



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Meeting of April 21, 2015 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Kelso Barnett, Chair

Commissioners: Tom Anderson
Christopher Johnson
Micaelia Randolph
Leslie Tippell

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of October 21, 2014 and December 16, 2014.

CORRESPONDENCE

ITEM #1 – Discussion Item

ISSUE:

Consideration of a new Street Name Signage Replacement program.

Staff: Dan Takasugi

RECOMMENDED ACTION:

Forward to City Council, with recommendations.

CEQA Status:

Categorically Exempt

ITEM #2 – Landscape Review

REQUEST:

Consideration of a landscape plan for an 8-unit condominium development (Giannis Condominiums).

Applicant:

Aristotle Giannis

Staff: Wendy Atkins

Project Location:

19323 Sonoma Highway

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:

West Napa/Sonoma Corridor

Base: Commercial (C)

Overlay: None

RECOMMENDED ACTION:

Commission discretion.

CEQA Status:

Categorically Exempt

ITEM #3 –Design and Landscape Review	Project Location: 405 Fifth Street West	<u>RECOMMENDED ACTION:</u> Commission discretion.
<u>REQUEST:</u> Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 7-unit Planned Unit Development (Fifth Street West Homes).	<u>General Plan Designation:</u> Commercial (C) <u>Zoning:</u> Planning Area: Northwest Area	<u>CEQA Status:</u> Categorically Exempt
<u>Applicant:</u> Altus Equity Group LP	Base: Commercial (C) Overlay: None	
Staff: Wendy Atkins		
ITEM #4 – Discussion Item		<u>RECOMMENDED ACTION:</u>
<u>ISSUE:</u> Review of a draft Request for Proposals for the preparation of design guidelines for the Downtown District.		Forward to City Council, with recommendations.
Staff: David Goodison		

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on April 17, 2015.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
MEETING
October 21, 2014**

Community Meeting Room, 177 First Street West, Sonoma, CA

Draft MINUTES

Chair Randolph called the meeting to order at 6:35 p.m.

Roll Call:

Present:	Comms. Johnson (Alternate), Anderson, Randolph, Chair Randolph
Absent:	Chair Barnett, Comm. McDonald,
Others	Associate Planner Atkins, Administrative Assistant Morris
Present:	

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Tippell made a motion to approve the Minutes of September 23, 2014. Comm. Johnson seconded. The motion was unanimously carried.

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: None

Item #1–Consideration of a new monument sign for a mixed-use building at 746 Broadway.

Applicant: Lori Winter/Robert Sanders

Comm. Anderson recused due to proximity and left the room.

Associate Planner Atkins presented staff's report.

Chair Randolph opened the item to public comment.

Robert Sanders, Robert Sanders & Company, noted that the new double sided sign will more clearly identify the businesses therefore benefiting the tenants.

Chair Randolph closed the item to public comment.

Comms. Tippell, Johnson and Chair Randolph viewed the new sign proposal as an improvement to the existing sign.

Comm. Tippell made a motion to approve the new monument sign as submitted. Comm. Johnson seconded. The motion carried unanimously 3-0. (Comm. Anderson recused and Comm. Barnett and McDonald absent).

Item # 2- Consideration of a new wall sign for a mixed-use building at 19230 Sonoma Highway.

Applicant: Audrey Lee

Continued to the meeting of November 18, 2014 at the request of the applicant.

Item #3- Consideration of architectural review for an apartment building at 885 Broadway.

Applicant: Vic Conforti

Comm. Anderson recused due to proximity.

Associate Planner Atkins presented staff's report.

Chair Randolph opened the item to public comment.

Dave Adams, Victor Conforti Architects, said the owners want to modernize the building by making alterations to the tile roof, windows and patio doors. The proposal included new cloth awnings over the windows and patio doors and new tile for the roof to match the existing tile roof.

Chair Randolph closed the item to public comment.

Comm. Johnson is pleased with the neutral colors chosen and supported the changes.

Comm. Tippell agreed with Comm. Johnson and especially liked the color combination for the door. She appreciated the Spanish element feature of the project.

Chair Randolph is pleased with the parapet addition.

Comm. Tippell made a motion to approve as submitted. Comm. Johnson seconded. The motion carried unanimously 3-0. (Comm. Anderson recused and Comm. Barnett and McDonald absent).

Comm. Anderson returned to the dais.

Item # 4- Consideration of design review for a new single-family residence at 1028 Fifth Street East.

Applicant: Chris Dluzak

Commissioners continued Item #4 to the meeting of November 18, 2014 since the applicant was not in attendance.

Item # 5- Consideration of design review for a new single-family residence at 1036 Fifth Street East.

Applicant: Chris Dluzak

Commissioners continued Item # 5 to the meeting of November 18, 2014 since the applicant was not present.

Comments from the audience: Robert Felder, neighbor, expressed his concern over the delay in constructing the project at 1028-1036 Fifth Street East. He noted that the project narrative indicated that the applicant had spoken with all the neighbors but he was never approached and lives directly across the street. He suggested that the DRHPC Commissioners review the proposal with caution and he appreciated their dedication.

Adjournment: Comm. Tippell made a motion to adjourn the meeting at 7:05 p.m. Comm. Johnson seconded. The motion was unanimously carried. The next regular meeting scheduled is at 6:30 p.m. on Tuesday, November 18, 2014.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of _____, 2014.

Respectfully submitted

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
MEETING
December 16, 2014**

Community Meeting Room, 177 First Street West, Sonoma, CA

Draft MINUTES

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present:	Comms. Johnson (Alternate), Anderson, McDonald, Chair Barnett
Absent:	Comm.Tippell, Comm. Randolph
Others	Associate Planner Atkins, Administrative Assistant Morris
Present:	

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Johnson made a motion to approve the Minutes of September 23, 2014. Comm. Anderson seconded. The motion was unanimously carried. Chair Barnett and Comm. McDonald abstained.

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late Mail for Item # 2 included color samples.

Item #1–Consideration of sign review and new awnings for a retail business (Corner 103) at 103 West Napa Street.

Applicant: Lloyd Davis

Associate Planner Atkins presented staff's report.

Bennett Martin, applicant, stated that three different awnings and sign color options were considered. He recommended sliders in mahogany wood instead of glass.

Chair Barnett opened the item to public comment.

No public Comment.

Chair Barnett closed the item to public comment.

Comm. McDonald appreciated the applicant considering different options and is satisfied with the choices made for the door and window replacements. Although he has no issues with option A he preferred option C.

Comm. Anderson agreed with Comm. McDonald and is pleased with the options presented.

Comm. Johnson liked the subtleness of option A and viewed the new sign as an improvement.

Chair Barnett concurred with his fellow commissioners and agreed with Comm. Johnson on option A but also liked option C.

Comm. McDonald made a motion to approve the proposal as submitted with the following conditions of approval: 1.) Option A, B, or C may be employed. 2.) The front door may be replaced with an in-kind mahogany door. Comm. Anderson seconded. The motion carried unanimously.

Item # 2- Consideration of a new wall sign and a new monument sign for a mixed-use building at 19230 Sonoma Highway.

Applicant: Audrey Lee

Robert Sanders, Robert Sanders & Company, discussed the sign with the HOA for the Live/Work units and the new signage will match the building. He introduced Audrey Lee, the new property owner, who was available to answer any questions.

Comm. McDonald confirmed with the applicant that no existing sign program is in place.

Chair Barnett opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Comms. Johnson, Anderson, and McDonald supported the sign since it has maximum visibility.

Comm. Anderson and Chair Barnett appreciated the many options considered and are satisfied with the project.

Comm. McDonald made a motion to approve a new wall sign and a new monument sign for a mixed use building as submitted. Comm. Johnson seconded. The motion carried unanimously.

Item # 3- Consideration of a replacement wall sign for a commercial building(Payless Shoe Source) at 19191 Sonoma Highway #21

Applicant: Johnston Sign Company

Associate Planner Atkins presented staff's report.

Comm. McDonald confirmed with Staff that the orange portion of the sign was not proposed to be illuminated.

Todd Johnston, Johnston Sign Company, applicant, proposed a new corporate logo sign with LED technology and a non-illuminated background.

Chair Barnett preferred “mimicking the orange” for a “less corporate” feel.

Chair Barnett opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Comm. McDonald recommended removing the orange background.

Comm. Anderson preferred overall consistency in all signage at the shopping center. He recognized the store’s location as having limited visibility.

Chair Barnett and Comm. Johnson agreed with both Commissioner’s comments.

Comm. McDonald made a motion to approve with the following modifications: 1.) Remove the orange backer panel and replace it with a wood panel to match the wood on the shopping center buildings. 2.) The two options for the sign lettering are as follows: a) white lettering with an orange cloud behind it; b) white lettering without a cloud ;or, c) orange lettering. Comm. Anderson seconded. The motion carried unanimously.

Item # 4- Consideration of a sign and design review associated with a commercial building(Eraldi’s Mens Wear and Shoes) at 475 First Street West.

Applicant: Daniel Eraldi

Robert Sanders, Robert Sanders & Company, noted that the new sign will reflect the “Past, Present and Future” of the well-established business on the Historic Plaza. He collaborated with Laurie Decker, Economic Development Project Manager, in developing the design and color scheme.

Chair Barnett opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Comm. Johnson thanked the applicant for considering the Commissioners recommendations from the previous meeting and making revisions.

Comm. Anderson felt the new sign design the branding of Sonoma.

Comm. McDonald appreciated the applicant’s diligence and supported the variance because of the courtyard area but opposed painting the wall red.

Comm. Johnson concurred with Comm. McDonald that another wall color should be selected. Robert Sanders proposed a terra cotta or nutmeg color.

Chair Barnett supported the variance and was pleased that acknowledgement to the legacy of the business, established in 1922, was incorporated in the sign.

Comm. McDonald made a motion to approve the proposal with the following modifications; The cinderblock area along the alley shall be painted a terracotta color to match the brick color on the adjacent building. Comm. Anderson seconded. The motion was unanimously carried.

Item # 5- Consideration of landscape review for a new single-family residence at 1036 Fifth Street East.

Applicant: Chris Dluzak

Chris Dluzak, applicant, addressed water conservation in the landscape plan.

Gary Balcerak, Balcerak Design Landscape (Architect/Arborist) noted that fencing options were addressed in the submitted plans.

Chair Barnett opened the item to public comment.

Robert Felder, neighbor, is concerned with plantings along the northern boundary of the site since the Planning Commission approved a condition of approval for adequate privacy and screening. He suggested a new fence.

Gary Balcerak recommended living vines as a mitigation even though growth may be difficult in the narrow area.

Chair Barnett closed the item to public comment.

Comm. Anderson suggested a modification to allow fencing instead of landscaping and recommended a metal trellis for greenery and privacy screening.

Comm. McDonald recognized the constraints and limited authority given to the DRHPC to make decisions.

Chris Dluzak, applicant, clarified that the common area belongs to all four lots but the discussion tonight is focused on the landscaping for Lot 3.

Comm. McDonald made a motion to approve the landscape plan for Lot 3 with the condition that the applicant return to the DRHPC with a landscape plan to satisfy Condition of Approval number 17 for the 4-lot subdivision, which requires plantings along the northern and southern property lines of the property to minimize privacy impacts on adjoining properties.. Comm. Johnson seconded. The motion was unanimously carried.

Associate Planner Atkins reported the following:

The City Council approved changes to the sign ordinance at the meeting of December 15, 2014.

Chair Barnett inquired about regulations for pre-fabricated signs.

Comments from the audience:

Adjournment: Chair Barnett made a motion to adjourn the meeting at 8:07 p.m. The motion was unanimously carried, The next special meeting scheduled is at 6:30 p.m. on Wednesday, December 17, 2014.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of _____, 2014.

Respectfully submitted

Cristina Morris, Administrative Assistant

April 21, 2015
Agenda Item #1

M E M O

To: Design Review and Historic Preservation Commission

From: Dan Takasugi, Public Works Director

Subject: Street Name Sign Design

Recent regulations through the Federal Highway Administration (FHWA) have mandated that all street signage meet certain retro-reflectivity standards. This was established through the Manual of Uniform Traffic Control Devices (MUTCD) Section 2A.08. Because retro-reflective properties of signage deteriorate over time, street and traffic signage must be evaluated and replaced when deemed necessary. This would include Street Name signs, although street name signs are at a lower priority than regulatory traffic signage. Current street name signs do not meet that retro-reflectivity standard for headlight visibility.

This FHWA regulation was viewed as an opportunity to consider a new design for the City's street name signs that would distinguish the City of Sonoma and create a "sense of place". One of the Council's 2014/15 Infrastructure Goals was to "Initiate Street signage replacement program to meet retro-reflectivity standards for headlight visibility". The specific action to that objective was to "Consider unique Sonoma historic design street signage". Council budgeted \$25,000 to start this program in FY2014/15.

Staff engaged local sign designer, Bob Sanders, of Robert Sanders & Co. to prepare some street name sign study and concept design options. Those options are shown in the attached study document. One of the options, 1-B, is designed to complement the design of the new Plaza directional sign. The sign options present variations in sign shape, font, and color. When the concept design options were presented to the City Council on 3/16/15, a majority preferred Option 1-B.

Staff projects that this would be a 2-4 year phased program to replace all Street Name signs within City limits. The first phase would start with the City's main arterial and collector street name signs.

Attachments: *Street Name Design Concept Design*

cc: Mary Martinez, via will call at City Hall
George McKale, via email
Patricia Cullinan, via email
Alice Duffee, via email

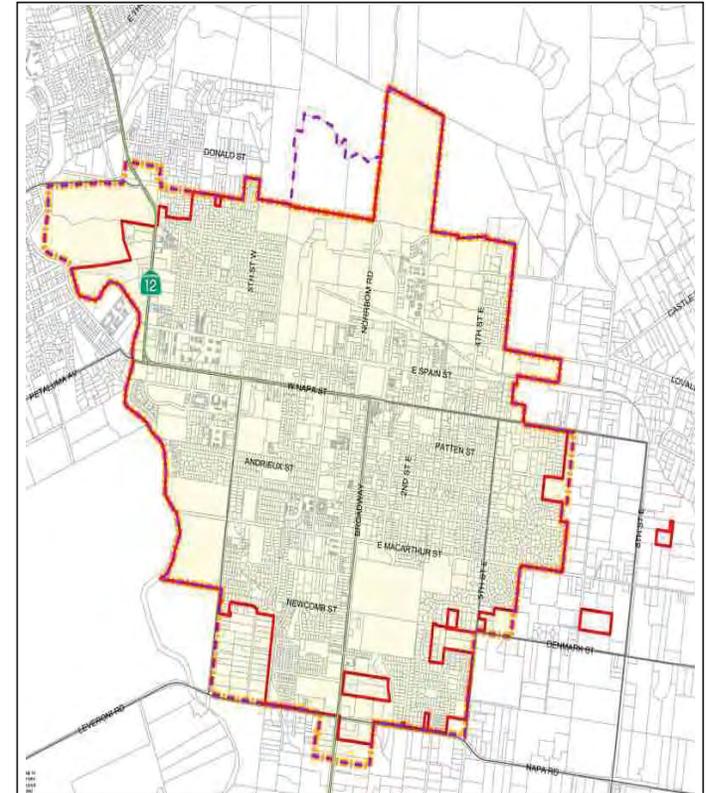
City of Sonoma

Street Name Signs Study and Concepts

City Of Sonoma

Dan Takasugi, P.E.
Public Works Director / City Engineer
City of Sonoma
No. 1 the Plaza

Feb. 19, 2015



robert sanders & co.

**environmental
graphic design**

**signage design/
consulting**

**specifications
and fabrication**

19615 Eighth St., East
Sonoma, Ca
Mailing Address:
P.O. Box 1356
Sonoma, CA 95476

707 996-3532
fax: 996-2937
www.robertsanders.com
rinfo@robertsanders.com
**CA Electrical Sign Contractors License
#903370**

Street Name Signs Study and Concepts



Existing sign dimensions

Sign 6" h x 36" w

Sign 6" h x 30" w

Sign 6" h x 48" w

- Rectangular shape
- Brown background
- White letters(reflective)
- All caps san serif type(block style) font
- Mounted 90 degree angle brackets



Small sign needing update

Objectives

- Meet new required Federal/State Highway Standards (MUTCD) using highest grade 3M reflectivity sheeting (3MTM Diamond Grade™ DG3 Reflective)
- While updating signs review and improve design, visibility, readability, shape
- Consider cultural, historical embellishments, additions to customize signs for Sonoma
- Review best type standards currently used



City of Sonoma

Street Name Signs Study and Concepts

- Consider cultural, historical embellishments, additions to customize signs for Sonoma

City of Sonoma

Name/Wording



California Bear



Grape Cluster

Concepts for top sign 8" h x 42" w / bottom sign to be rectangle 6" h x 42" w

1 A



Geometric arch concept/Upper/lower type in Clarendon serif font, border, 3 colors, wording

1 B



Historical arch concept/Upper/lower type in Clarendon serif font, 3 color, Clarendon serif font, California Bear

1 C



European top concept/Upper/lower type in Clarendon serif font, 3 color, grape cluster

City of Sonoma

Street Name Signs Study and Concepts

- Consider cultural, historical embellishments, additions to customize signs for Sonoma

City of Sonoma

Name/Wording



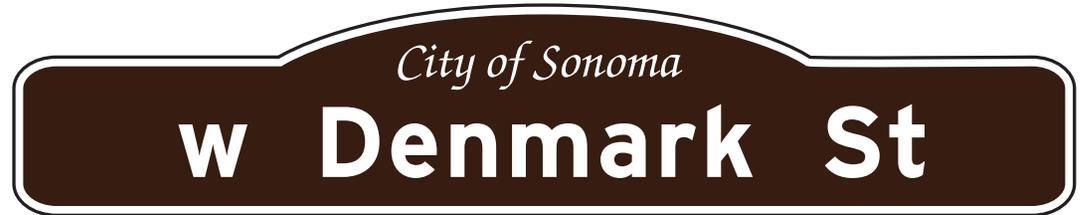
California Bear



Grape Cluster

Concepts for top sign 8" h x 42" w / bottom sign to be rectangle 6" h x 42" w

2 A



Geometric arch concept/Upper/lower type in Interstate font, border, 2 color, wording

2 B



Historical arch concept/Upper/lower type in Interstate font, 2 color, California Bear

2 C



European top concept/Upper/lower type in Interstate font, 2 color, grape

City of Sonoma

Street Name Signs Study and Concepts

Top sign 8" h x 42"



Typical Configuration

Bottom sign to be rectangle 6" h x 42" w



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 2

Meeting Date: 04/21/15

Applicant

Aristotle Giannis

Project Location

19323 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: In process

Request

Consideration of a landscape plan for an 8-unit condominium development (Giannis Condominiums) located at 19323 Sonoma Highway.

Summary

Background: On October 10, 2002, the Planning Commission approved a use permit for a mixed use project, consisting of a ±4,020 square foot office building and an 8-unit apartment building (see attached approval letter and conditions of approval). On November 21, 2002, the Architectural Review Commission approved elevations, colors and materials for the project (see attached approval letter). The applicants are now returning for consideration of the required landscape plan.

Landscaping Plan: At this time the applicant is requesting review of a landscape plan (attached) for the property. A total of 17 replacement trees are proposed for the site consisting of redspire, purple leafed plum, Chinese pistacia, and crepe myrtle supplemented with various bushes and shrubs. The attached landscape plan indicates that trees sizes range from 5-gallon to 48-inch box size. The Planning Commission Condition of Approval #15 states that trees removed on the subject property shall be replaced with a 2:1 ratio with a minimum 24-inch box size. (It appears to staff that 10 trees were removed with the development and 24 trees replaced with the first phase of the project.) At this time the applicant is proposing to plant an additional 9 each 5 gallon size trees and 8 each 15 gallon size trees. The DRHPC should determine if it is willing to accept smaller box sized trees in exchange for a larger number of trees.

Water Efficient Landscape Ordinance: A planting plan listing proposed species and planting sizes is provided for reference. In addition, water budget calculations prepared by the landscape architect (attached) demonstrate compliance with Sonoma Municipal Code §14.32, Water Efficient Landscaping. The calculations indicate that the proposed landscaping would utilize 23,264 gallons or 59% of the associated annual water budget allotment of 39,577 gallons.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *City of Sonoma Maximum Applied Water Allowance Form, Estimated Total Water Use Calculations, and Hydrozone Table Form*
2. *Approval letter and Planning Commission Conditions of Approval*
3. *Architectural Review Commission approval letter*
4. *Planting Plan*
5. *Irrigation Plan*

cc: Aristotle Giannis
2415 Bates Drive
Davis, CA 95618-1502

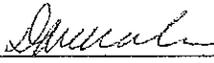
Demetrios and Rose Giannis
18764 Gillman Drive
Sonoma, CA 95476-4541

**CITY OF SONOMA
HYDROZONE TABLE FORM**
Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use				
High water use				
Medium water use				
Medium water use				
Low water use	1	DRIP	2308sq ft	100%
Low water use				
		Total		100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use		
High water use		
Medium water use		
Medium water use		
Low water use	2308	100%
Low water use		
	Total	100%

Submitted by: David Waldron (Print)  (Signature) 2-24-15 (Date)

MAR 11 2015

3/4/2015 9:30 AM

CITY OF SONOMA
MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Maximum Applied Water Allowance (MAWA) Calculations

The project's MAWA is calculated as follows:

$$\text{MAWA} = (\text{ETo})(0.62) \times [(\text{ETAF} \times \text{LA}) + (0.3 \times \text{SLA})]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 45.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$\text{MAWA} = 28.58 \times \left[(0.60 \times \frac{2308}{\text{LA}}) + (0.3 \times \frac{0}{\text{SLA}}) \right] = \underline{39,577} \text{ gallons/year}$$

Estimated Total Water Use Calculations

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ETo)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE

Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

ETWU Calculations (show calculations)					
PF	HA Sq. Ft.	IE (See IE Table)	PF x HA IE (a)	SLA Sq. Ft. (b)	ETWU = 28.58 x $\frac{PF \times HA}{IE}$ + 28.58 x SLA
3	2308	85	814	0	$(28.58 \times \frac{814}{85}) + (28.58 \times 0) = 23,264$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
ETWU					Sum of above = <u>23,264</u> gallons/year

Statement of Compliance:

This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").

David Waldron (Print)

[Signature] (Signature)

2-24-15 (Date)

City of Sonoma

Sonoma Sister Cities:

**Department of
Planning, Building and Public Works**

No. 1 The Plaza
Sonoma, California 95476-6690
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Chambolle-Musigny, France
Greve in Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Michoacán, Mexico

October 16, 2002

Demetrios and Rose Giannis
350 East Watmaugh
Sonoma, CA 95476

Subject: Use permit application for a mixed use project, consisting of a $\pm 4,020$ square foot office building and an 8-unit apartment building, at 19315 Sonoma Highway.

Dear Mr. & Mrs. Giannis:

On Thursday, October 10, 2002, the Planning Commission considered your use permit application for a mixed use project, consisting of a $\pm 4,020$ square foot office building and an 8-unit apartment building, at 19315 Sonoma Highway. After discussion and public testimony, the Planning Commission voted 5-0 (with three commissioners absent) to approve the use permit, subject to the attached conditions of approval. The permit will expire in one year if it is not implemented.

If you have any questions about this matter, please do not hesitate to call.

Sincerely,

Rob Gjestland,
Associate Planner

cc: Victor Conforti
755 Broadway
Sonoma, CA 95476

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Giannis Mixed Use Project – 19315 Sonoma Highway

October 10, 2002

1. The following public improvements shall be required as deemed necessary by the Public Works Division, the City Engineer or other applicable department or agency. All public improvement plans shall be prepared by a registered civil engineer and shall be submitted to and approved by the City Engineer. Plans and engineering calculations for any required drainage improvements shall also be submitted to the Sonoma County Water Agency for approval.
 - a. Repair or reconstruction of any street structural section or curb, gutter and sidewalk, as required by the City Engineer.
 - b. All required sidewalk, street, storm drainage, water, sewer and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
 - c. Sanitary sewer facilities and any necessary improvements to the collection system shall be installed as required by the Sonoma Valley County Sanitation District; water conservation standards administered by the Sanitation District shall be required.
 - d. Water service laterals and meters shall be installed as required by the City Engineer and the Building Official. Connection to the City water system shall be required.
 - e. Fire hydrants shall be installed in the number and at the locations specified by the Fire Chief and the City Engineer as may be deemed necessary.
 - f. Construction of underground utility services, including gas, electricity, cable TV and telephone, to the project site.
 - g. Drainage improvements shall be constructed in compliance with the Sonoma County Water Agency Flood Control Design Criteria. Plans and engineering calculations for any required drainage improvements shall also be submitted to the Sonoma County Water Agency for approval. Drainage of the site shall be accomplished by connection to the City storm drain system. Surface drainage onto Sonoma Highway shall not be permitted.
 - h. Storm drains and related facilities, including a grease interceptor for parking lot drainage.
 - i. Curb, gutter and sidewalk shall be constructed across the Sonoma Highway frontage of the property, together with street paving as required to conform to the existing highway paving. The alignment and design of the curb, sidewalk and conforming paving shall be subject to the approval of the City Engineer and Caltrans. Pavement markings and striping on Sonoma Highway shall be modified by the developer, as appropriate for the new street frontage improvements. The design of the new striping and markings shall be subject to the approval of Caltrans and the City Engineer.
 - j. Undergrounding of existing overhead utilities along the frontage of the property. (This requirement may be waived or modified by the City Engineer).
 - k. Street lights as required by the City Engineer.
 - l. At least three large stature street trees shall be planted within the planter strip on the Sonoma Highway frontage of the property. Street trees shall be planted with 50% at 48-inch box size and 50% at 36-inch box size and shall conform with the requirements of City of Sonoma Tree Planting Plan. The ultimate number and location of street trees shall be subject to the discretion of the City Engineer.

The improvement plans for this project shall include plans for curb, gutter, sidewalk, street conform paving, pavement markings and drainage improvements extending from the project site to connect to existing improvements at Ramon Street. The plans shall include the reconstruction of the existing landscaping retaining wall on the adjoining property extending from Ramon Street to the project site. The construction costs for the street improvements and associated improvements between the project site and Ramon Street will be paid for by the adjoining property owner under the terms of an existing agreement with the City.

Enforcement Responsibility: City Engineer; Public Works; Fire Department
Timing: Prior to the issuance of any building permit

2. Asphalt, concrete, or other surface material shall be required in all parking and driveway areas, except in those areas specifically designated for alternative pervious surface paving.

Enforcement Responsibility: Public Works; Building Division;
Timing: Prior to the issuance of a building permit

3. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempted.

Enforcement Responsibility: Public Works; Building Division; Affected Agencies
Timing: Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

4. All construction equipment shall be maintained and operated so as not to generate unacceptable noise levels in the vicinity of the project site. Stationary construction equipment (e.g., compressors) shall be situated as far as possible from inhabited areas, and equipment not actively in use shall be shut down to reduce unnecessary noise. Noise-producing construction activities, equipment and vehicle use, and materials delivery shall be prohibited between the hours of 7 p.m. and 8 a.m., local time, daily. The Public Works Inspector for the project shall have the authority to impose a 9:00 a.m. starting time for construction activities if the 8:00 a.m. starting time is repeatedly abused.

Enforcement Responsibility: Public Works; Planning; Police
Timing: Ongoing

5. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended. No trees shall be planted within easements dedicated for public use on the parcel/final map except as expressly authorized by the City Engineer.

Enforcement Responsibility: Building Division; City Engineer
Timing: Prior to the issuance of any building permit

6. Dust control measures, subject to approval by the Building Official and the City Engineer, shall be implemented during the construction of the project. All exposed soil areas shall be watered twice daily or as required by the City's construction inspector.

Enforcement Responsibility: Public Works; Building Division
Timing: Ongoing

7. All Fire Department and Building Code requirements shall be satisfied, including any code modifications effective prior to the date of issuance of any building permit. In addition, the following shall be required:
 - a. No projections, including eaves, bay windows, or chimneys may project closer than three feet from any property line.
 - b. Fire sprinklers shall be required in all new buildings.

Enforcement Responsibility: Fire; Public Works; Building Division
Timing: Prior to the issuance of any building permit

8. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:
- Sonoma County Water Agency. *[For sewer connections, modifications and interceptor requirements, and related fees. Note: sewer connection fees can be significant. Applicants should consult with the Water Agency as soon as possible with regard to potential fees.]*;
 - Sonoma County Department of Public Health. *[For requirements related to restaurants]*;
 - Sonoma Valley Unified School District. *[For school impact fees]*;
 - Caltrans. *[For frontage improvements]*.

Enforcement Responsibility: Engineering Division
Timing: Prior to the issuance of any building permit

9. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Water Agency immediately to determine whether such fees apply.

Enforcement Responsibility: Building Division
Timing: Prior to the issuance of any building permit

10. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required. Recommendations identified in the report shall be incorporated into the construction plans for the project and into the building permit.

Enforcement Responsibility: Building Division; City Engineer
Timing: Prior to issuance of a building permit

11. The development shall be constructed and operated in conformance with the approved site plan and building elevations, except as modified by these conditions and the following:
- Materials utilized for the new buildings shall include wood frame windows, authentic clay tiles, and finished stucco (versus stucco panels).
 - The minimum private open space requirement of 250 square feet per apartment unit shall be met if feasible.

Enforcement Responsibility: Planning Division, ARC; Building Division
Timing: Prior to the issuance of any building permit

12. The development shall be subject to review and approval by the Architectural Review Commission (ARC). This review shall encompass the following: 1) site plan adjustments as required by these conditions or as deemed necessary by the ARC (except no modifications substantially altering the approved site plan or at variance with the conditions of approval shall be made); 2) building elevations; 3) colors and materials; 4) landscaping; 5) parking lot lighting and any other exterior lighting; and 6) location of required bike racks.

Enforcement Responsibility: Planning Division; ARC
Timing: Prior to the issuance of any building permit

13. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Architectural Review Commission (ARC). The plan shall address site landscaping, fencing/walls and required tree plantings (including street trees). The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and shall show the location of the following items:
- Rights-of-way
 - Easements
 - Swales, drainage, dry wells, and onsite water retention areas
 - Underground utilities (gas, electricity, cable T.V. , telephone, water, and sewer and storm drains)
 - Overhead wires
 - Sidewalk & hardscape improvements
 - All existing preserved/retained trees
 - Any existing or proposed fences or walls onsite.

Enforcement Responsibility: Planning Division; ARC
Timing: Prior to any occupancy permit

14. At least one affordable housing unit shall be provided and maintained on the project site. The affordable unit shall be recorded against the deed of the lot on which it lies, with a standard City agreement subject to review and approval by the Housing Administrator.

Enforcement Responsibility: Planning Division, Building, and Public Works
Timing: Prior to any occupancy permit and Ongoing

15. Any trees that have been removed or will be removed from the site to accommodate development of the property shall be replaced at a ratio of 2:1. (Out of 10 trees on-site, 3 have already been removed, and the remaining 7 are scheduled for removal, except for the redwood tree, which *may* be retained.) Replacement trees shall be a minimum planting size of 24-inch box. On-site tree plantings shall include appropriate tree plantings on the south side of the office building for screening purposes. In addition, street tree plantings shall be required as specified under Condition of Approval 1(L) above.

Enforcement Responsibility: Planning Division
Timing: Prior to any occupancy permit

16. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Architectural Review Commission (ARC). All proposed exterior lighting for the site, including parking lot lighting, shall be indicated on the lighting plan and specifications for light fixtures shall be included. No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Parking lot light standards shall not exceed a maximum height of 12 feet.

Enforcement Responsibility: Planning Division; ARC
Timing: Prior to issuance of occupancy permit

City of Sonoma

Sonoma Sister Cities

No. 1 The Plaza
Sonoma, California 95476-9000
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



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Kaniv, Ukraine
Patzcuaro, Michoacán, Mexico

December 2, 2002

Demetrios and Rose Giannis
350 East Watnaugh
Sonoma, CA 95476

Subject: Consideration of elevations, colors and materials for mixed-use project at 19315 Sonoma Highway

Dear Mr. Giannis:

On Thursday, November 21, 2002 the Architectural Review Commission (ARC) considered elevations, colors and materials for your mixed-use project at 19315 Sonoma Highway. After discussion and public testimony, the ARC voted 4-0 to approve the elevations, colors and materials as presented, including the use of white vinyl windows throughout the project.

Should you have any questions, feel free to call me.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Gjestland".

Rob Gjestland
Associate Planner

cc: Victor Conforti
755 Broadway
Sonoma, CA 95476



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 3

Meeting Date: 04/21/15

Applicant

Altus Equity Group LP

Project Location

405 Fifth Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
-

Request

Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 7-unit Planned Unit Development (Fifth Street West Homes) located at 405 Fifth Street West.

Summary

Site Characteristics: The site is a 0.5-acre corner lot located at the intersection of Fifth Street West and West Spain Street. The property is currently developed with a single-family home constructed in 1930 and two small outbuildings. The frontage on West Spain Street is improved with a monolithic curb, gutter, and sidewalk. The Fifth Street West frontage of the property is unimproved. Access to the property is currently provided by two driveways, one on West Spain Street and one on Fifth Street West.

Background: On December 15, 2009, the Design Review Commission approved the demolition of the single-family home and detached garage located on the property finding that it is not historically significant. On February 12, 2015, the Planning Commission approved a 7-unit planned development, including, a Tentative Map, and a Use Permit. As approved, the project site will be subdivided into 7 lots ranging from 1,472 sq. ft. and 1,561 sq. ft. plus a common area parcel of 10,548 sq. ft. The Planned Development will be composed of a single structure oriented toward West Spain Street with seven attached, zero-lot line townhomes. Three unit types are proposed, all with two floors except for the corner unit which is one-story (Home Type C). Living areas for the units are 1,252 sq. ft. for Home Type A, 1,103 sq. ft. for Home Type B, and 878 sq. ft. for Home Type C. Access to the development will be provided by a two-way driveway on Fifth Street West. The project is now before the DRHPC for consideration of building elevations, exterior colors and materials, outdoor lighting, and landscaping.

Building Elevations & Exterior Materials: As approved by the Planning Commission, each lot will be developed with an attached, one- or two-story home employing one of three different floor plans (Home Type A, B, or C). The architectural form of the building presents a variety of roof elements up to ±29 feet in height with the second floor generally centered along the middle of the building. Proposed exterior materials and details include plywood siding with vertical battens, wood corner trim, decorative gable vents, composition roof shingles, and vinyl-framed windows. The front patios would be enclosed by ±4.5-tall horizontal wood board and batten walls. The elevation drawings also indicate that the building would be made solar-ready with conduit provided from electrical panels to attics of south and west facing roofs for potential future photovoltaic.

Exterior Colors: The proposed exterior color palette is illustrated on the attached color submittal and a material sample board will be presented at the meeting. The paint palette consists of the following colors: 1) Benjamin Moore western flax (HC-5) for the main body (plywood and battens); 2) Benjamin Moore lemon chiffon (OC-109) for the gutters and eaves, window and door trim, garage doors, front doors, and fascia boards; 3) Benjamin Moore Tate olive (HC-112) for the gable brackets and trim, gate boards, wood shutters, and wood posts, and Benjamin Moore Nantucket gray (HC-111) for the gable vent gate trim, wood board and batten walls. The vinyl window frames will also employ a white frame.

Exterior Lighting: A number of light fixtures are proposed within the project, including the following: A) 8 each exterior wall mounted cylinder downlight (Lithonia OLLWD), white in color, with 9 watt LED lamps, at the front entrances along West Spain Street; B) 3 each exterior wall mounted cylinder downlight (RAB WBLED18W), white in color, with 18 watt LED lamps, on the carports adjacent to the driveway; C) 2 each exterior wall mounted gooseneck downlight (RAB GN5LED26YST11W), white in color, with 26 watt LED lamps, on the building adjacent to Fifth Street West; D) 1 each area light (RAB ALED 5T52W), white in color, 8 foot tall pole with Photocell operation, at the entrance to the driveway; and, E)

2 each parking lot light (RAB ALED 2T78NW), white in color, 12 foot tall pole with Photocell operation, on the south boundary of the property. Fixture locations are indicated on the Conceptual Site Lighting Plan and Site Details and specifications/details are also included in the submittal.

Fencing: The Conceptual Site Lighting Plan and site Details plan (attached) indicates that six-foot tall, wooden fencing would be installed along the south and west boundaries of the development. In addition, four-foot four-inch tall, wooden fencing would be installed around the front yard fences.

Bike Rack: Three covered inverted U style bike racks are proposed in the southeast corner of the property adjacent to the community garden area.

Findings for Project Approval: The Design Review and Historic Preservation Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

Landscape Plan: Landscape plans have been provided (Sheets L3.1) including a comprehensive plant list identifying trees, shrubs, grasses, and vines. An irrigation plan will be submitted at the DRHPC meeting for review.

Tree Plantings: The landscape plan indicates that 13 trees would be planted on the site (9 each 24" and 4 each 36" box size). The conditions of approval state that trees removed from the site shall be replaced at a 2:1 ratio with 15-gallon trees or a lesser ratio if 24-inch box size replacement trees are used This meets the required replacement ratio.

Water Budget Calculations: In compliance with the Water Efficient Landscape Ordinance, Hydrozone and Maximum Applied Water Allowance (MAWA) forms have been provided. Calculations on the MAWA form indicate that the project would use 66,105 gallons or 67% of the annual water allowance of 98,052 gallons.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Planning Commission approval letter and conditions of approval
2. Project Narrative
3. Color submittal
4. Conceptual site plan
5. Conceptual site light plan and site details
6. Landscape plan
7. Tentative Map
8. Conceptual elevations
9. Conceptual first floor plans
10. Conceptual second floor plans
11. Site lighting fixtures
12. Landscape narrative
13. WELO Forms
14. Plywood and batten siding specification sheet
15. Solar reflective shingles specification sheet
16. Vinyl windows and doors specification sheet
17. Bicycle rack specification sheet
18. Color key

cc: Altus Equity Group LP
P.O. Box 6787
Santa Rosa, CA 95406

Tierney/Figueiredo
817 Russel Ave. Suite H
Santa Rosa, CA 95403

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan Egypt
Chambolle-Musigny France
Greve Italy
Kaniv Ukraine
Patzcuaro Mexico
Penglai China
Tokaj Hungary

February 13, 2015

Forrest Jinks
Altus Equity Group, LP
120 College Avenue
Santa Rosa, CA 95401

Subject: Application for a Use Permit, Planned Development Permit, and Tentative Map to construct a 7-unit Planned Development at 405 Fifth Street West.

Dear Mr. Jinks:

On Thursday, February 12, 2015, the Planning Commission completed their review of your application for a Use Permit, Planned Development Permit, and Tentative Map to construct a 7-unit Planned Development at 405 Fifth Street West. After discussion and public testimony, the Planning Commission voted 3-2 (with one commissioner absent) to approve the project as revised, subject to the attached conditions of approval. Please note that the Tentative Map and other project approvals are valid for two years unless an extension of time is granted in accordance with Section 19.63.150 of the Development Code (Extensions of Time for Tentative Maps).

If you have any questions regarding this matter, do not hesitate to contact me at 933-2202.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Gjestland". The signature is written in a cursive style with a long horizontal stroke at the end.

Rob Gjestland
Senior Planner

cc: Randy Figueiredo AIA (via email)
Tierney/Figueiredo Architects
817 Russell Avenue, Suite H
Santa Rosa, CA 95403

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Jinks Planned Development
405 Fifth Street West

February 12, 2015

1. The planned development shall be constructed in conformance with the approved tentative map, site plan, floor plans and building elevations, except as modified by these conditions and the following:
 - a. As indicated on the elevation drawings, buildings would be made solar-ready with conduit provided from electrical panels to attics of south and west facing roofs for potential future photovoltaic panels.

Enforcement Responsibility: Planning Department; Building Division; Public Works Division, City Engineer
Timing: Ongoing

2. Vacation rentals, as defined under Chapter 19.92 of the Development Code, shall be a prohibited use for residential units within the Planned Development.

Enforcement Responsibility: Planning Department; City Attorney
Timing: Ongoing

3. The following are required by the City and other affected agencies prior to the approval of the Final Map.

- a. A Final Map shall be prepared and submitted to the City Engineer and Planning Director for approval along with the following supporting data: recent (within the most recent three months) preliminary title report, closure calculations and copies of records used to prepare survey (such as deeds and easements, filed maps, etc.). Upon approval and acceptance by the City, the map will be released to the Applicant's title company for filing at the office of the Sonoma County Recorder. The Applicant shall provide the number and types of copies to the City as directed by the City Engineer.
- b. All required sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required and shown on the Final Map.
- c. Three-quarter inch iron pipe monuments shall be set at all tract corners and at all lot corners, unless otherwise approved by the City Engineer. Street centerline monuments shall be set as directed by the City Engineer. All monuments must be approved by the City Engineer.
- d. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to Final Map recordation, whichever occurs first.

Enforcement Responsibility: Planning Director; City Engineer
Timing: Prior to acceptance of the Final Map

4. A grading and drainage plan and an erosion and sediment control plan shall be prepared by a registered civil engineer and submitted to the City Engineer and the Sonoma County Water Agency for review and approval. A new drainage easement in favor of Valley Mart may be required for water received from the Valley Mart driveway by the swale across the southwest side of the subject property. The required plan shall be approved prior to the issuance of a grading permit and commencement of grading/construction activities. The erosion control measures specified in the approved plan shall be implemented during construction prior to the first rains or October 1st. Grade differences between lots will not be permitted unless separated by properly designed concrete or masonry retaining walls. This requirement may be modified or waived at the discretion of the City Engineer. Plans shall conform to the City of Santa Rosa LID Standards and the City of Sonoma Grading Ordinance (Chapter 14.20 of the Municipal Code). Applicable erosion control measures shall be identified on the erosion control plan and shall be implemented throughout the construction phase of the project: soil stabilization techniques such as hydroseeding and short-term biodegradable erosion control blankets or wattles, silt fences and/or some kind of inlet protection at downstream storm drain inlets, post-construction

inspection of all facilities for accumulated sediment, and post-construction clearing of all drainage structures of debris and sediment. Applicant shall submit a Final Stormwater Mitigation Plan (SMP) in conformance with the City of Santa Rosa LID Standards with the grading plans. The improvement plans (see Condition #4 below) will not be accepted by the City Engineer for review without first reviewing and approving the SMP.

Enforcement Responsibility: City Engineer; SCWA; Public Works Department

Timing: Prior to issuance of the grading permit

5. The following improvements shall be required and shown on the improvement plans subject to the review of the City Engineer, Planning Administrator and Fire Chief. Public improvements shall meet City standards. The improvement plans shall be prepared by a registered civil engineer and approved by the City Engineer prior to recording of the Final Map. All drainage improvements shall be designed in accordance with the Sonoma County Water Agency "Flood Control Design Criteria." Plans and engineering calculations for drainage improvements, and plans for sanitary sewer facilities, shall be submitted to the Sonoma County Water Agency (and a copy of submittal packet to the City Engineer) for review and approval.
 - a. Frontage improvements on Fifth Street West including the provision of curb, gutter, sidewalk, including the possibility for a wider sidewalk area to accommodate trash/recycling bins and unobstructed pedestrian circulation on garbage collection days. Provision of an ADA ramp at southwest corner of the Fifth Street West/West Spain Street intersection. Paving upgrades to centerline of the West Spain Street and/or Fifth Street West in front of the property may be required. Any non-ADA conforming sidewalk shall be reconstructed to meet applicable public agency standards and existing residential driveways shall be eliminated. Driveways shall be constructed in conformance with the City's standard specifications for commercial driveways and shall meet ADA accessibility requirements. Existing curb, gutter, sidewalk, and street sections along the West Spain Street frontage that are damaged or deemed by the City Engineer to be in disrepair shall be replaced to the applicable agency standards. An encroachment permit shall be required for any work within the public right of way. Additional ductwork may be required along the frontage of the site to accommodate future signalization.
 - b. The joint pole located on the Fifth Street West frontage shall be relocated outside the path of the proposed driveway and/or new public sidewalk as deemed necessary by the City Engineer. If required by the City Engineer, the above ground PG&E cabinet on the Fifth Street West frontage shall be relocated into an underground vault.
 - c. Storm drains and related facilities, including off-site storm drain facilities as necessary to connect to existing storm drain facilities.
 - d. Stormwater BMPs as approved in the Applicant's preliminary and final Stormwater Mitigation Plan (SMP) shall be shown on the drainage and improvement plans.
 - e. Grading and drainage plans shall be included in the improvement plans and are subject to the review and approval of the City Engineer, Planning Administrator and the Building Official.
 - f. Sewer mains, laterals and appurtenances, including off-site sewer mains and facilities as required by Sonoma County PRMD Sanitation Division/Sonoma County Water Agency; water conservation measures installed and/or applicable mitigation fees paid as determined by the Sonoma County Water Agency.
 - g. Water services for domestic use and a dedicated irrigation line, including service laterals and water meters to all lots. Separate water meters for landscaping shall be provided. The location of water meters and any required backflow assembly shall be identified on the improvement plans.
 - h. Private underground utility services, including gas, electricity, cable TV and telephone, to all residential lots/units in the subdivision.
 - i. Public street lighting as required by the City Engineer.
 - j. Fire hydrants in the number and at the locations specified by the Fire Chief. Fire hydrants shall be operational prior to beginning combustible construction.
 - k. Signing and striping plans shall be submitted to the City Engineer for review and approval. Said plans shall include "No Parking" signs/markings along the appropriate drive aisles, traffic control signs, and pavement markings as required by the City Engineer and or SVFRA/Fire Chief.
 - l. Parking and drives shall be surfaced with an all-weather surface material as approved by the Building Department.

- m. The property address numbers shall be posted on the building or property in a manner visible from the public street. Type and location of posting are subject to the review and approval of the City Engineer, Fire Chief and Planning Administrator.
- n. All necessary sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
- o. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to the approval of the improvement plans, whichever occurs first.
- p. All grading, including all swales, etc., shall be performed between April 1st and October 15th of any year, unless otherwise approved by the City Engineer

Enforcement Responsibility: City Engineer; Public Works Department; Building Department; Planning Department; Fire Department; SCWA

Timing: Prior to the approval of the Final Map and issuance of the grading and encroachment permits

- 6. The applicant shall obtain an encroachment permit from the City of Sonoma for all work within the West Spain Street and Fifth Street West rights-of-way.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department

Timing: Prior to City approval of public improvement plans

- 7. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempted.

Enforcement Responsibility: Public Works Department; Building Department; City Engineer; Affected agency

Timing: Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

- 8. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended.

Enforcement Responsibility: City Engineer; Public Works Department; Planning Department

Timing: Prior to the issuance of any grading/building permit; Ongoing

- 9. The project shall comply with the City of Santa Rosa Low Impact Development (LID) standards. Applicant shall submit a preliminary and final Stormwater Mitigation Plan (SWP) conforming to the City of Santa Rosa LID Standards to the City's Stormwater Coordinator and City Engineer for review and approval. Said SMP shall identify specific BMPs and include the BMPs in the project drainage and improvement plans.

Enforcement Responsibility: City Engineer; Public Works Department

Timing: Prior to the issuance of any grading/building permit

- 10. Prior to the issuance of any building permit, water demand analysis shall be prepared by a licensed civil engineer and submitted by the applicant and shall be subject to the review and approval of the City Engineer. Said analysis shall be in compliance with the City's current policy on water demand and capacity analysis as outlined in Resolution 46-2010. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the approvals for the project remain valid.

Enforcement Responsibility: City Engineer; Public Works Department

Timing: Prior to issuance of any building permit

11. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required for the development prior to the issuance of a grading permit and/or approval of the improvement plans, as determined by the City Engineer. Recommendations identified in the geotechnical investigation and report shall be incorporated into the construction plans for the project and into the building permits.

Enforcement Responsibility: City Engineer; Building Department
Timing: Prior to issuance of a grading/building permit or recording of the Final Map

12. Provisions shall be made to provide for temporary parking of construction related vehicles and equipment on or adjacent to the project site, and not in the adjacent neighborhoods, to be approved by the City of Sonoma Building, Planning, and Public Works Department. The contractors shall be required to maintain traffic flow on all affected roadways adjacent to the project site during non-working hours, and to minimize traffic restrictions during construction. The contractors shall notify all appropriate City of Sonoma and Sonoma County emergency service providers of planned construction schedules and roadways affected by construction in writing at least 48 hours in advance of any construction activity that could involve road closure or any significant constraint to emergency vehicle movement through the project area or the adjacent neighborhoods.

Enforcement Responsibility: Building, Planning & Public Works Departments; Police & Fire Departments
Timing: Ongoing during construction

13. Any wells on the site shall be abandoned in accordance with permit requirements of the Sonoma County Department of Environmental Health; or equipped with a back-flow prevention device as approved by the City Engineer. Wells that will remain shall be plumbed to irrigation system only and not for domestic use.

Enforcement Responsibility: City Engineer; Public Works Department
Timing: Prior to approval of the Grading Plans and Improvement Plans

14. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma County Water Agency [For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans]
- b. Sonoma Valley Unified School District [For school impact fees]
- c. Sonoma County Department of Environmental Health [For abandonment of wells]

Enforcement Responsibility: Building Department; Public Works Department
Timing: Prior to the issuance of any grading/building permit

15. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Water Agency immediately to determine whether such fees apply.**

Enforcement Responsibility: Building Department
Timing: Prior to the issuance of any building permit

16. The applicant/developer shall comply with all sanitation conditions of the Sonoma County Permit and Resource Management Department as set forth in their letter dated December 31, 2014 (attached).

Enforcement Responsibility: PRMD/SCWA; City Engineer; Public Works Department; Planning Department
Timing: As set forth in the letter dated 12/31/2014; Prior to final occupancy

17. All Building Department requirements shall be met, including Building Code requirements related to compliance with CALGreen standards. Building permits shall be required.

Enforcement Responsibility: Building Department
Timing: Prior to construction

18. All Fire Department requirements shall be met, including any code modifications effective prior to the date of issuance of any building permit. Automatic fire sprinkler systems shall be provided in all buildings/units.

Enforcement Responsibility: Fire Department; Building Department
Timing: Prior to the issuance of any building permit

19. The following dust control measures shall be implemented as necessary during the construction phase of the project: 1) all exposed soil areas (i.e. building sites, unpaved access roads, parking or staging areas) shall be watered at least twice daily or as required by the City's construction inspector, 2) exposed soil stockpiles shall be enclosed, covered, or watered twice daily; and 3) the portion of Fifth Street West and/or West Spain Street providing construction vehicle access to the project site shall be swept daily, if visible soil material is deposited onto the road.

Enforcement Responsibility: Building Inspector; Public Works Inspector
Timing: Ongoing during construction

20. One (1) unit within the development (the unit located on Lot 7) shall be designated as affordable units for households in the low or moderate income categories. The affordable unit shall be recorded against the deed of the lots on which it lies at the County Recorder's Office, with a standard City Affordability Agreement subject to review and approval by the Planning Administrator. The developer shall enter into a contract with the City assuring the continued affordability of the designated units for a minimum period of 45 years and establishing maximum rents, maximum sale prices, and resale restrictions. The affordable units shall be constructed in conjunction with construction of the market rate units.

Enforcement Responsibility: Planning Department, Building Department
Timing: Prior to occupancy of any unit.

21. The applicant shall submit a Conditions, Covenants and Restrictions document for review and approval by the City Attorney, Planning Director, and City Engineer in conjunction with the establishment of a homeowner's association (HOA) for the subdivision. At a minimum, the CC&R's shall provide for maintenance and specify standards to be used to maintain the private driveway, private parking lot, private street furniture/light standards, private street signs, red-curb and other pavement markings/stripping, private drainage facilities, private community garden, and common landscape areas/features (including any private street trees) and shall be recorded with the County of Sonoma. The CC&R's shall also include requirements prohibiting use of the units as vacation rentals and mandating that garages be maintained for vehicle parking. This project shall be developed as a common interest subdivision.

Enforcement Responsibility: City Engineer, City Attorney
Timing: Prior the recordation of the Final Map

22. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation and replacement:
- Trees removed from the site shall be replaced at a 2:1 ratio with 15-gallon trees or a lesser ratio if 24-inch box size replacement trees are used.
 - The developer shall adhere to the tree protection measures included within the arborist report.
 - Any replacement trees planted along the property frontages shall be consistent with the City's Street Tree Planting Program, including the District Tree List.
 - The oak tree in the northwest corner of the site shall be preserved and the project arborist shall review the grading and drainage plan to ensure that the area around the oak tree is treated appropriately in terms of material and fill.

Enforcement Responsibility: Planning Department, Design Review Commission
Timing: Throughout demolition/construction; Prior to the issuance of any occupancy permit

23. The development shall be subject to the review and approval of the Design Review Commission (DRC). This review shall encompass elevation details, colors and materials, landscaping (including fences and walls), lighting, and site details (such as bike racks and trash enclosures), and any other issues specifically referred to the DRC by the Planning Commission.

Enforcement Responsibility: Planning Department; DRC
Timing: Prior to the issuance of any building permit

24. Solid wood fencing with a minimum height of 6 feet shall be installed along the south and west boundaries of the development in compliance with Development Code §19.40.100 (Screening and Buffering) and §19.46 (Fences, Hedges, and Walls). The fencing shall be subject to the review and approval of the Design Review Commission (DRC) as part of the landscape plan.

Enforcement Responsibility: Planning Department; DRC
Timing: Prior to any occupancy permit

25. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review Commission (DRC). The plan shall address site landscaping, the community garden/open space area, fencing/walls, hardscape improvements, required tree plantings. Street trees along the West Spain Street and Fifth Street West frontages shall be consistent with the City's Tree Planting Program, including the District Tree List. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.46 (Fences, Hedges, and Walls), 19.40.070 (Open Space for Multi-Family Residential Projects), 19.48.090 (Landscaping of Parking Facilities), and 19.40.060 (Landscape Standards).

Enforcement Responsibility: Planning Department; DRC
Timing: Prior to any occupancy permit

26. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Design Review Commission (DRC). All proposed exterior lighting for the buildings and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security.

Enforcement Responsibility: Planning Division; DRC
Timing: Prior to issuance of occupancy permit

27. If archaeological remains or a dense concentration of historic period site indicators are uncovered, work at the place of the discovery shall be halted immediately until a qualified archaeologist can evaluate the finds. Prehistoric archaeological site indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g., slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items with the possible addition of bone and shell remains, and fire affected stones. Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains such as building foundations and discrete trash deposits (e.g., wells, privy pits, dumps).

Enforcement Responsibility: Building Department; Planning Department; Public Works Department
Timing: Ongoing during construction

28. If paleontological resources are identified during construction activities, all work in the immediate area will cease until a qualified paleontologist has evaluated the finds in accordance with the standard guidelines established by the Society of Vertebrate Paleontology. If the paleontological resources are considered to be significant, a data recovery program will be implemented in accordance with the guidelines established by the Society of Vertebrate Paleontology.

Enforcement Responsibility: Building Department; Planning Department; Public Works Department
Timing: Ongoing during construction

29. If human remains are encountered, excavation or disturbance of the location shall be halted in the vicinity of the find, and the county coroner contacted. If the coroner determines the remains are Native American, the coroner will contact the Native American Heritage Commission. The Native Heritage Commission will identify the person or persons believed to be most likely descended from the deceased Native American. The most likely descendent makes recommendations regarding the treatment of the remains with appropriate dignity.

Enforcement Responsibility: Building Department; Planning Department; County Coroner
Timing: Ongoing during construction

30. The project applicant shall pay a proportionate share of the cost of signaling the intersection at Fifth Street West/West Spain Street.

Enforcement Responsibility: City Engineer; Planning Department; Public Works Department

Timing: Prior to acceptance of the Final Map

31. The project applicant shall be required to prepare and implement a recycling plan for both the deconstruction of existing structures and new construction detailed in the project description. The recycling plan shall address the major materials generated through deconstruction of existing structures and construction of new buildings, and shall identify the means to divert these materials away from landfill disposal. Typical materials included in such a plan are soil, brush and other vegetative growth, sheetrock, dimensional lumber, metal scraps, cardboard packaging, and plastic wrap.

Enforcement Responsibility: Planning Department; Building Department; Public Works Department

Timing: Prior to demolition and/or construction; Ongoing through construction



COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403-2829
(707) 565-1900 FAX (707) 565-1103

RECOMMENDED SANITATION CONDITIONS

Date: December 31, 2014

Planner: Rob Gjestland, Senior Planner for City of Sonoma
From: Keith Hanna, Junior Engineer, County of Sonoma, Permit and Resource Management Department

File Number: Not provided.
Applicant: Forrest Jinks, Altus Equity Group, LP
Owner: Giannis Demethios & Giannis Ro
Site Address: 405 5th Street West, Sonoma, CA
A.P.N. 127-221-007

Project description: To develop a 7-unit PUD on the property (the existing residence would be demolished).

1. NOTE ON MAP: "A separate Sewer Connection Permit for each lot in this subdivision shall be obtained prior to occupancy of any building constructed on the lot. All fees shall be paid to, and all sewer construction shall be inspected and accepted by the Sonoma County Permit and Resource Management Department prior to occupancy of the building.
2. The 8" sewer main in West Spain Street, flowing westerly, shall be extended to the center of the easterly most townhouse, and each townhouse shall be connected to this new main in West Spain Street.

Alternately, if it is not possible to extend the 8" sewer main in West Spain Street in an easterly direction due to cover, topography, or sewer system capacity, then an 8" sewer main, flowing easterly, shall be constructed in West Spain Street from the existing 6" sewer main in 5th Street West. This new 8" main shall extend to the center of the most westerly most townhouse, and each townhouse shall be connected to this new main in West Spain Street.

If the existing single family dwelling's side sewer is to be utilized as one of the connections for one of the proposed townhouses, then the existing side sewer from the townhouse to the main shall be inspected, pass a pressure test, and be videoed. If the line does not meet, or exceed, current Standards or fails testing, it shall be repaired or replaced. . If the existing side sewer is to be abandoned, it shall be abandoned in accordance with requirements of the *Sonoma County Water Agency Sanitation Design and Construction Standards for Sanitation Facilities* and as directed by the Engineering Division of the Sonoma County Permit and Resource Management Department.

Regardless of the sewer main alignment and design, prior to approval of this project by the Sonoma County Permit and Resource Management Department (PRMD), the Applicant shall undertake a "Sewer Capacity Study" prepared prior to final approval of the development. The "Sewer Capacity Study" shall be submitted and approved by the Sonoma County Water Agency.

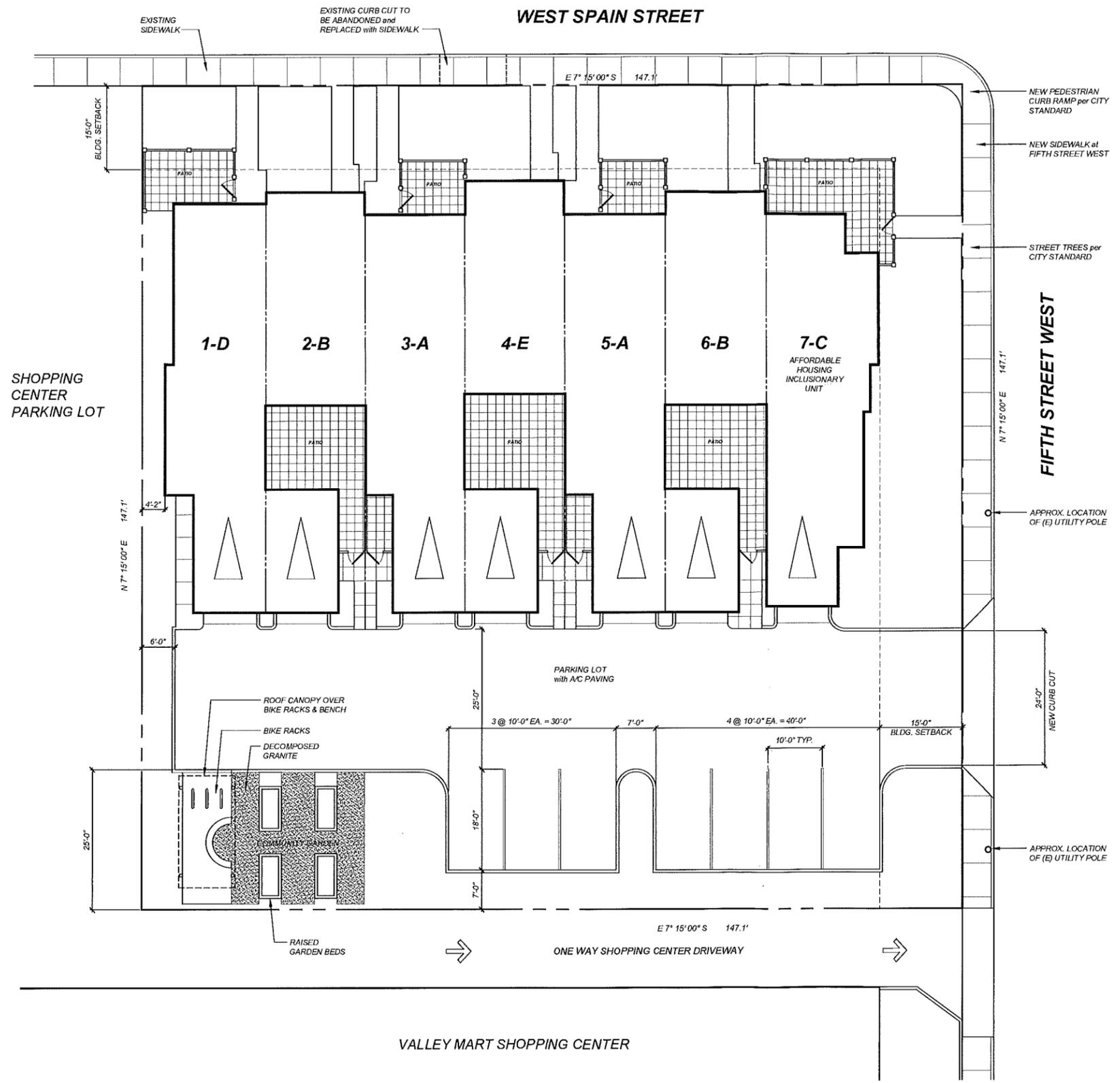
3. The Applicant shall submit improvement plans to the Sanitation Section of PRMD for review and approval of the sanitary sewer design. Improvement plans shall be blue line or black line drawings on standard bond paper, 24 inch by 36 inch in size, and prepared by a licensed civil engineer registered in the State of California. Sanitary sewer facilities shall be designed and Improvement Plans prepared in

accordance with SCWA Design and Construction Standards for Sanitation Facilities. The Applicant shall pay Plan Checking fees to the Sanitation Section of PRMD prior to the start of Improvement Plan Review.

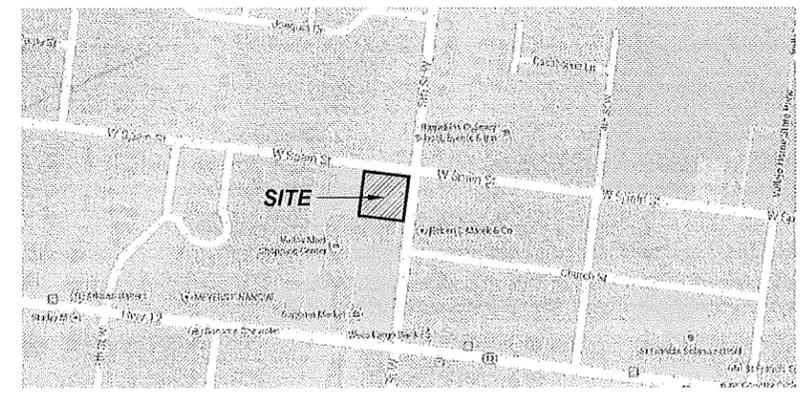
Please note that review of the sanitary sewer design is a separate review from that of the buildings, drainage and frontage improvements, and shall be performed by the Sanitation Section of the Permit and Resource Management Department under a separate permit.

The sewer design originals shall be signed by the SCWA Chief Engineer prior to the issuance of any permits for construction of the sanitary sewer facilities. The design engineer shall submit improvement plans to the Sanitation Section of PRMD on 24 inch by 36 inch originals for signature by SCWA. All sanitary sewer inspection permits shall be obtained from the Sanitation Section of PRMD prior to the start of construction.

4. The Applicant shall obtain a Sewer Disconnect Permit from the Sanitation Section of the Sonoma County Permit and Resource Management Department (PRMD) when obtaining a Building Demolition Permit for the existing structure. Disconnection of the existing structure from the sewer shall be inspected by the Engineering Division of PRMD to ensure that disconnection is conducted in compliance with Health and Safety Codes, and to preserve any sewer connection credit that may currently be assessed to the property.
5. The Applicant shall construct sanitary sewer mains and appurtenances, or post securities with the City of Sonoma, to ensure that sewer facilities are installed in accordance with Sonoma County Water Agency Design and Construction Standards for Sanitation Facilities, where applicable, and/or specific details, as shown on approved improvement plans.
6. No building shall be connected to the mainline sewer until the mainline sewer has been inspected and accepted by the Engineering Division of the Sonoma County Permit and Resource Management Department (PRMD), and a Sewer Connection Permit has been issued for the building. A Sewer Completion Certificate is required PRIOR to Occupancy.
7. Prior to the start of construction within the public right-of-way an encroachment permit shall be obtained from the City of Sonoma. The contractor shall provide a copy of the issued Encroachment Permit to P.R.M.D. when obtaining the sewer construction permit.
8. Sewer Use Fees for sewer service shall be calculated at the prevailing Sewer Connection and Annual Sewer Service Charge rates in effect at the time of sewer permit issuance.
9. All Sewer Fees per Sonoma Valley County Sanitation District Ordinances (latest revision) shall be paid to the Sanitation Section of the Sonoma County Permit and Resource Management Department (PRMD) prior to occupancy of the residential units on any parcel.
10. The Applicant shall be responsible for the restoration of existing conditions including, but not limited to surfacing, landscaping, utilities and other public improvements that have been disturbed due to the construction of sanitary sewer facilities. Restoration shall be completed prior to the issuance of a Completion Notice, unless otherwise specifically approved in advance by the Permit and Resource Management Department.
11. The Applicant shall have "record drawings" prepared by the project engineer, in accordance with Section 6-05, of the Sonoma County Water Agency Design and Construction Standards for Sanitation Facilities. The record drawings shall be submitted to the Engineering Division of the Permit and Resource Management Department (PRMD) for review and approval prior to acceptance of the sanitary sewer facilities.



VICINITY MAP



PROJECT DATA

PROJECT LOCATION: 405 WEST FIFTH STREET
CORNER OF WEST FIFTH STREET and WEST SPAIN STREET

ASSESSOR PARCEL #: 127-221-007

EXISTING ZONING & LAND USE: NORTHWEST AREA

GENERAL PLAN DESIGNATION: C - COMMERCIAL

PROPOSED ZONING: PD - PLANNED DEVELOPMENT (RESIDENTIAL)

SITE AREA: 21,638 S.F. (APPROX. 0.50 ACRE)

OF HOMES: 7

HOME SIZES

HOME TYPE "A"	1252 S.F. with 272 S.F. GARAGE
HOME TYPE "B"	1103 S.F. with 286 S.F. GARAGE
HOME TYPE "C"	878 S.F. with 332 S.F. GARAGE
HOME TYPE "D"	1235 S.F. with 272 S.F. GARAGE
HOME TYPE "E"	1138 S.F. with 286 S.F. GARAGE

OVERALL SITE COVERAGE 31% (including 4 attached garages)

OVERALL SITE F.A.R. 42% (including 4 attached garages)

INDIVIDUAL LOT DATA

LOT #1	COVERAGE: 78%	F.A.R.: 103%
LOT #2	COVERAGE: 45%	F.A.R.: 74%
LOT #3	COVERAGE: 76%	F.A.R.: 101%
LOT #4	COVERAGE: 45%	F.A.R.: 74%
LOT #5	COVERAGE: 76%	F.A.R.: 101%
LOT #6	COVERAGE: 45%	F.A.R.: 74%
LOT #7	COVERAGE: 78%	F.A.R.: 78%

COMMON AREA PARCEL A - Coverage and F.A.R. Not Applicable
(No Buildings on Common Area Parcel)

PARKING:

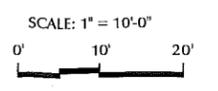
COVERED	1 GARAGE PER UNIT = 7 SPACES
UNCOVERED	7 SPACES
TOTAL PROVIDED	14 SPACES (2 spaces per 2 bedroom home)

OPEN SPACE:

PRIVATE (PATIOS)	1750 S.F.
COMMUNITY GARDEN AREA	1350 S.F.
	3100 S.F. (443 S.F. per home)

FIFTH STREET WEST HOMES
405 FIFTH STREET WEST, SONOMA, CALIFORNIA

CONCEPTUAL SITE PLAN



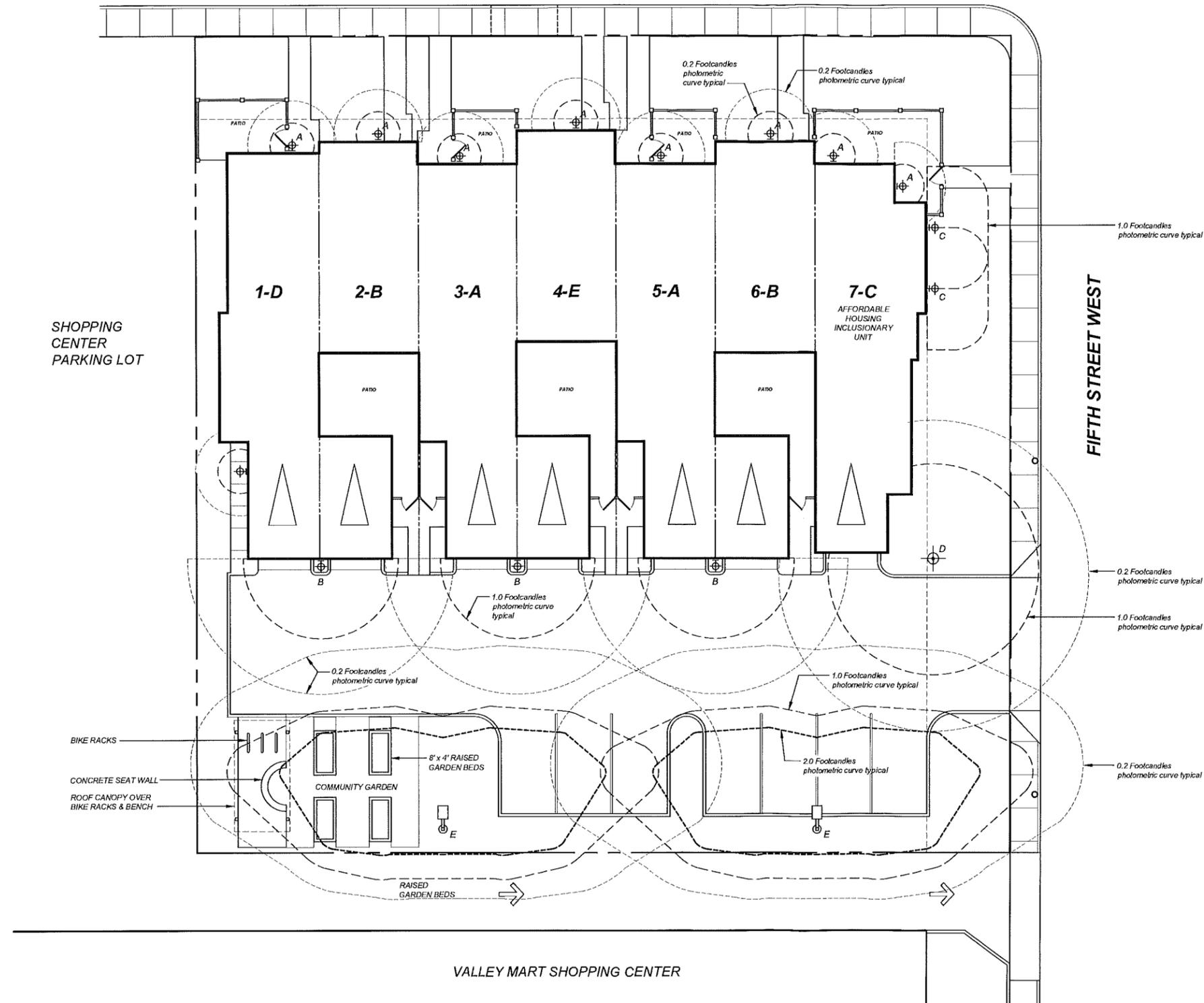
TIERNEY/FIGUEIREDO

817 RUSSELL AVE. SUITE H, SANTA ROSA, CA 95403
(707) 576-1557 (707) 576-1555 FAX TFA@SONIC.NET

ARCHITECTS AIA

MAR 20 2015

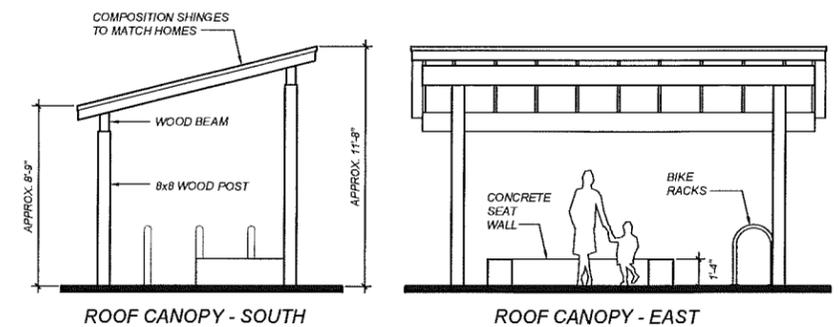
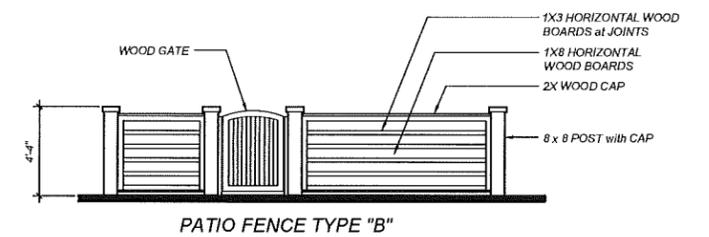
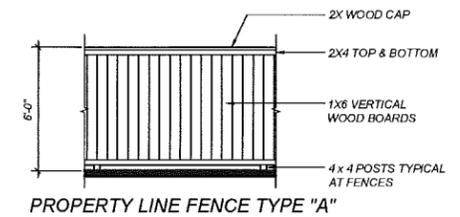
WEST SPAIN STREET



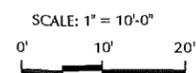
LIGHTING LEGEND

- A EXTERIOR WALL MOUNTED CYLINDER DOWNLIGHT: LITHONIA OLLWD (COLOR = WHITE) with 9 WATT LED LAMP. MOUNTING HEIGHT APPROX. 7'
 - B EXTERIOR WALL MOUNTED CYLINDER DOWNLIGHT: RAB WBLD18W (COLOR = WHITE) with 18 WATT LED LAMP and PHOTOCELL OPERATION. MOUNTING HEIGHT APPROX. 8'-6"
 - C EXTERIOR WALL MOUNTED GOOSENECK DOWNLIGHT: RAB GN5LED26YST11W (COLOR = WHITE) with 26 WATT LED LAMP and PHOTOCELL OPERATION. MOUNTING HEIGHT APPROX. 7'
 - D AREA LIGHT: RAB ALED 5TS2W (COLOR = WHITE) with 52 WATT LED LAMP ON 8'-0" HIGH POLE with PHOTOCELL OPERATION
 - E PARKING LOT LIGHT STANDARD with SINGLE ARM MOUNT HEAD: RAB ALED2T7BNW (COLOR = WHITE) with 78 WATT LED LAMP ON 12'-0" HIGH POLE with PHOTOCELL OPERATION
- NOTE: PHOTOMETRIC CURVE DATA SHOWN ARE APPROXIMATIONS BASED ON MANUFACTURER'S GRAPHIC INFORMATION

SITE DETAILS



CONCEPTUAL SITE LIGHTING PLAN and SITE DETAILS



FIFTH STREET WEST HOMES

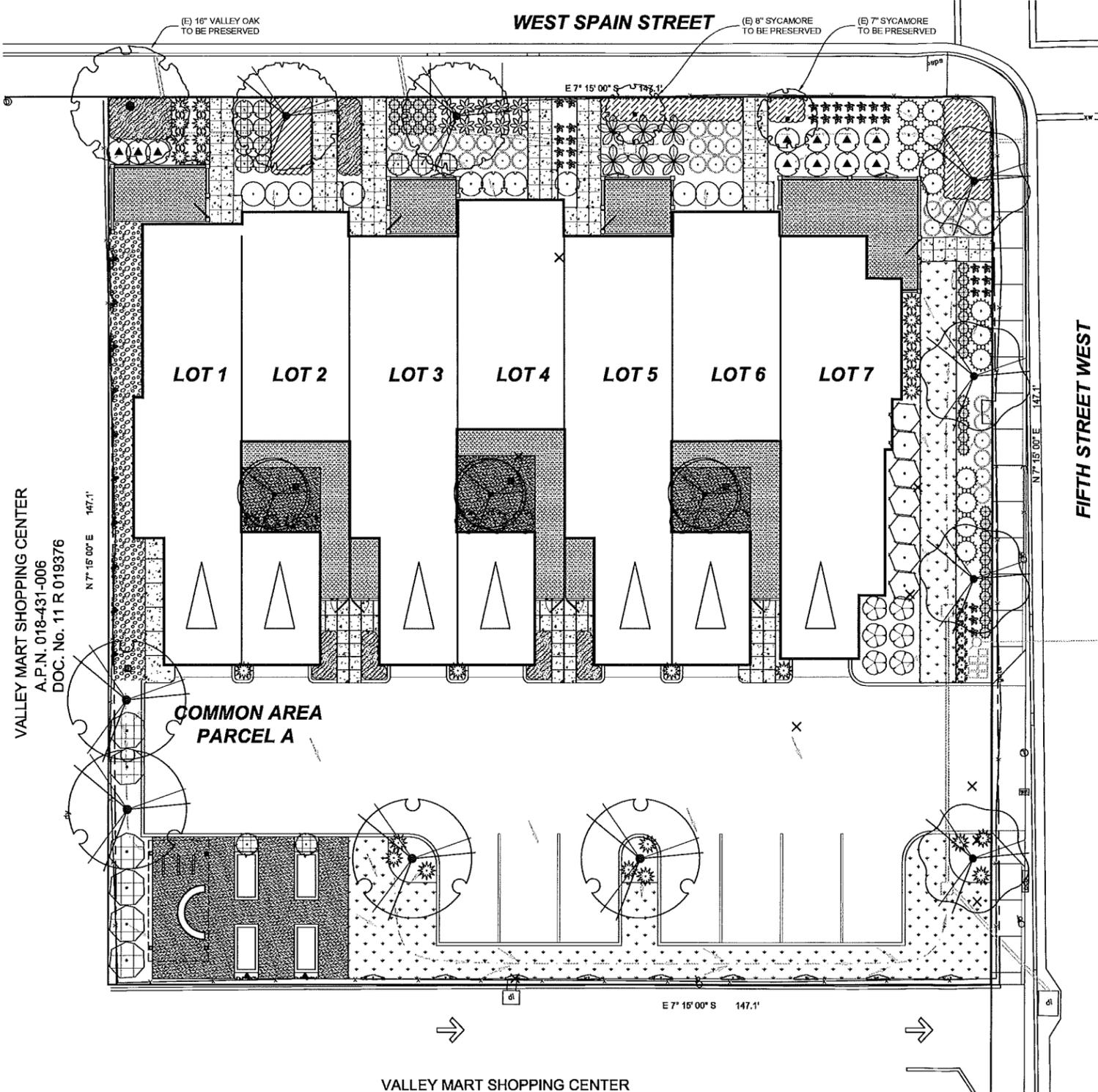
405 FIFTH STREET WEST, SONOMA, CALIFORNIA

TIERNEY/FIGUEIREDO

817 RUSSELL AVE. SUITE H, SANTA ROSA, CA 95403
(707) 576-1557 (707) 576-1555 FAX TFA@SONIC.NET

ARCHITECTS AIA

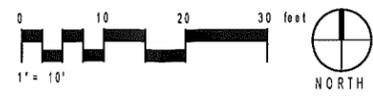
03/10/15
#1113



VALLEY MART SHOPPING CENTER
 A.P.N. 018-431-006
 DOC. No. 11 R 019376

COMMON AREA
 PARCEL A

VALLEY MART SHOPPING CENTER



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	3" CRUSHED STONE ON PERMEABLE WEED BARRIER	362 sf	
PAVING			
SYMBOL	DESCRIPTION	QTY	DETAIL
	DECOMPOSED GRANITE: 1" COMPACTED DECOMPOSED GRANITE ON 3" COMPACTED CLASS 2 AB ON FILTER FABRIC ON PREPARED SUBGRADE	1,045 sf	
	PERMEABLE PAVERS - HYDRO-FLO 6x6 RUSTIC, DIAGONAL PATTERN, COLOR: RANDOM BLEND 50% B5 / 50% B9, MFR. BY PACIFIC INTERLOCK PAVINGSTONE	1,250 sf	
	COLORLED CONCRETE ACCENT PAVING - DAVIS COLOR: "MESA BUFF", LIGHT WASH, SAWCUT JOINTS AS SHOWN.	903 sf	
SYMBOL	DESCRIPTION	QTY	DETAIL
	12" CAST IRON AREA DRAIN, CONNECT TO SITE DRAINAGE	4	
X	TREES TO BE REMOVED	9	

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
	Lagerstroemia x 'Tuscarora' / Crape Myrtle Coral Pink	24" box	3	STD	
	Olea europaea 'Swan Hill' TM / Swan Hill Olive	36" box	4	STD	
	Platanus x acerifolia 'Columbia' / London Plane Tree	24" box	2	STD	
	Quercus suber / Cork Oak	24" box	4	STD	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
	Aloe maculata 'Yellow Form' / Yellow Soap Aloe	5 gal	33		
	Ceanothus x 'Concha' / California Lilac	5 gal	6		
	Diets vegeta 'Variegata' / Variegated African Iris	5 gal	31		
	Lavatera thuringiaca 'Barneley' / Tree Mallow	5 gal	7		
	Loropetalum chinense rubrum 'Razzleberry' / Razzleberry Fringe Flower	5 gal	6		
	Phormium tenax 'Tricolor' / New Zealand Flax	5 gal	6		
	Ribes sanguineum 'Spring Showers' / Pink Flowering Currant	5 gal	3		
	Ribes speciosum 'Rana Creek' / Fuchsia Flowering Gooseberry	5 gal	7		
	Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary	5 gal	5		
	Sarcococca ruscifolia / Fragrant Sarcococca	5 gal	7		
	Senna phyllodinea / Senna	5 gal	11		
	Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary	5 gal	8		
	Yucca filamentosa 'Variegata' / Variegated Adair's Needle	5 gal	10		
GRASSES	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
	Deschampsia cespitosa 'Pixie Fountain' / Dwarf Tufted Hair Grass	5 gal	7		
	Helictotrichon sempervirens 'Saphirsprudel' / Sapphire Fountain Blue Out Grass	5 gal	36		
	Muhlenbergia capillaris 'Pink Cloud' / Pink Muhly	5 gal	35		
	Pennisetum setaceum / Purple Fountain Grass	5 gal	14		
VINES/PAUPER	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
	Campsis radicans 'Minnesota Red' / Minnesota Red Trumpet Creeper	5 gal	13	Train to fence	
	Rosa banksiae 'Alba Plena' / White Banksian Rose Espalier	5 gal	12	Provide 4x4 galv. W/M for support	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	REMARKS
	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	5 gal	30" o.c.	41	
	Ceanothus gloriosus 'Anchor Bay' / Anchor Bay Lilac	5 gal	48" o.c.	6	
	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	5 gal	48" o.c.	17	
	Turf Sod WS Fine Fescue / Creeping Red Fescue Bland	sod		1,481 sf	No-mow, low water use sod

imaginasonoma
 LANDSCAPE ARCHITECTS, INC.
 807 CAMELIA STREET, STEE. BERKELEY, CA 94710 • 707.525.1300 • www.imaginasonoma.com

5TH ST. WEST HOMES



SCALE 1"=10'-0"
 DRAWN PH
 CHECKED PH
 DATE MAR 16, 2015
 REV BY NO.

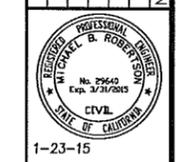
LANDSCAPE PLAN

L3.1
 FOR DESIGN
 REVIEW ONLY

SONOMA, CALIFORNIA

DATE: Jan. 2015
 SCALE: 1"=10'-0"
 DESIGNED: MBR
 DRAWN: GR
 CHECKED: MBR
 PROJ. ENGR.: MBR
 PROJ. MGR.: MBR

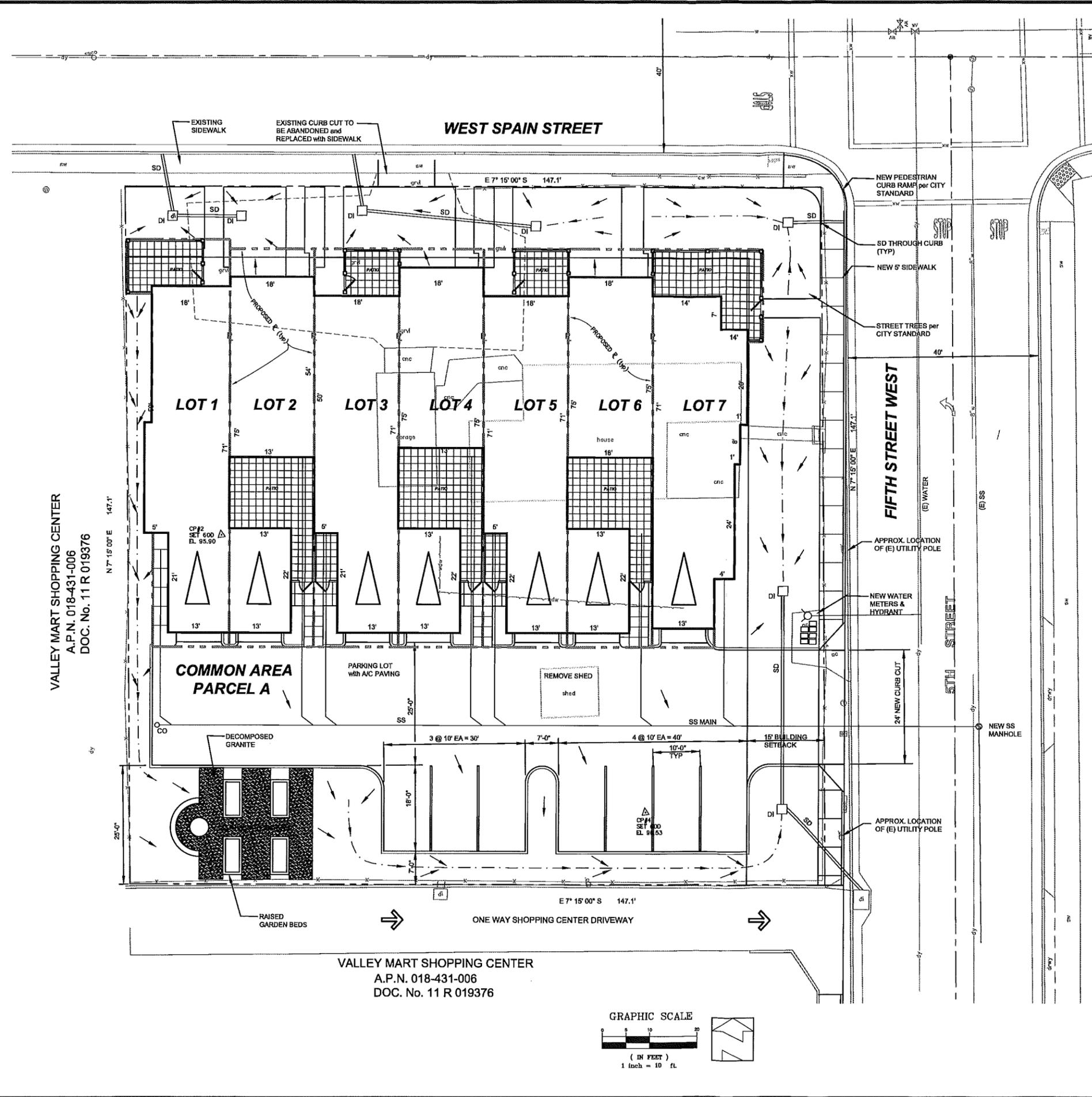
No.	DATE	REVISION



1-23-15
 ROBERTSON ENGINEERING, INC.
 2300 BERTHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405
 Tel: 707-528-7490 Fax: 707-528-7499
 E-mail: office@robertsonengineering.net

TENTATIVE MAP
 FIFTH STREET WEST HOMES
 ALTUS EQUITY GROUP, LP
 405 FIFTH STREET WEST
 SONOMA, CALIFORNIA

SHEET 1 OF 1 SHEETS
 JOB No. 14092



- ABBREVIATIONS**
 SCREENED and/or lower case DENOTES EXISTING IMPROVEMENTS
- ± PLUS/MINUS
 - AC ASPHALT CONCRETE
 - APN ASSESSOR PARCEL NUMBER
 - APPROX APPROXIMATE
 - C&G CURB & GUTTER
 - CL CENTERLINE
 - CLSTR CLUSTER
 - CMP CORRUGATED METAL PIPE
 - CNC CONCRETE
 - DE DRAINAGE EASEMENT
 - DI DROP INLET
 - DN DOCUMENT NUMBER
 - EM ELECTRIC METER
 - EX EXISTING
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - GM GAS METER
 - IFO IN FAVOR OF
 - INV INVERT
 - LF LINEAR FEET
 - LF (max) MAXIMUM
 - (min) MINIMUM
 - O/H OVERHEAD UTILITY LINES
 - PLR PLANTER
 - PLR PROPERTY LINE
 - PP POWER POLE
 - PUE PUBLIC UTILITY EASEMENT
 - R RADIUS
 - RDWD REDWOOD
 - RCP REINFORCED CONCRETE PIPE
 - R/W RIGHT OF WAY
 - SD STORM DRAIN
 - SF SQUARE FEET
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SW SIDEWALK
 - SWE SIDEWALK EASEMENT
 - (typ) TYPICAL
 - W WATER

LOT AREAS

LOT No. 1	1,506 SF
LOT No. 2	1,500 SF
LOT No. 3	1,515 SF
LOT No. 4	1,495 SF
LOT No. 5	1,515 SF
LOT No. 6	1,490 SF
LOT No. 7	1,561 SF
PARCEL A	11,057 SF
TOTAL	21,639 SF

- NOTES:**
1. THERE ARE NO KNOWN WELLS OR SEPTIC TANKS ON THE PROPERTY.
 2. THERE ARE NO EXISTING WATERCOURSES THROUGH THE SITE.
 3. ALL STRUCTURES ON THE PROPERTY WILL BE REMOVED.
 4. THE PROPERTY IS NOT SUBJECT TO INUNDATION OR STORM WATER OVERFLOW.

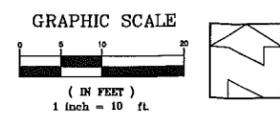
**TENTATIVE MAP
 FIFTH STREET WEST HOMES
 405 FIFTH STREET WEST SONOMA, CA**

A.P.N. 127-221-007 7 LOTS + PARCEL A 0.50 ACRE January, 2015
 DOC. NO. 14 R 010673
 REAL PROPERTY IN THE CITY OF SONOMA, COUNTY OF SONOMA,
 STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT NO. 509 OF THE FORMER PUEBLO OF SONOMA, NEAR SONOMA: THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 509, A DISTANCE OF 147.1 FEET; THENCE SOUTHERLY AND PARALLEL WITH THE EASTERLY LINE OF SAID LOT A DISTANCE OF 147.1 FEET; THENCE EASTERLY AND PARALLEL WITH THE NORTHERLY OF SAID LOT A DISTANCE OF 147.1 FEET TO THE EASTERLY LINE OF SAID LOT; THENCE ALONG SAID LINE NORTHERLY 147.1 FEET TO THE POINT OF BEGINNING, TOGETHER WITH ALL BUILDINGS AND IMPROVEMENTS THEREON.

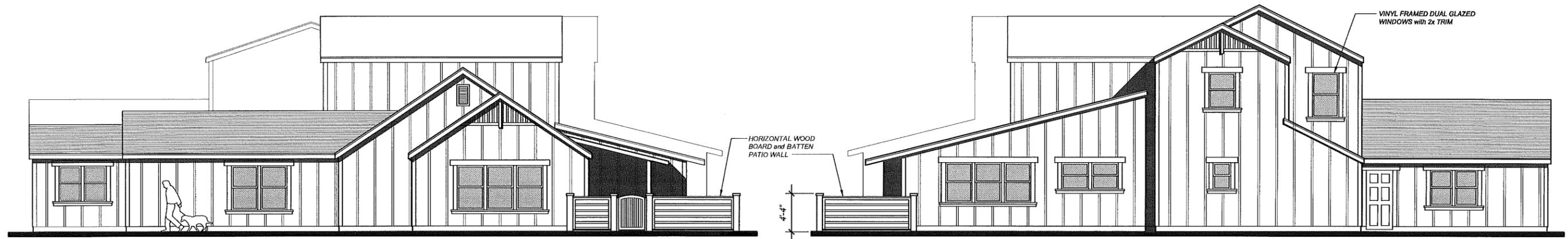
VALLEY MART SHOPPING CENTER
 A.P.N. 018-431-006
 DOC. No. 11 R 019376

VALLEY MART SHOPPING CENTER
 A.P.N. 018-431-006
 DOC. No. 11 R 019376



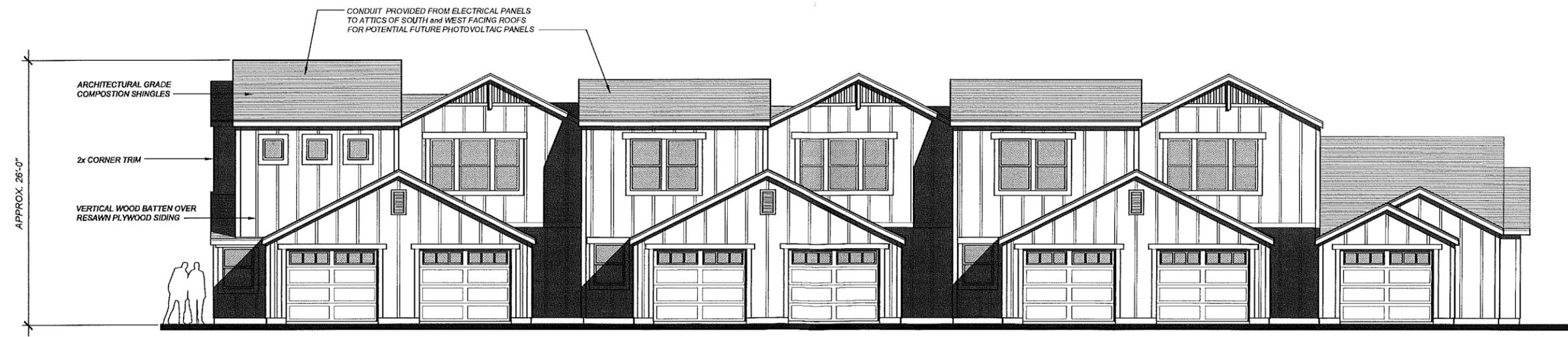


NORTH - WEST SPAIN STREET



EAST - FIFTH STREET WEST

WEST



SOUTH

FIFTH STREET WEST HOMES
405 FIFTH STREET WEST, SONOMA, CALIFORNIA

CONCEPTUAL ELEVATIONS

SCALE: 3/16" = 1'-0"
0' 2' 4' 8'

TIERNEY/FIGUEIREDO
817 RUSSELL AVE. SUITE II, SANTA ROSA, CA 95403
(707) 576-1557 (707) 576-1555 FAX TFA@SONIC.NET
ARCHITECTS AIA

03/18/15
#113



FIFTH STREET WEST HOMES

405 FIFTH STREET WEST, SONOMA, CALIFORNIA

CONCEPTUAL FIRST FLOOR PLANS

SCALE: 3/16" = 1'-0"
 0' 2' 4' 8'



TIERNEY/FIGUEIREDO
 817 RUSSELL AVE. SUITE H, SANTA ROSA, CA 95403
 (707) 576-1557 (707) 576-1555 FAX TFA@SONIC.NET
ARCHITECTS AIA



FIFTH STREET WEST HOMES
 405 FIFTH STREET WEST, SONOMA, CALIFORNIA

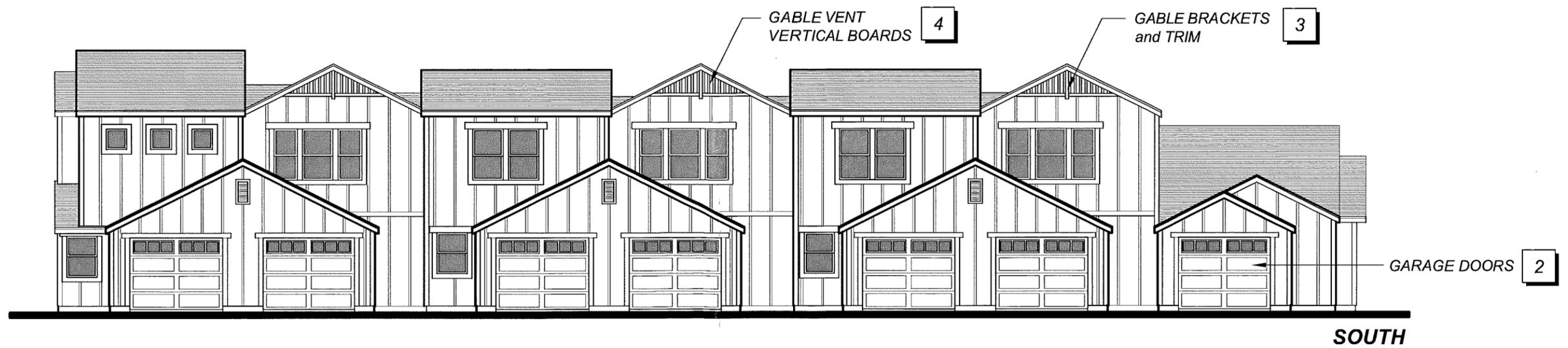
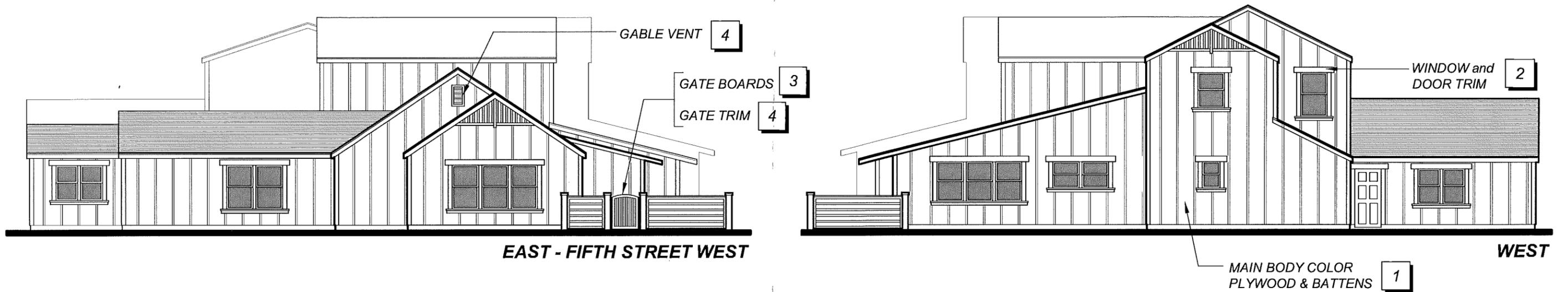
CONCEPTUAL SECOND FLOOR PLANS

SCALE: 3/16" = 1'-0"
 0' 2' 4' 8'



TIERNEY/FIGUEIREDO
 817 RUSSELL AVE. SUITE 11, SANTA ROSA, CA 95403
 (707) 576-1557 (707) 576-1555 FAX TFA@SONIC.NET
ARCHITECTS AIA

03/10/15
 #111



FIFTH STREET WEST HOMES
405 FIFTH STREET WEST, SONOMA, CALIFORNIA

COLOR KEY

TIERNEY/FIGUEIREDO
817 RUSSELL AVE. SUITE H, SANTA ROSA, CA 95403
(707) 576-1557 (707) 576-1555 FAX TTA@SONIC.NET
ARCHITECTS AIA

03/18/15 #1113
MAR 20 2015

PROJECT NARRATIVE

Fifth Street West Homes

405 5th St West, Sonoma CA

March 20, 2015

APN: 127-221-007

Location: The south west corner of 5th St West and West Spain St

Size: Approximately 0.49 acres

Current Zoning: Commercial, Northwest Planning Area

Project Overview: While there was a previous approval for a mixed use retail/office building for this site, we are proposing a residential ownership project which we believes both fills a need for housing in Sonoma, decreases traffic impact as compared to the originally proposed commercial project and works as a transition between the commercial development to the south and the single-family residential neighborhoods to the north. The zoning allows for up to 20 units per acre which would allow a maximum of 9 units on this site. Due to the various site and zoning constraints on the property, such as the setbacks from each of the two streets that border the property and the "fixed" location of the project driveway, we believe 7 units on the property is an appropriate density that will appeal to the end user and the City.

The design meets all the design criteria as defined by the site's zoning. The Planned Development designation was requested to allow the smaller lots required to provide each of the 7 townhomes their own individual properties. This project was approved by the Planning Commission as a Planned Development project in accordance with City of Sonoma Ordinance 19.54.070 Planned Development Permit.

The design as conceptually proposed consists of six two-bedroom two-bath townhomes and one one-bedroom one-bath townhome in an attached row house style of development. One of the seven will be designated as a moderate income inclusionary unit. Each unit will have one covered parking space with the remainder of the required parking being shared in a paved parking lot located at the rear of the site. The "public" façade of the project is oriented toward the streets and the garages and open parking are located behind the building. Generous landscaping, including low-water usage native grasses and shrubs provide a background to 24 and 36 inch "box" trees, including cork oaks and olive trees.

Outdoor patio spaces for the homes are provided alternately by fenced front yard patios and enclosed courtyards located between the homes and their garages. Garages are accessed either from these courtyards or directly from the homes.

The elevations provide a mixture of traditional gable forms; those along West Spain Street are set back deeply from the front façade and are separated by long sloping shed roofs that create vaulted ceilings in the living rooms. The rear (south) elevations also have a variety of gable forms that vary greatly in their distance from the rear garage facades and are further broken down in scale by the voids created by the three rear patio courtyards.

The primary building body colors are intentionally muted and pale to reduce the building's visual impact on the street. The front patio wall and accent features have two shades of olive/sage green to compliment the landscape palette.

The current design includes revisions based on comments provided by the Planning Commission. These revisions include:

1. Reduced massing as viewed from the intersection of 5th St West and W Spain
2. Increased variation in the northern elevation and reduction in scale and orientation of gable roof elements
3. Internal courtyards on three of the units to increase usability and size of yard space and provide more variation in building massing
4. Redesign of eastern elevation to provide a single story scale at the intersection
5. Orientating the easterly units entry onto Fifth Street West
6. Ensuring all units have a location on the floor plans for a washer and dryer
7. Change of siding material from horizontal lap siding to plywood-and-batten siding for increased aesthetic appeal
8. Wrapping the patio wall of the eastern most unit (7C) to further break up the eastern elevation

COLOR SUBMITTAL

FIFTH STREET WEST HOMES
405 FIFTH STREET WEST, SONOMA, CALIFORNIA



1

BENJAMIN MOORE COLOR PREVIEW
COLOR: #HC - 5 "WESTERN FLAX"



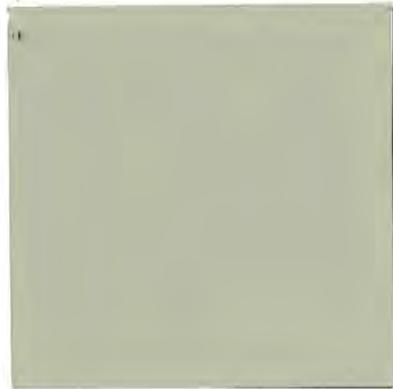
2

BENJAMIN MOORE COLOR PREVIEW
COLOR: #OC - 109 "LEMON CHIFFON"



3

BENJAMIN MOORE COLOR PREVIEW
COLOR: #HC - 112 "TATE OLIVE"



4

BENJAMIN MOORE COLOR PREVIEW
COLOR: #HC - 111 "NANTUCKET GRAY"



5

COMPOSITION ROOF SHINGLES
PABCO PREMIER RADIANCE 50
COLOR: "PEBBLE"

MAY 20 2015

405 FIFTH STREET WEST HOMES SITE LIGHTING FIXTURES



FIXTURE "A"

Lithonia OLLWD 9 watt LED architectural
cylinder downlight.
Color: white



FIXTURE "B"

RAB WBLED18W 18 watt LED architectural
cylinder downlight with photocell operation.
Color: white



FIXTURE "C"

RAB GN5LED26YST11W 26 watt LED architectural
gooseneck luminaire with photocell operation.
Color: white

405 FIFTH STREET WEST HOMES SITE LIGHTING FIXTURES



FIXTURE "D"

RAB ALED 5T52W area light with 52 watt LED
lamping and photocell operation on 8 foot high
pole.

Color: white



Fixture

FIXTURE "E"

RAB ALED 2T78NW parking lot light with 78 watt
LED lamping and photocell operation on 12 foot
high pole.

Color: white



Fixture on pole



Catalog Number
Notes
Type

FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty. Full warranty terms located at www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx.

Note: Specifications are subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Outdoor General Purpose

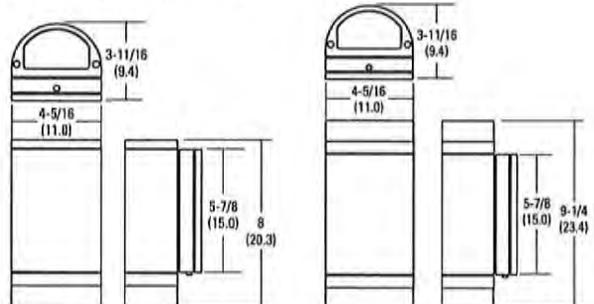
OLLWD & OLLWU

LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLLWD

Series	Color temperature (CCT)	Voltage	Finish
OLLWD Downlight	(blank) 4000K	(blank) MVOLT (120V-277V)	DDB Dark bronze
OLLWU Up & downlight			WH White

WBLED18W



18 Watt LED wall sconce. Die-cast aluminum wall bracket with five 1/2" conduit openings with plugs.

Color: White

Weight: 13.1 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	18W
120V:	0.24A	Color Temp:	5100K (Cool)
208V:	0.18A	Color Accuracy:	71 CRI
240V:	0.15A	L70 Lifespan:	100,000
277V:	0.12A	LM79 Lumens:	1,242
Input Watts:	23W	Efficacy:	55 LPW
Efficiency:	80%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 4 ft. (1.2m) of the ground.

Other

LEDs:

6W multi-chip, long-life LEDs

California Title:

See WBLED18/PCS for a 2013 California Title 24 compliant model.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 6kV Surge Protection, 700mA, 100-277VAC 0.04 A.

Custom

THD:

16.1% at 120V

Patents:

The design of WBLED is protected by patents pending in US, Canada, China, Taiwan and Mexico.

Construction

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

Cold Weather Starting:

Minimum starting temperature is -40°F/-40°C

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The BLED is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature.

Housing:

Die-cast aluminum with extruded aluminum bollard shaft

Lens:

Clear, vandal-resistant polycarbonate

Reflector:

Specular polycarbonate

Gaskets:

High-temperature silicone gaskets seal out moisture gaskets seal out moisture

Mounting:

Die-cast aluminum wall bracket with five (5) 1/2" conduit openings with plugs

Gaskets:

High-temperature silicone gaskets seal out moisture

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

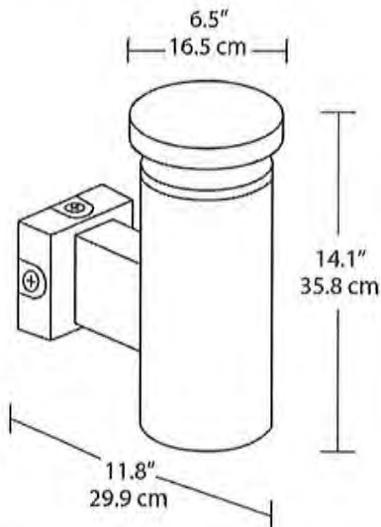
Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

WBLEDR18W



Dimensions



Features

- 18 Watt LED architectural wall sconce
- Companion fixture to RAB BLED Bollard
- Durable construction and vandal-resistant polycarbonate lens
- 100,000-hour LED lifespan

Ordering Matrix

Family	Shape	Watts	Color Temp	Finish
WBLED	Blank = Square R = Round	18 = 18W	Blank = Cool Y = Warm N = Neutral	Blank = Bronze W = White

GN5LED26YST11W



13 & 26 Watt Straight Shade LED Gooseneck Luminaire designed to match the architecture of Main Street storefronts and building perimeters. LED Gooseneck Straight Shade with Pole 20" High, 19" from Pole Goose Arm Style 5.

Color: White

Weight: 16.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	26W
120V:	0.25A	Color Temp:	3000K (Warm)
208V:	0.16A	Color Accuracy:	82 CRI
240V:	0.14A	L70 Lifespan:	100,000
277V:	0.12A	LM79 Lumens:	1,348
Input Watts:	29W	Efficacy:	47 LPW
Efficiency:	90%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LED:

Single multi-chip, 26W high-output, long-life LED.

Correlated Color Temp. (Nominal CCT):

3000K

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Construction

Fixture:

The GN5LED26YST11W comes with the GOOSE5W arm.

Thermal Management:

Custom heat sink assembly in thermal contact with die-cast aluminum housing for superior heat sinking.

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate.

Gaskets:

High Temperature Silicone

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals. Offers significantly improved gloss retention and resistance to color change.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 0.48 A, THD≤20%, PF 97.9%.

Surge Protection:

4kv

Other

Shades:

11" Straight Shade offered.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010)

Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4

Custom

Equivalency:

The GNLED26 is equivalent in delivered lumens 120W Incandescent, 75W MH or 42W CFL.

California Title 24:

Goosenecks complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-pole-mounted fixture < 30 Watts when used with a photosensor control. Select catalog number PCS900(120V) or PCS900/277 to order a photosensor.

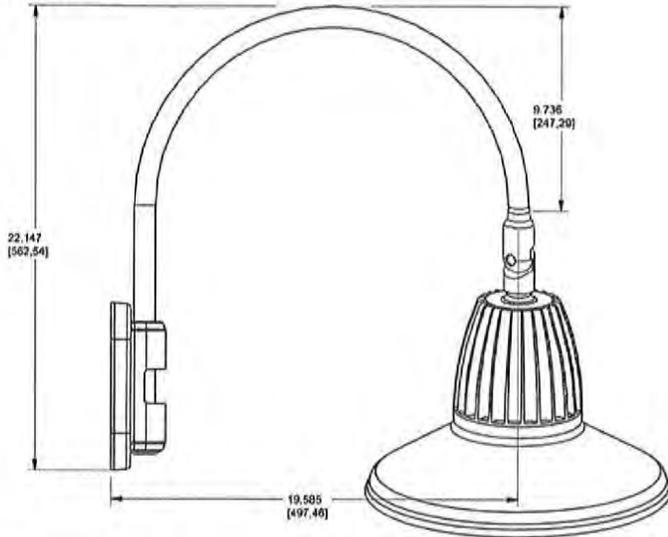
Technical Specifications (continued)

Custom

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan.

Dimensions



Features

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5 year LED warranty

Ordering Matrix

Family	Watts	Color Temp	Reflector	Shade	ShadeSize	Finish
GN5LED	13 = 13W 26 = 26W	Y = 3000K N = 4000K	Blank = Flood R = Rectangular S = Spot	ST = Straight Shade	11 = 11" Blank = 15"	B = Black W = White A = Bronze S = Silver G = Hunter Green YL = Yellow LB = Light Blue BL = Royal Blue BWN = Brown I = Ivory R = Red

ALED5T52W



High output LED pole top area light with IES type V circular distribution. Wide and uniform 360 degree pattern ideal for large outdoor areas such as parking lots, corporate parks, and retail settings.

Color: White

Weight: 21.8 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type: Constant Current
120V: 0.49A
208V: 0.31A
240V: 0.27A
277V: 0.24A
Input Watts: 59W
Efficiency: 88%

LED Info

Watts: 52W
Color Temp: 5000K (Cool)
Color Accuracy: 64 CRI
L70 Lifespan: 100,000
LM79 Lumens: 4,877
Efficacy: 82 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

LED Characteristics

LEDs:

4x13W high-output, long-life LEDs.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Electrical

Drivers (2):

Constant Current, 720mA, Class 2 with 6kV surge protection, 100-277VAC, 50/60 Hz.

THD:

7.9% at 120V, 11.3% at 277V

Construction

Cold Weather Starting:

Minimum starting temperature is -40°F / -40°C.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Effective Projected Area:

EPA = 1.2

Thermal Management:

Superior heat sinking with external air-flow fins.

Housing:

Precision die-cast aluminum, Type V distribution.

Support Arms:

Extruded aluminum.

Lens:

Clear tempered glass lens.

Reflector:

Specular vacuum-metallized polycarbonate. Type V distribution.

Gaskets:

High-temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant.

Other

Patents:

The designs of the ALED5T52 are protected by patents pending in US, Canada, China, Taiwan and Mexico.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

ALED5T52W



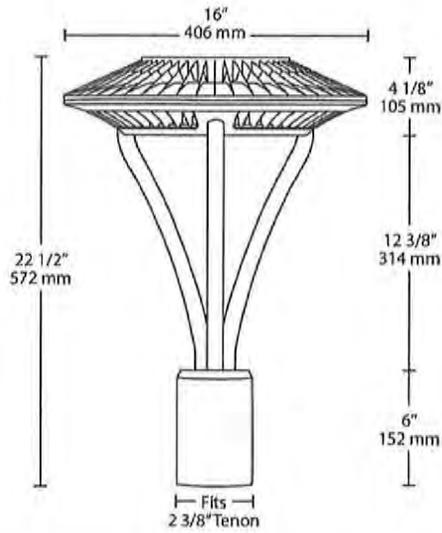
Technical Specifications (continued)

Other

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

Dimensions



Features

- IES type V (circular) distribution
- 100,000-hour LED lifespan
- Compatible with standard 2 3/8" and 3" tenons
- Air-flow fins for maximum heat dissipation
- 5-year warranty

Ordering Matrix

Family	Distribution	Watts	Color Temp	Finish	Dimming	Bi-Level
ALED	5T = Type V	78 = 78W 52 = 52W	Blank = Cool Y = Warm N = Neutral	Blank = Bronze W = White	Blank = No Dimming /D10 = Dimmable	Blank = No Bi-Level /BL = Bi-Level

ALED2T78NW



Specification Grade Area lights available in IES Type II distributions. For use in parking lots, roadways, pathways and general area lighting. Mounts to 4" square steel poles at 15-25'. Designed to replace 250W Metal Halide Area Lights. Patent Pending thermal management system. 5 Year Warranty.

Color: White

Weight: 32.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	78W
120V:	0.66A	Color Temp:	4000K (Neutral)
208V:	0.41A	Color Accuracy:	82 CRI
240V:	0.35A	L70 Lifespan:	100,000
277V:	0.30A	LM79 Lumens:	6,301
Input Watts:	79W	Efficacy:	80 LPW
Efficiency:	99%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations as a downlight.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

Optical

Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Replacement:

The ALED78 replaces 250W Metal Halide Area Lights.

Construction

IES Classification:

The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

Effective Projected Area:

EPA = 0.75

Ambient Temperature:

Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Superior heat sinking with external Air-Flow fins.

Housing:

Die cast aluminum housing, lens frame and mounting arm.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone gaskets.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

LED Characteristics

LEDs:

Six (6) multi-chip, 13W, high-output, long-life LEDs.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Electrical

Driver:

Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:

4.6% at 120V, 12.9% at 277V

Surge Protection:

4kV

Surge Protector:

ALED78 is available with a 6kV surge protector (SP6). 3P6 available.

Other

California Title 24:

See ALED2T78/D10, ALED2T78/BL, ALED2T78/PCS, ALED2T78/PCS2, or ALED2T78/PCT for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

Technical Specifications (continued)

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Patents:

The ALED design is protected by patents in the U.S. Pat. 668,370, Canada Pat. 144956, China ZL201230100154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

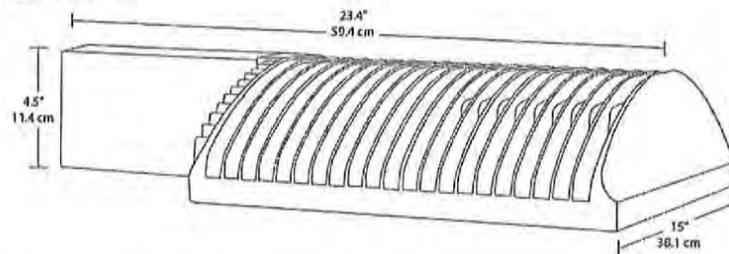
Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

Dimensions



Features

- High output LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH area lights
- 5-year warranty

Ordering Matrix

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Bi-Level
ALED									
	2T = Type II 3T = Type III 4T = Type IV	78 = 78W	Blank = Arm SF = Slipfitter	Blank = Cool Y = Warm N = Neutral	Blank = Bronze W = White RG = Gray	Blank = 120-277V /480 = 480V	Blank = No Photocell /PC = 120V Button /PC2 = 277V Button /PCS = 120V Swivel /PCS2 = 277V Swivel /PCT = 120-277V Twistlock /PCS4 = 480V Swivel	Blank = No Dimming /D10 = Dimmable	Blank = No Bi-Level /BL = Bi-Level

City of Sonoma
Planning Staff & Committee Members
No. 1 The Plaza
Sonoma, CA 95476

March 16, 2015

5th STREET WEST @ WEST SPAIN STREET PROJECT NARRATIVE – LANDSCAPE

Water-efficient Landscaping

There is no lawn proposed for this project. Irrigation will be drip (or inline emitters), spray for swales and bubblers for trees. After DR approval, a full irrigation system will be designed in compliance with CC14.32.050 and submitted to the building department for review and approval.

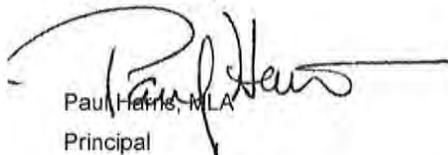
Stormwater

Stormwater mitigation areas are to be lined with no-mow creeping red fescue sod to prevent erosion and provide filtration. If our civil engineer determines that water must be detained for more than 24 hours, the bottom of the swale will be changed to juncus patens planted in 3" stone cobble (the sides would continue to be creeping red fescue).

Tree Replacement

(9) trees are to be removed and (13) new trees are to be planted. The mitigation requirement is for replacement at a ratio of 2:1, so we have increased the size of replacement trees (from 15-gallon to 24" and 36" box size) to compensate for the shortfall.

Yours Sincerely,



Paul Harris, M.L.A.
Principal
Imagine Sonoma

**CITY OF SONOMA
HYDROZONE TABLE FORM**

Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use	Veggie garden	hand or spray	84 sf	1%
High water use				
Medium water use	Sycamore trees	bubbler	400 sf	8%
Medium water use				
Low water use	General planting	drip	3711 sf	65%
Low water use	Bio-swale	spray	1481 sf	26%
	Total		5676 sf	100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use	84 sf	1%
High water use		
Medium water use	400 sf	8%
Medium water use		
Low water use	5192 sf	91%
Low water use		
Total		100%

Submitted by: Paul Harris (Print)



____ (Signature)

March 16, 2015 (Date)

CITY OF SONOMA
MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Maximum Applied Water Allowance (MAWA) Calculations

The project's MAWA is calculated as follows:

$$\text{MAWA} = (\text{ETo})(0.62) \times [(\text{ETAF} \times \text{LA}) + (0.3 \times \text{SLA})]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (Inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$\text{MAWA} = 28.58 \times \left[\left(0.60 \times \frac{5676 \text{ sf}}{\text{LA}} \right) + \left(0.3 \times \frac{84 \text{ sf}}{\text{SLA}} \right) \right] = \underline{98,052} \text{ gallons/year}$$

Estimated Total Water Use Calculations

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ETo)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE =

Irrigation Efficiency (IE) Table	
Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

ETWU Calculations (show calculations)					
PF	HA Sq. Ft.	IE (See IE Table)	$\frac{PF \times HA}{IE}$ IE (a)	SLA Sq. Ft. (b)	$ETWU = 28.58 \times \frac{PF \times HA}{IE} + 28.58 \times SLA$
1.0	84	1.0	84		$(28.58 \times \frac{84}{1.0}) + (28.58 \times \frac{0}{1.0}) = 2400$ gallons/year
0.6	400	.85	282		$(28.58 \times \frac{282}{.85}) + (28.58 \times \frac{0}{.85}) = 8060$ gallons/year
0.3	5192	.80	1947		$(28.58 \times \frac{1947}{.80}) + (28.58 \times \frac{0}{.80}) = 55,645$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
ETWU					Sum of above = 66,105 gallons/year

Statement of Compliance:

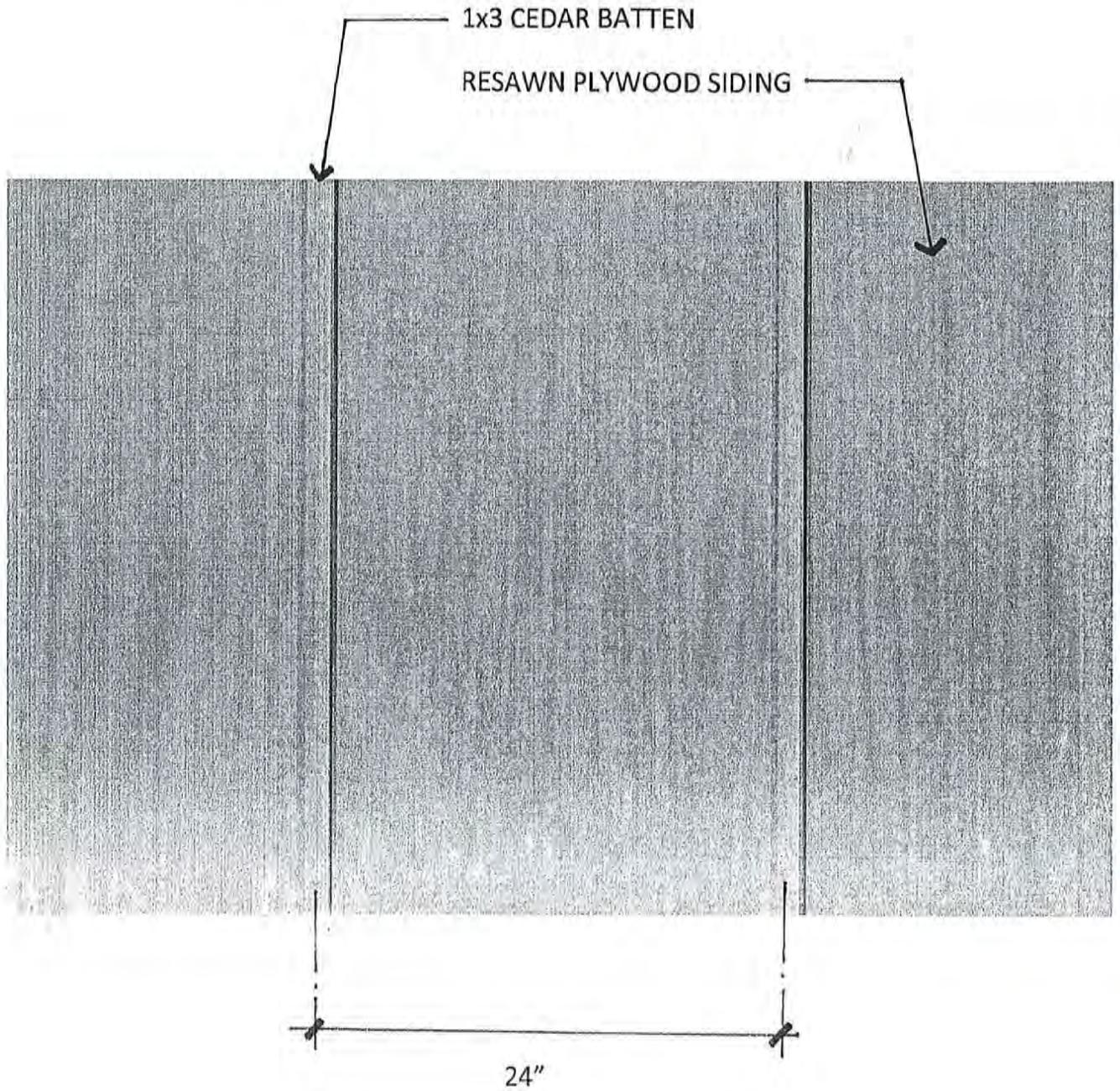
This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").

Paul Harris _____ (Print)

 (Signature)

March 16, 2015 (Date)

PLYWOOD and BATTEN SIDING



PREMIER
RADIANCE[®]
Solar Reflective Shingles

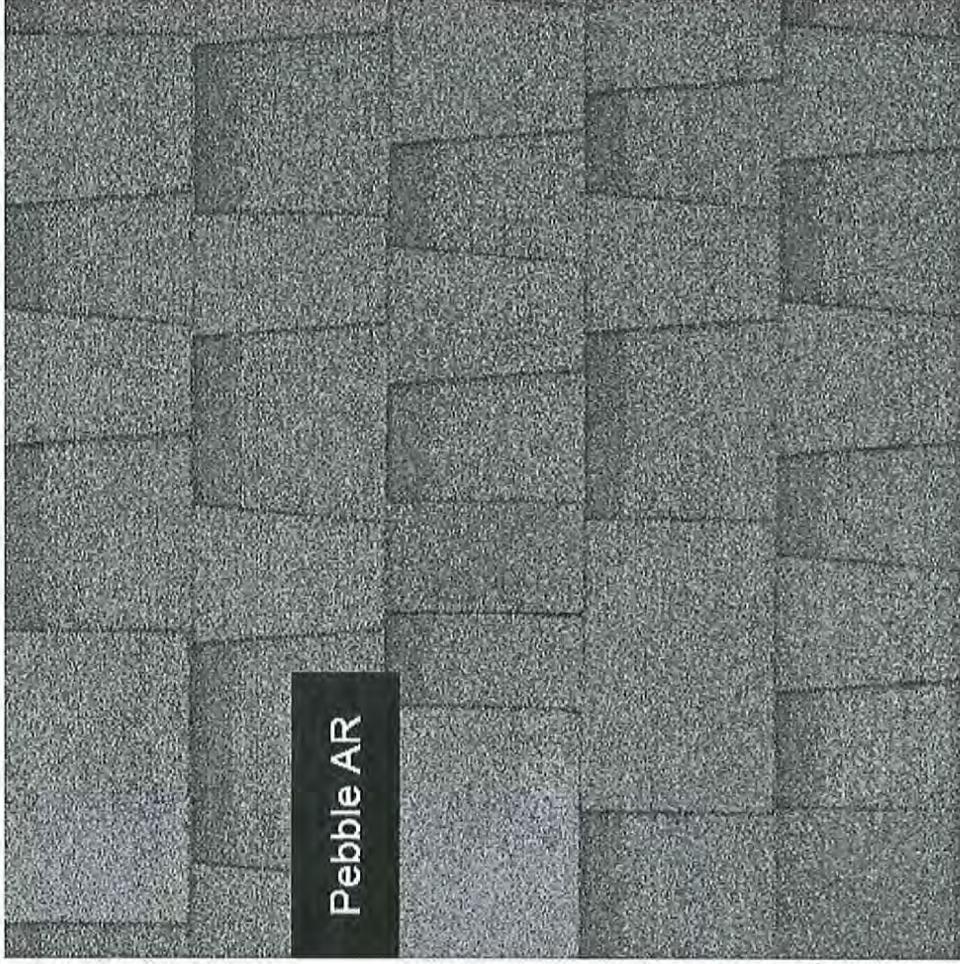
Premier Radiance[®] Solar Reflective Shingles deliver the style you desire and the solar reflectivity you require with 3M[™] Cool Roofing Granules that reflect up to 28% of solar energy from the sun. Premier Radiance features up to a Limited Lifetime Warranty* for single family residential structures and a 30-year fully transferable Limited Warranty for all other structures.

Choose Premier Radiance and reflect your style.

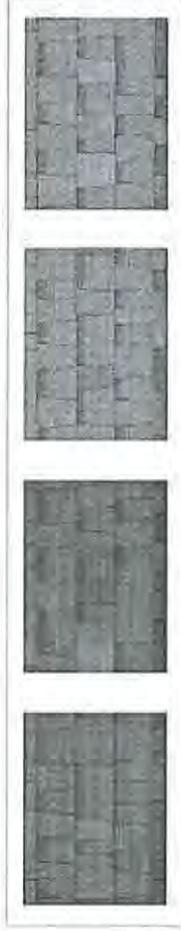
Design: Traditional Laminated
Warranty Type: Limited Lifetime Warranty
Available with Scotchgard[™]?: Yes

*See PABCO's Limited Shingle Warranty for details, limits, and conditions.

**Scotchgard[™] Algae Resistant Roofing System is not available in all markets

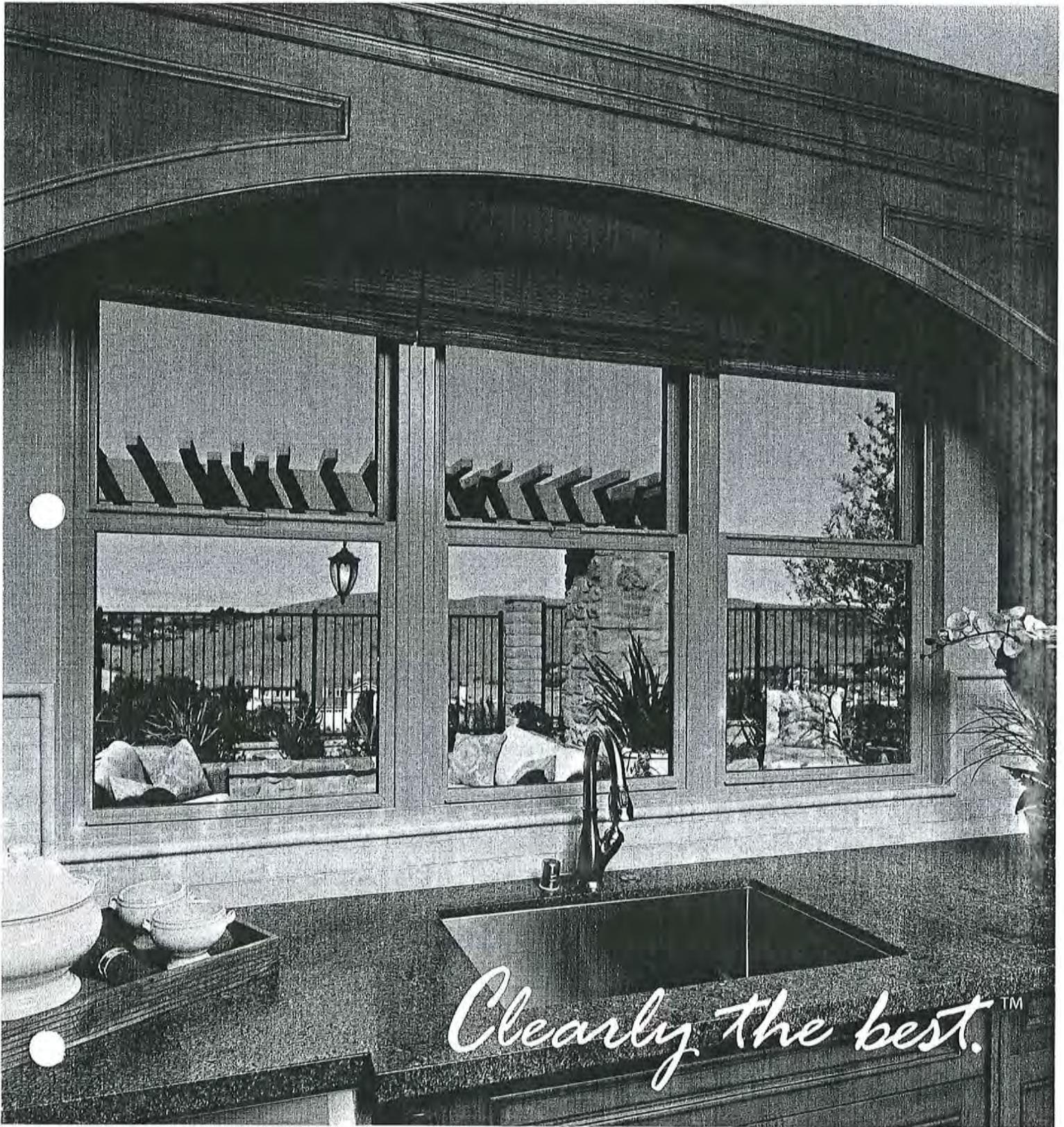


Pebble AR





Montecito® Series Vinyl Windows & Doors



Clearly the best.™

1.800.MILGARD · milgard.com

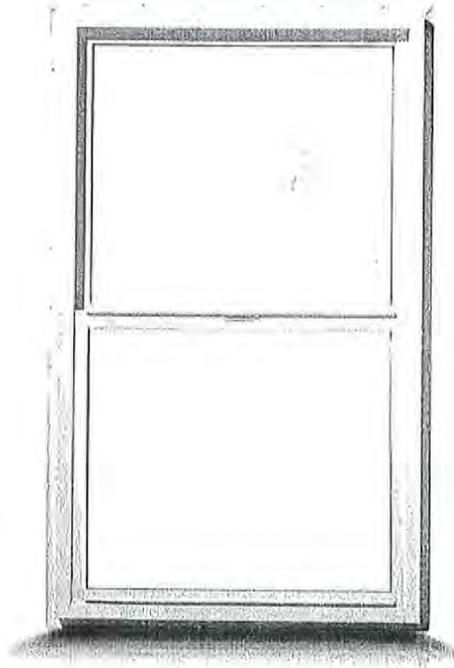
MAR 20 2015

great windows...

Energy saving options that make a noticeable difference

All Montecito® Series windows can meet or exceed ENERGY STAR® qualifications and come standard with our exclusive Milgard SunCoat® Low-E insulating glass. With an affordable upgrade to our 3D MAX® energy package, even greater energy efficiency can be achieved.

To develop the three dimensions of energy efficiency, our engineers start with the highest quality vinyl, integrate the design of the window to reduce thermal transfer and then glaze the window with the best glass and warm edge spacer technology. For complete details of our energy packages, visit milgard.com or speak with your Milgard representative.



Spacer Technology

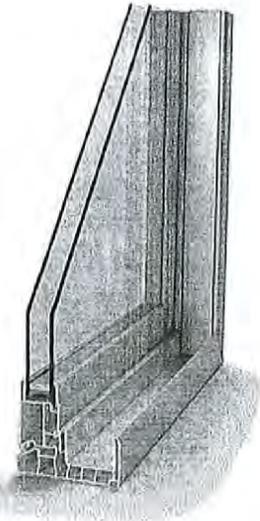
EdgeGard®

Traditional aluminum box spacers use desiccant and sealant to divide two panes of glass and help ensure energy efficiency. With a more advanced design, Milgard® EdgeGard window spacers provide superior insulating properties and helps to reduce condensation.

EdgeGardMAX®

This state-of-the-art window spacer uses an advanced design to:

- Conduct less energy = Maintaining a more constant temperature.
- Block heat escape path = More year-round comfort.
- Reduce condensation = Limiting moisture and unsightly streaks.



Energy Packages

The superior design of Milgard products can meet or exceed ENERGY STAR® qualifications.



Upgraded components are added for a perfect balance of performance and value.



Delivers what you need to achieve the highest performance where you need it.

SunCoat® Low-E2 Glass

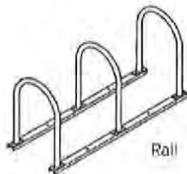
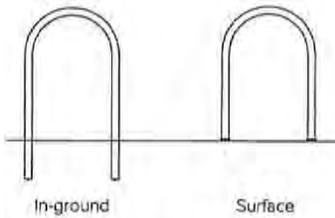
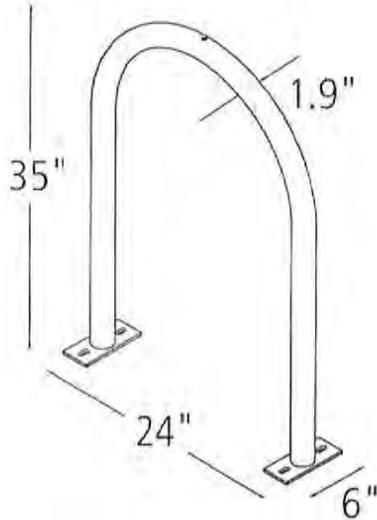
This microscopically thin coating is applied to one side of the glass to reflect heat from its source in the summer, keep heat inside in the winter and reduce harmful UV rays. SunCoat Low-E2 glass comes standard on all Milgard dual-pane windows and patio doors.

SunCoatMAX® Low-E3 Glass

SunCoatMAX Low-E glass provides the best clarity and highest performance of all solar gain Low-E glass products.

HOOP RACK

Submittal Sheet



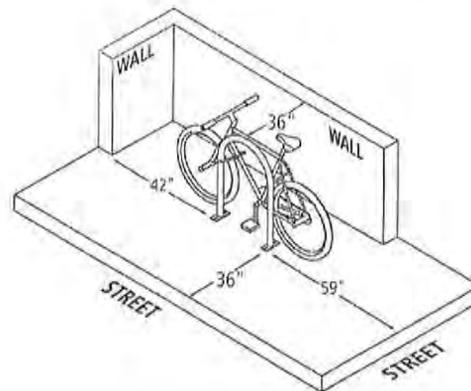
CAPACITY 2 Bikes

MATERIALS 1.5" schedule 40 pipe (1.9" OD)

- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
 1. Sandblast
 2. Epoxy primer electrostatically applied
 3. Final thick TGIC polyester powder coat
 - Thermoplastic**
In addition to an increased thickness (8-10mils), the thermoplastic finish covers a galvanized layer and offers superior impact resistance over powder coating.
 - PVC Dip (plastisol)**
Other colors available by special order (minimum orders apply)
 - Stainless**
Stainless Steel; 304 grade stainless steel material finished in either a high polished shine or a satin finish.

- MOUNT OPTIONS**
- In-ground**
In ground mount is embedded into concrete base. Specify in ground mount for this option.
 - Surface**
Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.
 - Rail**
Rail Mounted Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4"x3/16" thick galvanized mounting rails. Specify rail mount for this option.

SETBACKS



April 17, 2015
Item #4

MEMO

To: Design Review and Historic Preservation Commission

From: Planning Director Goodison

Re: Review of a draft Request for Proposals for the preparation of updated preservation and design guidelines for the Downtown District

Background

Implementation measure #3 of the City's Historic Preservation Plan calls upon the City to "*develop updated guidelines for use by staff and the Design Review Commission to evaluate additions and other modifications to historic structures based on Secretary of Interior standards.*" In discussions as to how best to prioritize the development of guidelines addressing different areas of the City, the Design Review and Historic Preservation Commission concluded that the starting point should be the downtown area. The City Council concurred with this recommendation and allocated \$35,000 for the preparation of updated design guidelines addressing the downtown. In order to begin implementing this project, staff has prepared a draft request for proposals (RFP) that defines the scope of work for the project. This draft is presented to the DRHPC for review and comment.

Recommendation

Staff is seeking comments and feedback from the Design Review Commission on the draft Request for Proposals. Staff will then forward the RFP to the City Council to receive authorization to proceed with the project.

Attachments:

1. Draft Request for Proposals

City of Sonoma Downtown Design and Preservation Guidelines Request for Proposals

April 2015 (Draft)

Summary

The City of Sonoma is seeking proposals from qualified consultants to prepare preservation and design guidelines for its downtown commercial district, which encompasses the Sonoma Plaza National Historic Landmark District. The guidelines are intended to serve as a tool to encourage high quality, historically compatible infill and alterations or improvements that reflect the established character of downtown Sonoma and its historic Plaza area. In 2014, Sonoma was designated as a Certified Local Government and the development and implementation of Downtown Design Guidelines will help fulfill the City's Preservation Plan.

Background

The City of Sonoma (population 10,731) is a historic community located in south Sonoma Valley, in the southeastern corner of Sonoma County. The town has an area of approximately 2.6 square miles. Laid out by General Mariano Vallejo in 1835 around a central plaza, Sonoma is the home of the last and northernmost of the Spanish missions and was the birthplace of the state flag. The town serves as a gateway to California's world-class wine industry, attracting many visitors wishing to experience its unique historic and visual character. The Downtown district, the heart of Sonoma, centers on the Plaza and the historic downtown, collectively designated as a National Historic Landmark. The Sonoma Plaza is an eight-acre park, framed by historic buildings, with city hall at its center. The downtown encompasses a lively concentration of small businesses, including restaurants, bookstores, specialty retail, and offices. A cluster of historically significant buildings on the north side of the district, including the mission and the barracks, are managed as a State Park. Outside of the original downtown area, the western portion of the district contains a mix of single-family, multifamily, retail, and office development, including a modern shopping center. Multi-family development lies at the northwest and southeast edges of the district.

Description of the Project

A. *Preparation of Design Guidelines.* Through a collaborative process, develop preservation and design guidelines addressing the modification of commercial, mixed use, and multifamily residential properties in the Downtown District, as well as infill development. The guidelines shall be designed to accomplish the following:

- Identify the character-defining features that contribute to the scale, streetscape, architecture, and historic context of downtown Sonoma.
- Inform and educate property and business owners of the important features typically found in various architectural styles, and to offer solutions to common conditions that may be encountered while rehabilitating historic buildings.
- Provide property owners and business owners guidance while planning changes, upgrades, and additions to historic and non-contributing buildings.
- Recommend exterior treatments, including colors, compatible with the historic architectural styles found in downtown Sonoma.
- Recommend approaches for infill construction that achieve design solutions compatible with downtown Sonoma's historic and architectural context.
- Distinguish between contributing and non-contributing properties.

- Address adaptive re-use and the conversion of single-family residences to commercial uses.
- Provide guidance in accommodating ADA requirements, green building techniques, and new technology (e.g., antennas, solar panels, etc.).
- Incorporate high-quality drawings, diagrams, and local photographs illustrating the principles and directions set forth.
- Describe and provide guidance on the design review process.
- Include application forms for the public in user-friendly formats.
- Serve as the basis for decisions by the Planning Commission, the Design Review and Historic Preservation Commission, and City staff concerning changes to architecturally and historically significant characteristics of commercial, mixed use, and multi-family residential properties within the Downtown Planning District.

B. *Community Participation.* Effective public outreach and community participation will be crucial to the success of this project. The Proposal shall address the methodology used to inform and involve key stakeholders, including:

- Downtown property owners.
- Downtown businesses.
- The local preservation community.

In addition, the Proposal must provide for consultant attendance at meetings of the Design Review and Historic Preservation Commission, the Planning Commission, and the City Council.

C. *Secretary of Interior Standards.* The Guidelines shall reference and incorporate the Secretary of Interior Standards for the Rehabilitation of Historic Structures.

D. *Procedural Recommendations.* The Project includes reviewing existing City processes for design review and recommending changes that would clarify, streamline, or otherwise improve them.

E. *Deliverables.* The Guidelines shall be drafted and finalized in an electronic format acceptable to the City. The consultant shall not be required to provide printed copies, but the Guidelines shall be formatted to enable printing at standard paper sizes.

Professional Qualifications

Proposals will be evaluated for the consultant's relevant educational background in history, architecture, architectural history, and historic preservation, as well as demonstrated experience creating design guidelines and experience working with local design review boards and commissions. Personnel involved with managing and directing the project should have one of the following: a graduate degree in architectural history, art history, historic preservation, or closely related field or, a bachelor's degree in architectural history, art history, historic preservation or closely related field plus at least two years of professional experience in historic preservation

Resources Available to the Consultant

The following resources shall be made available to the selected consultant:

- Map/listing of historic resources in the downtown.
- City of Sonoma Historic Preservation Plan.
- City of Sonoma 2020 General Plan and Final EIR.

- City of Sonoma Development Code (including existing design review procedures and design guidelines for the Downtown District).
- The City's Geographic Information System (<http://www.lynxgis.com/sonoma/>).
- Staff time and resources will be made available to the consultant.

Note: Many of the documents listed above are provided with this RFP in digital format.

Proposal Requirements

Proposals shall include the following components:

- A letter of introduction.
- Work Program. A description and sequence of anticipated tasks, presented as a work program, based on the scope of work.
- Schedule. Availability to begin work and the time estimated to complete each phase of the project as described.
- Experience and Qualifications. Information detailing the qualifications of the consultants and any subconsultants and a list of previously completed projects similar to that proposed and their locations. Provide the names and address and telephone numbers of each contact for each referenced project.
- Budget. An itemized cost estimate for all tasks identified in the work program, including costs for meetings, printing, travel, etc.
- Representative examples (not to exceed two) of similar projects prepared by the firm, preferably by the team that would be assigned to this project.

Consultants may team or joint venture with other firms in order to provide all of the resources necessary to carry out the project. For joint ventures, the lead or prime consultant must be identified.

Budget

The City Council has allocated \$35,000 for this task.

Selection Process

Proposals will be evaluated and the consultant selected by a committee comprised of City representatives, potentially including but not limited to members of the City Council, the Planning Commission, and the Design Review and Historic Preservation Commission, and representative of the local preservation community. Respondents may be asked to an interview by the selection team. Selection criteria will include, but are not limited to, the following:

- The experience and professional competence of the consultants and subconsultants, particularly key staff members, in similar projects.
- The quality, readability and organization of the proposal.
- The responsiveness of the proposal to the RFP.
- The satisfaction of the staff within communities for which the consultant team has completed previous work. Key issues in this regard include the quality of the work, the success of the project, and the ability of the consultant to complete projects on time and within budget.
- The ability of the consultant team to express themselves clearly and effectively in writing and in oral presentations.
- Availability to start and to implement the project in a timely manner.

- The perceived fit of the team with City staff.

The City reserves the right not to make a selection or award a contract.

Eight copies of your proposal, along with a PDF version, should be submitted by XXX, 2015, to:

David Goodison, Planning Director
City of Sonoma
No. 1 The Plaza
Sonoma, CA 95476

If you have any additional questions, please contact David Goodison at (707) 938-3681, or by e-mail at dgoodison@sonomacity.org.