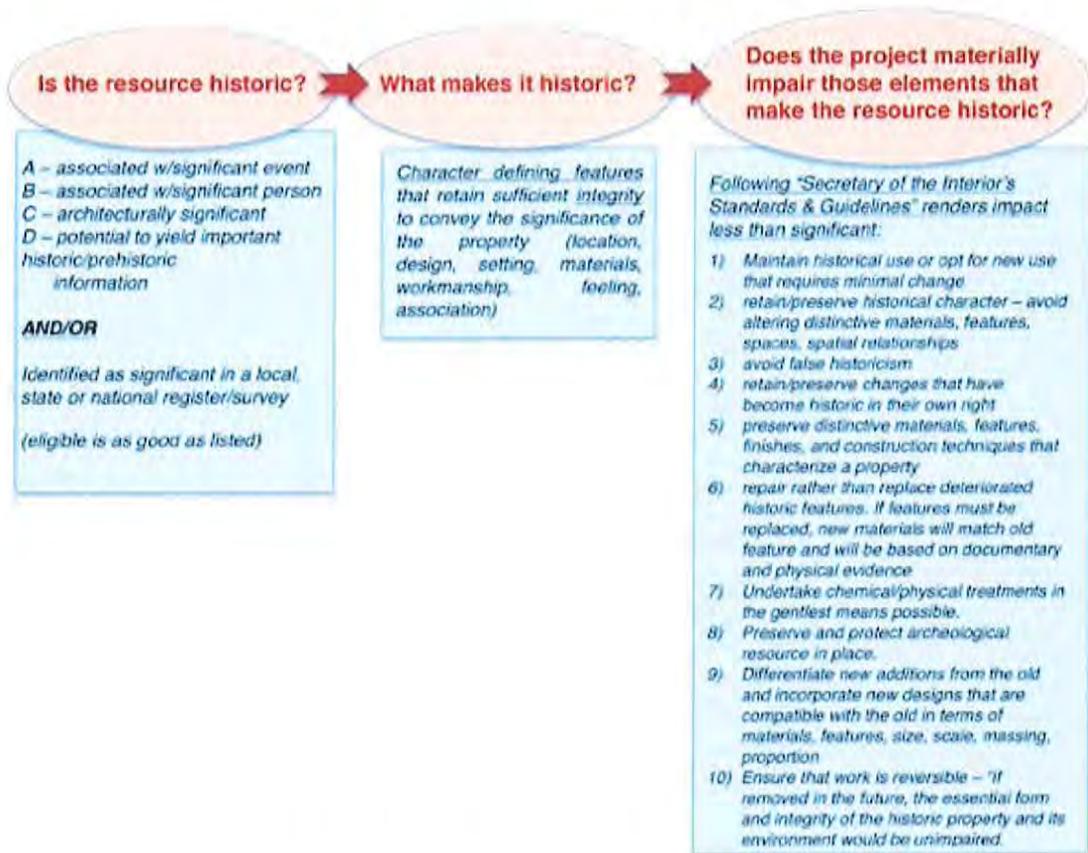
<b>Integrity Element</b>	<b>227 East Spain Street</b>	<b>Conclusion</b>
<b>Location</b> ( <i>"place where the property was built"</i> )	All sections of the building retain their integrity of location as they have not been moved or relocated.	<b>INTACT</b>
<b>Design</b> ( <i>"combination of elements that create the form, plan, space, structure, and style"</i> (NPS))	The original ca. 1850 design was destroyed during the 1918 renovation with the removal of the east wing, application of a new front façade, and raising of the building by half a storey. The 1982 renovation further eroded the design by filling in part of the 1918 porch and adding another wing on the back. In 1991, yet another wing was added to the west. The <i>coups de grace</i> came in 2003 with the addition of a large wing on the east, the addition of two dormers on the rear, the addition of three bay windows, and the extension of the 1991 kitchen wing.	<b>COMPROMISED</b>
<b>Setting</b> ( <i>"physical environment"</i> )	Though the building itself has been altered, the overall residential setting of the project area remains unchanged from the late-nineteenth century: freestanding one and two-story residential structures set back from the street on modest sized lots.	<b>INTACT</b>
<b>Materials</b>	All of the original and 1918 windows and doors have been replaced. The original materials of the ca. 1850 dwelling are encased in the 1918 structure. The entire rear section of the building is new. Character-defining, original 1918 details, such as the porch posts and front door, have been replaced.	<b>COMPROMISED</b>
<b>Workmanship</b> ( <i>"evidence of labor and skill"</i> )	The ca. 1850 workmanship remains only in the structural elements encased in the 1918 walls. Some 1918 details remain, such as the scrolled rafter tails and the shaped shingles. Changes to the building over time have neither detracted from nor added to the character of workmanship.	<b>COMPROMISED</b>
<b>Feeling</b> ( <i>"expression of the aesthetic or historic sense of a particular period of time"</i> )	On its surface, the cottage retains its 1918 feeling as an early twentieth century, Queen Anne style dwelling. The window replacements, porch modifications, and addition have not diminished this overall "feeling." The embellishment of the porch posts and front door have added to this feeling, lending a degree of false historicism to the property.	<b>COMPROMISED</b>
<b>Association</b> ( <i>"direct</i>	The original house that was associated with	<b>COMPROMISED</b>

<sup>19</sup> [http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\\_8.htm](http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm)



<i>link between an important historic event or person")</i>	Robert Hopkins is no longer recognizable due to the extensive renovations made to the property over the last 150 years.	
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**California Environmental Quality Act (CEQA) Review**



Even though the house at 227 East Spain Street is not individually eligible for listing in the California Register due to its lack of historic integrity, the **house qualifies as an historic resource under CEQA because of its inclusion as a contributing resource to the Sonoma Plaza NRHP District.**<sup>20</sup>

The physical characteristics that retain enough integrity to render 227 East Spain Street a contributing element to the district (its character defining elements) are its **location, setting, material and overall feeling.**

The next step is to evaluate the impact of the proposed project on those elements that "convey [the house's] historical significance (i.e. its character-defining features)."<sup>21</sup> In this situation those elements are: location, setting, material, feeling. Ultimately, the house is significant because of its contribution to overall historic streetscape.

<sup>20</sup> 14 CCR §15064.5(a)(2)

<sup>21</sup> California OHP, "Technical Assistance Series #1: California Environmental Quality Act (CEQA) and Historical Resources."



According to CEQA, an adverse effect is defined as one that would "[alter]...the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."<sup>22</sup> Typical examples of adverse effect include demolition, destruction, or relocation. Significant alterations, however, can constitute an adverse effect if they compromise the integrity of those elements that justify the resource's inclusion in (or eligibility for inclusion in) the California Register.

For alteration projects, CEQA allows that projects that are consistent with the Secretary of the Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings "shall be considered "less than a significant impact on the historical resource."<sup>23</sup>

### Secretary of the Interior (SOI) Standards for the Treatment of Historic Properties

In September 1977 the National Park Service published its final version of "The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings" to provide "guidance to historic building owners and building managers, preservation consultants, architects, contractors, and project reviewers prior to treatment."<sup>24</sup>

The "Standards" consist of ten directives that provide generalized advice on how to address projects on to historic resources; they are codified in 36 CFR 67. The "Guidelines," on the other hand, are practical recommendations on how to treat specific design issues, such as mechanical systems, structural systems, windows, new additions, storefront, etc.<sup>25</sup>

In this situation, the proposed project could impact two historic resources: the NRHP district and the house at 227 East Spain Street. The integrity of the house has been radically compromised in terms of design, workmanship feeling, and association; but its façade continues to contribute to the overall sense of the historic character of the surrounding streetscape.

Therefore, the following SOI analysis looks at both the potential impact of the proposed project on the surrounding NRHP district (as expanded in 1992), as well as its potential impact on those elements of the house that render it a contributing element to the NRHP district (location, setting, materials, and feeling).

Standard	Sonoma Plaza NRHP District (1992)	227 E Spain Street (House)
1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	The building has remained in continuous use as a residence since its construction. No change is proposed.	
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	The building would remain a single-family residence, consistent with the neighborhood around it. The relationship of the house to the streetscape would remain unchanged. Those qualities that render the building a contributing element to the NRHP (location, feeling, materials, setting) would not	The majority of the original distinctive materials, features and spaces have been compromised by a series of projects and are no longer historically significant.

<sup>22</sup> 14 CCR §15064.5(b)(1)

<sup>23</sup> 14 CCR §15064.5(b)(3)

<sup>24</sup> <http://www.nps.gov/tps/standards.html>

<sup>25</sup> <http://www.nps.gov/tps/standards/rehabilitation/rehab/guide.htm>

	change.	
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.		The proposed addition would avoid the use of false historicism in its design, while still using materials, massings and architectural details that are compatible with its historic neighbors (gabled roof, shiplap siding, composition shingle roof).
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.	N/A	Changes to the house over the past 100 years that could have been considered historic in their own right have been compromised by the alteration of their details and application of new design elements. The proposed project, therefore, will have no effect on historically significant modifications.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	N/A	The proposed project preserves the 1918 dormer, bay window and porch on the primary facade. It replaces the front door and porch posts, which were replaced after 1978.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	N/A	N/A
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	N/A	N/A
8. Archeological resources will be protected and	N/A	The proposed addition on the east would occupy land disturbed by the

<p>preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>		<p>previous addition, the driveway and the garage/guest house. The new pool is roughly in the same location as the previous pool, and would not disturb previously undisturbed ground. No surveys have been conducted on or immediately adjacent to the site. See above section on archaeology for recommendations regarding accidental discovery.</p>
<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be <b>differentiated</b> from the old and will be <b>compatible</b> with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p>	<p>The scale of the renovated house remains consistent with the surrounding district and individually significant resources (see elevations of neighboring structures in Appendix G).</p>	<p>The proposed addition would be compatible with the older block of the house in its materials (wood siding, composite shingle roof, shingled gables) and design elements (gable roof, dormers, windows). At the same time, these features would be distinguishable from the older elements (e.g. shiplap siding instead of cove siding, shed dormers instead of gabled).                   The new addition will be set back from the older block of the house by 24", allowing for clear differentiation between the two sections. The roofline of the older section will be articulated, as well.</p>
<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>	<p>N/A</p>	<p>The proposed addition on the east side replaces the 2003 addition, which severely compromised the original materials of the east side of the main block of the house. The proposed addition would have no additional impacts to the house at the first storey, though it would affect the second storey. This secondary elevation is not historically significant either to the building or the streetscape.                   The reconfiguration of the rear of the house removes modern additions which are not historically significant, including two 2003 dormers and a 1982 addition.                   The proposal to raise the roof <b>18"</b> impacts areas previously affected by the installation of dormer windows on the south side of the house.</p>

The "Guidelines for Rehabilitation Historic Buildings" are markedly more specific than the "Standards" and recommend practical treatments for a variety of common preservation design issues, including new



additions to historic resources. Specifically, the Guidelines offer the following recommendations for new additions:

Recommendation	227 East Spain Street
Placing functions and services required for the new use in non-character-defining interior spaces rather than installing a new addition.	N/A
Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.	In this situation, the character defining features are location, setting, material (general), and feeling. The proposed new addition would have no impact on the location or setting and would maintain the general feeling of a single-family residence that typifies this neighborhood.
Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.	The majority of the new addition extends to the rear of the building, though it does maintain a prominent position on the street-facing elevation of the house. It is, however, set back from the original block of the house. The garage is stepped back even further, for a total distance of approximately 39' to the street.  Viewed from the east, the addition will mimic the "salt box" profile of the older structure, dipping down to a low point at the rear of the garage before popping up again at the master suite. The effect will add visual interest to the elevation, as well as provide for better light and air circulation for both this house and its neighbor to the east. The massing and scale would also be consistent with the surrounding historic resources.
Designing new additions in a manner that makes clear what is historic and what is new.	The addition on the east would be set back from the original block of the house by 24" and would be clad in shiplap siding instead of the cove siding that covers the older structure.
Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.	The attached exterior addition would be differentiated from the older block of the building by its setback and use of different siding techniques. Its design elements would not copy the older structure, though they would be compatible (e.g. shed roof dormer instead of gable roofed dormer).
Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building,	N/A
Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed	N/A

from the street.	
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**City of Sonoma Design Guidelines**

In April 2015, the City of Sonoma issued a "Request for Proposals" (RFP) for the preparation of Design Guidelines to address the modification of buildings in the Sonoma Plaza NRHP District. These guidelines will address modifications to contributing and non-contributing resources, as well as infill development.

The contract has been awarded to Page & Turnbull, though the product is still in its early stages of preparation. In the meantime, the City of Sonoma's Municipal Code provides basic guidelines for new construction within the Historic Overlay District.

The overarching principle of Sonoma's existing guidelines is that new construction in the historic overlay district must be compatible with its surrounding neighborhood in terms of "building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style." Similarly, the 2020 General Plan states that:

Sonoma should continue to be characterized by variety in terms of land uses, building types, and housing, and this diversity should be consistent with preserving the town's small-scale and historic character.

In the absence of the new Design Guidelines, I have summarized the Municipal Code, Chapter 19.412: "Historic Preservation and Infill in the Historic Zone."<sup>26</sup> As noted on the table, I have supplemented several areas with particularly applicable excerpts from Philadelphia's Design Guidelines.<sup>27</sup>

<u>Consideration</u>	<u>Consistency</u>
<b>Site Planning</b>	
" <b>common patterns</b> that should be continued are entries facing the public right-of-way, front porches, and garages/parking areas located at the rear of the parcel."	The overall feeling of the façade would remain unchanged, though the door would be relocated several feet to the east. The porch would remain in its current location, though extended across the new addition on the east. Siding would be shiplap siding, aligned with the older cove siding.  The garage is currently on the east side of the property, screened from the street by a wooden fence. The proposed garage would be set back from the street approximately 39' though it would still be visible from the street. A landscaped arbor would partially screen it.
The <b>height</b> (and massing) of new structures should be considered within the context of their surroundings. Structures with greater height should consider providing greater setbacks at the second-story level, to reduce impacts (e.g., blocking or screening of air and light,	The ridge of the roof would be raised <b>18 inches</b> , though this increase would be unnoticeable from pedestrians on the street. The house is currently taller than both of its neighbors. This minimal increase is still in keeping with the neighbors on the east, west, and north (see elevations in Appendix G).

<sup>26</sup> <http://www.codepublishing.com/ca/Sonoma/html/Sonoma19/sonoma1942.html>

<sup>27</sup> Preservation Alliance for Greater Philadelphia, "Sense of Place: Design Guidelines for New Construction in Historic Districts" (2007) [http://www.preservationalliance.com/publications/SenseofPlace\\_final.pdf](http://www.preservationalliance.com/publications/SenseofPlace_final.pdf).



<p>privacy, etc.) on adjoining single-story structures.</p>	
<p><b>Setbacks</b> should maintain the relationship to the street or property line characteristic of the district or block (supplementing the muni code)</p>	<p>The set back of the house would remain unchanged.</p>
<p><b>Rhythm / Pedestrian experience:</b> New buildings should incorporate architectural elements that divide the facade into intervals that maintain a pedestrian friendly scale. Windows and doors should be placed in a manner that is harmonious with the established rhythm of the district or block. (supplementing the muni code)</p>	<p>The house is currently screened from the street and sidewalk by a 6' wood plank fence. The pedestrian experience of this property would change in that the existing plank fence would be replaced with a low picket fence. Otherwise, the experience would remain similar with a shed-roofed porch delineating the first and second stories. The garage would be partially screened by a landscaped arbor.</p>
<p><b>Architectural Considerations</b></p>	
<p>support the distinctive architectural characteristics of development in the surrounding neighborhood, including building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style</p>	<p>The proposed addition reiterates design elements of the existing house in terms of materials, decoration, scale, etc., which is consistent with the surrounding single-family dwellings.</p>
<p>incorporation of <b>balconies and porches</b> is encouraged for both practical and aesthetic reasons. These elements should be integrated to break up large front facades and add human scale to the structures.</p>	<p>The original porch would be retained and extended across the length of the new addition.</p>
<p><b>contemporary</b> architectural treatments proposed for new residences should complement and not detract from the qualities of the historic overlay district and the neighborhood setting of the proposed development.</p>	<p>The new addition would incorporate materials and details similar to the original block of the house, though easily distinguishable. The siding, for example, would be wood, shiplap siding that would align with the cove-lap siding on the older block of the house.</p>
<p>should incorporate an appropriate mixture of the predominant materials in the surrounding neighborhood</p>	<p>The materials are consistent with the surrounding neighborhood, which is a mix of adobe and wood siding.</p>
<p>Materials should be used in a manner that creates details, incorporates textures or small-scale elements that give buildings a three-dimensional character and a "human scale" especially at the ground level. (supplement to muni code)</p>	<p>The continuation of the horizontal wood siding would provide texture and "human scale" to the single-family residence.</p>
<p>Color schemes for infill structures should consider the color schemes of</p>	<p>The muted pastels are consistent with the surrounding neighborhood.</p>

existing structures in the surrounding neighborhood in order to maintain compatibility and harmony	
<b>Accessory Structures</b>	
New accessory structures (e.g., garages, second units, sheds, etc.) that are visible from the public right-of-way should incorporate the distinctive architectural features (e.g., color, materials, roof pitch and style, etc.) of the main structure.	The accessory structure would not be visible from the public right-of-way.
Design features should be applied with less detail on the accessory structure so that it does not compete with the main structure and is clearly subordinate to it.	The proposed unit would reiterate the basic design elements of the original house and its new addition in terms of materials and design. Its position at the rear of the lot and its reduced scale would make it clearly subordinate to the main house.

### Conclusion

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district.

Numerous building campaigns have eroded away the historic integrity of this house:

- 1918: Queen Anne façade applied, roof redesigned and raised ½ storey, wing removed, rear porch added
- 1982: rear porch (1918) partially infilled, wing added off of SW corner
- 1991: bathroom wing on west
- 2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

However, the façade of this building (even with its false historicism) and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district.

The proposed project includes replacing the addition on the east side with a larger addition that extends towards the rear of the lot, removing the garage/guest house, raising the roof 18", and configuring the rear of the building.

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation", the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.

- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

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- Sonoma Index-Tribune.
- Sonoma Valley Historical Society. Saga of Sonoma IN the Valley of the Moon. Sonoma, CA: Sonoma Valley Historical Society.
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- Thompson, Thomas H., New Historical Atlas of Sonoma County. Oakland, California: Thos. H. Thompson & Co., 1877 (reprinted by Sonoma County Historical Society, 2003).

### Online resources:

[www.accessible.com](http://www.accessible.com)  
[www.ancestry.com](http://www.ancestry.com)

[hld.huntington.org/cdm/](http://hld.huntington.org/cdm/)  
[www.loc.gov](http://www.loc.gov)

[www.calisphere.universityofcalifornia.edu](http://www.calisphere.universityofcalifornia.edu)



[www.archives.com](http://www.archives.com)  
[www.archives.org](http://www.archives.org)

[www.cdnc.ucr.edu](http://www.cdnc.ucr.edu)  
[www.genealogybank.com](http://www.genealogybank.com)



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Figure 1: Front (north) facade..



Figure 2: Front (north) facade. Dormer.



Figure 3: Front (north) facade. Front Door.



Figure 4: Front (north) facade. Porch post.



Figure 5: Front (north) facade. Bathroom addition.



Figure 6: Front (north) elevation. Bay window.



Figure 7: East (side) elevation.



Figure 8: East (side) facade. Rear of building.



Figure 9: East (side) elevation. Cove lap siding.



Figure 10: East (side) gable end. Ventilation opening.



Figure 11: East (side) elevation. SE corner.



Figure 12: East (side) elevation. Windows in gable.



Figure 13: East (side) elevation. Eaves at NE corner.



Figure 14: East (side) elevation. Bedroom bay window.



Figure 15: South (rear) elevation.



Figure 16: South (rear) elevation. Back door and dormers.

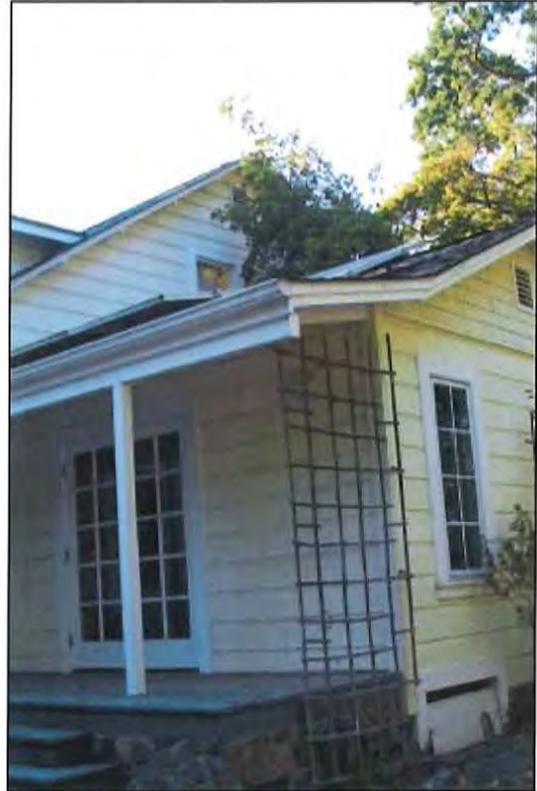


Figure 17: South (rear) elevation. SE corner.

Figure 18: South (rear) elevation. Back door and modern dormers.



Figure 19: South (rear) elevation. Back porch and kitchen wing.



Figure 20: Back porch looking at east side of kitchen addition. Figure 21: South (rear) elevation. Kitchen wing.



Figure 22: Neighbor to west (obscured behind landscaping).



Figure 23: West (side) elevation. Windows in gable.



Figure 24: West (side) elevation. Seam of infilled porch.



Figure 25: West (side) elevation. Building seam.



Figure 26: West (side) elevation. Evidence of older window.

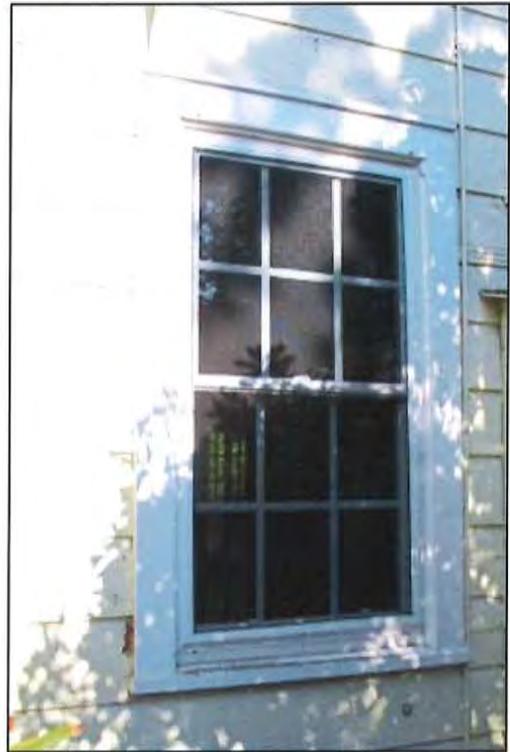


Figure 27: West (side) elevation. New window.



Figure 28: West (side) elevation. Gable.



Figure 29: (West (side) elevation. Bathroom addition (1991).



Figure 30: West wall viewed from inside. Showing braced frame construction, replacement windows cutting joists (right), and fireplace cut into wall.

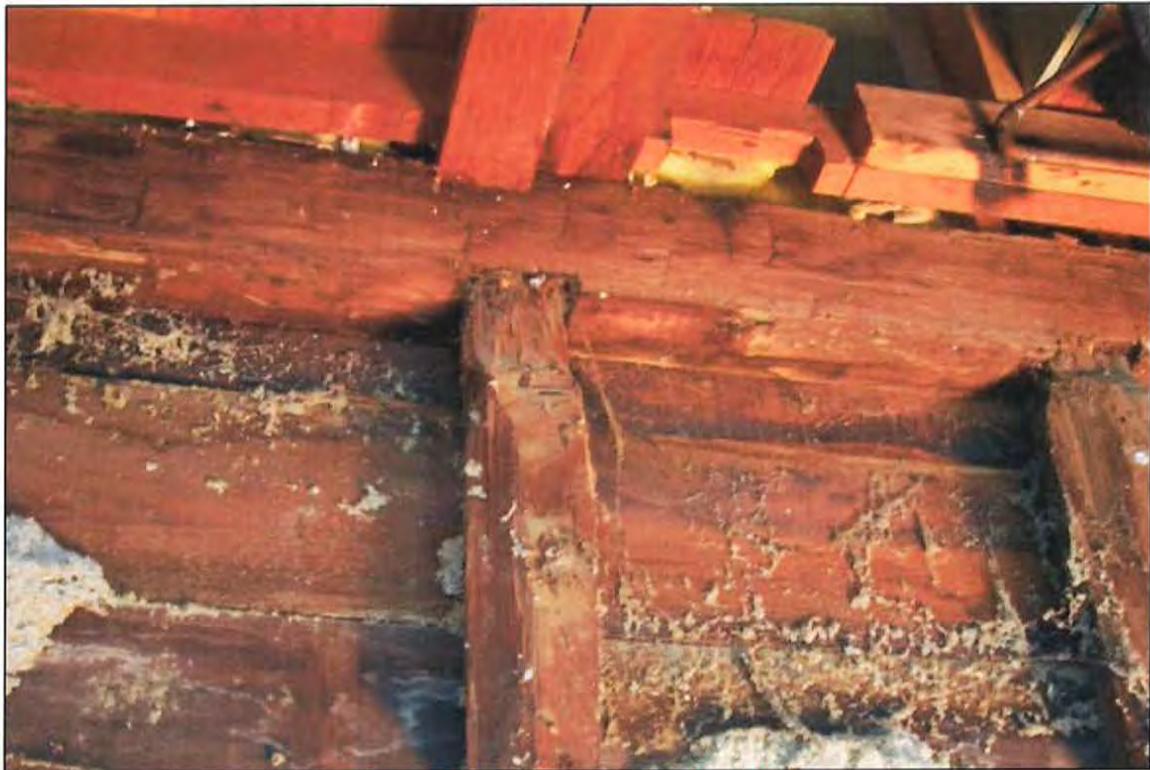


Figure 31: Hand hewn joists, dovetailed.



Figure 32: South wall, original back door.

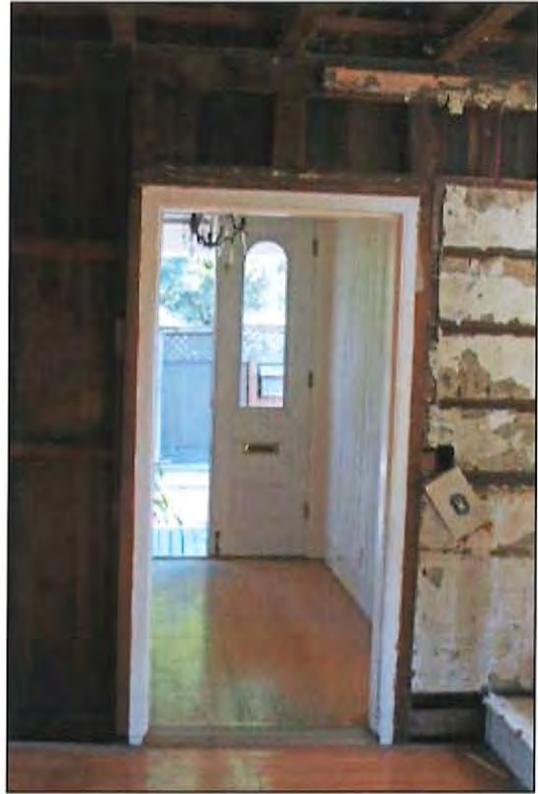


Figure 33: North wall. Original front door.



Figure 34: Stairs.



Figure 35: Garage (north side).



Figure 36: Greenhouse behind garage/guest house.



Figure 37: Garage/Guest House. West side.



Figure 38: Pool.



Figure 39: View of house from Spain Street.



Figure 40: View of house from Spain Street.



Figure 41: 245 E. Spain St. ("Dr. Taylor House, ca 1852-1857).



Figure 42: Existing driveway to 227 East Spain Street.



Figure 43: 205 East Spain Street (Ray-Adler Adobe, ca. 1848)



Figure 44: Fence separating 205 and 227 East Spain Street.



Figure 45: 220 East Spain Street (Adler House, ca 1911)



Figure 46: 256 East Spain Street (Castagnasso House, ca 1848 and 1871)



Figure 47: Looking east down Spain Street.



Figure 48: Looking west down Spain Street.

**Appendix B: 1978 League Survey Form for  
227 East Spain Street<sup>28</sup>**

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<sup>28</sup> Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

State (use only) \_\_\_\_\_ Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR 4 SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Elev \_\_\_\_\_ Sq \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Car \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

1. Common name: Fowler Residence
  2. Historic name, if known: Gaese Residence
  3. Street or rural address: 227 E. Spain St.
  4. Present owner, if known: Hazel Fowler Address: c/o Shea 1212 Market St.  
 City: Sonoma ZIP: 95476 County: Sonoma  
 City: San Francisco ZIP: 94102 Ownership is: Public  Private
  5. Present Use: Residence Original Use: Residence
- Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Located on the south side of E. Spain Street, east of Second St. East, this small unique two-story gabled roof residence features a shed roof covered porch with two square wood posts, the original wood paneled front door with one light, a broad bay with overhanging gabled roof projecting out on the west corner. At the second story is a gabled roof dormer with 3 vertical windows of 5 lights each. Under the gables are tear-drop shingles. The exterior finish is ship lap siding. The back has a salt box type roof line.

Included on the side at the property line to the east is a very large oak tree.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



*See City Map Area 10*

UTM (SONOMA QUAD)  
 10/549,300/4,238,740  
 10/548,280/4,238,400  
 10/548,210/4,238,070  
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 81  
 Depth 151  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

- a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other

12. Threats to site:

- a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other

13. Date(s) of enclosed photograph(s): Nov. 1978

NOTE: The following (items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1860 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): Robert Hopkins, member of Town Council in 1857
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known)

The original owner is believed to have been Andrew Gaese. The Fowler Family has owned it prior to 1949. It has been a rental.

This unique residence, situated in a neighborhood of historic homes is unaltered\* and the only example of its style in Sonoma. The house, located on a large lot, is between an adobe dating back to 1848 and a wood home dating back to 1850's. The house is compatible with the surrounding historic residential neighborhood and if restored as a single family residence would be an asset to the street.

*It was greatly altered at the turn of the century*

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion

22. Sources: List  
Laure  
Reube

23. Date form prepared: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_



ZIP: 95476  
Historic Preservation

**Appendix C: Sonoma Plaza National Register  
of Historic Places (NRHP) Registration form**<sup>29</sup>

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<sup>29</sup> Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



NPS Form 10-900-a  
OMB Approval No. 1024-0018

Page 13

United States Department of the Interior

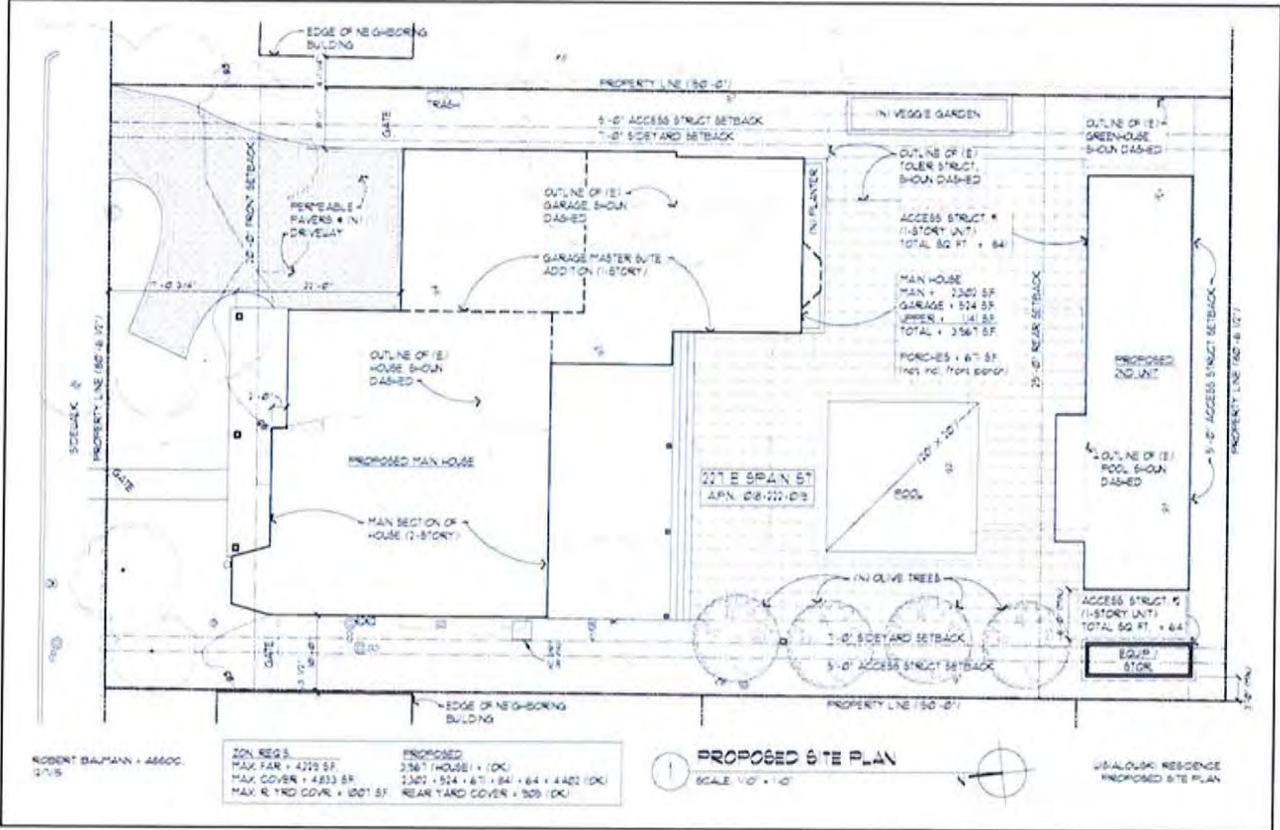
NATIONAL REGISTER OF HISTORIC PLACES  
REGISTRATION FORM: CONTINUATION SHEET

Section No. 7 Description: Sonoma Plaza Boundary Increase

sidewalk and front lawn is a low rock-faced random laid stone retaining wall. This locally quarried stone is the same used for other stone buildings, trim, and sidewalks in other parts of the district.

53. 220 East Spain Street. At the rear of the lot, towards the northeast, is a large one-story garage with detailing matching the main house, including narrow wood siding, large shaped open brackets and original wood doors.
54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.
55. 245 East Spain Street, the Cooke House, was built circa 1852-57. It is a one-story frame house with a gable roof with a break that extends to form a porch over the 5-light wood casement windows on the north elevation. It was enlarged in the 1940s during the period of significance.
56. 256 East Spain Street, the Castagnasso House, is a vernacular style frame house. The first floor was built in 1849; a second story was added in 1878. The entry door has a glazed transom and sidelights. The building was first moved in 1856 and then again to its present site in 1902.

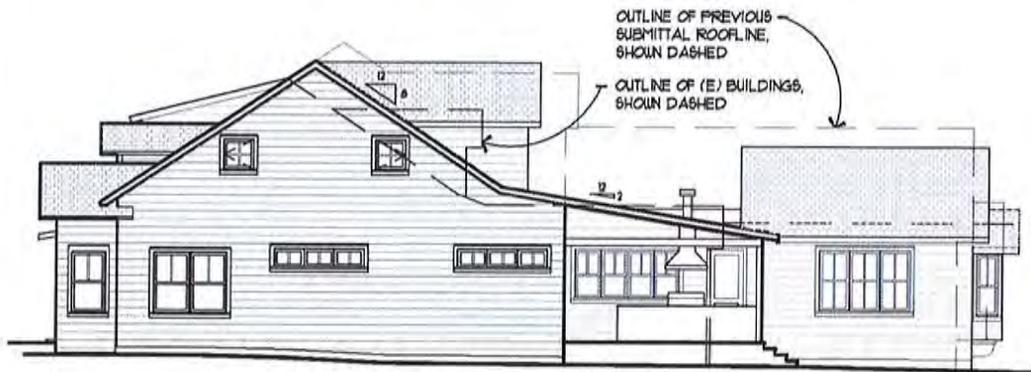
**Appendix D: Plan**  
 (\*\* not to scale)



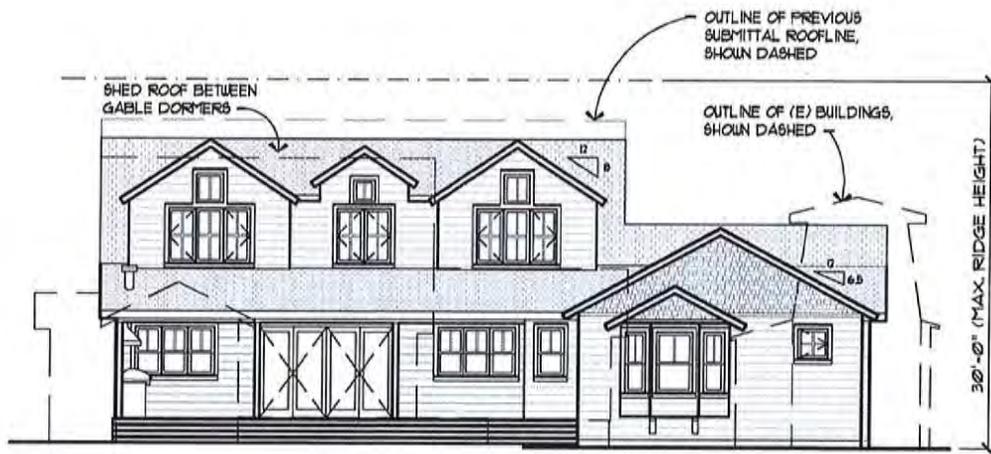
**Appendix E: Existing Elevations**  
(\* not to scale)







**B** (PROP.) WEST ELEVATION  
SCALE: 3/32"=1'-0"

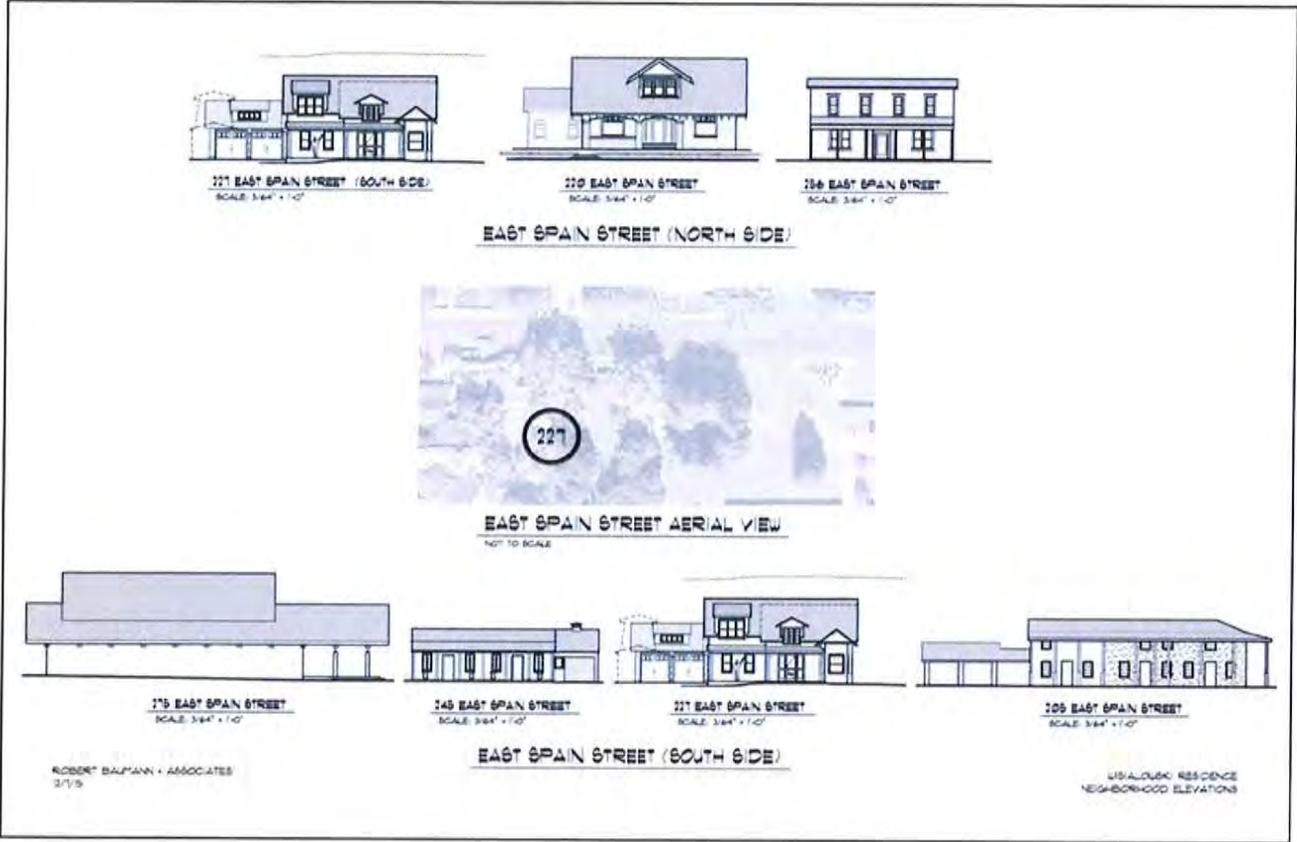


**A** (PROP.) SOUTH ELEVATION  
SCALE: 3/32"=1'-0"

ROBERT BAUMANN + ASSOC.  
12/3/15

WISIALOWSKI RESIDENCE  
PROPOSED EXTERIOR ELEVATIONS

**Appendix G: Neighborhood Elevations**  
(\* not to scale)





**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda** 2  
**Item:**

**Meeting Date:** 12/15/15

---

**Applicant**

Thomsen Properties

**Project Location**

19275 Sonoma Highway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built:

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**Request**

Consideration of a new monument sign for a mobile home park (Sonoma Oaks) located at 19275 Sonoma Highway.

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**Summary**

*Monument Sign:* The applicant is proposing a new freestanding sign that would provide identification for the Sonoma Oaks mobile home park (previously Rando de Sonoma). The proposed monument sign is two-sided, with an area of  $\pm 29.75$  square feet in area per side (3.5 feet tall by 8.5 feet wide). The sign would have a maximum height of 6 feet, and would be located in an existing driveway island approximately 7 feet behind the Sonoma Highway roadway. The sign would consist of a metal and wood background with studded logos letters. The sign frame would consist of heavy wood beams and posts, decorative iron support hardware, mounted on in-ground masonry columns. Copy on the sign would consist of black and white lettering with a grey background. Illumination is proposed in the form of two external decorative light fixtures B-K lighting Star Sign Style E. As of the date of the staff report manufacturer specification sheets have not been provided for the light fixtures. Proposed hours of sign illumination are from sundown to 10 p.m.

*Monument Sign Regulations (18.20.120):* Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, and no less than six feet from the nearest roadway or public pedestrian sidewalk or walkway, whichever is closer. Any variance to the provisions of this section shall, in addition to other findings required by SMC 18.40.030, require a finding that the sign will not limit, restrict, impede, or impair sight distance or visibility. The proposal is consistent with this requirement.

*Aggregate Sign Area:* Based on the property's frontage on Sonoma Highway (195 feet), the maximum aggregate sign area allowed for the parcel is 84 square feet. The total aggregate sign area for the property would be  $\pm 44.63$  square feet, including the proposed monument sign (44.63 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is consistent with this requirement.

*Size Limitations:* No sign shall exceed 48 square feet in total area (§18.16.022). The proposal is consistent with this requirement in the freestanding sign would have an area of 29.75 square feet per side.

*Number of Signs:* Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal is consistent with these requirements in that the freestanding sign is the only sign for the property.

*Basic Findings:* In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;

2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

**Other permits required:** In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

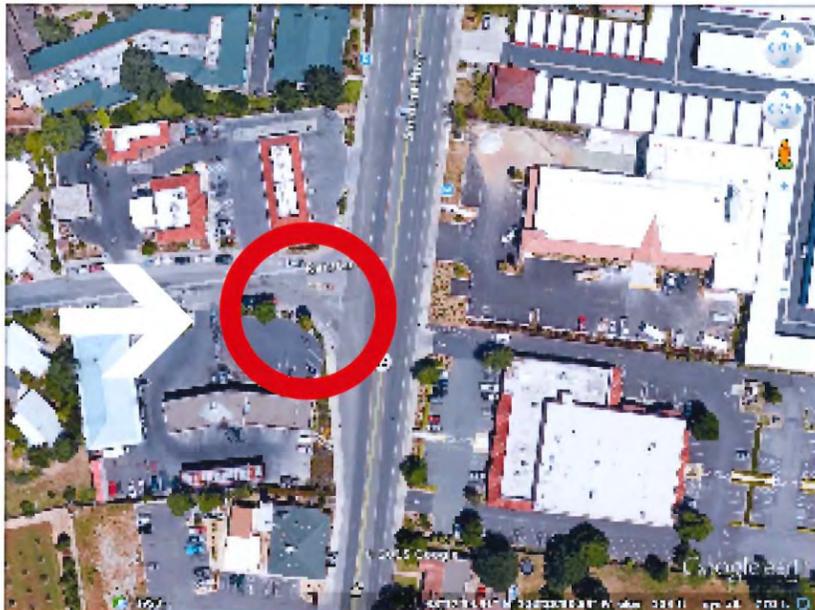
##### 1. Sign drawings

cc: Thomsen Properties  
301 E. 17<sup>th</sup> Street, Suite 208  
Costa Mesa, CA 92627

Robert Sanders & Company  
P.O. Box 1356  
Sonoma, CA 95476

## Location/Site Map

1. Existing and proposed double-sided sign located in planter area

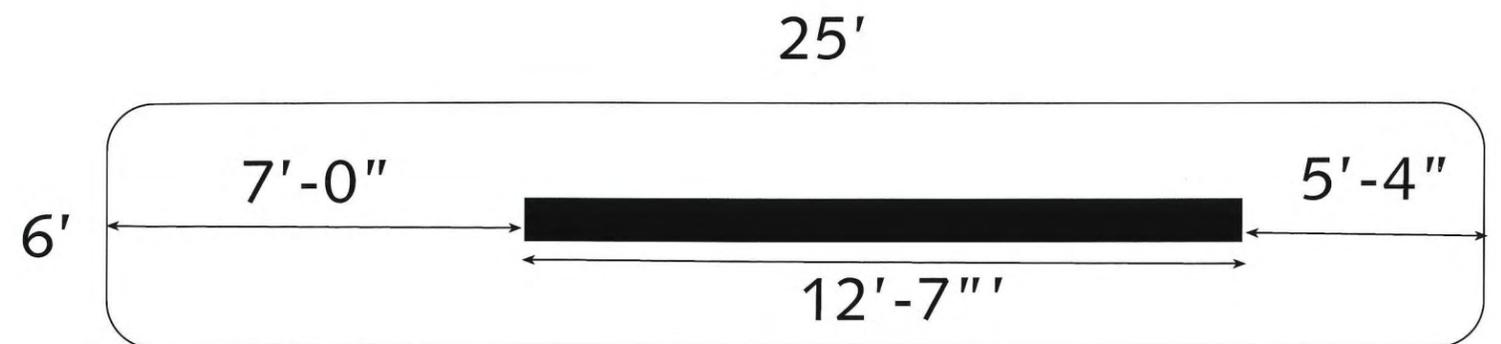


## Existing Information



Existing wood double-faced sign mounted in landscape area 6' x 25', set back 5'-4" to be removed.

Sign area 33" x 12' = 33 sq. ft.



# Proposed Sign



Sign Area  
 3'-6" x 8'-6" = 29.75 sq. ft.  
 Letter height :12"/8"/3"

New double-sided freestanding sign made of heavy wood beams and posts, decorative iron support hardware, mounted on in ground masonry columns, metal /wood background sign structure with studded logos, letters. Address no.s(aluminum 1/2" thick cream) on top beam. Externally illuminated sign- with hooded old style lighting fixtures mounted to top of sign, on timer shuts off at 10 pm.

### Sign Star Style E Incandescent (A19)

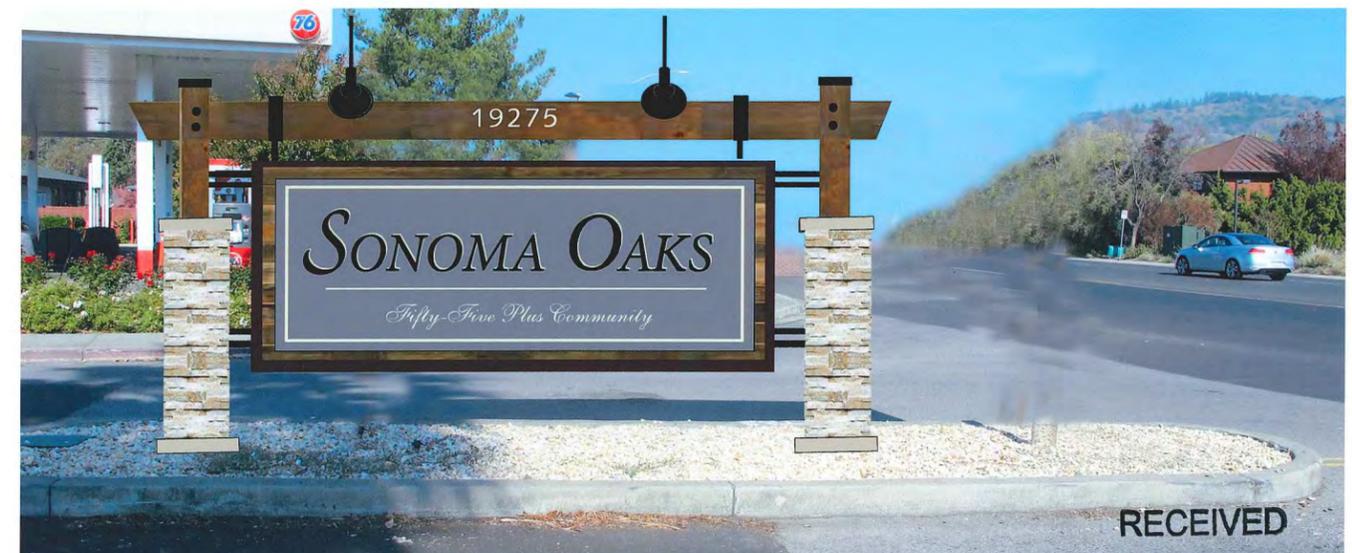
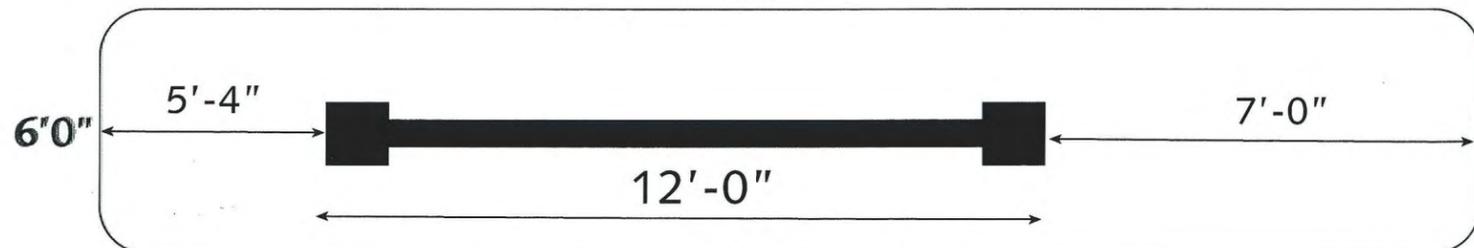


External decorative light fixture B-K lighting  
 Star Sign Style E in black.

The Sign Star Style 'e' provides a 45degree RLM reflector for excellent performance with the 'A' lamp. Angle reflector-style fixture design,. Sign Star Style 'e' is ideal for lighting signs or canopy. Operates on 120 volts; no transformer. LAMP: ONE 75-WATT INSIDE FROSTED A-19 INCANDESCENT, VERTICAL BASE-UP POSITION. 1200 LUMENS PER LAMP

New Sign location in planter with 7'-0" setback

25'-0"



RECEIVED

DEC 08 2015

CITY OF SONOMA



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda Item: 3**

**Meeting Date: 12/15/15**

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**Applicant**

Lucy Moreno

**Project Location**

545 West Napa Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: 1932
- 

**Request**

Consideration of a new monument sign and a window sign for a mixed use building located at 545 West Napa Street.

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**Summary**

*Monument Sign:* A monument sign is proposed, which would provide identification for the Spiritualist. The proposed monument sign is two-sided, with an area of  $\pm 24.15$  square feet in area per side (5 feet tall by 4 feet 10 inches wide). The sign would have a maximum height of 7 feet, and would be located perpendicular to the street approximately 8 feet behind the sidewalk (on the east side of the property). The sign would consist of a 1/8 inch thick composite aluminum panel with a wooden frame. Copy on the sign would consist of green and white lettering, on a green background. Illumination is not proposed.

*Monument Sign Regulations (18.20.120):* Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, and no less than six feet from the nearest roadway or public pedestrian sidewalk or walkway, whichever is closer. Any variance to the provisions of this section shall, in addition to other findings required by SMC 18.40.030, require a finding that the sign will not limit, restrict, impede, or impair sight distance or visibility. The proposal is consistent with this requirement.

*Window Signs:* One window sign is proposed on the window facing West Napa Street. The sign is 39 square feet in area (6 feet tall by 6.5 feet wide). The sign would consist of gold lettering.

*Window Sign Regulations (§18.20.200):* Permanent or temporary window signs shall not cover more than 20 percent of the aggregate area of each window facing a public right-of-way. Permanent window signs (except as specified in SMC 18.12.020(A)(7)) shall require review by the DRHPC, and shall be included in the total aggregate sign area allowable for the site. The proposal is not consistent with this requirement in that the window sign would cover 100 percent of the aggregate area of the window, as the window is 6 feet tall by 6.5 feet wide. The applicant is requesting a variance from this requirement.

*Aggregate Sign Area:* Based on the property's frontage on West Napa Street (50 feet), the maximum aggregate sign area allowed for the parcel is 26 square feet. The total aggregate sign area for the property would be  $\pm 75.23$  square feet, including the proposed window sign (39 square feet) and monument sign (36.23 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this requirement.

*Size Limitations:* No sign shall exceed 48 square feet in total area (§18.16.022). The proposal is consistent with this requirement in the freestanding sign would have an area of 24.16 square feet per side and the window sign would have an area of 39 square feet.

*Number of Signs:* Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for

any one business (§18.16.010). The proposal is consistent with these requirements in that two signs are proposed for the business.

*Basic Findings:* In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

*Variances:* As noted above, the window sign covers more than 20 percent of the aggregate area of the window facing the public right-of-way and the proposal exceeds the aggregate sign area for the property. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.
6. The sign will not limit, restrict, impede, or impair sight distance or visibility.

*Existing Signs:* During a site visit, staff observed a number of illegal signs displayed on and around the property consisting of a wall sign, a banner sign, and two portable freestanding signs. These signs have not been approved and shall be removed.

*Other permits required:* In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## **Commission Discussion**

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**Attachments

1. *Sign drawings*

cc: Lucy Moreno  
545 West Napa Street  
Sonoma, CA 95476

Howard Levin  
3611 Williams Road  
Santa Rosa, CA 95404-1634



*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda Item: 4**

**Meeting Date: 12/15/15**

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**Applicant**

El Dorado Hotel

**Project Location**

405 First Street West

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district
  - Listed on California Register of Historic Resources
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old  
Year built: 1880
- 

**Request**

Consideration of new paint colors for a hotel (El Dorado Hotel).

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**Summary**

**Exterior Colors:** Three options for color schemes (all Benjamin Moore) have been put forward for the DRHPC's consideration (Option A, Option B, and Option C):

- Option 1: PM-8 (charcoal slate) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors.
- Option 2: HC-168 (Chelsea gray) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors.
- Option 3: HC-167 (Amherst gray) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors.

*Note:* The existing sign painted on the building (south of the entrance) is proposed to be painted over with the new exterior paint color.

The applicant has indicated that color samples will be presented at the meeting, brush-outs have been applied to the building (near the back entrance gate to the hotel; enter through the back parking lot and go inside the gate between the first and second doors near the stairs), and a color board will be presented by at the upcoming DRHPC meeting.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review and Historic Preservation Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lisa Sevilla at (707) 933-2205 for information regarding City Encroachment Permits.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

1. *Historic Resources Inventory*
2. *Pictures of current exterior paint colors*
3. *Proposed new exterior Paint colors*

cc: El Dorado Hotel  
405 First Street West  
Sonoma, CA 95476

Moana Enterprises, Inc.  
Attn: Robert Harmon  
625 Redwood Highway Frontage  
Mill Valley, Ca 94941

Moana Restaurant Group  
Attn: Julie Workman  
835 Fifth Avenue  
San Rafael, CA 94901

EDI Associates  
835 Fifth Avenue  
San Rafael, CA 94901-3204

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

HISTORIC RESOURCES INVENTORY

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

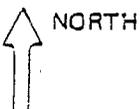
- Common name: El Dorado Hotel
- Historic name, if known: Site of North End of Salvadore Vallejo Home
- Street or rural address 405 1st St. W.  
 City: Sonoma ZIP: 95476 County: Sonoma
- Present owner, if known: Louisa Merlo Address: 405 1st St. W.  
 City: Sonoma ZIP: 95476 Ownership is: Public  Private
- Present Use: \_\_\_\_\_ Original Use: \_\_\_\_\_  
 Other past uses: Boarding School

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Situated on the North West corner of 1st St. West facing the Plaza, the site of this two story plain facade stucco building was originally the Northern end of the Salvadore Vallejo adobe built in 1845. This north end of the adobe in 1849 became the El Dorado Hotel. The wooden second floor and upstairs balcony was added in 1858. It repeated the gabled roof of the south end of the structure which is still existing. Behind the tiled roof stucco front section is a long two story wing with brick foundation, large glass windows, an overhanging roof forming an open balcony with stick style posts and wood railing. The north end was destroyed in 1906 earthquake, and has been completely rebuilt.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map - Area 10

UTM (SONOMA QUAD)  
 10/549,300/4,238,740  
 10/548,280/4,238,400  
 10/548,210/4,238,070  
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 84 1st St. W.  
 Depth 210 W. Spain  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

- a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other

12. Threats to site:

- a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other

13. Date(s) of enclosed photograph(s): Jan. 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction @1906. This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): \_\_\_\_\_
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

On this site formerly stood the one story, adobe El Dorado Hotel run by Pearce and Randolph. Second <sup>frame</sup> story later added <sup>1896-97</sup> was occupied by Cumberland Presbyterian College 1858-64. Building was purchased by the Cumberland Presbyterian Church which opened the Cumberland College here in 1858 where leading families of the Valley and Northern California sent their children. Presbyterian Church services were held on Sundays (Smilie). The site is important having originally been the location of the north end of the Salvadore Vallejo adobe.\* The scale of the present building, although lacking details is in keeping with the remainder adobe structure.

\*It was destroyed in 1906 and was rebuilt as the El Dorado Hotel

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Here Lived the Californians - Oscar Lewis, 1957  
Saga of Sonoma

23. Date form prepared: 12/29/78 By (name): Johanna M. Patri  
Address: 621 Napa Rd. City Sonoma ZIP: 95476  
Phone: 996-6412 Organization: Sonoma League for Historic Preservation

(State Use Only)







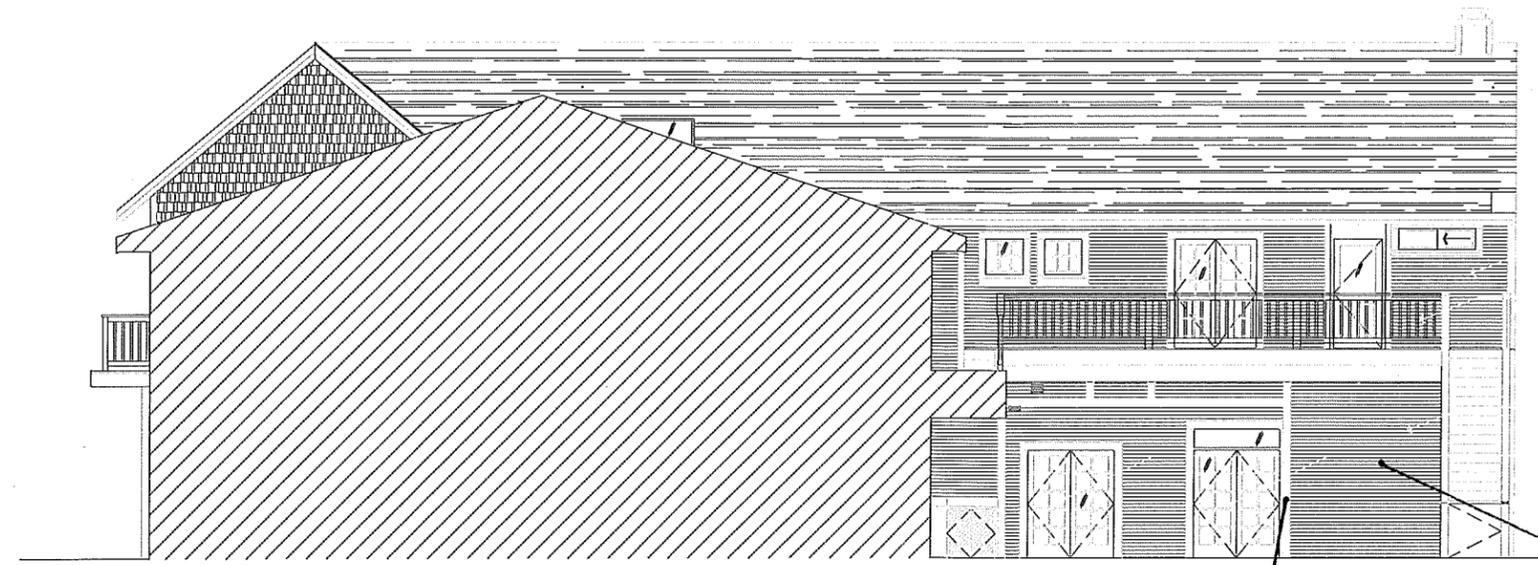
SECOND LEVEL EAST ELEVATION  
 SECOND LEVEL WEST ELEVATION  
 FIRST LEVEL EAST ELEVATION  
 FIRST LEVEL WEST ELEVATION  
 DATUM

2  
A 31

0 5 10  
DATUM

A EXTERIOR PAINT

B  
ALL EXTERIOR  
TRIM PAINT



SECOND LEVEL EAST ELEVATION  
 SECOND LEVEL WEST ELEVATION  
 FIRST LEVEL EAST ELEVATION  
 FIRST LEVEL WEST ELEVATION  
 DATUM

1  
A 31

0 5 10  
DATUM

A EXTERIOR PAINT

B  
ALL EXTERIOR  
TRIM PAINT

1st  
2nd  
11.000  
12.000  
13.000  
14.000

EXTERIOR  
BUILDING ELEV  
(COURTYARD)

1/4" = 1'-0"

A3.1

  
**EL DORADO**  
SONOMA

PROPOSED NEW EXTERIOR  
PAINT COLORS



A – EXTERIOR  
PAINT



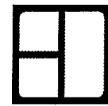
B – EXTERIOR  
TRIM PAINT



EXTERIOR  
ENTRANCE DOORS' PAINT



RECEIVED  
DEC 02 2015  
CITY OF SONOMA



**EL DORADO**

SONOMA

NOV 17 2015



# EL DORADO

SONOMA

Date: November 17, 2015

Project: El Dorado Hotel

405 First Street West

Sonoma, CA 95476

Owner: Moana Enterprises Inc.

625 Redwood Highway Frontage

Mill Valley, CA 94941



EL DORADO

SONOMA

CURRENT EXTERIOR PAINT COLORS

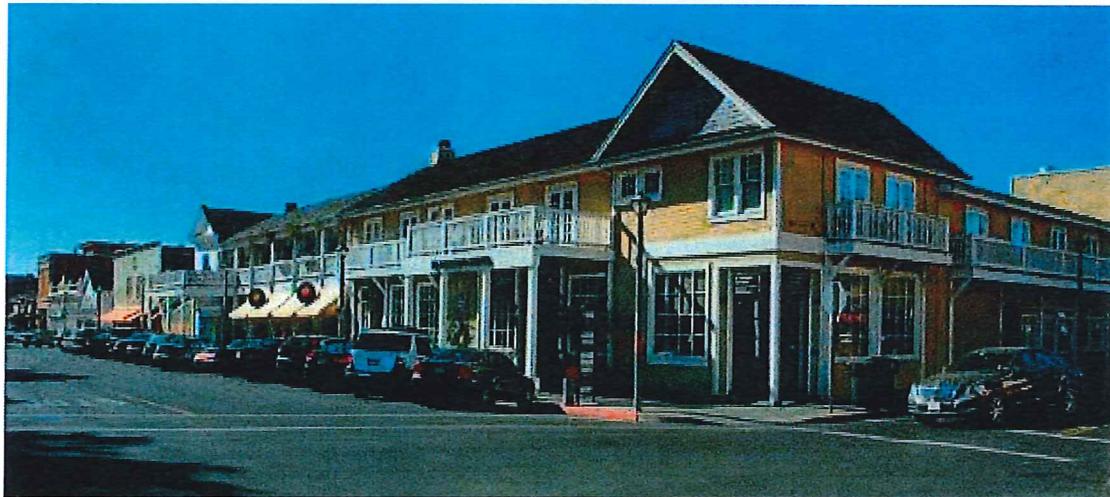
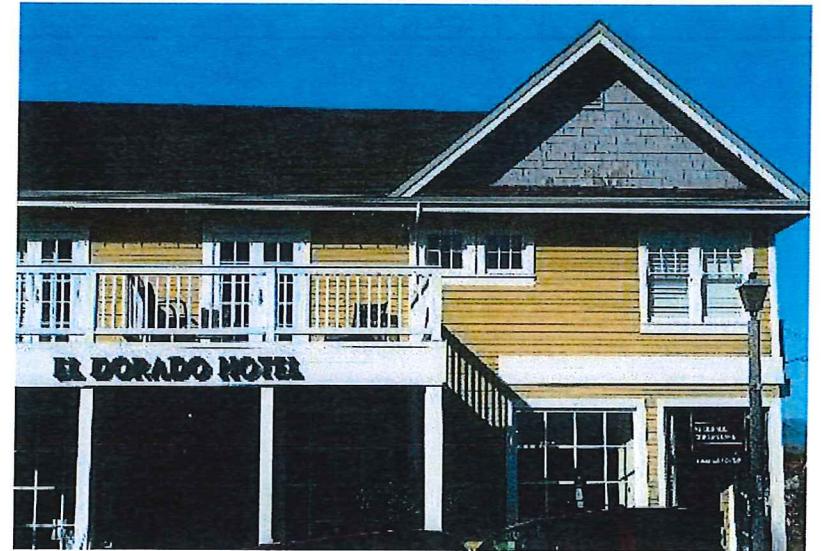
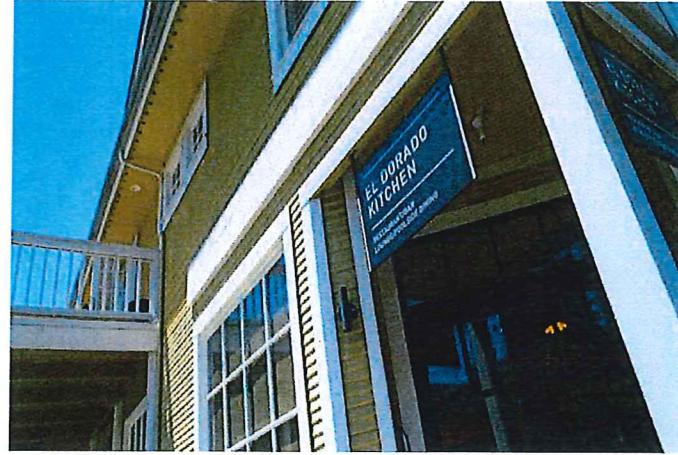




# EL DORADO

SONOMA

## CURRENT EXTERIOR PAINT COLORS



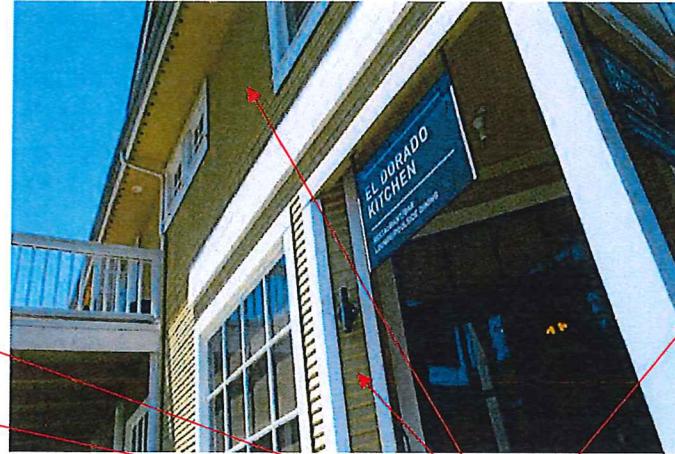


# EL DORADO

SONOMA

## EXTERIOR PAINT COLORS

Exterior Painting of  
Entire Building & Trim





# EL DORADO

SONOMA

## PROPOSED NEW EXTERIOR PAINT COLORS



A – EXTERIOR  
PAINT



B – EXTERIOR  
TRIM PAINT



EXTERIOR  
ENTRANCE DOORS' PAINT

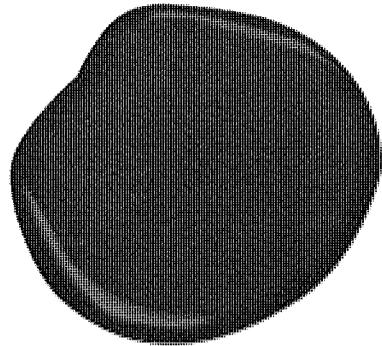




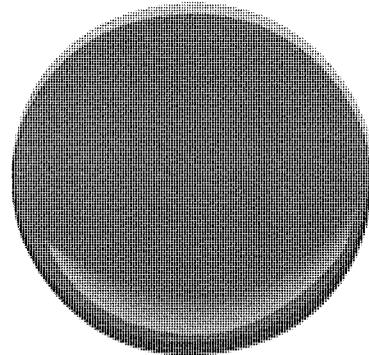
# EL DORADO

SONOMA

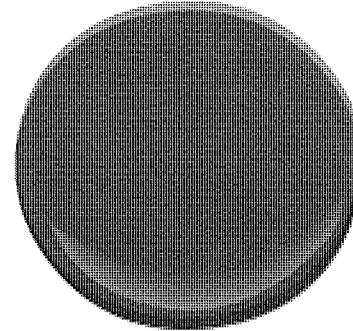
## PROPOSED NEW EXTERIOR PAINT COLORS



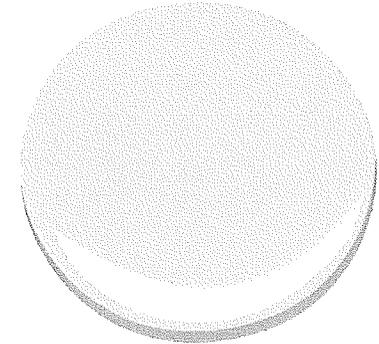
**A - EXTERIOR – OPTION '1'**  
BENJAMIN MOORE  
PM-8 CHARCOAL SLATE



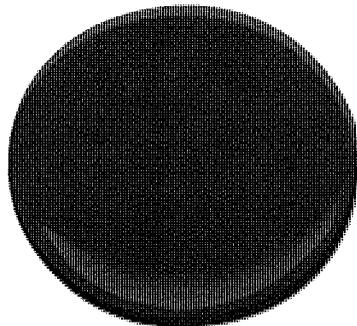
**A - EXTERIOR – OPTION '2'**  
BENJAMIN MOORE  
HC-168 CHELSEA GRAY



**A - EXTERIOR – OPTION '3'**  
BENJAMIN MOORE  
HC-167 AMHERST GRAY



**B - EXTERIOR TRIM:**  
BENJAMIN MOORE  
OC-31 FOG MIST



**EXTERIOR – ENTRANCE DOORS**  
BENJAMIN MOORE  
1617 CHEATING HEART



# EL DORADO

SONOMA

## PROPOSED NEW EXTERIOR PAINT COLORS



**A - EXTERIOR – OPTION '1'**  
BENJAMIN MOORE  
PM-8 CHARCOAL SLATE



**A - EXTERIOR – OPTION '2'**  
BENJAMIN MOORE  
HC-168 CHELSEA GRAY



**A - EXTERIOR – OPTION '3'**  
BENJAMIN MOORE  
HC-167 AMHERST GRAY



**B - EXTERIOR TRIM:**  
BENJAMIN MOORE  
OC-31 FOG MIST



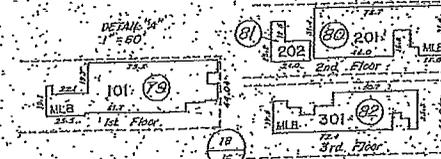
**EXTERIOR – ENTRANCE DOORS**  
BENJAMIN MOORE  
1617 CHEATING HEART

COUNTY ASSESSOR'S PARCEL MAP

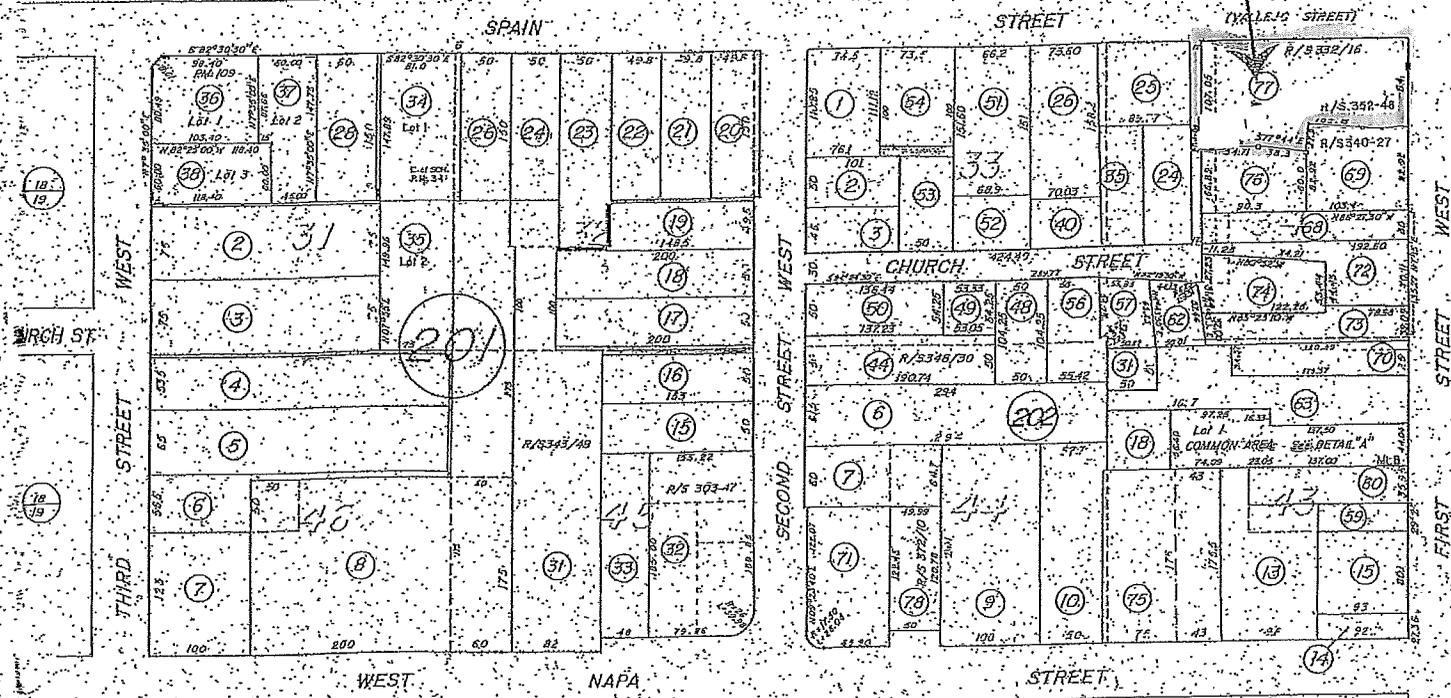
TAX CODE AREA 18-20  
6-012

City of Sonoma  
Parcel Map 34  
SE 343 Pgs 26, 27  
Rec. 08/26/83

Sonoma Parcel Map No. 109  
Bk. 560, Pgs. 12, 13, 26a, 12-27-86



MASONIC LODGE BUILDING  
A Commercial Condominium  
REC. 12-3-86 IN BK. 556 MAPS, PGS. 34-35  
O.R. 96-107622, REC. 12-3-86

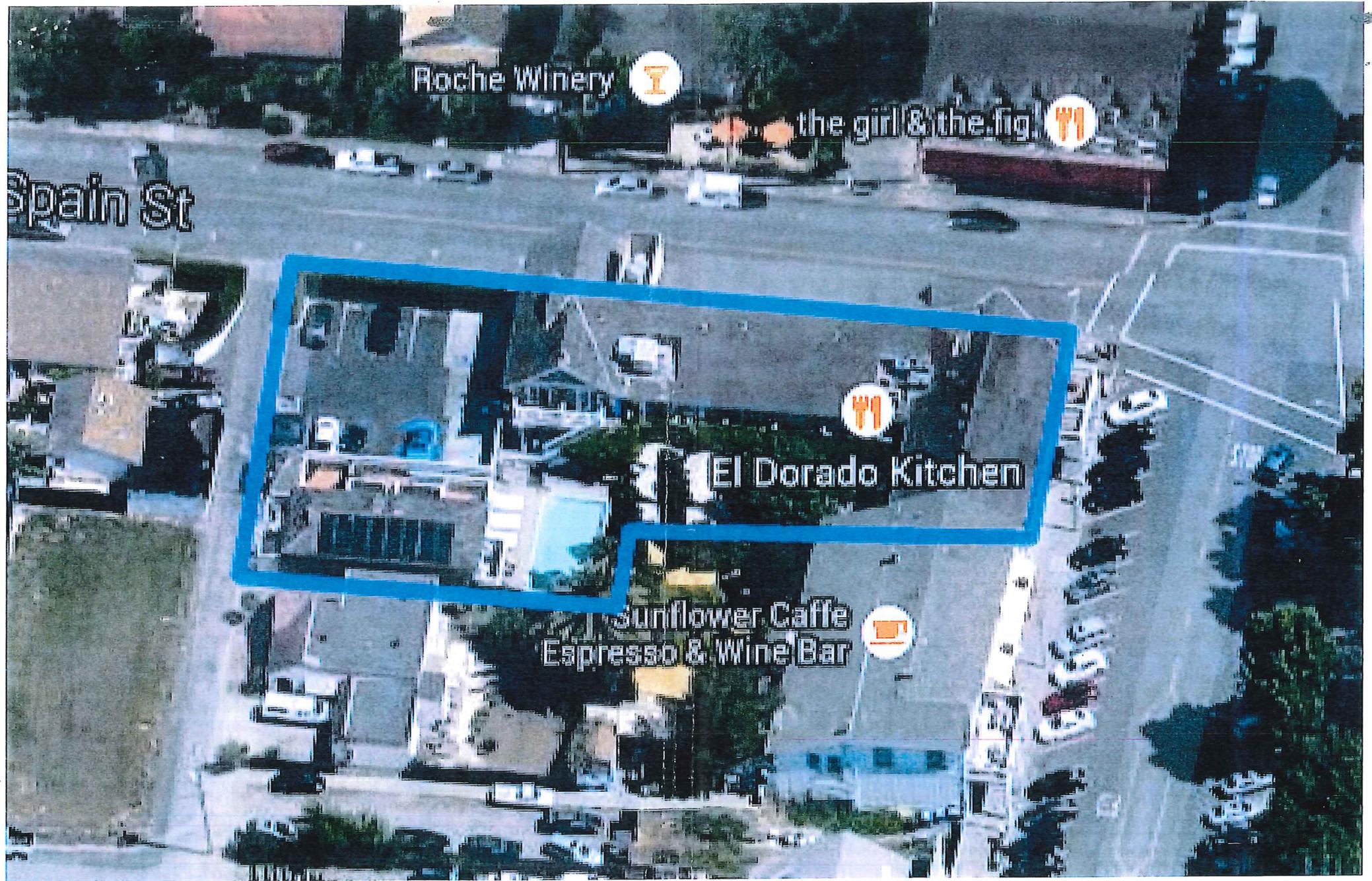


- REVIS
- 7-28-86
  - 2-10-86
  - 2-11-86
  - 7-14-86
  - 11-15-86
  - 11-17-86
  - 9-5-86
  - 1-22-86
  - 1-29-86

This is a sketch and neither a survey nor necessarily a true representation of the land described in the attached policy, preliminary report or other evidence of title. It is compiled by NEW CENTURY-TITLE CO. for general information only and said company hereby expressly disclaims any warranty or liability with respect thereto.

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA DELINEATED HEREON.

Assessor's Map Bk. 18 Pg 20  
Sonoma County, Calif.



Roche Winery



the girl & the fig



Spain St



El Dorado Kitchen

Sunflower Caffe  
Espresso & Wine Bar



December 15, 2015  
Agenda Item #5

**M E M O**

**To:** Design Review and Historic Preservation Commission  
**From:** Associate Planner Atkins  
**Subject:** Commercial Sign Regulations

**Background**

At the November 17, 2015, DRHPC meeting, a commissioner expressed concerns with the proliferation of permanent commercial real estate signs located on buildings in the City of Sonoma. The concern was related to signs advertising available commercial space that are maintained indefinitely, whether or not the available space is ultimately filled. The intent of section 18.20.155.G Renewal is to have a time limit on the display of all real estate signs. The following is the language as currently codified:

Renewal. Real estate signs (five or more units) may be displayed for up to 18 months as provided under SMC 18.12.090. After 18 months, DRHPC review is required and a sign permit application shall be submitted consistent with SMC 18.12.010. If the DRHPC determines that the sign has been maintained in a state of good repair and finish, then the DRHPC may allow the display of the sign to continue for a reasonable period of time as determined by the DRHPC

Staff recommends removing the statement in the parentheses (five or more units), which would apply the renewal requirements to all real estate signs.

Attachments:

1. Draft Correction to Real Estate Sign Commercial Sign Regulations

cc: Commercial Sign Interest List

18.20.155 Real estate signs.

A. Intent. Real estate signs for the purpose of advertising a property is for sale or lease shall be permitted provided such signs conform to the requirements of this section and are limited in duration to the time period established under SMC 18.12.090 or as may be extended under this section.

B. Real estate signs (commercial, corporate) shall conform to the following requirements:

1. Number, Display. One sign advertising that a property is for sale, lease or exchange is permitted on each building frontage to be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. Size. Real estate signs may be two-sided and shall be no larger than eight square feet per side. Real estate signs for large properties (over 25,000 square feet of building area) may be two-sided and shall be no larger than 32 square feet per side.

C. Real estate signs (commercial, noncorporate) shall require review by the DRHPC. Real estate signs shall be compatible with the architecture of the building they advertise. Generic design, prefabricated signs, and the use of plastic materials are discouraged.

D. Real estate signs (residential, one to four units) shall conform to the following requirements:

1. Number, Display. One real estate sign advertising that a property is for sale, lease or exchange may be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. Size. Real estate signs may be two-sided and shall be no larger than eight square feet per side (not including riders and toppers).

3. Freestanding Real Estate Signs. The sign shall be attached to a post (or posts), no larger than four inches square, driven into the ground so that the top of the sign shall not be over six feet above the ground surface. There are two types of additional signs that may be placed on a real estate sign: a rider and a topper. A maximum number of two riders may be placed on the freestanding sign. One topper sign shall be allowed. There are two sizes of allowable rider signs: standard (24 inches by 18 inches); and premium (24 inches by 30 inches). One type of topper is allowed: 24 inches by six inches.

4. Additional freestanding real estate riders or toppers may be allowed subject to the discretion of the planning director or his or her designee.

E. Temporary/Portable Open House Signs. A maximum of two temporary "Open House" signs shall be allowed for any property, with their display limited to the hours that the property is available for viewing. The size of each "Open House" sign shall be limited to 24 inches wide by 18 inches in height.

F. Real estate sign (five or more units) shall conform to the following requirements:

1. Number, Display. A maximum of one real estate sign advertising that properties are for sale, lease or exchange may be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. The real estate sign may be two-sided and shall be no larger than 32 square feet per side.

G. Renewal. Real estate signs (~~five or more units~~) may be displayed for up to 18 months as provided under SMC 18.12.090. After 18 months, DRHPC review is required and a sign permit application shall be submitted consistent with SMC 18.12.010. If the DRHPC determines that the sign has been maintained in a state of good repair and finish, then the DRHPC may allow the display of the sign to continue for a reasonable period of time as determined by the DRHPC.

H. Vacant Lots. Freestanding signs shall be set back at least 10 feet from the property line. Signs may be two-sided and shall be no larger than eight square feet per side. On parcels in excess of one acre, a 16-square-foot real estate sign shall be permitted. The sign shall be attached to a post driven into the ground so that the top of the sign shall not be over six feet above the surface of the ground. (Ord. 01-2015 § 1, 2015; Ord. 06-2013 § 3, 2013; Ord. 03-2011 § 1, 2011; Ord. 2000-9 § 1, 2000. Formerly 18.20.025).