



City of Sonoma Planning Commission **AGENDA**

Regular Meeting of April 14, 2016 -- 6:30 PM
Community Meeting Room, 177 First Street West
Sonoma, CA 95476

Meeting Length: No new items will be heard by the Planning Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Chair, Robert Felder

Commissioners: Michael Coleman
James Cribb
Mark Heneveld
Chip Roberson
Ron Wellander
Bill Willers
Robert McDonald (Alternate)

*Be Courteous - **TURN OFF** your cell phones and pagers while the meeting is in session.*

PLEDGE OF ALLEGIANCE

COMMENTS FROM THE PUBLIC: Presentations by audience members on items not appearing on the agenda.

MINUTES: Minutes from the meetings of February 11, 2016, February 25, 2016, and March 10, 2016.

CORRESPONDENCE

ITEM #1 – PUBLIC HEARING

REQUEST:

Consideration of a Use Permit to construct a second dwelling unit over an existing detached garage.

Applicant/Property Owner:

Paula Moulton

Staff: Rob Gjestland

Project Location:

660 Fifth Street East

General Plan Designation:

Low Density Residential (LR)

Zoning:

Planning Area: Central-East Area

Base: Low Density Residential (R-L)

Overlay: None

RECOMMENDED ACTION:

Approve with conditions.

CEQA Status:

Categorically Exempt

ITEM #2 – PUBLIC HEARING

REQUEST:

Consideration of an Exception from the side yard setback requirements to construct additions to a residence.

Applicant/Property Owner:

Robert Baumann & Associates/Alan and Maren Hicks

Staff: Rob Gjestland

Project Location:

252 Wilking Way

General Plan Designation:

Low Density Residential (LR)

Zoning:

Planning Area: Northeast Area

Base: Low Density Residential (R-L)

Overlay: None

RECOMMENDED ACTION:

Approve with conditions.

CEQA Status:

Categorically Exempt

ITEM #3 – PUBLIC HEARING	Project Location: 117 West Napa Street	RECOMMENDED ACTION: Approve with conditions.
REQUEST: Consideration of a Use Permit to allow the expansion of an existing commercial building.	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant/Property Owner: Kenwood Investments, LLC	Zoning: Planning Area: Downtown District	
Staff: David Goodison	Base: Commercial (C) Overlay: Historic (/H)	

ITEM #4 – DISCUSSION		RECOMMENDED ACTION: Receive.
ISSUE: Update on Sanitation District issues.		CEQA Status: Not applicable
Staff: David Goodison		

ITEM #5 – PUBLIC HEARING		RECOMMENDED ACTION: Discuss and provide direction.
ISSUE: Continued review of the Circulation Element update, focusing on options for improving Plaza-area circulation conditions.		CEQA Status: Not applicable
Staff: David Goodison		

ITEM #6 – DISCUSSION		RECOMMENDED ACTION: Adopt study session guidelines.
ISSUE: Continued discussion of the parameters and conduct of study sessions.		CEQA Status: Not applicable
Staff: David Goodison		

ITEM #7 – DISCUSSION		RECOMMENDED ACTION: Discuss.
ISSUE: Housing issues – Upcoming joint meeting with the City Council.		CEQA Status: Not applicable
Staff: David Goodison		

ISSUES UPDATE
COMMENTS FROM THE COMMISSION
COMMENTS FROM THE AUDIENCE
ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on April 8, 2016.
CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Planning Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda. A fee is charged for appeals.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Planning Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48-hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**CITY OF SONOMA
PLANNING COMMISSION
REGULAR MEETING
February 25, 2016**

Community Meeting Room, 177 First Street West, Sonoma, CA

Draft MINUTES

Chair Felder called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Felder, Comms. Coleman, Cribb, Heneveld, McDonald, Wellander, Willers

Absent: Comm. Roberson

Others Present: Planning Director Goodison,

Chair Felder stated that no new items would be heard after 10:30 p.m. unless the Planning Commission so decides. Any decisions made by the Planning Commission can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers. Comm. Heneveld led the Pledge of Allegiance.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: None

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late mail was received on item 1.

Item #1 – Public Hearing – Hearing on a draft Environmental Impact Report (EIR) addressing a proposal to redevelop four parcels on West Napa Street with a 62-room hotel/spa, an 80-seat restaurant, and associated parking and site improvements.

Applicant/Property Owner: Kenwood Investments, LLC

Planning Director Goodison introduced the EIR consultants and presented staff's report. Ricky Caperton of PlaceWorks, Dalene Whitlock of W-Trans, and Frederick Knapp of Knapp Consulting gave brief presentations on the EIR process and the findings related to traffic issues, and cultural resource issues.

Chair Felder opened the item to public comment.

Anna Gomez, Sonoma Valley resident, asked about sewer treatment issues, stating that she was concerned that according to the EIR the project would result in surcharging of the collection system on Broadway. She stated that two years ago, when the hotel project was first under consideration, she made a complaint to the Water Board asserting that the Sanitation

District is in violation of its discharge permit because the collection leaks due to its age. This complaint led to a cease-and-desist order which resulting in a settlement that occurred about six months ago. She stated that no additional connections to the sewer system should be made because the collection system is so damaged that the Water Board has given the District 22 years to repair the system. She also stated that the District is in violation of the District's own Sanitation Code. This project is a behemoth and it is just too big. I told the City Attorney that if the permit is issued and it is in violation of the permit and the Code, I will file another complaint with the Water Board. The project will also cause traffic problems due to the concentration of hotel rooms in one place.

Larry Barnett, Fifth Street East, made reference to the letter that he has submitted. In his view, it was a mistake to exclude an analysis of potential impacts in the area of hazards and hazardous materials in the scope of the EIR as defined in the initial study and approved by the Planning Commission. There are no public documents that provide information on soils testing that may have occurred in conjunction with the former printing plan use on the site. In his experience, chemicals used in the printing industry during the period of the printing use on the site were often highly toxic, many of which were ultimately banned. In particular, he is concerned about the potential use of trichloroethylene, which was used in the industry for the clean-up of printing presses. This is now a banned substance. Even if the operators were scrupulous in their use of this material, if there was a crack in the drainage system, there could be soils contamination. Therefore, I ask that this topic be addressed through soils testing, including for lead and heavy metals, as well as vapor intrusions inside the building. Any soils testing that has been done should be made public.

Karla Noyes, 15549 Brookview Drive, Sonoma, referred to the letter submitted by David Eicher, who could not attend tonight's meeting. This letter raises questions about the lack of a housing component as called for in the Commercial zone and suggests that the EIR should include an alternative with a housing component in order to be considered complete. The letter asserts that the 62-room hotel building is not consistent with other buildings in the historic overlay zone, contrary to the design guidelines set forth in the Development Code. She questioned how the EIR could conclude that impacts related to greenhouse gas emissions would be less-than-significant when 90 percent of workers in Sonoma commute from outside of city limits. This impacts traffic as well as GHG emissions. Assuming that hotel guests will not use their cars after they check in is a fallacy. The traffic study fails to take into account that a major reason for traffic back-ups in the Plaza area is caused by vehicles waiting for pedestrians to cross the street. The EIR states that the project would add pedestrians to an intersection that has been identified as deficient. The traffic study should be conducted during the peak tourism season in order to identify the true impacts of the project. The intersection operation of First West/West Napa and First East/East Napa should be included in the traffic study.

Fred Allebach, 19550 Eighth Street East, referred to the written comments that he has previously submitted. In his view, with regard to the cumulative net increase in pollutants and GHG emissions generated by the project, this estimate should include estimates air travel by hotel guests, not just employee traffic. The scope of the current analysis is too narrow. Do we not have a global problem? We cannot just keep adding more. In his view, the County's Climate Action Plan suffers from a similar deficiency. He asked what the window is to challenge a CEQA determination. In terms of hydrology and water, with respect to water obtained from the Sonoma County Water Agency (SCWA), the EIR finds that the project will use approximately 5.7 million gallons per year, which he calculates as amounting to 16-17 acre feet. He asked why, if we have adequate water, residents and business owners are being asked to conserve during this drought? In his view this, a significant environmental issue to the public, but it is not characterized in that way in the EIR.

With regard to traffic, he noted that the EIR concludes that intersections in the vicinity of the project will continue to operate at an acceptable level of service as defined by the thresholds adopted by the City. He stated that it was his understanding that in the update of the Circulation Element, many Plaza intersections will be exempted from level of service standards in order to preserve the historic character of the Plaza. In his view, that does not follow. Why analyze them if they are going to be exempt from the standards. These concerns also relate to the topic of "conflict with an adopted congestion management plan." He asked how thresholds or significance are defined, as the term "significance" often seems to lack meaning. For example, the people he talks to view traffic congestion in the Plaza as significantly bad while the EIR apparently does not. In terms of the topic of "conflicts that would decrease the performance of intersections", he is glad to see that with respect to pedestrian uses the potential cumulative impact at the intersection of First West/West Napa Street is regarded as potentially significant. However, he does not see how bike lanes will address this issue. In his view, some form of pedestrian traffic control should be provided.

Bonnie Brown, Sonoma Valley resident, questioned the finding that the Chateau Sonoma building is not historically significant. This appears to be based on the Page and Turnbull report that was prepared several years ago. In her view, the report is woefully inadequate as it does not describe when the building was built, what businesses occupied it, or what people owned it. The Index-Tribune building was once considered to be not historically significant but its stature has changed. Now, it is considered to be historically-significant, based on its association with the Lynch family. As wonderful as that family may be, in her view it is elitist to value them over the businesses that took place in the Chateau Sonoma building. In her view, the possibility exists that the status of the Chateau Sonoma building could also change based on further study, She has gone to the League for Historic Preservation to look into the history of the building, but nothing was found. In her view, there should be a thorough historical report on the Chateau Sonoma building addressing when it was built, who owned it, and what businesses were there. The historical analysis should be prepared by a local resident. With regard to the underground parking structure, the EIR states that dewater would be needed but the volume of water would be low and would occur at a shallow strata of the aquifer. In other words we are taking water from an aquifer—that is asking for trouble. If a project to be built in Sonoma requires underground parking that is a clue that it is too big. The EIR states that the City has sufficient water to accommodate projected growth through the year 2035. That's 19 years from now. Where we will get our water after that? This project will use 5.7 million gallons per year, yet we are called upon to reduce out water use. That does not seem right. In her view, parking should be considered a significant environmental impact. With regard to impacts on intersections, the EIR states that the project generate about 310 daily trips. Does this include employee traffic? There should be a thorough traffic analysis. The EIR states that the average delay in making a turn into the project from West Napa Street would be 11 seconds. When there are tourists and commuters on West Napa, turning left will be difficult. In her view, the estimated delay is not realistic and the project will cause back-ups onto Broadway. This should be looked at again. With respect to pedestrians, we don't know what the mitigation will be. There is a point where you can mitigate in manner that violates you values. When that happens, tourists will stop coming and locals will no longer enjoy the community. With regard to sewage, there is a major problem that needs to be addressed. Also, I would like to ask about the two redwood trees on First Street West-- are they proposed for removal? She agreed with a previous speaker that the alternatives analysis should include a project with a housing component.

Carol Campbell, 307 West Spain Street, as always I am concerned about traffic and water, but it has also occurred to me that if the convention center has been removed from the project plan, then it seems likely to me that the General's Daughter and Ramekins will be used as wedding

venues, so has the traffic on West Spain Street that would occur as a result of this been considered? When I leave home and go through the square, pedestrians are often an issue and this project will contribute to that problem.

Marilyn Goode, Sonoma Valley resident, stated that she had not been able to submit comments on the project because she is in the middle of selling a family property in San Francisco that was next to a printing press and phase 1 and phase 2 environmental study addressing hazardous materials had been necessary as a result of that. The Chateau Sonoma building is charming and there should be old records on its history. She stated that she did not know if anyone was working in the printing press building or whether there were any underground storage tanks on the site, but in her view this should be addressed in the EIR.

Chair Felder closed the item to public comment.

Comm. Willers thanked those who made comments. In his review of the EIR, he had the following areas of concern. First, with regard to aesthetics, in his view the analysis in the EIR is lacking. A project of this size, located in a historically-significant part of town, requires a more thorough review. His primary concern is with regard to the western elevation as viewed from West Napa Street and from Second Street West. It represents a large wall that will not likely have much in the way screening, which affect how the historic structures in the area are perceived. A second area of concern is traffic. In his view, the analysis does not adequately address potential traffic on First Street West, as that could receive the majority of traffic exiting the site and will certainly be the main route from commercial drop-offs. The intersections of First Street West south of West Napa Street to Andrieux Street should be analyzed. Delivery vehicle routing needs to be defined and mitigated. Currently, the Post Office receives deliveries from Petaluma and in many cases the preferred route is down West MacArthur Street and from there to First Street West. The issues of water and sanitation are important. The statements made in tonight's public hearing needs to be investigated to ensure that this project will not affect the sanitation system in a negative way.

Comm. Heneveld stated that his primary concern was with the availability of water. Although there is a significant amount of water stored in local dams, it is provided via Dry Creek and the flows are regulated to protect fish. Gallons per day per capita is a figure used by the State but it does not address commercial use, so the analysis in the EIR should be more expansive in this area. He noted that the reason we are being asked to conserve water is in light of the State-wide drought not necessarily as a result of local conditions. He added that the comments about the sewer system were of concern to him and he would like to see a response.

Comm. Wellander stated that he wished to address three areas that were of concern to him. First, he is concerned about traffic and the estimate of 23-27 additional peak period trips seems low to him and he would like to make sure that the estimates encompass employee and restaurant traffic. In addition, it is his view that hotel guests will make day trips in their vehicles, which needs to be factored in. The concern expressed in the public hearing regarding soil contamination should be addressed given the historic uses of the building. Lastly, with regard to water, the discussion of the conservation plan (13.10), it refers to the purpose of conserving the water supply for the greatest public benefit. He would like to make sure that this is happening. With regard to cumulative impacts, he noted that in Section 4.11.1.4, the EIR makes reference to the 2020 General Plan, which was adopted in 2006, the 2010 Urban Water Management Plan. He would like to make sure that the most up-to-date information is used in evaluating cumulative impacts on water supply, especially in light of the drought conditions that have been experienced.

Comm. Cribb thanked the public for their comments. He wants to address the three issues of most concern to him. First, while he recalls that the Planning Commission discussed the issue of the housing component and whether it could be waived, to get clarity on the question, it should be addressed in the EIR. With regard to traffic, he has a somewhat different perspective. The assumption seems to be that because a 62-room hotel is proposed to be built, it will attract guests who otherwise would never have come to Sonoma. That seems unrealistic to him as it seems likely that many guests would have come to Sonoma anyway. To assume that they are all entirely new trips that would otherwise never have happened exaggerates the potential impact in his view. He noted that there was a printing plant on the site for many years. That use generated considerable truck traffic on a daily basis, far more than will be generated by the hotel. That has all gone away, so there is less truck traffic now. He noted that, too, Rin's Restaurant on East Napa Street closed a few years ago, which has also reduced trips in the Plaza. In addition, he pointed out that services such as Uber tend to reduce traffic volumes. On the issue of potential soil contamination, while soils testing may be warranted, he read the article provided by Mr. Barnett, and it states that TCE was largely replaced in the 1950s, so it may not have been much in use on the site.

Comm. McDonald thanked the public for their comments. He agreed that the visual analysis and the cultural resources analysis needs to be strengthened and he would like to see it include accurate 3-D perspectives as that would make it much easier to understand how the project fits into its surroundings in the context of its surroundings, including the historically significant Plaza. He agrees that the western elevation, in particular, needs to be evaluated in terms of views from West Napa Street and Second Street West. With regard to traffic analysis and the GHG/air quality analysis, in his view, it needs to be verified that the traffic projects include buses, shuttles, taxis, limousines, and other ancillary vehicles. He noted that at the Sonoma Lodge, there are often large tour buses that frequent the site and are often idling for long periods of time. Based on the number of hotel rooms that are proposed, he is concerned that tour buses will serve the site, which would cause disruption to traffic and parking. On a related matter, he expressed concern that since the owner of the project also owns nearby event venues, there may be shuttles and other car trips to wedding parties and other types of events at these locations that might be packaged with a stay at the hotel. This possibility should be addressed in the traffic and air quality analysis. In terms of pedestrian safety and circulation, the ability to get vehicles in and out of the hotel at peak times is of concern and would seem to be a potentially cumulative impact. While noting this concept is perhaps outside of the scope of the project, he suggested that perhaps the City could consider stationing a police officer at Broadway/West Napa during peak periods.

Comm. Coleman thanked those who commented on the DEIR. With regard to air quality, he expressed concern that there could be as many as 12 cars idling in the drop-off area, where the air-flow is restricted by adjoining buildings, which could increase air quality concerns, especially if vehicles are delayed from entering West Napa Street due to peak hour traffic. He asked whether the hotel lobby and restaurant would have a positive air-pressure system. He noted that the intersection of Broadway and West Napa Street is wide and not controlled by a signal. He shares the concern expressed by Comm. Willers that delivery traffic on First Street West is an issue that should be looked at. He expressed concern that no funding had been allocated for improvements at any of the intersections under discussion. He asked whether there was any provision for composting organic waste from restaurants. He stated that it will be interesting to see whether the excavation for the underground parking area reveals any buried cultural resources. He asked whether the hotel would provide a light or other safety indicator to alert pedestrians on sidewalks near the driveways as to when a car is exiting the hotel. He asked if the hotel will direct cars to exit on First Street West when traffic is backed up on West Napa

Street and what affect that might have on First Street West. He asked whether the West Napa Street access had been designed to accommodate fire trucks.

Chair Felder thanked the EIR preparers and those who commented on the DEIR. He stated that in his view the draft was flawed in many respects, as he felt that in too many areas the EIR finding was that the impact is less-than-significant, which does not meet the common sense standard. In order for mitigation to occur, an impact has to found to be significant, so when too many things are categorized as insignificant, there isn't adequate mitigation. He stated that he was concerned about the issues raised regarding the sewer system and there has to be a response to this. He also agrees that soils contamination has to be considered. He is concerned that cumulative impacts are too often dismissed in the EIR. With regard to traffic, he is concerned that the draft EIR underestimates the traffic generation of the project. In his experience, there are many times during the day when there is traffic congestion in both directions. To add a 62-room hotel and an 80-seat restaurant and say that there will not be significant traffic created is not credible. It should not be assumed that guests of the hotel will not take day trips using their automobiles. That and the additional pedestrian usage will increase congestion around the Plaza. Also, while he understands that parking will not be addressed in the EIR, when there is a proposal that has a deficiency of 51 spaces, that will only add to the traffic impact. If the project goes forward, the City should recognize that the project will have significant impacts and require the project to mitigate those impacts. With regard to water, the State has experienced a drought for the last several years and the City is under mandatory conservation water restrictions. The EIR estimates that the hotel will use 5.7 million gallons of water per year, following voluntary water conservation methods. That number equates to seven single-family homes, which seems low. But whatever the number is, that is water that is gone, so there needs to be a meaningful way to conserve water or develop new water resources, but the City does not have funding to do that. The City does not have guarantees that the Water Agency will give us the water it needs. The State could step in say that Water Agency cannot deliver any more water to the City, in which case we would have to rely on our wells. To my mind, this means that the City should require a development impact fee that addresses water demand, which could be used for programs such as recharging the aquifer. How can it be said that there is a less-than-significant impact in terms of water demand, when residents are being required to conserve? The EIR should be more realistic in identifying impacts that require mitigation, including development impact fees.

Comm. Willers made a motion to accept the comments that have been made and to direct the preparation of a Final EIR, following the close of the comment period. Comm. McDonald seconded. The motion was unanimously adopted.

Comments from the Audience: None

Chair Felder thanked Comm. Heneveld for his years of service on the Planning Commission, and was joined in that by his fellow Commissioners. Comm. Heneveld made a motion to adjourn. Comm. Cribb seconded. The motion was unanimously adopted.

Adjournment: The meeting adjourned at 9:36 p.m. to the next regular meeting scheduled for 6:30 p.m. on Thursday, March 10, 2016.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Sonoma Planning Commission on the _____ day of, 2016

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
PLANNING COMMISSION
REGULAR MEETING
March 10, 2016**

Community Meeting Room, 177 First Street West, Sonoma, CA

Draft MINUTES

Chair Felder called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Felder, Comms. Willers, Wellander, Heneveld, Roberson, Roberson, Coleman

Absent:

Others

Present: Planning Director Goodison, Senior Planner Gjestland, Administrative Assistant Morris

Chair Felder stated that no new items would be heard after 10:30 p.m. unless the Planning Commission so decides. Any decisions made by the Planning Commission can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers. Comm. Coleman led the Pledge of Allegiance.

COMMENTS FROM THE PUBLIC: Bob Mosher, resident (142 Clay St.) announced a neighborhood group ([www. Gateway.com](http://www.Gateway.com)) interested in participating in the development process for the affordable housing project proposed at the corner lot at Broadway and Clay Street. He is concerned that the proposed density will exacerbate/intensify the traffic congestion in the area. He questioned if the City services are available to meet the future demand.

Dave Ranson, Sonoma Valley resident, is concerned with residents leaving town due to a lack of affordable housing. He urged the Planning Commission to request more public hearings on housing issues.

Chair Felder said there will be a joint session with the City Council regarding affordable housing.

Anna Gomez, Sonoma Valley resident, said the sewer system cannot accommodate new developments. She requested that the sanitation system be fixed/repared before new developments are approved and recommended a moratorium on building permits involving sewer connections.

APPROVAL OF MINUTES: None

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late mail was received for Items 3, 4, and 7.

Item #1 – PUBLIC HEARING – Consideration of an Exception to the Floor Area Ratio (FAR) standards to construct a residence and related accessory structures/uses on a vacant 2-acre property at 579 Lovall Valley Road.

This item was withdrawn by the applicant.

ITEM #2 – PUBLIC HEARING – Consideration of a Music Venue License change of ownership for Sonoma Speakeasy/American Music Hall at 452 First Street East, Suite G.

Applicant/Property Owner: Jodi Stevens/ Lea Rubin

Senior Planner Gjestland presented staff's report.

Chair Felder opened the item to public comment.

Jodi Stevens, resident/applicant, will preserve the Jazz experience and continue the legacy created by Robert Ryan.

Robert Ryan, former business owner/resident, will continue as the music manager on site. He appreciated staff and the community support of his business. He noted that many neighboring restaurants attend the live music provided and that the venue has not had any adverse noise impact on residents to the east.

Chair Felder closed the item to public comment.

Comm. Roberson is satisfied that all conditions are met to facilitate the transfer of business ownership.

Comm. Willers concurred with Comm. Roberson and supported the application.

Comm. Roberson made a motion to approve the change of music venue license/ownership for Sonoma Speakeasy and American Music Hall at 452 First Street East, Suite G. Comm. Heneveld seconded. The motion was unanimously approved 7-0.

ITEM #3 – PUBLIC HEARING – Consideration of 1) a Use Permit to convert part of an existing detached garage and workshop into guestrooms/residential use; and 2) an Exception from the front yard setback standard for a new pool house at 314 and 324 Second Street East.

Applicant/Property Owner: Glenn Ikemeto

Senior Planner Gjestland presented staff's report.

Comm. Willers inquired about the minimum density requirement for the R-M zone and permitting requirements for an additional residence with the two parcels merged. He also confirmed with staff that the proposed guest house would not meet the rear yard setback requirements without the parcels merged.

Chair Felder opened the item to public comment.

Glenn Ikemoto, property owner, said the site changes will provide a gathering place/compound for his extended family. He felt the garage conversion preserved the character of the property. Responding to letters of opposition regarding the tree, he said it was addressed in the arborist's report.

Ron Albert, landlord of neighboring duplex to the north, had no objection to the use permit and setback exception requests but opposed the proposed guesthouse-garage location adjacent to the rear yard of his duplex. He was optimistic that a compromise could be made with the applicant to relocate the guest house. He contended that unless the lots are merged a variance from the rear yard setback requirements would be needed.

Ed Routhier, neighbor, supported the plan.

Chair Felder closed the item to public comment.

Comm. Wellander supported conversion of the detached accessory structure given its position/location but had difficulty supporting the setback exception requested for the new pool house given the large parcel size.

Comm. Roberson concurred with Comm. Wellander but also expressed concern about how the larger project complied with zoning requirements.

Comm. Willers expressed his view that the larger project, because it involves a parcel merger, constitutes a redevelopment of the site and does not meet the minimum density requirements of the Development Code. Therefore, he found it difficult to vote in favor of any element of the application before the Commission. He felt the front unit (guest house) should be brought forward to improve compatibility with the neighbors. Regarding the two specific items brought to the Planning Commission for consideration, he had no objection to the use permit to convert the existing accessory structure but disagreed with the setback exception for the new pool house.

Comm. Cribb concurred with staff's view that a duplex is allowed without a use permit based on the R-M zoning. He agreed with his fellow commissioners that the new pool house did not warrant an exception from the front yard setback.

Comm. Coleman supported the overall plan since the majority of the proposal is within the interior of the site but agreed that the pool house did not warrant a setback exception.

Chair Felder supported conversion of the detached accessory structure but opposed the setback exception request.

Comm. Cribb made a motion to approve a Use Permit to convert part of the existing detached garage and workshop into guestrooms/residential use and deny an Exception from the front yard setback standard for the new pool house. Comm. Coleman seconded. The motion was adopted 4-3 (Comms. Willers, Roberson, Heneveld dissenting).

ITEM #4 – DISCUSSION – Consideration of Development Code amendments updating provisions related to affordable housing and clarifying provisions related to the Mixed Use zone and Planned Developments.

Planning Director Goodison presented staff's report.

Chair Felder opened the item to public comment.

Steve Ledson, resident/developer, disputed Larry Barnett's comments from the previous discussion of this issue in which he stated the homes in the MacArthur subdivision were sold for \$800,000. The sale prices ranged from \$450,000-\$708,000, averaging \$600,000. He is satisfied with his project goal to provide high quality work force housing in that 17 units of the 26 built were purchased by household who live or work in Sonoma. He held many meetings with staff and neighbors about the development plans since its inception in 2007. He supported retaining the option of 100% residential use in mixed zones and agreed with the 55-year affordability period for inclusionary housing units.

Dave Ransom, Sonoma Valley resident, recognized that second units can be used for long term rentals.

JJ Abodeely, Sonoma Valley, urged the Planning Commission to use the Mixed Use zoning to its fullest. He reviewed changes that he submitted to the draft Code revision that in his opinion would clarify the provisions. He supported allowing all housing types within mixed use zones.

Ed Routhier, resident, felt challenged with the development process in Sonoma, as it can be arbitrary and bureaucratic. He suggested that the Housing Element should aim to reduce bureaucracy at the micro-economic level.

Kathy Swanson, Sonoma Valley resident, recommended a penalty for empty commercial buildings.

Frank Hines, resident, said tenants are concerned with rising rents due to the lack of available rental units.

Chair Felder closed the item for public comment.

Comm. Roberson expressed support for the revisions as reflecting the direction previously given by the Planning Commission.

Comm. Willers expressed support for the provisions related to second units and the term of affordability. He felt that the proposed modifications to the Mixed Use and the Planned Development Permit regulations clarified the objective for affordable housing within the Development Code. However, he remains somewhat concerned that allowing Planned Developments in the Mixed Use zone could work against that objective. He agreed with the idea that Mixed Use zone allows for multiple development opportunities that need to be evaluated on their merits.

Chair Felder stated that although on the whole the changes were good, he felt that the provisions citing "identified community needs" were too vague. As discussion ensued as to how or whether to address this issue. Comm. Willers suggested referencing the Housing Element.

Comm. Cribb agreed with his fellow commissioners that additional workforce housing is needed with smaller unit sizes, which will reduce commuter traffic. He stated that while price-restricted affordable housing is needed, un-restricted units at a smaller size also fulfill a need and provide benefits to the community.

Comm. Roberson agreed with principle of making certain allowances through the Planned Development permit process, including in the Mixed Use zone, as long as concessions are made by the applicant. Comm. Coleman concurred.

Comm. Heneveld is satisfied that the proposed changes reflect the direction given by the Commission at the previous discussion.

Chair Felder, Comm. Wellander, and Comm. Willers expressed support for the 55-year inclusionary housing term restriction. Comm. Wellander clarified with staff the 55-year term applies to all three affordable housing types. Comm. Coleman stated that he would prefer additional investigation on this subject in light of some of the comments made in the public hearing. Commissioners discussed whether this portion of the draft Ordinance should be set aside for the time being, but the consensus was to proceed with it as drafted.

Comm. Heneveld made a motion to forward the proposed Development Code amendments to the City Council, with a recommendation for approval, subject to a change the language in section 3.d of Exhibit "C" (Mixed Use Zoning District), to make reference to the Housing Element. Comm. Roberson seconded. The motion was approved 6-1 (Comm. Coleman dissenting).

ITEM #5 – DISCUSSION – Discussion of Affordable Housing Overlay zone and related concepts.

Planning Director Goodison presented staff's report.

Planning Director Goodison is pleased to report that a Joint Study session on housing issues will be held with the City Council.

Chair Felder opened the item to public comment.

Fred Allebach, Sonoma Valley resident, noted that many definitions are used with regard to affordable housing and he would appreciate greater clarity and consistency. He recommended that staff clarify the terms frequently used to describe affordable housing for seniors and the work force and preferred that affordable housing developments be spread out rather than concentrated in one area.

Dave Ransom, Sonoma Valley resident, is encouraged by the commissioner's comments that suggest a commitment to offer more affordable housing.

Planning Director Goodison noted that the City Council shared with the concerns expressed over the limited supply of affordable housing units. The City Council is engaged in a number of actions aimed at promoting affordable housing, including a revised mobile home park ordinance to limit rent increases for seniors.

JJ Abodeely, Sonoma Valley resident, agreed with Fred Allebach that housing definitions need more clarification. In his view there are the following needs; 1) build more housing of all types, 2) grow funding sources for affordable housing; 3) streamline the development process.

Anna Gomez, Sonoma Valley resident, is of the opinion that services are not in place to accommodate more housing developments.

Lynda Corrado, Sonoma resident, believed that affordability can be attained with smaller units.

Frank Hines, resident, said that people are doubling up on housing to live in Sonoma.

Ed Routhier, resident, stated that achieving affordability is a broader housing issue that is not limited only to providing affordable housing exclusively, but housing of all types.

Chair Felder closed the item to public comment.

Comm. Roberson expressed disappointment that there are not enough choices in housing types for work force and seniors and that few applications are made for rental and condominium developments.

Comm. Willers noted that City no longer has redevelopment funds with which to purchase sites for affordable housing. He noted that the City is looking at impact fees, but even if these are adopted, there needs to be sites to acquire. In his view, these sites are the Housing Opportunity sites identified in the Housing Element. He wants to protect those sites for affordable housing, especially those within city limits. In his view, in the absence of redevelopment funds, the only way to accomplish land banking is through zoning. Although he likes the cottage housing concept, it may be mostly applicable as an alternative to traditional single-family housing and may not last as an affordable option over time.

Comm. Cribb is satisfied that many planning tools are in place and there is no need to rezone or predesignate properties with artificial restrictions. He would like to pursue a different model in which affordable units are mingled with market rate housing. In his view, low and very low income units need subsidies to be developed, but he would prefer that to occur in a mixed setting of units of various income levels. He is concerned that the funding component is lacking, which needs to be addressed. He expressed the view cottage housing is a viable concept, as long as there is variety in income levels with restrictions on the affordable units to preserve them as such. However, to achieve this goal, funding options need to be made available, which occurs at a different level than what the Planning Commission addresses.

Chair Felder concurred with many of Comm. Cribb's comments, in that there are many tools already in place. He stated that the Commission has a responsibility to use those tools to protect options for affordable housing and take advantage of opportunities as they emerge.

Comm. McDonald agreed with Comm. Cribb and Chair Felder and felt the General Plan and zoning code are progressive with respect to affordable housing. He suggested that the City needs to focus on impact fees and in-lieu fees to help provide funding for affordable housing programs. He suggested that real estate transfer tax revenues might be a source of revenue in this regard.

Comm. Coleman concurred with his fellow commissioners that more affordable units and housing of all types should be built. He noted that fees on new development are often quite high, which works against affordability.

Comm. Roberson recommended including and promoting incentives in the Development Code so developers are encouraged to build more rentals and condominium units. In his view, incentives are more powerful and more equitable than disincentives, such as new fees and taxes. He felt that while many pieces are in place, they do not always work together well to accomplish housing goals. Few development applications come forward with units aimed at the lower or even the middle income segments of the market. He feels that we cannot say that the

current set of tools is fully successfully and he is interested in having further discussions on the inclusionary requirement and the concept of minimum densities. However, he finds some of the other concepts presented in the staff report somewhat troubling with respect to property rights.

Chair Felder closed the item for this agenda, but suggested further discussion on the subject.

Item #6- Discussion Review of draft Circulation Element update revised policies.

Planning Director Goodison presented staff's report.

Chair Felder opened the item to public comment.

Anna Gomez, Sonoma Valley resident, is concerned with traffic safety if there are more developments resulting in more trips by new residents and visitors.

Chair Felder closed the item to public comment.

Comm. McDonald recommended a designated area for transportation pick up/drop off in the Plaza district to reduce traffic congestion during the tourist season.

Following Commission discussion, Planning Director Goodison received direction on some further revisions to the draft policies.

Item #7 – Discussion Continued discussion of the parameters and conduct of study sessions.

Planning Director Goodison presented staff's report.

Chair Felder opened the item to public comment.

No public comment.

Chair Felder closed the item to public comment.

Chair Felder suggested that once the guidelines are finalized, they should be formally adopted as an expression of policy.

Comm. Willers noted that Commission comments during a study session should reflect individual views and that straw votes or polls should not be taken.

Comm. Wellander wants massing to include the broader site parameters beyond the specific project site.

Comm. McDonald suggested that staff should report on any feedback from neighborhood meetings prior to a study session.

Planning Director Goodison will prepare guidelines for study session protocol for review and adoption at the next regular meeting.

Issues Update: Planning Director Goodison reported the following:

A special study session on March 24th will be held to review an updated proposal for a mixed-use project at 216-254 First Street East and 273-299 Second Street East.

The Public Works Director/City Engineer is scheduled to make a presentation on the urban water management plan at a future meeting.

Planning Director Goodison will contact the Sanitation District about issues raised and report back.

Comments from the Commission: Comm. Wellander appreciated Planning Director Goodison offering to contact the Sanitation District.

Comments from the Audience: Frank Hines resident, appreciated the commissioners expertise and dedicated service to the community.

Comm. Willers made a motion to adjourn. Comm. Heneveld seconded. The motion was unanimously adopted.

Adjournment: The meeting adjourned at 10:31 p.m. to the next regular meeting scheduled for 6:30 p.m. on Thursday, April 14, 2016

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Sonoma Planning Commission on the day of, 2016.

Approved:

Cristina Morris, Administrative Assistant

Agenda Item Title: Application for a Use Permit to construct a second dwelling unit over an existing detached garage.

Applicant/Owner: Paula Moulton

Site Address/Location: 660 Fifth Street East

Staff Contact: Rob Gjestland, Senior Planner
Staff Report Prepared: 04/08/16

PROJECT SUMMARY

Description: Application of Paula Moulton for a Use Permit to construct a second dwelling unit over an existing detached garage at 660 Fifth Street East within Armstrong Estates Subdivision.

General Plan Designation: Low Density Residential (LR)

Planning Area: Central-East Area

Zoning: **Base:** Low Density Residential (R-L) **Overlay:** None

Site Characteristics: The subject property is a ±20,000-square foot parcel located on the east side of Fifth Street East within Armstrong Estates Subdivision. The property is currently developed with a single-family home, swimming pool, and detached garage.

Surrounding Land Use/Zoning:

North: Vacant Lot/Low Density Residential
South: Residence with second unit over detached garage/Low Density Residential
East: Residence with detached garage /Low Density Residential
West: Single-family homes (across Fifth Street East)/Low Density Residential

Environmental Review:

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

Staff Recommendation: Approve with conditions.

PROJECT ANALYSIS

DETAILED PROJECT DESCRIPTION

The project involves modifying an existing detached garage to include an upper floor second dwelling unit. At the same time, the ground floor of the structure would be expanded by ±240 square feet at the back to accommodate a small art studio and wine room. The following modifications are proposed to accommodate the upstairs unit:

- The exterior building walls and overall height of the structure would be increased by roughly three feet, resulting in a maximum height of 23 feet at the roof peak.
- The roof would be changed from a hipped to a gable design with the addition of dormers on the north and south elevations (the current 9:12 roof pitch would be maintained)
- A small balcony (44 square feet) would be provided off the back of the second unit.

The resulting second unit would have an area of ±690 square feet (excluding stairwell and attic space). As is presently the case, the structure would be located on the north side of the property, setback seven feet from the side (north) property line and over 55 feet from the rear (east) property line. The addition and areas of modification would match the exterior materials, detailing and colors currently used on the primary residence and garage. While in many cases second units are allowed as of right, a detached second unit involving a second floor requires approval of a Use Permit by the Planning Commission. Further details can be found in the attached project narrative.

GENERAL PLAN CONSISTENCY (**Not Applicable to this Project**)

The property is designated Low Density Residential by the General Plan. This designation is intended primarily for single-family housing and duplexes, with attached or clustered development allowed by use permit. General Plan goals and policies applicable to this project include:

Housing Element, Policy 4.5: Provide for the infill of modestly priced rental housing by encouraging secondary dwelling units on single-family zoned lots.

The project is consistent with the goals and policies of the *City of Sonoma 2020 General Plan*, which encourage second dwelling units.

DEVELOPMENT CODE CONSISTENCY (**Not Applicable to this Project**)

Use: The property is zoned Low Density Residential (R-L). Second dwelling units above detached garages are allowed in the R-L zone, subject to review and approval of a conditional Use Permit by the Planning Commission.

Setbacks: The structure is subject to the setback requirements established by the approved design guidelines for the Armstrong Estates Subdivision (which differ somewhat from the standards set forth in the Development Code). Pursuant to the design guidelines, detached accessory structures can be located seven feet from the rear and side property lines. Furthermore, through the review of a similar proposal in 1995, the City Council adopted Resolution 88-95, which in part amended the Armstrong Estates Design Guidelines to allow for second units over detached garages within special setback areas. The proposal is consistent with these provisions in that the footprint of the structure would maintain the current seven-

foot setback from the side (north) property line and provide a ±56-foot setback from the rear property line.

Lot Coverage: Under the design guidelines for the Armstrong Estates Subdivision, the maximum lot coverage for the property is 35% of the total lot area. The proposal would nominally increase the lot coverage, which would remain well under the maximum allowed.

Additional Development Code Requirements for Detached Second Dwelling Units:

- *Size:* The floor area of a detached second unit cannot exceed 850 square feet. The second unit would have a floor area of ±690 square feet (excluding stairwell and attic space).
- *Separation from Primary Unit:* A detached second unit must be separated from the main dwelling by a minimum of ten feet. The second unit would be separated from the primary residence by a minimum of 15 feet.
- *Parking:* One covered parking space is required for the primary residence and one additional covered parking space is required for the detached second unit. The detached garage would continue to provide two parking spaces.
- *Scale & Architectural Compatibility:* A second dwelling unit must be subordinate to and architecturally compatible with the primary residence. The addition and areas of modification would match the exterior materials, detailing and colors currently used on the primary residence and garage, including horizontal lap siding and charcoal composition shingle roofing. The building will also require approval by the Architectural Control Committee for Armstrong Estates to ensure conformance with the design guidelines for the subdivision.
- *Occupancy:* No more than 3 people can occupy a detached second dwelling unit, and either the primary or second unit must be owner occupied. Conditions of approval have been included regarding these provisions.
- *Fire and Building Department Requirements:* All Fire and Building Code requirements must be met for new construction, including the provision of fire sprinklers within the second dwelling unit.
- *Sale:* Individual sale of either the primary or second unit is not allowed. This requirement is included in the draft conditions of approval.

CONSISTENCY WITH OTHER CITY ORDINANCES/POLICIES (Not Applicable to this Project)

ENVIRONMENTAL REVIEW (Not Applicable to this Project)

Pursuant to Section of 15303 of the State CEQA Guidelines, construction of a second dwelling unit on a residentially zoned parcel is considered Categorical Exempt from the provisions of CEQA (Class 3 – New Construction or Conversion of Small Structures).

DISCUSSION OF PROJECT ISSUES

Compatibility with Adjoining Uses: The proposal would not adversely impact any adjoining or nearby properties. The adjacent property to north is vacant and the proposed second unit would be setback significantly from properties to the east and south. Staff would also note that the proposal is consistent

with neighborhood conditions, in that a number of second units, similarly located above detached garages, have been established throughout Armstrong Estates subdivision, including on the adjoining properties at 680 Fifth Street East and 605 Charles Van Damme Way.

Sewer & Water Connection Fees: Given the substantial cost, it is worth noting that a sewer connection fee of approximately \$10,240 will be required by the Sonoma Valley County Sanitation District (through Sonoma County PRMD) for the second dwelling unit. In addition, the City will require a water connection fee of approximately \$4,720 for the second dwelling unit. These requirements are included in the draft conditions of approval.

RECOMMENDATION

Staff recommends approval of the Use Permit, subject to the attached conditions of approval.

Attachments

1. *Findings*
2. *Draft Conditions of Approval*
3. *Location Map*
4. *Project Narrative*
5. *Site Plan, Plot Plan, Floor Plans, Elevations & Construction Details*

cc: Paula Moulton
660 Fifth Street East
Sonoma, CA 95476

Scott Eddinger, Ledson Companies (via email)

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Moulton Second Dwelling Unit – 660 Fifth Street East

April 14, 2016

Based on substantial evidence in the record, including but not limited to the staff report, and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

1. That the proposed use is consistent with the General Plan and any Specific Plan;
2. That the proposed use is allowed with a conditional Use Permit within the applicable zoning district and complies with all applicable standards and regulations of the Development Code (except for approved Variances and Exceptions).
3. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity; and
4. The proposed use will not impair the architectural integrity and character of the zoning district in which it is to be located.
5. The second dwelling unit will be compatible with the design of the main dwelling and the surrounding neighborhood in terms of exterior treatment, height, landscaping, scale, and setbacks.

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Moulton Second Dwelling Unit – 660 Fifth Street East

April 14, 2016

1. The project shall be constructed in conformance with the approved site plan, floor plan and building elevations, except as modified by these conditions.
Enforcement Responsibility: Planning Department; Building Department;
Timing: Prior to issuance of a building permit & final occupancy
2. No more than three (3) persons shall occupy the second dwelling unit at any one time.
Enforcement Responsibility: Planning Department, Code Enforcement Officer/City Prosecutor
Timing: Ongoing
3. The main or second unit on the property shall be owner-occupied.
Enforcement Responsibility: Planning Department; Code Enforcement Officer/City Prosecutor
Timing: Ongoing
4. One covered parking space shall be provided and maintained on-site for the second unit.
Enforcement Responsibility: Planning Department, Building Department
Timing: Ongoing
5. Individual sale of either the main or the second unit shall be prohibited.
Enforcement Responsibility: Planning Department
Timing: Ongoing
6. All Building Division requirements shall be met. A building permit shall be required for the project.
Enforcement Responsibility: Building Department,
Timing: Prior to construction
7. All Fire Department requirements shall be met, including installation of an automatic fire sprinkler system throughout the structure if the total cumulative valuation of all building permits issued for the structure exceeds \$100,000 within any 36-month period.
Enforcement Responsibility: Fire Department; Building Department,
Timing: Prior to issuance of a building permit & final occupancy
8. The Applicant shall pay any required increased water fees applicable to the new second dwelling unit in accordance with the latest adopted rate schedule.

Enforcement Responsibility: Public Works Dept.; Water Operations Supervisor; City Engineer
Timing: Prior to issuance of a building permit
9. A sewer clearance shall be provided to the City of Sonoma Building Department verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department;
Sonoma County Water Agency; City of Sonoma Building Department
Timing: Prior to issuance of a building permit

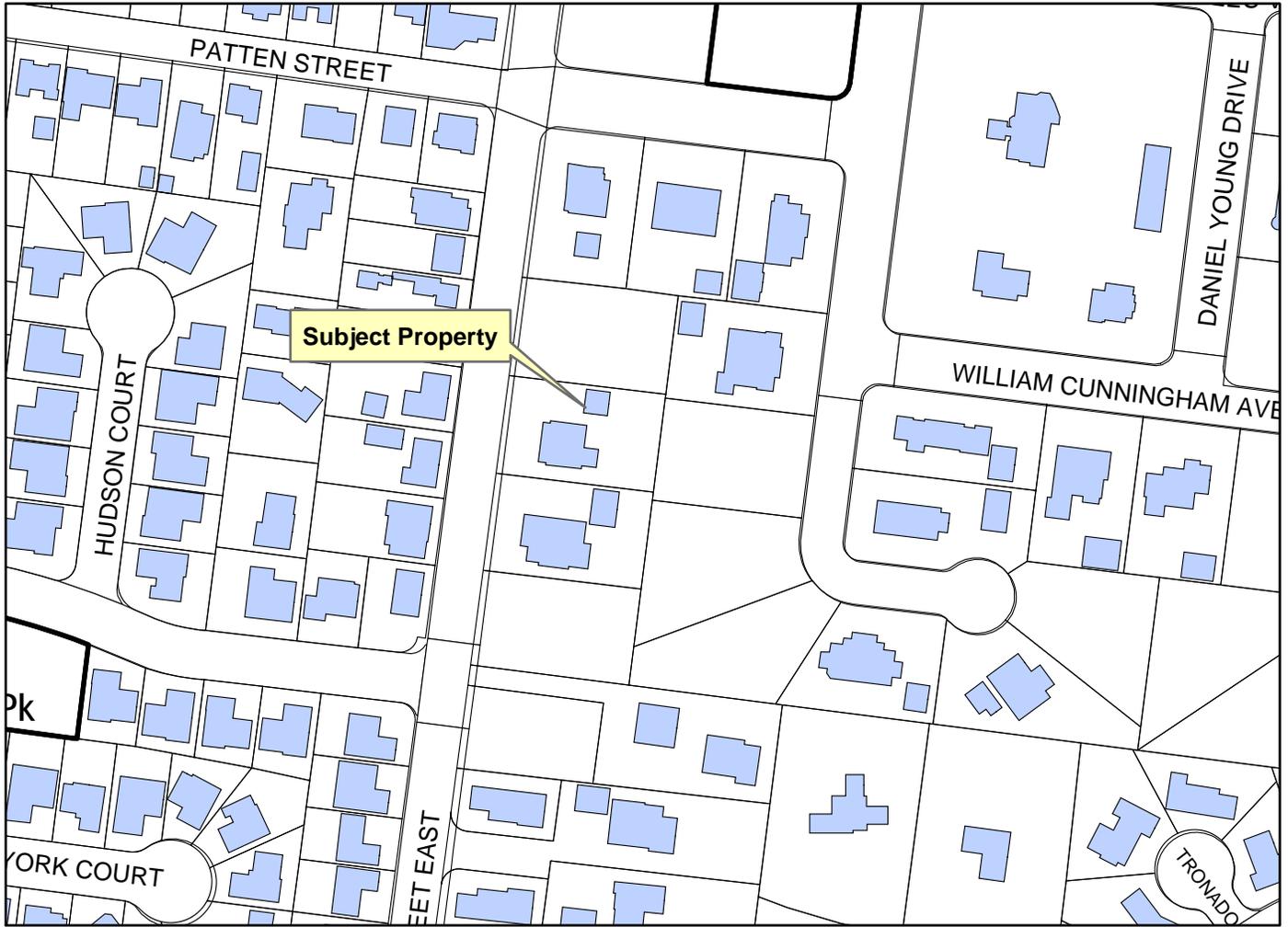
10. In addition to those already identified, the following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

a. *Sonoma Valley Unified School District* [For school impact fees]

Enforcement Responsibility: Building Division; Public Works Division

Timing: Prior to issuance of a building permit

Vicinity Map

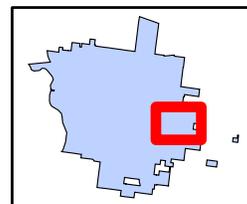


Zoning Designations

- R-HS Hillside Residential (1 D.U./10acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Denisty Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture

Project Summary

<i>Property Address:</i>	660 Fifth Street East
<i>Applicant:</i>	Paula Moulton
<i>Property Owner:</i>	Paula Moulton
<i>General Plan Land Use:</i>	Low Density Residential
<i>Zoning - Base:</i>	Low Density Residential
<i>Zoning - Overlay:</i>	None
<i>Summary:</i>	Application for a Use Permit to construct a second dwelling unit over an existing detached garage.



1 inch = 200 feet

RECEIVED

MAR 18 2016

PROJECT NARRATIVE – 660 FIFTH STREET EAST

CITY OF SONOMA

The Applicant is seeking approval of a Conditional Minor Use Permit for an addition to her existing detached two car garage. The addition would consist of a 288 square foot Studio and Wine Room being added to the ground level on the East elevation of the existing structure. A new second story Guest Suite would also be added over the existing Garage and new ground level addition. The second story area is 864 square feet.

An attached site plan represents the location of neighboring existing structures in Armstrong Estates and the subject property. The property to the North is vacant. The property to the South has a second story Guest Unit in place over the detached 3 car garage. The property to the East has a two car detached Garage without a second unit.

As the parcels in Armstrong Estates are all nearly ½ acre in size, when completed the addition will still be 60' from the rear property line and will sit in the same current side yard setback of 7' as is allowed in that development.

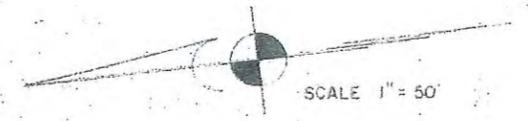
The overall height of the completed structure will be 23' which is consistent with the other structures in the development.

The purpose and use of the addition will serve as an Art Studio and Wine Cellar for the Applicant's private and personal use and a Guest Suite for her visitors coming from out of town. No other uses are intended for the property and it will not be used as a vacation property or home occupancy business.

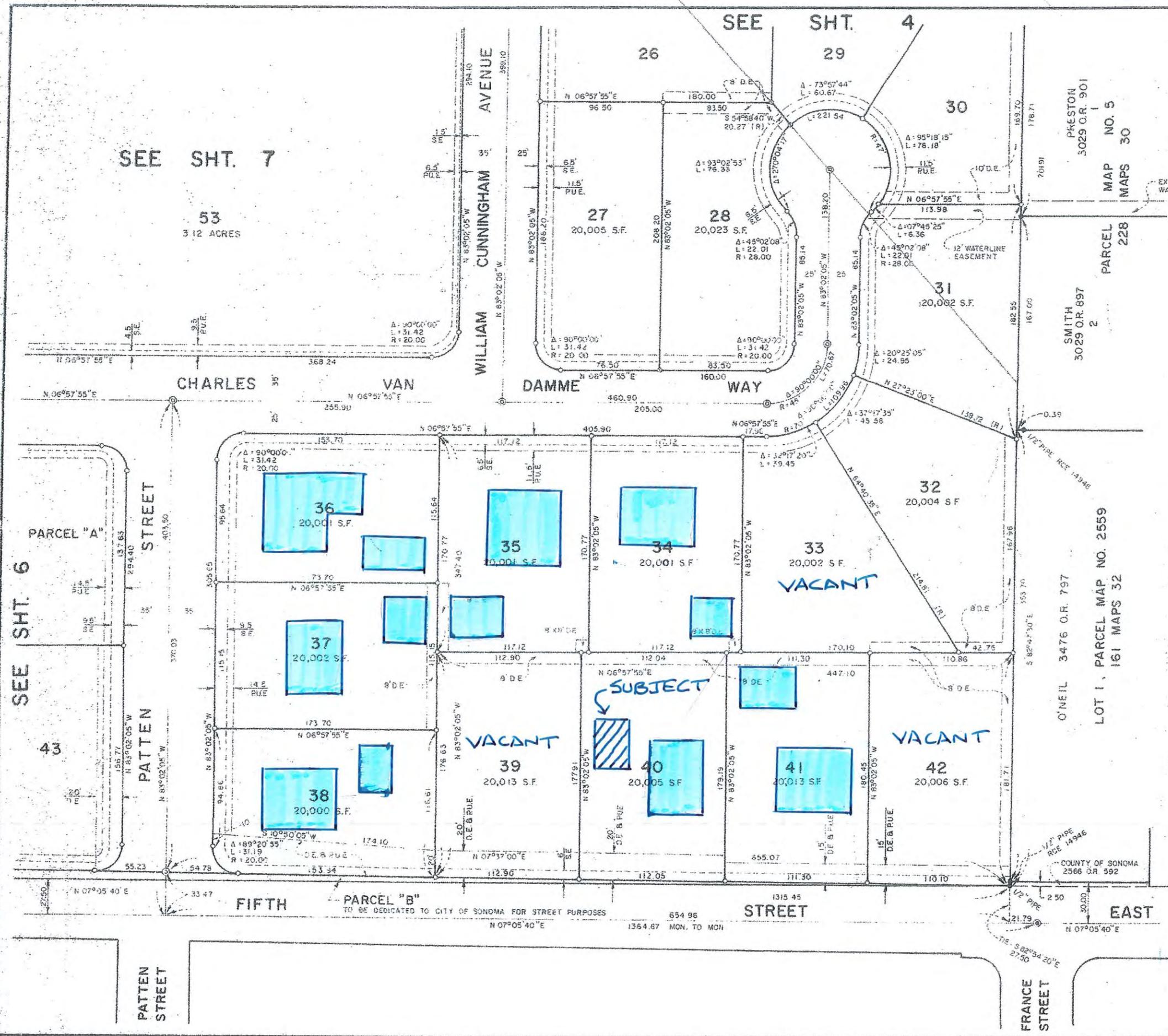
In the Armstrong Estates development, the Guest Unit over Garage concept is very popular. Of the 31 homes other than the subject that have been constructed thus far, 15 of them have a second story Guest Unit over their detached Garage.

In accordance with the C.C. & R.'s for the Armstrong Estates development, the proposed addition would be monitored for consistency in construction standards and design to the existing home by the Architectural Control Committee for that project.





SCALE 1" = 50'



LEGEND

- MONUMENT FOUND AS NOTED, NOT TAGGED UNLESS NOTED
- MONUMENT SET, AS FOLLOWS
- 3/4" IRON PIPE & TAG RCE 14946 AT TRACT CORNERS EXCEPT WHERE SUCH CORNERS FALL WITHIN THE SIDEWALK AREA.
- 1/2" IRON PIPE & TAG RCE 14946 AT ALL LOT CORNERS EXCEPT WHERE LOT CORNERS FALL WITHIN THE SIDEWALK AREA.
- LEAD PLUG WITH BRASS NAIL & TAG RCE 14946 SET IN SIDEWALK WHERE TRACT OR LOT CORNERS FALL WITHIN THE SIDEWALK AREA.
- STANDARD CITY MONUMENT SET
- ◎ STANDARD CITY MONUMENT FOUND.
- S/E SIDEWALK EASEMENT
- D/E DRAINAGE EASEMENT
- P/UE PUBLIC UTILITY EASEMENT
- THE RED BORDER INDICATES THE BOUNDARY OF THE LAND SUBDIVIDED BY THIS MAP

EASEMENT NOTES

1. THE 8" DRAINAGE EASEMENTS ON LOTS 26, 28, 32, 33, 34, 35, 37, 39, 40, 41 & 42 ARE TO BE RESERVED IN DOCUMENTS FOR THE BENEFIT OF THIS SUBDIVISION.
2. REFER TO "OWNER'S CERTIFICATE" ON SHEET 1 FOR EASEMENTS BEING DEDICATED TO CITY OF SONOMA.

MAP OF
ARMSTRONG ESTATES

LANDS OF STEVEN NOBLE LEDSON
86-110913 O.R. AND 86-110917 O.R.

A PART OF THE FORMER PUEBLO OF SONOMA
IN THE CITY OF SONOMA
SONOMA COUNTY, CALIFORNIA

A.P. 127-291-10 & 11

JOHN J. BONNOITT ASSOCIATES
SONOMA CALIFORNIA

SHEET 5 OF 7
1754

MAR 18 2015

Agenda Item Title: Application for an Exception from the side yard setback requirements to construct additions to a residence.

Applicant/Owner: Robert Baumann & Associates/Alan & Maren Hicks

Site Address/Location: 252 Wilking Way

Staff Contact: Rob Gjestland, Senior Planner
Staff Report Prepared: 4/8/16

PROJECT SUMMARY

Description: Application of Robert Baumann & Associates for an Exception from the side yard setback requirements to construct additions to the residence at 252 Wilking Way.

General Plan Designation: Low Density Residential (LR)

Zoning: **Base:** Low Density Residential (R-L) **Overlay:** None

Site Characteristics: The subject property is a 7,930-square foot parcel located on the east side of Wilking Way within the Pueblo Park subdivision. The site is currently developed with a one-story residence constructed in 1956.

Surrounding Land Use/Zoning: **North:** Single-family residence/Low Density Residential
South: Single-family residence/Low Density Residential
East: Vineyard/ LIA20 (County Zoning)
West: Single-family residence (opposite Wilking Way)/Low Density Residential

Environmental Review:

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

Staff Recommendation: Approve subject to conditions.

PROJECT ANALYSIS

DETAILED PROJECT DESCRIPTION

The owners are requesting an Exception from the side yard setback requirements to construct additions to their residence as part of a larger remodel project. Two areas of addition are proposed, including a ±290-square foot, studio addition at the front of the home and a ±670-square foot addition at the back of the home that would accommodate a dining room and expanded master bedroom. Both additions would be in line with and extend the non-conforming 6'2" setback on the north side of the residence. In total, the project would increase the living area of the home from 1,246 to 2,213 square feet. Additional details on the proposal can be found in the attached project narrative and plans.

GENERAL PLAN CONSISTENCY (**Not Applicable to this Project**)

The property is designated Low Density Residential by the General Plan, which allows for single-family homes and related accessory structures. The project does not raise any issues in terms of consistency with the *City of Sonoma 2020 General Plan*.

DEVELOPMENT CODE CONSISTENCY (**Not Applicable to this Project**)

Use: The property is zoned Low Density Residential (R-L). Single-family homes and related accessory structures are permitted uses in the R-L zoning district. The proposed addition is consistent with the property's zoning in terms of use.

Front Yard Setback: A 20-foot front yard setback is required for additions in the R-L zone. The addition at the front of the home would be setback a minimum of ±32 feet from the front (west) property line.

Rear Yard Setback: A 25-foot rear yard setback is required for R-L properties in the Northeast Planning Area. The addition at the back of the home would be setback a minimum of ±36 feet from the rear (east) property line and the new wood trellis would be setback ±30 feet.

Side Yard Setback: A seven-foot side yard setback is required for single-story construction in the R-L zone, and combined side yard setbacks must total 18 feet. The project does not comply with this requirement in that both additions would be setback 6'2" from the north property line, in line with the existing north building wall of the home. In addition, the current non-conforming combined side yard setback of 11'8" would be maintained (although the rear addition independently complies with the combined setback standard). Accordingly, the applicant is requesting an Exception from the side yard setback requirements for the project. Staff would note that the new wood trellis would be setback 10 feet from the side property line in compliance with setback standards.

Coverage: The maximum coverage in the R-L zone is 40%. The project would increase the lot coverage from 21% to 36% (including the new trellis).

Floor Area Ratio (FAR): The maximum FAR in the R-L zone is 0.35. The project would increase the FAR from 0.21 to 0.33. Staff would note that attached garages are included in FAR calculations under the Development Code

Building Height: The maximum building height within the R-L zone is 30 feet. The remodeled home would have a maximum height of ±19 feet to the highest/central roof peak (roughly three feet higher than existing).

Design Review: Additions to single-family homes constructed after 1944 are exempt from architectural review by the Design Review Commission (§19.54.080.B).

Setback Exception Approval: Pursuant to Development Code Section 19.48.050.A.1, the Planning Commission may grant exceptions from setback standards, provided that the following findings can be made:

1. *The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;*

The residential use associated with the setback exception request is consistent with the property's Low Density Residential land use designation and zoning.

2. *An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;*

In part, the exception request relates to site conditions and the historic development pattern of the property and neighborhood. Similar to most parcels within Pueblo Park subdivision, the property is nonconforming in terms of the minimum lot width requirement (the property has a width of 61 feet versus the current lot width requirement of 65 feet). In addition, six-foot side yard setbacks (or less) are common for homes within Pueblo Park subdivision, as they were constructed in the 1950's prior to the current side yard setback requirements (adopted in 2003). These conditions provide a basis for allowing an exception from the setback requirements.

3. *Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.*

The property to the north would be most affected by the project. However, the six-foot setback proposed on the north is typical of conditions found throughout the neighborhood and consistent with the existing home. While the total area of addition is substantial, the front addition would be located adjacent to the neighbor's garage, and both additions would encroach only ten inches into the required setback. The plate height of the home would not change and the new roof, while slightly higher at its peak, would continue to be hipped with the same 5:12 pitch shedding down to the side property lines to minimize impacts on adjoining properties. For these reasons, staff feels that the proposed additions and setbacks are generally compatible with neighborhood conditions and would not significantly impact other properties.

Staff has no concern about the combined side yard setbacks since the current ±12 combined setback would not be reduced, and the larger rear addition meets the 18-foot combined standard independently.

**CONSISTENCY WITH OTHER
CITY ORDINANCES/POLICIES** (Not Applicable to this Project)

ENVIRONMENTAL REVIEW (Not Applicable to this Project)

Pursuant to Section 15305 of the State CEQA Guidelines, minor side yard and setback variances not resulting in the creation of a new parcel are Categorically Exempt from the provisions of CEQA (Class 5 – Minor Alterations in Land Use Limitations).

DISCUSSION OF PROJECT ISSUES

Setback Exception: While the owner of the property to the north has expressed concern about the project, staff feels that the setback exception is consistent with site/neighborhood conditions and would be generally compatible with properties in the vicinity. Staff would also note that the Planning Commission has previously approved three similar side yard setback Exception requests in the subdivision (232 Wilking Way, 264 Wilking Way, and 272 Wilking Way) specifically to allow additions at existing, non-conforming 6-foot setbacks.

RECOMMENDATION

Staff recommends approval of the setback Exception, subject to the attached conditions.

Attachments

1. *Findings*
2. *Draft Conditions of Approval*
3. *Location map*
4. *Project narrative*
5. *Proposed Site Plan, Floor Plan & Building Elevations*
6. *Existing Site Plan, Floor Plan & Building Elevation*

cc: Robert Baumann & Associates (via email)
545 Third Street West
Sonoma, CA 95476

Alan & Maren Hicks (via email)
252 Wilking Way
Sonoma, CA 95476

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Hicks Setback Exception – 252 Wilking Way

April 14, 2016

Based on substantial evidence in the record and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

Exception Approval:

1. The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;
2. An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;
3. Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Hicks Setback Exception – 252 Wilking Way

April 14, 2016

1. The additions shall be constructed in conformance with the approved site plan and building elevations, except as modified by these conditions.

Enforcement Responsibility: Planning Department; Building Department

Timing: Prior to issuance of a building permit; Prior to final occupancy

2. All Building Department requirements shall be met, including Building Code requirements related to compliance with CALGreen standards. A building permit shall be required.

Enforcement Responsibility: Building Department

Timing: Prior to construction

3. All Fire Department requirements shall be met, including installation of an automatic fire sprinkler system throughout the structure if the total cumulative valuation of all building permits issued for the structure exceeds \$100,000 within any 36-month period.

Enforcement Responsibility: Fire Department; Building Department

Timing: Prior to issuance of a building permit; Prior to final occupancy

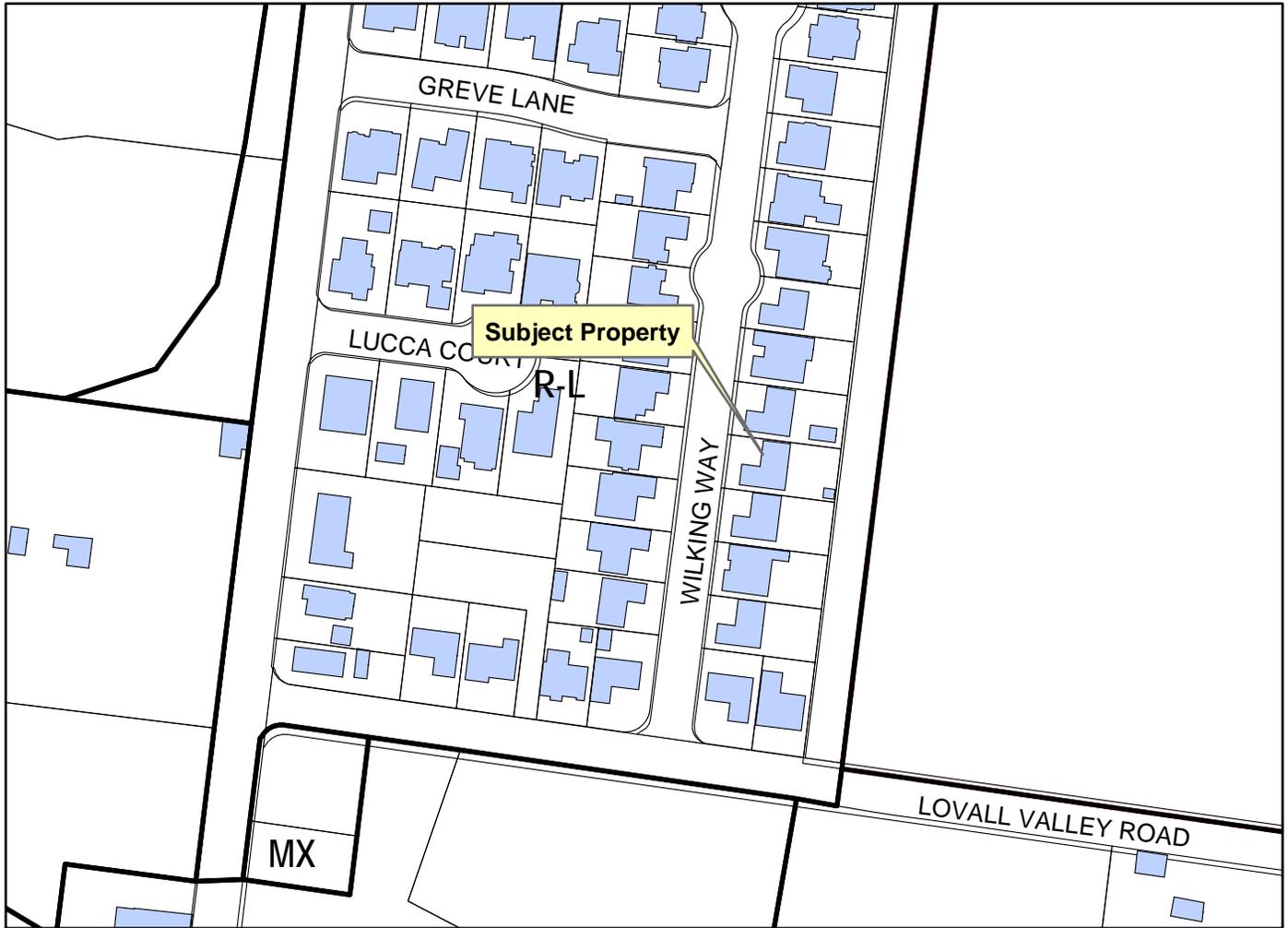
4. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. *Sonoma Valley Unified School District* [For school impact fees]

Enforcement Responsibility: Building Department

Timing: Prior to issuance of a building permit

Vicinity Map

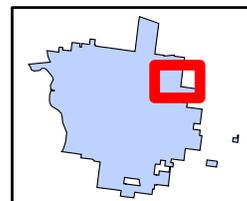


Zoning Designations

- R-HS Hillside Residential (1 D.U./10acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Denisty Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture

Project Summary

<i>Property Address:</i>	252 Wilking Way
<i>Applicant:</i>	Robert Baumann & Associates
<i>Property Owner:</i>	Alan & Maren Hicks
<i>General Plan Land Use:</i>	Low Density Residential
<i>Zoning - Base:</i>	Low Density Residential
<i>Zoning - Overlay:</i>	None
<i>Summary:</i>	
Application for an Exception from the side yard setback requirements to construct additions to a residence.	



1 inch = 200 feet



Robert Baumann + Associates
CA License # C28431
545 Third Street West, Sonoma, CA 95476
P - 707.996.7947 F - 707.996.7904
rb@robertbaumann.com

DATE: March 16, 2016
TO: City of Sonoma, Planning Department

RE: PLANNING COMMISSION - PROJECT NARRATIVE – Hicks Residence, 252 Wilking Way, Sonoma CA.

The owners of the property at 252 Wilking Way would like to make additions to the front and back of an existing residential structure built in 1956. Their goal is to remodel the existing home interior and to add on a new studio space to the front, and a new master bedroom suite and dining room at the back.

The existing one-story home does not conform to either the minimum 7 foot setback requirement at each side yard, or the combined side yard setback requirements of minimum 18 feet total. The existing side yard setback at the north property line is 6'-2". The existing side yard setback at the south property line is 5'-6". (Please refer to attached site plan A1.1)

The new addition at the back yard aligns with the existing house setback at the north side, and is set back 12'-4" from the south property line, giving a total combined setback of more than 18 feet. We believe that this addition conforms to the intent of the setback requirements.

The addition at the front of the house also aligns with the existing house set back at the north side. The existing garage is positioned at the existing setback at the south property line. The combined setback at the front of the house does not conform to the combined set back requirement. We are requesting an exception to the combined set back requirement of 18 feet for the front addition.

There are several properties on Wilking Way with non-conforming setback conditions. Property addresses 2321, 232 and 272 all have additions at the front of the house that maintain the original non-conforming setback for new additions to the original structure. We are requesting the same consideration for the proposed additions to 252 Wilking Way. (Please refer to attached site plan A1.0 and street elevations A3.0)

We feel that this project conforms to the overall objectives of the area Development Code. The proposed forms, scale, fenestration and exterior materials for this project are consistent with the surrounding structures and maintain this property's contribution to the fabric of this Sonoma neighborhood. (Please refer to exterior elevations A3.1 & A3.2)

If you require additional information, or have any questions about the submitted material, please contact me at your earliest convenience.

Thank you,

Robert Baumann, *Architect*

(VINYARD)

PROPERTY LINES, TYPICAL

61.00'

AREA OF NEW ADDITION (SHADED)

130.00'

232

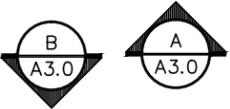
242

252

264

272

280



WILKING WAY

PROPERTY LINES, TYPICAL

SIDEWALK, TYPICAL

231

241

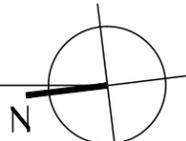
251

263

271

281

A SITE PLAN SCALE: 1" = 30'-0"



PROPERTY LINES, TYPICAL



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Sonoma, CA 95476
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FX 707.996.7904
rb@robertbaumann.com

ROBERT BAUMANN

HICKS RESIDENCE

252 WILKING WAY, SONOMA, CA 95476

A.P.N.: 018-102-006

PLANNING SUBMITTAL

SCALE: 1" = 30'-0"

ISSUE DATES: 3/14/16

3/14/16 REVIEW





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ROBERT BAUMANN

WILKING WAY

HICKS RESIDENCE

252 WILKING WAY, SONOMA, CA 95476

A.P.N.: 018-102-006

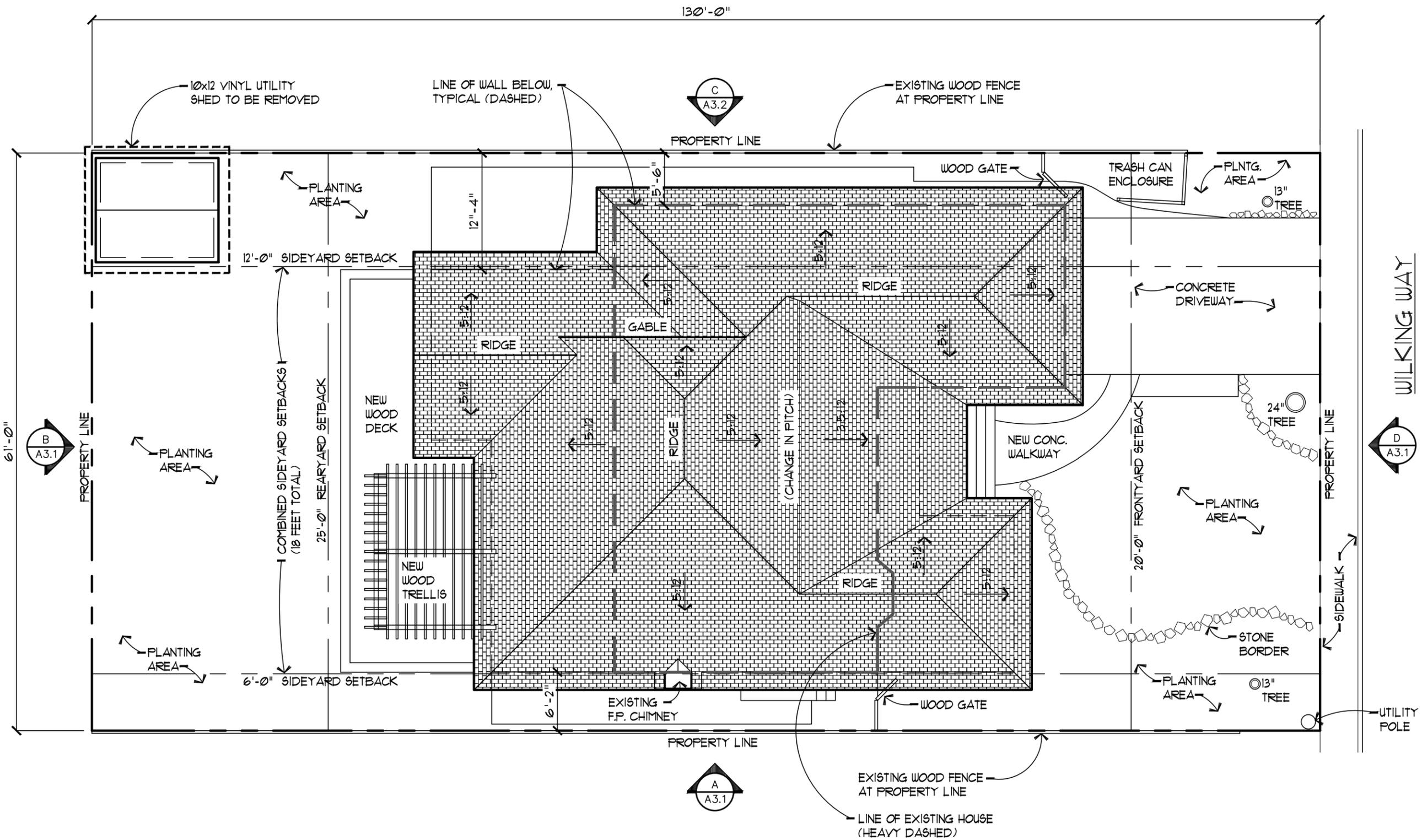
PLANNING
 SUBMITTAL

SCALE: AS NOTED

ISSUE DATES: 3/16/16

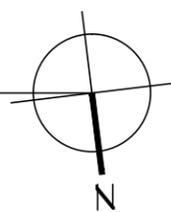
3/16/16 REVIEW

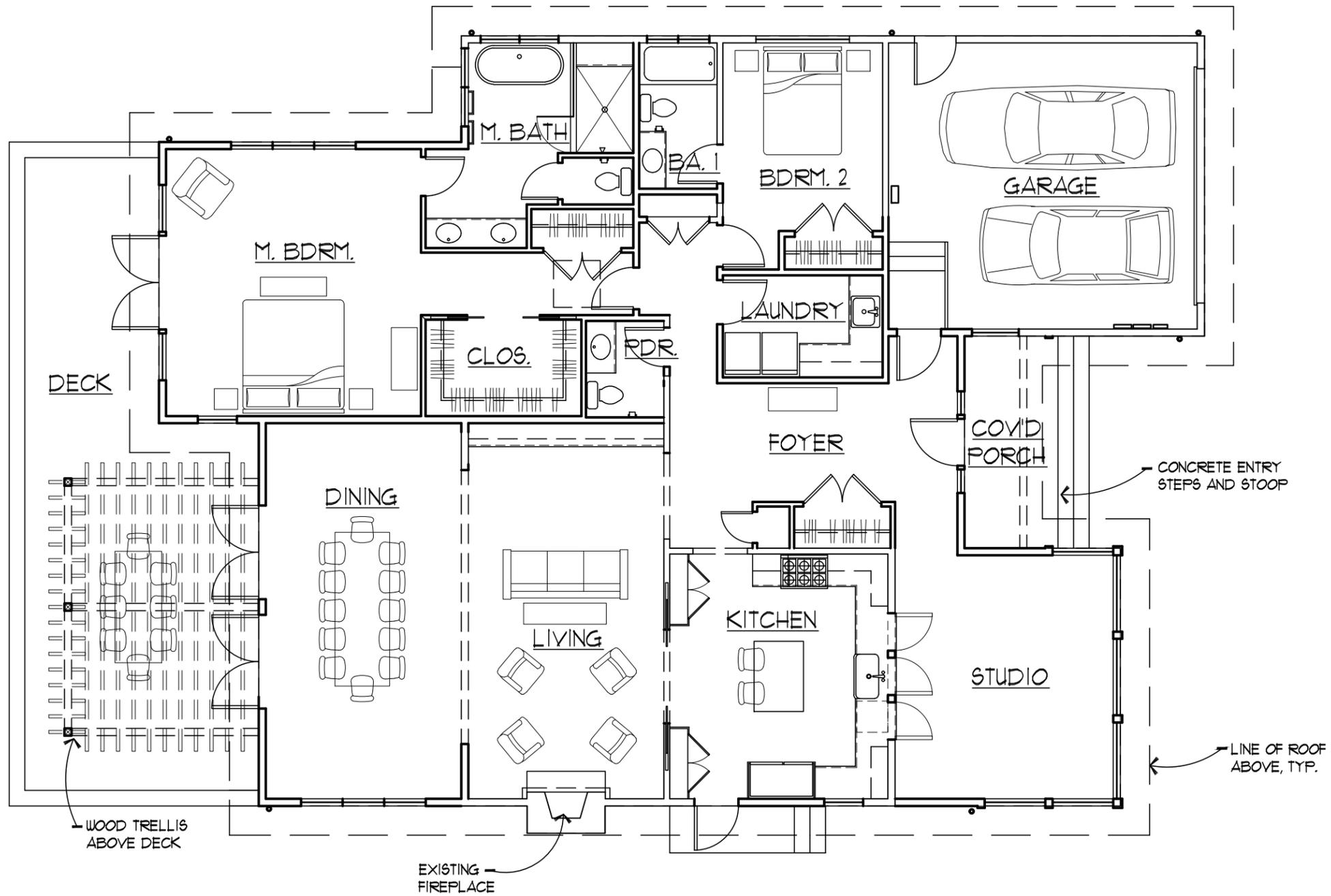
A1.1



ZONING REQUIREMENTS		PROPOSED RESIDENCE	
LOT SIZE	7,930 SF.	EXISTING HOUSE	1,246 SF.
MAX. FAR	2,718 SF.	PROP. HOUSE	2,213 SF.
MAX. COVERAGE	3,172 SF.	TOTAL ADDITION	967 SF.

PROPOSED SITE PLAN (252 WILKING WAY)
 SCALE: 3/32" = 1'-0"

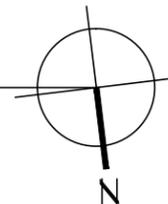




1

PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



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ROBERT BAUMANN

HICKS RESIDENCE
 252 WILKING WAY, SONOMA, CA 95476
 A.P.N.: 018-102-006

PLANNING
 SUBMITTAL

SCALE: AS NOTED

ISSUE DATES: 4/6/16

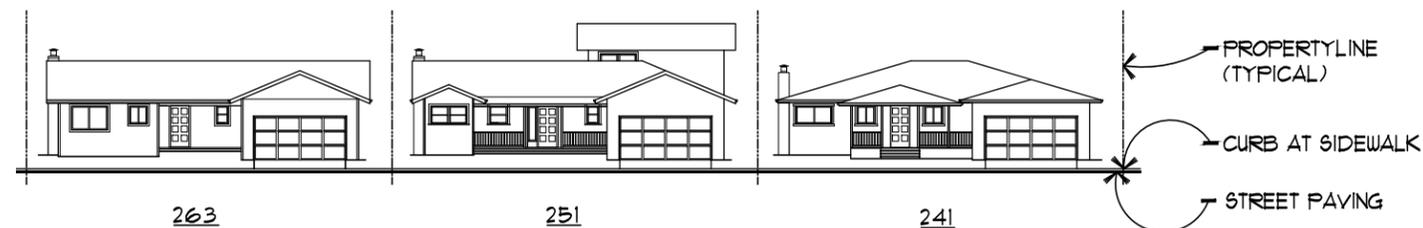
4/6/16 PLANNING

A2.1



545 Third Street West
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ROBERT BAUMANN



B STREET ELEVATION (Looking West)
 SCALE: 1/30" = 1'-0"
 (Across Street)



A STREET ELEVATION (Looking East)
 SCALE: 1/30" = 1'-0"

NOTE: FOR CLARITY ALL BUILDING ELEVATIONS
 ARE SHOWN WITHOUT FENCING OR LANDSCAPING

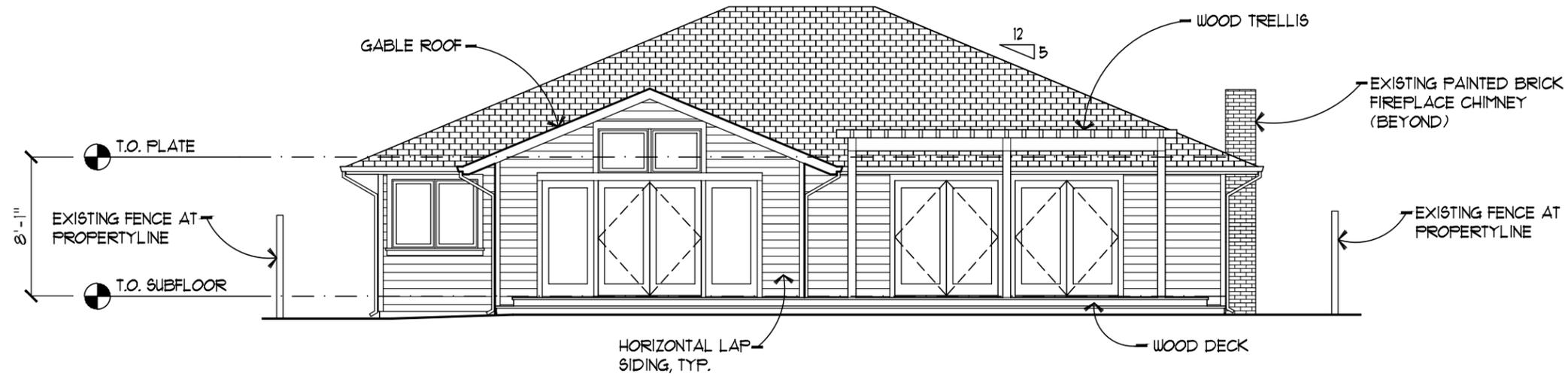
HICKS RESIDENCE
 252 WILKING WAY, SONOMA, CA 95476
 A.P.N.: 018-102-006

PLANNING
 SUBMITTAL

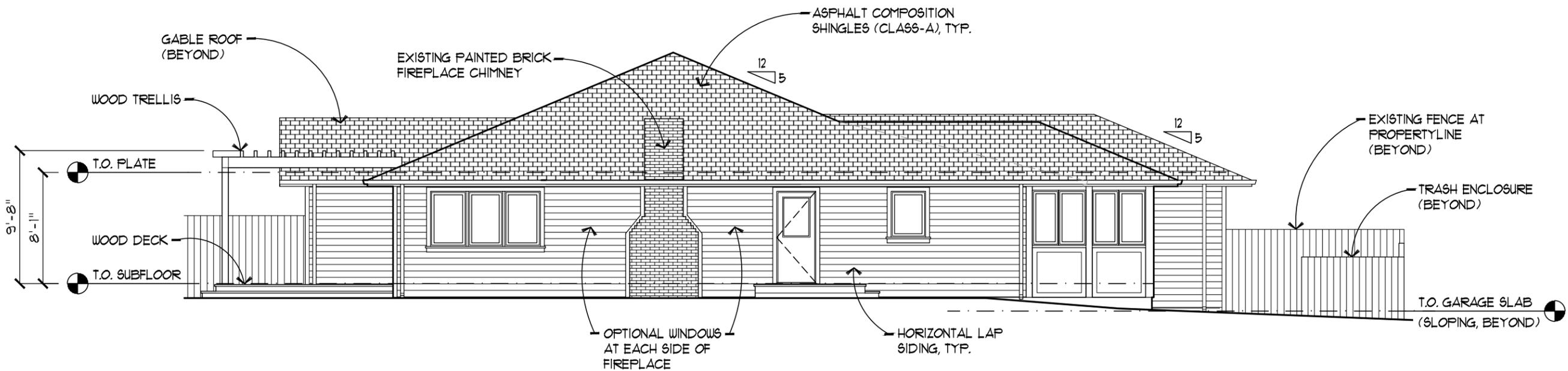
SCALE: AS NOTED

ISSUE DATES: 3/16/16	
3/16/16	PLANNING

A3.0



B EAST ELEVATION (BACK)
SCALE: 1/8" = 1'-0"



A NORTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



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ROBERT BAUMANN

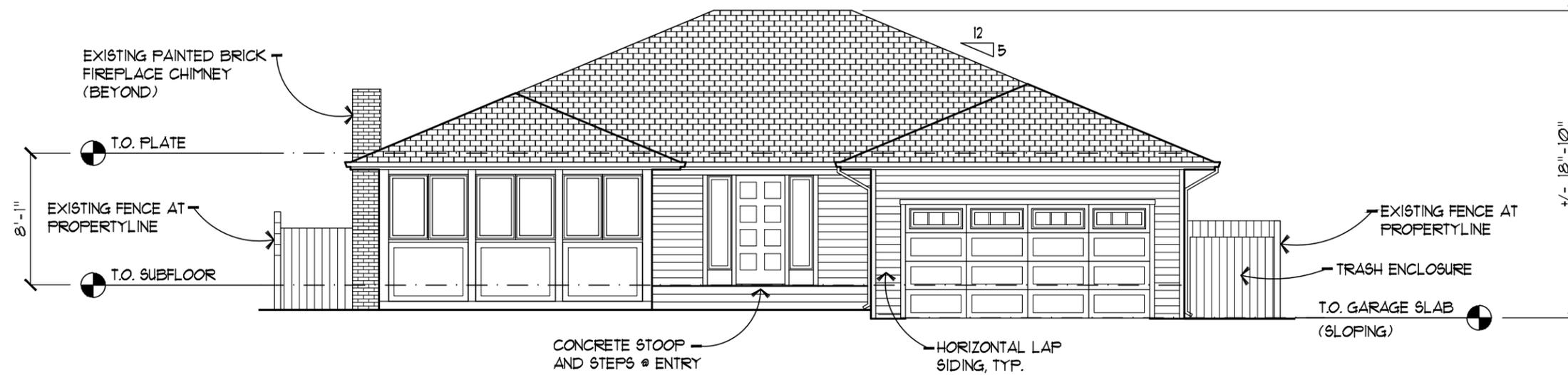
HICKS RESIDENCE
252 WILKING WAY, SONOMA, CA 95476
A.P.N.: 018-102-006

PLANNING
SUBMITTAL

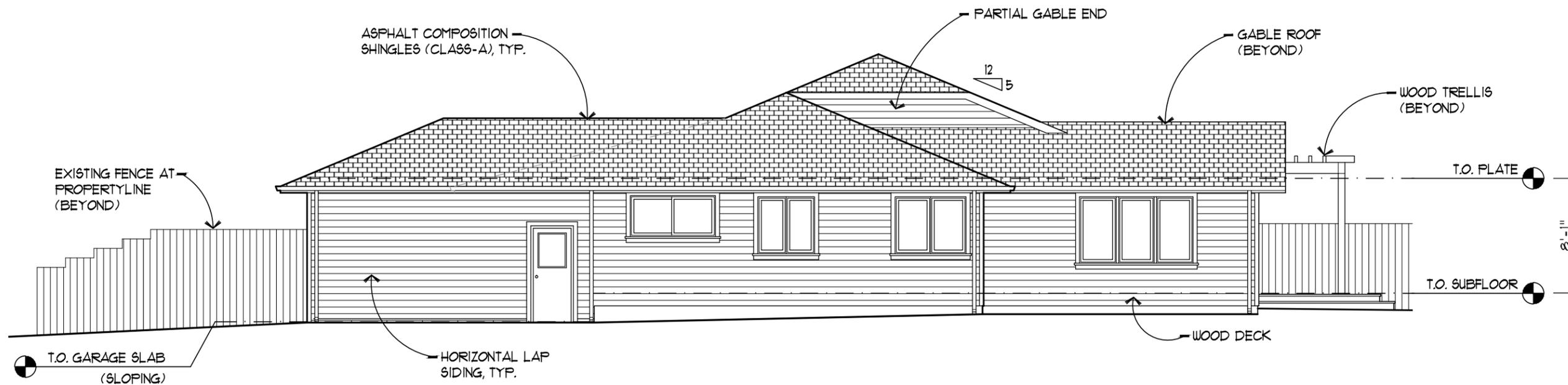
SCALE: AS NOTED

ISSUE DATES: 3/16/16
3/16/16 PLANNING

A3.1



D WEST ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



C SOUTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



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ROBERT BAUMANN

HICKS RESIDENCE
252 WILKING WAY, SONOMA, CA 95476
A.P.N.: 018-102-006

PLANNING
SUBMITTAL

SCALE: AS NOTED

ISSUE DATES: 3/16/16
3/16/16 PLANNING

A3.2

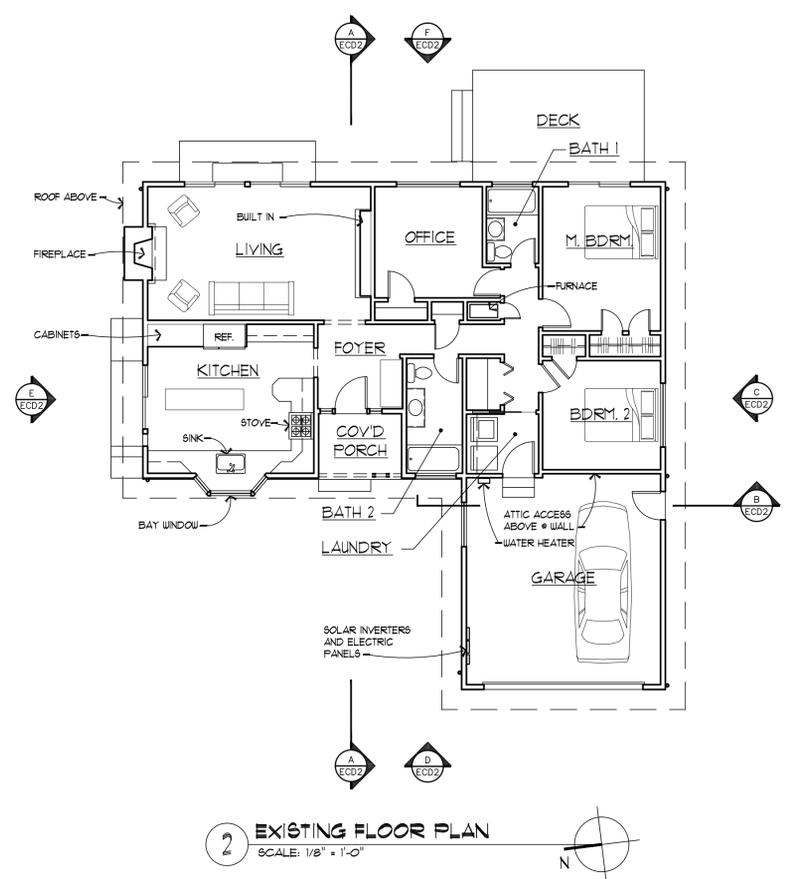
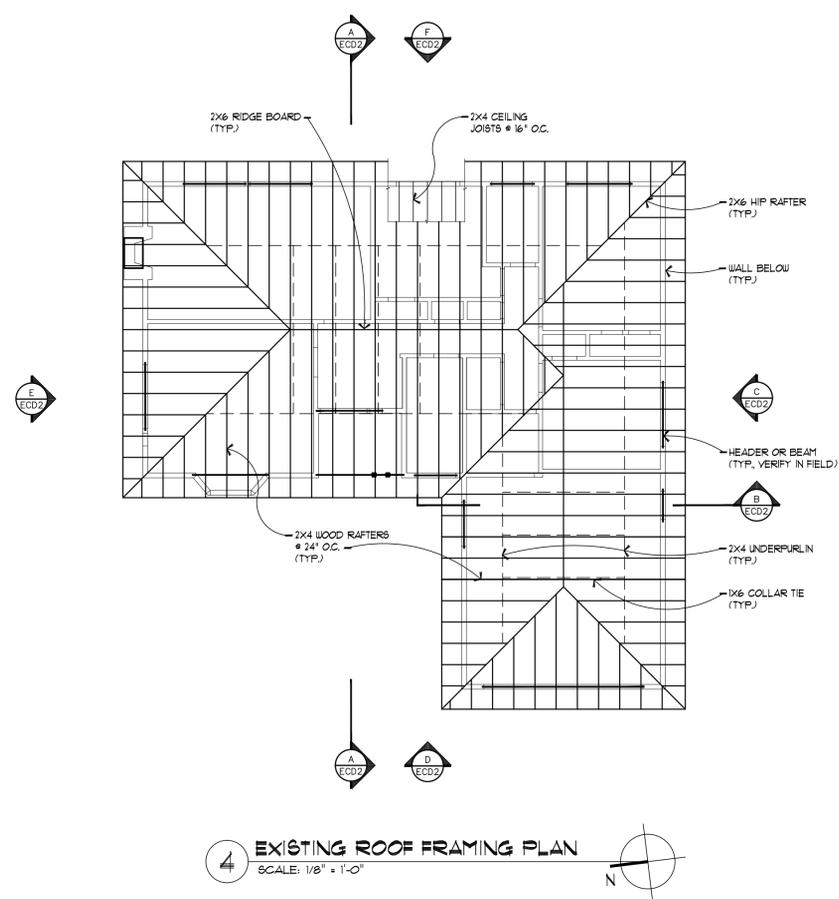
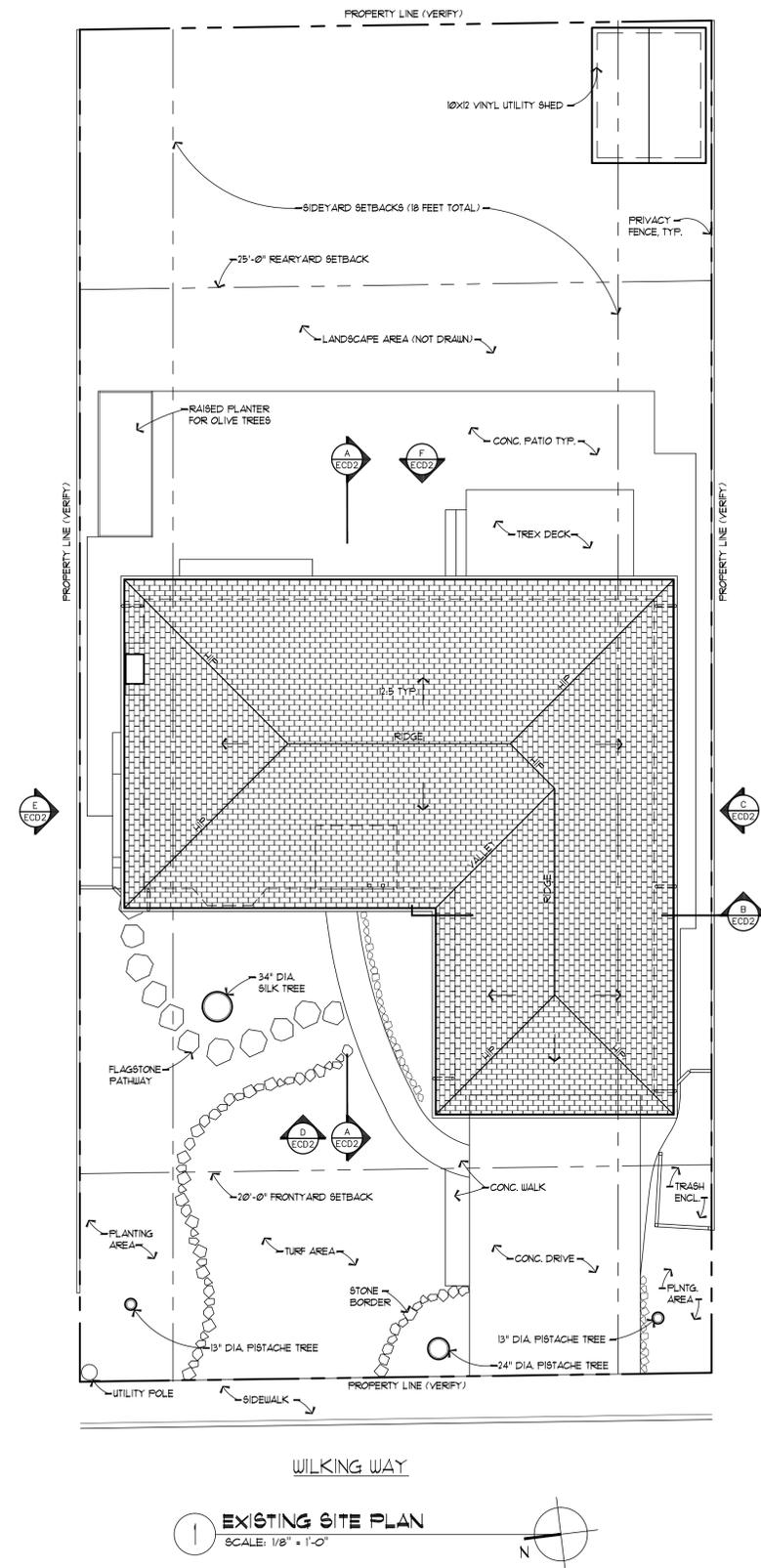
ISSUE DATE: 11/2/15

REVISIONS
11/2/15 REVIEW
11/20/15 REVIEW

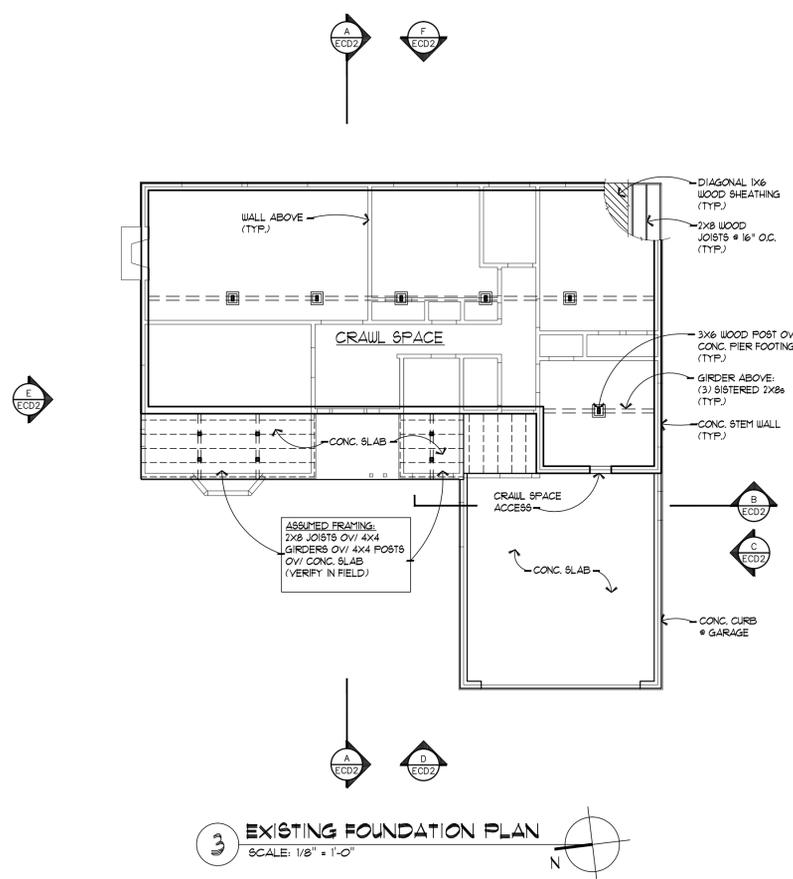
EXISTING CONDITIONS

MAIN HOUSE

SCALE: AS NOTED



- EXISTING MATERIALS**
- ROOFING: ASPHALT COMP. SHINGLES
 - SIDING: STUCCO, HORIZONTAL LAP SIDING, HORIZONTAL V-GROOVE SIDING
 - WOOD FRAMED WALLS AND ROOF
 - FOUNDATION: WEDGE CONCRETE STEM WALLS AND CONCRETE SLAB
 - DECKS/PATIOS: CONCRETE FRONT PATIO, WOOD/TREX BACK DECK, TILE OVER CONCRETE @ LIVING ROOM DECK
 - WOOD INTERIOR AND ENTRY DOORS, VINYL SLIDING DOORS W/ DUAL PANE GLAZING
 - DUAL PANE VINYL WINDOWS TYPICAL, VINYL CLAD WOOD @ KITCHEN BAY WINDOW
 - INSULATION: BLOWN IN INSULATION @ ATTIC, BATT INSULATION @ CRAWL SPACE, BATT INSULATION @ WALLS



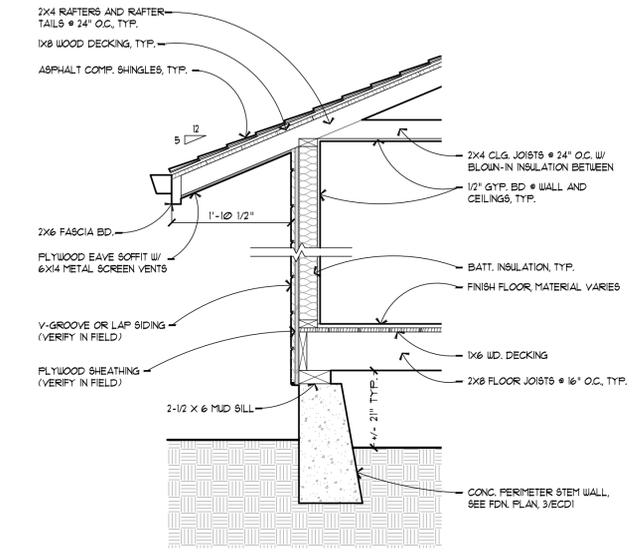
REVISIONS	
11/2/15	REVIEW
11/20/15	REVIEW

EXISTING CONDITIONS

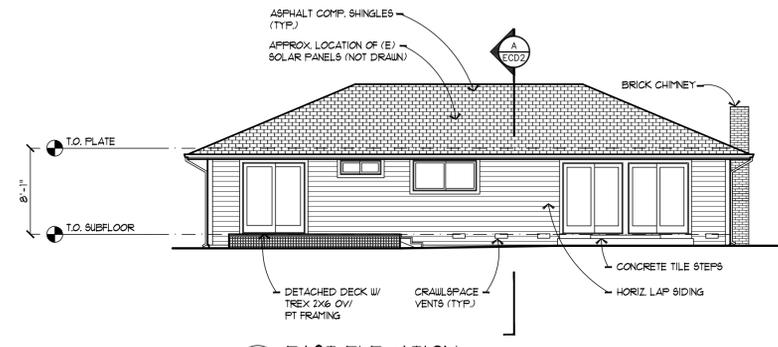
MAIN HOUSE

SCALE: AS NOTED

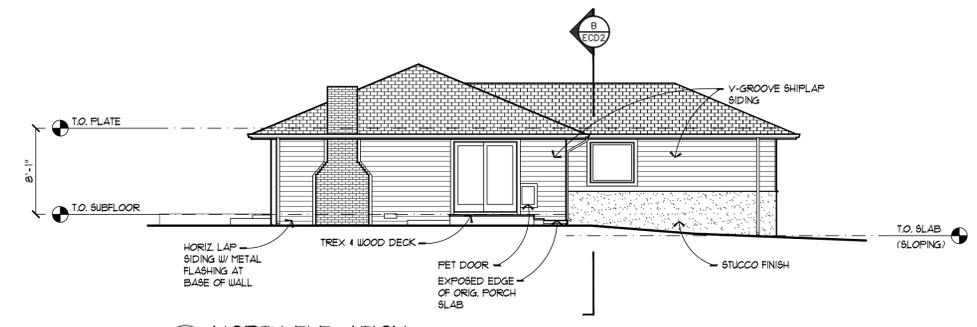
ECD2



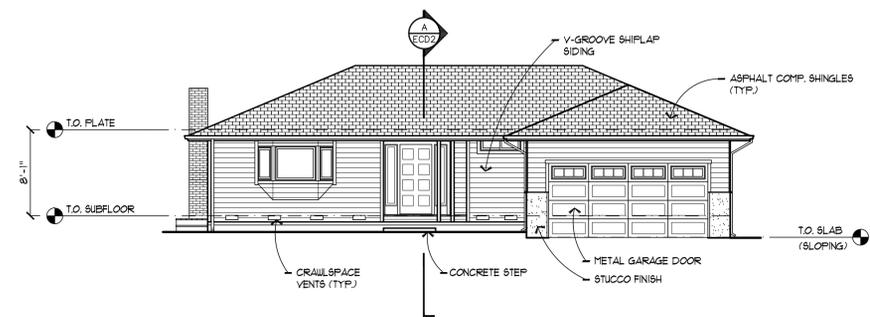
G TYP. WALL SECTION
 SCALE: 3/4" = 1'-0"



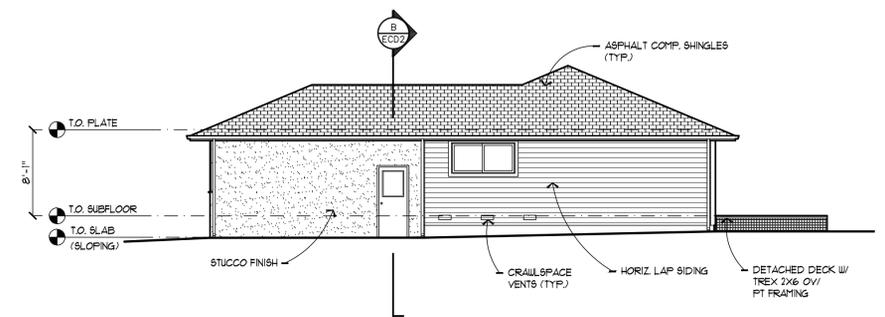
F EAST ELEVATION
 SCALE: 1/8" = 1'-0"



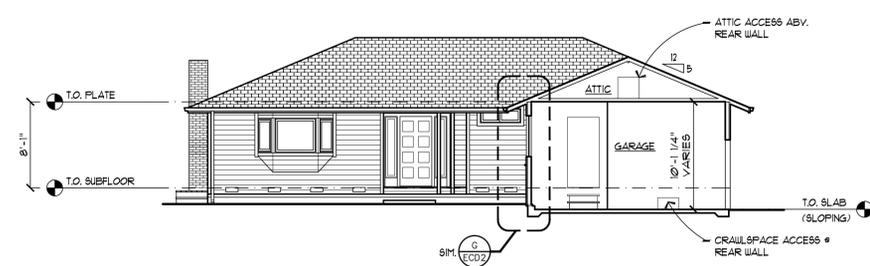
E NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



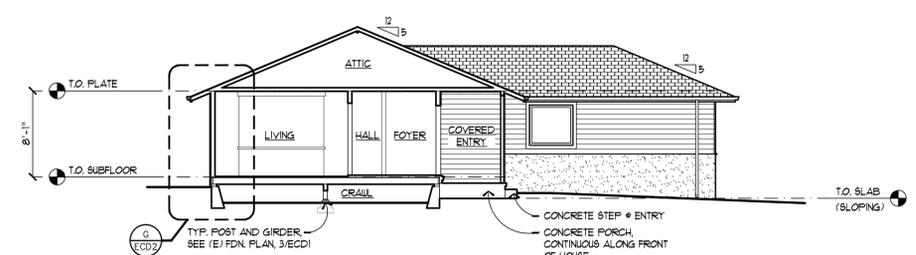
D WEST ELEVATION
 SCALE: 1/8" = 1'-0"



C SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



B CROSS SECTION - GARAGE
 SCALE: 1/8" = 1'-0"



A CROSS SECTION
 SCALE: 1/8" = 1'-0"

Agenda Item Title: Application of Kenwood Investments, LLC for a use permit to allow the expansion of an existing commercial building located at 117 West Napa Street.

Applicant/Owner: Kenwood Investments, LLC

Site Address/Location: 117 West Napa Street

Staff Contact: David Goodison, Planning Director
Staff Report Prepared: 04/05/16

PROJECT SUMMARY

Description: Application of Kenwood Investments, LLC for a use permit to allow the expansion of an existing commercial building located at 117 West Napa Street.

General Plan Designation: Commercial (C)

Zoning: **Base:** Commercial (C) **Overlay:** Historic (/H)

Site Characteristics: The subject property is a roughly “L”-shaped parcel, approximately 20,000 square feet in area, having frontage on West Napa Street and First Street West. It is developed with a two-story commercial building located on the West Napa Street frontage, with a metal printing plant building behind, as well as a paved parking lot extending upon and shared with the adjoining property to the west.

Surrounding Land Use/Zoning: **North:** Retail and restaurant (across West Napa Street)/Commercial
South: A hotel (the Sonoma Valley Inn)/ Commercial
East: Retail and restaurant/Commercial
West: A mixed use building featuring offices and apartments/Commercial

Environmental Review:

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

Staff Recommendation: Approve with conditions.

PROJECT ANALYSIS

DETAILED PROJECT DESCRIPTION

The applicants propose to increase the size of the Index-Tribune building by 4,396 square feet through a second floor addition, to be implemented in conjunction with seismic safety and accessibility improvements. The addition is intended to accommodate the retention of the Sonoma Index-Tribune offices, as well as Krave, a Sonoma-based food company whose offices are currently in a portion of the print building, which is planned for demolition. Although it reads from the street as a fully two-story building, the existing second floor area of the Index-Tribune building is limited to the front of the building and has an area of only 685 square feet. Because the Sonoma-Index building has been identified as a historically-significant structure, the addition has been designed to preserve the character-defining features of the façade, including the shed roof, the timber columns, the slump stone element on the west, and the “Sonoma Index-Tribune” sign.

GENERAL PLAN CONSISTENCY (**Not Applicable to this Project**)

The property is designated Commercial by the General Plan. The Commercial land use designation is intended to provide areas for retail, hotel, service, medical, and office development, in association with apartments and mixed-use developments and necessary public improvements. The following General Plan policies apply to the project:

Local Economy Element, Policy 1.1: Focus on the retention and attraction of businesses that reinforce Sonoma’s distinctive qualities – such as agriculture, food and wine, history and art – and that offer high-paying jobs.

Community Development Element, Policy 5.4: Preserve and continue to utilize historic buildings as much as feasible.

The proposal is consistent with the intent of the Commercial land use designation and applicable General Plan policies that encourage the retention of local businesses, food industry businesses, and the preservation and utilization of historic structures.

DEVELOPMENT CODE CONSISTENCY (**Not Applicable to this Project**)

Use: The property is located within a Commercial (C) zoning district, which is applied to areas appropriate for a range of commercial land uses including retail, tourist, office, and mixed-uses. Offices and General Retail are identified as permitted uses in the Commercial zone. However, because the proposed addition would result in a commercial building having an area of greater than 10,000 square feet, it is considered a “Large Commercial Development”, which is subject to the review and approval of a Use Permit by the Planning Commission.

Residential Component: In applications for new development on commercially zoned properties over one-half acre, a residential component comprising at least 50% of the total proposed building area is normally required unless waived or reduced by the Planning Commission. Because the subject property has an area of less than one-half acre, this provision does not apply.

Setback Requirements: There are no minimum setback requirements for Commercial properties in the Downtown Planning Area, except when abutting a residential zone, which is not applicable in this case. As proposed, the addition would retain the footprint of the existing building, so no changes in setbacks are proposed.

Floor Area Ratio (FAR): The maximum FAR for Commercial properties in the Downtown Planning Area is 2.0. The project would increase the FAR from 0.49 to 0.71, remaining below allowable levels.

Lot Coverage: Because the maximum allowed building coverage for Commercial properties in the Downtown Planning Area is 100%, this standard is not at issue.

Building Height: The maximum building height in the Commercial zone is 35 feet. The existing building has a height of approximately 22 feet. With the proposed addition, the roof height would increase to 27 feet, with projections such as the elevator shaft would have a height of 31 feet. However, the height at the façade would remain unchanged.

Parking Requirements: The property shares parking and access with the adjoining Lynch building through mutual easements, with access from both West Napa Street and First Street West. Therefore, the parking calculation is based on the parking lot as a whole and the uses in both buildings.

Parking Summary		
Building/Use	Area/Units	Minimum Parking Requirement*
<i>Lynch Building</i>		
Office/Retail	8,237 sq. ft.	27
Multi-family	7 units	13
<i>Printing Building</i>		
Warehouse/Storage (up to 20% office use allowed)	7,372 sq. ft.	7
<i>Index-Tribune Building</i>		
Office/Retail, Existing	6,396 sq. ft.	21
Office/Retail, Added	4,396 sq. ft.	15
Total Parking Requirement		83
Off-Street Parking Provided**		84
Difference		+1

* Office/Retail: One space for every 300 square feet of building area.

Multi-Family: 1.5 parking spaces per unit, plus 25% guest parking.

Warehouse/Storage (one space/1,000 square feet of building area).

** 9 spaces would be added to the existing 75-stall parking lot (see site plan).

The proposed office addition would increase parking demand by 15 spaces. Based on the mix of uses between the two parcels—and with no credit given for shared parking—total parking demand would amount to 83 off-street parking spaces. The existing capacity of the shared parking lot is 75 spaces, but nine spaces are proposed to be added along the south side of the print building, bringing the total available parking to 84 spaces, exceeding the City’s standards by one space. In terms of their dimensions, these spaces would comply with the City’s compact parking standard.

Design Review: Under Section 19.54.080.B.2 of the Development Code, new commercial construction and building additions, exterior building modifications, repainting, lighting, and landscaping are subject to design review by the DRHPC (signs are also subject to DRHPC review). Conditions of approval have been included to address these design review requirements.

Bicycle Parking: Any new commercial development that requires Use Permit approval must provide bicycle parking on-site (§19.48.110). While bicycle parking is not identified on the plans, a condition of approval has been included to address this requirement, giving the DRHPC responsibility over the location and type of bicycle racks.

CONSISTENCY WITH OTHER

CITY ORDINANCES/POLICIES (Not Applicable to this Project)

Water Demand Analysis & Will-Serve Letter: Pursuant to Resolution No. 46-2010, the project will be subject to the requirement for a water demand analysis and will-serve letter from the City Engineer to confirm that adequate water capacity exists prior to the issuance of a building permit for the project. These items have been included in the draft conditions.

ENVIRONMENTAL REVIEW (Not Applicable to this Project)

Normally, an office addition of this size would not be subject to environmental review. However, the applicant previously commissioned a Historic Resource Evaluation (HRE) of the property that found that the Index-Tribune building appears to be eligible for listing on the California Register of Historic Resources due to its association with the Lynch family and the Sonoma-Index-Tribune (refer to enclosed Historic Resource Evaluation prepared by Page & Turnbull, dated July 5, 2012). Because the building meets the criteria for listing on the California Register, it is considered a historical resource under the California Environmental Quality Act (CEQA). Therefore, in order for the proposed project to be considered categorically exempt from CEQA, the addition must be designed in a manner that preserves the character-defining features of the building and retains its historic significance. The notable features of the building are associated with the front façade including the shed roof, the timber columns, the slump stone element on the west, and the “Sonoma Index-Tribune” sign. All of these elements would be preserved. The project would introduce a parapet; however, this feature would be located at the back of the existing shed roof and is designed to be visually unobtrusive. Page & Turnbull conducted an assessment of the proposed project (attached), evaluating its compliance with the Development Code’s Guidelines for Preservation and Adaptive Reuse (SMC 9.42.40), which incorporate applicable elements of the Secretary of Interior Standards for the Rehabilitation of Historic Structures. The Page & Turnbull assessment finds that the proposed alterations shown in the Use Permit Drawings by RDC Architecture dated March 24, 2016, would not impact the character defining features of the building and therefore would have no impact or a less than significant impact on the historic significance of the Index-Tribune building. With regard to the parapet element, the report found it to be compatible in scale with the façade and with the 1950s interpretation of the Monterey Colonial Revival style. Accordingly, the project would be considered Categorical Exempt from the provisions of CEQA under Section 15303 (Class 3 – New Construction).

DISCUSSION OF PROJECT ISSUES

Compatibility: In staff’s view, the proposal does not raise significant issues in terms of compatibility with adjoining land uses, as the property is located in the Downtown District in a commercial setting.

Relationship to Hotel Proposal: The proposed office addition is a stand-alone application that is independent of and functionally unrelated to the proposed West Napa Hotel proposal. That said, the proposal does raise following considerations with respect to the hotel proposal:

- 1) *Index-Tribune Site FAR.* Under the hotel proposal, the back portion of the Index-Tribune parcel would be given over to the hotel site, reducing the parcel area to 6,369 square feet. However, under that scenario, the resulting FAR of the Index-Tribune site (1.69) would continue to comply with Development Code standards.
- 2) *Traffic/Cumulative Conditions.* In the updated analysis provided with the Final EIR, staff will verify that the proposed office expansion is accounted for in the traffic analysis and other relevant areas of the EIR addressing cumulative conditions.

- 3) *Parking*. The applicants recognize that the expanded office area will need to be accounted for in the parking analysis that occurs as part of the use permit review of the hotel project.

In summary, while the proposed office addition does raise issues that will need to be addressed as part of the ongoing review of the hotel proposal, the application has been designed so that it may be considered independently and on its own merits.

RECOMMENDATION

The proposed office addition has been designed to preserve the integrity of the historically-significant Index-Tribune building and would allow for the newspaper use to continue into the future. Furthermore, it would allow for the retention and expansion of a successful local business (Krave) and would implement seismic safety and accessibility improvements. With the proposed added parking stalls, the project would meet the City's parking standards. Based on the downtown location of the site and the nature of adjoining uses, no issues of compatibility have been identified. Staff recommends approval of the Use Permit, subject to the attached conditions.

Attachments:

1. *Draft Findings of Project Approval*
2. *Draft Conditions of Approval*
3. *Vicinity Map*
4. *Project Narrative*
5. *117 West Napa Street Proposed Project Memorandum, Page & Turnbull, dated March 24, 2016*
6. *Project Drawings*

Enclosure:

1. *Historic Resource Evaluation of 117 West Napa Street prepared by Page & Turnbull, dated July 5, 2012*

cc: Bill Hooper, Kenwood Investments (via email)

Michael Ross, RDC Architecture (via email)

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Index-Tribune Building Expansion
117 West Napa Street

April 14, 2016

Based on substantial evidence in the record and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

Use Permit Approval

1. That the proposed use is consistent with the General Plan.
2. That the proposed use is allowed with a conditional Use Permit within the applicable zoning district and complies with all applicable standards and regulations of the Development Code.
3. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.
4. The proposed use will not impair the architectural integrity and character of the zoning district in which it is to be located, nor will it significantly diminish the integrity of the historically-significant Index-Tribune building.

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Index-Tribune Building Expansion
117 West Napa Street

April 14, 2016

1. The buildings and property shall be improved and used in conformance with the project narrative dated June 10, 2015, and approved Project Use Permit Drawings prepared by RDC Architecture dated 04/04/2016, except as modified by these conditions and the following:
 - a. The character-defining features of the Index-Tribune building shall be preserved in accordance with the findings and recommendations set forth in: A) *117 West Napa Street Proposed Project Memorandum, Page & Turnbull, March 24, 2016*; and B) *Historic Resource Evaluation of 117 West Napa Street prepared by Page & Turnbull, July 5, 2012*.
 - b. Bicycle parking shall be required, with the type and location subject to the review and approval of the Design Review & Historic Preservation Commission.
 - c. Through the design review process, the DRHPC shall verify that that roof equipment shall be adequately setback from the West Napa Street frontage or appropriately screened.

Enforcement Responsibility: *Planning Department; Design Review and Historic Preservation Commission; Building Department; Fire Department*
Timing: *Prior to issuance a building permit*

2. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended.

Enforcement Responsibility: *City Engineer; Public Works Department; Planning Department*
Timing: *Prior to the issuance of any building permit; Ongoing*

3. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, may be required for the development prior to the issuance of any building permit, at the discretion of the Building Official. Recommendations identified in the geotechnical investigation and report shall be incorporated into the construction plans for the project and into the building permits.

Enforcement Responsibility: *City Engineer; Building Department*
Timing: *Prior to issuance of any building permit*

4. All Building Department requirements shall be met, including applicable Building Code requirements related to compliance with CALGreen standards, seismic retrofitting, , and ADA requirements (i.e. disabled access including at entrances, handicap parking, accessible paths of travel, bathrooms, etc.). A building permit shall be required.

Enforcement Responsibility: *Building Department*
Timing: *Prior to construction*

5. All Fire Department requirements shall be met, including applicable requirements related to fire sprinkler systems and water line/connections for fire service.

Enforcement Responsibility: *Fire Department; City Engineer; Building Department*
Timing: *Prior to issuance of any building permit; Prior to operation*

6. A grading and drainage plan may be required if deemed necessary by the City Engineer/Public Works Director

Enforcement Responsibility: *City Engineer; Public Works Department; Building Department*
Timing: *Prior to issuance of any building permit*

7. An encroachment permit from the City shall be required for all work within the public right of way on West Napa Street and First Street West.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department
Timing: Prior to any work/construction within the public right of way

8. The applicant shall comply with the following requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA):

- a. The applicant shall submit a Wastewater Discharge Survey to PRMD. The Applicant shall obtain a **Survey for Commercial/Industrial Wastewater Discharge Requirements** ("Green form") from PRMD, and shall submit the completed Survey, along with two (2) copies of the project site plan, floor plan and plumbing plan to the Sanitation Section of PRMD. The Survey evaluation must be completed by the Sonoma County Water Agency and submitted to the PRMD Engineering Division before a building permit for the project can be approved.
- b. If additional sewer pre-treatment and/or monitoring facilities (i.e. Sampling Manhole, etc.) are required by the Sonoma Valley County Sanitation District per the Wastewater Discharge Survey, the Applicant shall comply with the terms and requirements of the Survey prior to commencement of occupancy. If required, the Sampling Manhole shall be constructed in accordance with Sonoma County Water Agency *Design and Construction Standards for Sanitation Facilities*, and shall be constructed under a separate permit issued by the Engineering Division of PRMD.
- c. In accordance with Section 5.05, "Alteration of Use", of the Sonoma Valley County Sanitation District Ordinances, the Applicant shall pay increased sewer use fees as applicable for changes in the use of the existing structure. The increased sewer use fees shall be paid the Engineering Division of PRMD prior to the commencement of the use(s).
- d. A sewer clearance shall be provided to the City of Sonoma Building Department verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency: City of Sonoma Building Department
Timing: Prior to issuance of a building permit

9. The Applicant shall pay any required increased water fees applicable to the changes in use in accordance with the latest adopted rate schedule.

Enforcement Responsibility: Public Works Department; Water Operations Supervisor; City Engineer
Timing: Prior to final occupancy

10. In addition to those already identified, the following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma Valley Unified School District [For school impact fees]
- b. Sonoma County Water Agency [For grading, drainage, and erosion control plans]

Enforcement Responsibility: Building Department
Timing: Prior to issuance of a building permit

11. The project shall be subject to design review by the Design Review & Historic Preservation Commission (DRHPC), encompassing exterior building modifications, elevation details, exterior materials and colors, lighting, landscaping, trash enclosure design and the location and type of required on-site bicycle parking.

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to the issuance of a building permit

12. If additional or replacement is landscaping is proposed, a landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). The plan shall address site landscaping (including planters/containers), hardscape improvements, pedestrian furniture/amenities, and any fencing/walls. The landscape plan shall comply with City of

Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.46 (Fences, Hedges, and Walls) and 19.40.060 (Landscape Standards).

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to the issuance of a building permit

13. Onsite lighting, if modified, shall be addressed through a lighting plan, subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). All proposed exterior lighting for the building and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security.

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to the issuance of a building permit

14. All applicable stormwater requirements shall be met and implemented on site prior to final occupancy.

Enforcement Responsibility: Stormwater Coordinator; City Engineer
Timing: Prior to final occupancy

15. If historic or prehistoric artifacts or sites are observed during construction, all work in the vicinity of the find shall stop until the discovery area can be evaluated by an archaeologist. Depending on the extent and cultural composition of the discovered materials, data recovery may be necessary and it may be advisable to have subsequent excavation monitored by an archaeologist who should be ready to record, recover, and/or protect significant cultural materials from further damage. Artifacts that are typically found associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic features include hearths, firepits, or house floor depressions whereas typical mortuary features are represented by human skeletal remains. Historic resources potentially include all by-products of human land use greater than 50 years of age, including alignments of stone, foundation elements from previous structures, minor earthworks, and surface scatters and subsurface deposits of domestic type debris.

Enforcement Responsibility: Planning Department; Building Department; Public Works Department
Timing: Throughout project construction

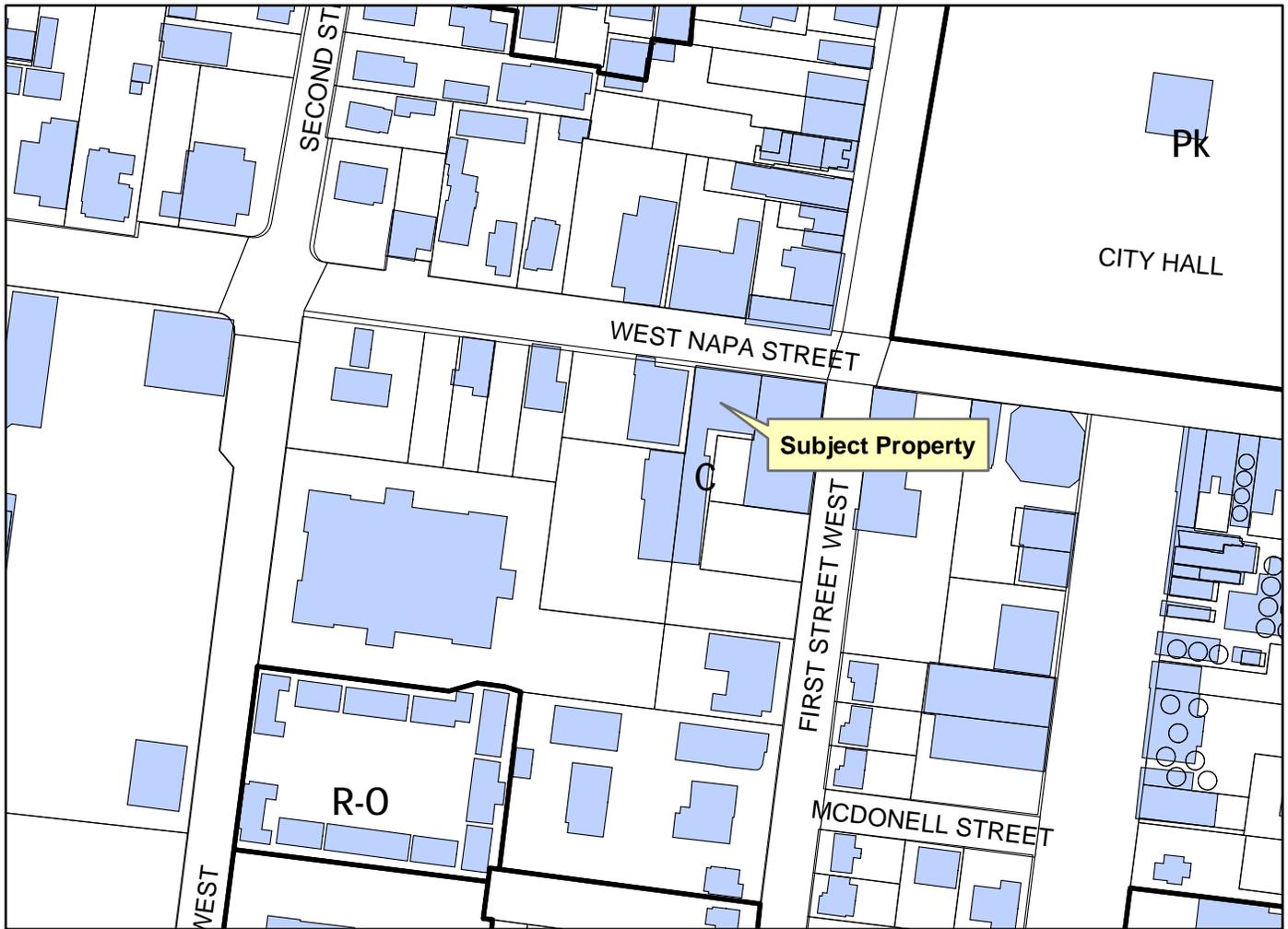
16. If human remains are encountered, all work shall stop in the immediate vicinity of the discovered remains and the County Coroner and a qualified archaeologist shall be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native American and prehistoric, the Native American Heritage Commission shall be contacted by the Coroner so that a "Most Likely Descendant" can be designated and further recommendations regarding treatment of the remains is provided.

Enforcement Responsibility: Planning Department; Building Department; County Coroner
Timing: Throughout project construction

17. Prior to the issuance of any building permit, water demand analysis shall be prepared by a licensed civil engineer and submitted by the applicant and shall be subject to the review and approval of the City Engineer. Said analysis shall be in compliance with the City's current policy on water demand and capacity analysis as outlined in Resolution 46-2010. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

Enforcement Responsibility: City Engineer; Public Works Department
Timing: Prior to issuance of any building permit

Vicinity Map

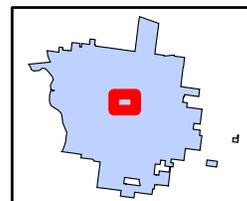


Zoning Designations

- R-HS Hillside Residential (1 D.U./10acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Denisty Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture

Project Summary

<i>Property Address:</i>	117 West Napa Street
<i>Applicant:</i>	Kenwood Investments, LLC
<i>Property Owner:</i>	Kenwood Investments, LLC
<i>General Plan Land Use:</i>	Commercial
<i>Zoning - Base:</i>	Commercial
<i>Zoning - Overlay:</i>	Historic
<i>Summary:</i>	Application for a use permit to allow the expansion of an existing commercial building.



1 inch = 200 feet

April 4, 2016

PROJECT NARRATIVE

Application Type: City of Sonoma Conditional Use and Design Review Permit

Project Name: Sonoma Index-Tribune Building Second Floor Expansion

Project Location: 117 West Napa Street, Sonoma, CA 95476

APN: 018-251-055

Owner/Developer: Kenwood Investments LLC

Project Architect: RossDrulisCusenbery Architecture, Inc., Michael B. Ross, AIA

PROJECT OVERVIEW

The project adds approximately 4,396 SF of new second floor office space and seismically retrofits and retains the existing Monterey Style exterior facade to the existing Sonoma Index Tribune Building located at 117 West Napa Street, Sonoma, CA. When complete the building will continue to house the offices of the Sonoma Index Tribune and provide space for KRAVE Jerky and Sonoma Brands LLC. This project is independent of Kenwood Investment's proposed nearby Hotel Project Sonoma.

NEED

The project will renovate the existing building to support additional tenants and facilitate the long term use of the building. The building requires significant repair, seismic strengthening and renovation upgrades. The existing building interiors have been heavily remodeled over time. The current space plan does not adequately support contemporary office or retail uses in particular the existing second floor area is extremely limited with low ceilings and non compliant fire exit stairs. The building requires accessibility upgrades, new energy efficient mechanical systems and lacks an accessible multi-tenant elevator serving the second floor.

SITE

The site is located on the south side of West Napa Street, west of the First Street West in Sonoma CA. The current lot includes the Sonoma Index Tribune Building, a portion of an existing warehouse building and a parking lot. A lot line adjustment creating a smaller separate +/- 6,369 SF lot specific to the Sonoma Index Tribune Building will be created in the future when/if the hotel project is approved. A lot line adjustment for this parcel is not part of this application.

HISTORIC RESOURCE EVALUATION

In 2012 Kenwood Investments engaged Page & Turnbull Historic Resource Consultants, San Francisco, CA to prepare an Historic Resource Evaluation (HRE) Report for the property. The 2012 HRE identified the building as a potential historic resource due to its use, association with the Lynch family and the publishing of the Sonoma Index-Tribune at that location. The 2012 HRE indicated the existing Monterey Style facade along West Napa Street is a character defining feature of the building. The proposed project retains and refurbishes the existing historic facade. For this project Page & Turnbull prepared a follow up project analysis memorandum dated March 24, 2016 included with this application finding the project adheres to the *Secretary of the Interior's Standards for & Guidelines for Rehabilitation Historic Buildings*.

ARCHITECTURAL DESIGN

The project enlarges and raises the second floor level of the existing building and retains the existing Monterey Style facade. The existing building materials will be substantially the same including, heavy timber arcade, plaster and slump stone wall finishes and painted cast in place concrete walls along the west and southern elevations. The existing exposed roof along West Napa Street will be recovered in asphalt shingles. Roof top natural light monitors will be added to the roof behind the new parapet wall separating the historic facade from the new second floor space.

PARKING

100% offsite parking will be provided for this project through either one of two means:

- I. Should the project be approved prior to the hotel, parking will be accommodated in the existing surface parking lots to the west and south of the building. In this case the use of the existing printing plant building will remain unchanged and nine new spaces will be provided on the south side of the existing printing plant building to accommodate the additional second floor building area.
- II. Should the hotel project be approved, parking will be provided in the hotel's new basement parking structure or on its site.

I. PARKING REQUIREMENTS

The following tables describe how parking will be accommodated for this application.

Existing On Site Parking - Current Condition		
Lynch Building	2,029 SF Retail 6,208 SF Office Seven Apartments	1/ 300 = 7 stalls 1/300 = 21 stalls 1.5 Apt. + Guest = 13 stalls
Sub Total Lynch		41 stalls
Sonoma Index Tribune Printing Plant Building	6,369 SF Office/Retail 7,372 SF Warehouse/Storage (w/20% allowable office space)	1/300 = 21 spaces 1/1000 = 7 spaces
Subtotal Sonoma IT		28 stalls
Total Required		69 spaces
Existing Lot Provided		75 spaces

Expanded IT Building Parking Requirements - This Use Permit Application		
Lynch Building	2,029 SF Retail 6,208 SF Office Seven Apartments	1/ 300 = 7stalls 1/300 = 21 stalls 1.5/Apt. + Guest = 13stalls
Sub Total Lynch		41 stalls

IT Expanded Building Retail	804 SF Retail	1/ 300 = 3 stalls
IT Expanded Building Offices	9,961 SF Office	1/300 = 33 stalls
Printing Plant Building (Assumes use unchanged)	7,372 SF Warehouse/Storage (w/20% allowable office space)	1/1000 = 7 spaces
Sub Total IT Expanded		43 stalls
Combined Required (Lynch + IT Expanded)		84 spaces
Existing Lot Provided		75
New Surface Parking Spaces Added	Stripe south side of printing plant.	9
Parking Provided (if no hotel)		84 spaces

BICYCLES

Bicycle racks will be provided along West Napa Street at the front of the building as part of the renovation.

TRASH AND RECYCLING

An interior trash recycling room will be provided along the ground floor service corridor. Trash receptacles will be wheeled to the western parking lot curb for regular pick up.

DEMOLITION OF EXISTING STRUCTURES

The existing roof and portions of the second floor framing will be removed to allow for the second floor expansion. The non historic store front window added at the first floor north east corner will be removed. The existing northern exterior facade will be refurbished and retained. Portions of the interior framing and floor system will be removed to allow for the seismic retrofit and new interior framing of the building.

REMOVAL OF EXISTING PLANTERS

The existing raised planter on the north side of the building contains miscellaneous species of low shrubs. The planter will be removed as part of the renovation.

DUE DILIGENCE STUDIES

The following due diligence study will be submitted under separate cover as part of this Use Permit Application:

- Project Specific Historic Resource Evaluation Memorandum for 117 West Napa Street, Sonoma, CA

SPECIFIC PROJECT DATA

Site Parcel Address: 117 West Napa Street, Sonoma CA

APN's: 018-251-055

Zoning: Downtown District, Commercial (C) Zone, Historic Overlay

Setbacks: None required

Allowable Building Height: 35' with an additional 5' allowance for HVAC equipment and elevator screening (Section 19.40.040 Sonoma Development Code).

Proposed Building Height: 27' to top of new parapet line, 31' to top of skylight monitor beyond.

Sonoma Index-Tribune Building Renovation

Sonoma, CA

Use Permit Project Narrative

April 4, 2016

Total Current Lot Area: 20,267 SF

Allowable Lot Coverage: 100%

Allowable FAR Current Undivided Lot: Lot area x 2.0 = 40,534 SF.

Allowable FAR Future Smaller Lot: Lot area 6,369 x 2.0 = 12,738

Proposed Building Area: 10,765 SF = FAR compliant for either current or smaller lot size

BUILDING AREAS

First Floor:

Existing: 5,684 SF, Type V, business and mercantile occupancies

Proposed: 5,645SF, Type V, business and mercantile occupancies

Second Floor:

Existing: 685 SF, Type V, business occupancy

Proposed: 5,120SF, Type V, business occupancy

Total Building Area Existing: 6,369 SF

Total Proposed Building Area Following Expansion: 10,765SF

Proposed Total Increase in Building Area: 4,396 SF

Open Space: Existing outdoor covered arcade and second floor balcony area at sidewalk and small southern exterior courtyard area at break room.

Landscape: TBD

RESIDENTIAL COMPONENT

The project is a renovation and addition to an existing structure that resides on a site less than one-half acre in size. Per Article II-19.10.020 – B.3 of the Sonoma Development Code, a Residential Component is not required.

Submitted by:

Michael B. Ross, AIA, NCARB

Principal

RossDrulisCusenbery Architecture, Inc.

18294 Sonoma Highway

Sonoma, CA 95476

117 WEST NAPA STREET
PROPOSED PROJECT MEMORANDUM
SONOMA, CALIFORNIA

[15166]

Prepared for
ROSSDRULISCUSENBERY ARCHITECTURE INC.



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

MARCH 24, 2016

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I. INTRODUCTION

This Proposed Project Memorandum has been prepared at the request of Michael Ross of RossDrulisCusenbery Architecture, Inc. for proposed alterations to 117 W. Napa Street (APN 018-251-055) in Sonoma, California. The property is located on the south side of West Napa Street between First Street West and Second Street West in downtown Sonoma (**Figure 1**). Originally constructed in or around 1928, it has been continuously occupied by the offices of the local newspaper, the *Sonoma Index-Tribune*, as well as other businesses. In 1958, the building was enlarged and redesigned in a commercial Monterey Revival style by owner Robert Lynch and builder John S. Moll.



Figure 1. 117 West Napa Street is shown in red. The central plaza is the large shaded square.
Source: City of Sonoma Geographic Information System, 2012; edited by Page & Turnbull.

The proposed project by RossDrulisCusenbery Architecture, Inc. at 117 W. Napa Street includes modifications the primary façade, expanding the second story, and redesigning the interior as part of the building's upgrade. The project will address structural deficiencies, ADA access compliance modifications, and replacement of mechanical and electrical systems to improve energy efficiency.

This report includes a review of the building's current historic status, character-defining features and period of significance; description of the proposed project; and an analysis of the proposed project's compliance with the Sonoma Municipal Code's Guidelines for Preservation and Adaptive Reuse (Section 19.42.040).

II. HISTORIC STATUS

117 W. Napa Street is not listed in the National Register of Historic Places, the California Register of Historical Resources, or the Sonoma League for Historic Preservation Inventory of Historic Structures, and it is not a Sonoma County Historic Landmark. Furthermore, the building is not part of any known historic district.

In 2012, Page & Turnbull wrote a Historic Resource Study, which included a history of the property and an evaluation of significance. The evaluation demonstrated that 117 W. Napa Street appears to be individually eligible for listing in the California Register of Historical Resources under Criterion 1 (Event) for its association with the *Sonoma Index-Tribune*, the offices of which have been located at the property for more than 80 years. The *Sonoma Index-Tribune* is a local institution, and its continued existence and operation at the subject property is sufficiently significant in Sonoma's commercial history for the building to qualify under this criterion. The period of significance associated with this criterion ranges from circa 1928 to 1962. This range begins with the construction of the original *Sonoma Index-Tribune* offices at the subject property. Since the newspaper continues to operate at the subject property to the present day [2012], the period of significance extends to the 50-year age criteria consideration.

The building is also significant under Criterion 2 (Person) for its association with Robert Lynch (1920-2003). Lynch was the fourth-generation owner and publisher of the *Sonoma Index-Tribune*, and he made his greatest contributions to the City of Sonoma during his productive 54-year tenure. Aside from 117 W. Napa Street, there are no other extant buildings associated with Robert Lynch's productive life.¹ The period of significance associated with this criterion ranges from 1949 (the beginning of Lynch's ownership) until 2003 (the end of his ownership and active participation in operations). During this period, Lynch transformed the business by increasing the number of staff nearly tenfold, which in turn led to increased length, production, and readership of the newspaper. The *Sonoma Index-Tribune* and its staff garnered numerous prizes in journalism during his tenure, including "overall best weekly in California, display advertising, editorial pages, photography, page design, news and feature stories."² Lynch also enlarged the newspaper offices in several phases, beginning with the 1958 remodel that resulted in the building one sees today at 117 W. Napa Street. Lynch was active in the field of publishing, serving as president of the California Newspaper Publishers Association and the California Press Association, the latter of which named him California Newspaper Executive of the Year in 1989. Six years before his death, Lynch was inducted into the Sonoma County Hall of Fame.³

Additionally, the building retains a high degree of architectural integrity to its 1958 redesign. For these reasons, 117 W. Napa Street is therefore considered to be an historical resource as defined by the California Environmental Quality Act (CEQA).

¹ This was confirmed in an e-mail from Bill Lynch, Robert Lynch's son, on 25 June 2012.

² Hill.

³ Michael Cabanatuan, "Robert Lynch, Owner of Sonoma Index-Tribune," *San Francisco Chronicle*, 25 September 2003, A-23.



Figure 2. Primary (north) façade. No apparent changes have been made since the Historic Resource Study in 2012. Source: Page & Turnbull, 2012.

CITY OF SONOMA DEVELOPMENT CODE

Section 19.42.010 of the City of Sonoma Municipal Code states that the Historic Overlay Zone “is intended to safeguard the historic character of Sonoma by recognizing and preserving significant historic and cultural resources by providing incentives for the preservation and rehabilitation of historically and culturally significance resources, and by ensuring that new development in the historic overlay zone is architecturally compatible.”⁴

117 W. Napa Street is located within the Historic Overlay Zone. Based on the findings contained in Page & Turnbull’s Historic Resource Study, 117 W. Napa Street appears to have historical value as defined by the Municipal Code. While not a designated resource on the local historic register, it is a potentially historic building and the Guidelines for Preservation and Adaptive Reuse (Section 19.42.040) should be applicable to the project.

The City of Sonoma Planning Department is ultimately responsible for determining the eligibility of the subject property for adaptive reuse and overseeing the review process for all projects within the Historic Overlay zone.

⁴ City of Sonoma, Sonoma Municipal Code Chapter 19.42: Historic Preservation and Infill in the Historic Zone, 19.42.010 Purpose.

III. CHARACTER-DEFINING FEATURES & PERIOD OF SIGNIFICANCE

For a property to be eligible for national or state historic register listing, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles, or that were present during the time a building was associated with a significant event or person. To be register-eligible, a property must clearly contain enough of those characteristics, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

The significance of 117 W. Napa Street is not rooted in its architectural design, but rather with its association with the *Sonoma Index-Tribune* and Robert Lynch. Nevertheless, for a property to be eligible for listing in the California Register of Historical Resources, the physical character-defining features must be evident from the time the building was associated with a significant event or person.

The features of 117 W. Napa Street that define its appearance from the period of significance are:

- Continuous storefront on the first story of the primary façade, including the two original wood doors and the original wood-frame plate glass windows;
- Monterey Revival-style details, including the exposed wood structural elements and the second story balcony with wood railing;
- Slumpstone brick wall and planter on the primary façade;
- Metal and wood wall-mounted projecting letter sign that reads “Sonoma Index-Tribune” on the primary façade;
- Wood sign on the primary façade that reads “WL & CG MURPHY BUILDING” with the date 1958 above;
- Two-story massing along West Napa Street and one-story massing of rear portions of the building; and
- Reinforced concrete wall located on the west property line that was part of the building that housed the newspaper offices and predated the 1958 redesign.

The character-defining features of 117 West Napa Street do not include:

- Mural on the west façade;
- Commemorative plaques installed in 2003 and 2005; and
- Storefront windows that have been altered or replaced.

IV. ANALYSIS OF PROPOSED PROJECT IMPACTS AND COMPATIBILITY

This section discusses the proposed project at 117 W. Napa Street.

PROPOSED PROJECT DESCRIPTION

The proposed project description is based on drawings provided by RossDrulisCusenbery, titled “Sonoma Index-Tribune Building: Second Floor Expansion” and dated March 16, 2016.

The proposed project seeks to make relatively minor modifications to the primary façade of 117 W. Napa Street, expand the second story behind a new parapet, and redesign the interior of the existing building. Alterations to the primary façade include removing the non-historic storefront window system at the east end and replacing it with windows that match the existing windows on the rest of the façade. The exterior low slump stone planter wall and exterior wall finish and furring at the west end of the first story will also be removed. The two existing doors to the balcony at the second story will be replaced with fixed windows. The non-historic entry door at the west end of the façade will be replaced with a new glazed door, and a new wood-framed window will be inserted above the door. Vertical signage for tenants is also proposed to be attached to posts at the second story balcony.

The side and rear walls, window openings, and doors will be retained, including the existing wall mural at the north end of the west wall. The west wall will receive eight new double-hung aluminum-frame windows, and four window openings will be filled in to create “false” openings with trim. The rear (south) façade will receive new stucco finish over the entire wall surface and replacement double-hung aluminum-sash windows. The existing mechanical/trash addition will remain, though the CMU walls will be refinished in stucco to match the rest of the building.

The second story will be expanded to the full size of the building, placed behind a parapet that is added above the existing roofline at the primary (north) facade. The parapet wall will have a stucco finish and cornice trim. The roof will feature light monitors, an elevator shaft, and HVAC units behind the parapet.

All interior partitions, including an interior concrete wall and wood frame walls, as well as several interior columns, interior stair, and the second floor and associated framing at the north end of the building will be removed. New interior partition walls will be erected on both floors to provide for open office area, conference rooms, and private offices. A stair will be located at the northwest corner of the building, and restrooms and a second interior stair will be located at the southwest corner.

All character-defining features of the building will be retained with the exception of the current one-story massing of rear portions of the building which will become two stories. However, this feature is not as important as those showing from the public right-of-way and must be altered in order for the building to expand within its existing envelope.

PROPOSED PROJECT DISCUSSION

The proposed project will not change the current use of 117 W. Napa Street. The building has been used as a commercial building with offices for the *Sonoma Index-Tribune* and other retail stores, and it will continue to be used in this capacity after the project is complete. The association with the *Sonoma Index-Tribune*, which is one of the building’s significant associations, will be maintained.

The proposed project will not affect the historic character of the property from the period in which Robert Lynch was actively involved with the *Sonoma Index-Tribune* since nearly all of the character-defining features outlined on page 5 and included in the 2012 Historic Resource Study will be retained. Alterations that are being proposed include new windows and doors in select locations and a second story that is hidden behind a stepped parapet wall at the primary façade. The parapet wall does not appear overly large or out of scale with the existing building, and is compatible with the 1950s interpretation of the Monterey Colonial Revival style.

The proposed project would adhere to the Historic Overlay Zone's 19.42.40: Guidelines for Preservation and Adaptive Reuse, since it will retain nearly all significant features, and thus the building's overall character and style. The addition will incorporate features from the original building, including door and window shape and size, exterior materials, and roof pitch. The project will continue the on-site relationships of the surrounding neighborhood and supports the architectural characteristics of the neighborhood including scale, proportion, and spatial relationships since it will use the existing footprint and walls. Overall, the proposed project appears to be a sensitive rehabilitation project which maintains the character-defining features of the building while allowing the *Sonoma Index-Tribune* to expand and continue its operations in its long-time home.

V. BIBLIOGRAPHY

City of Sonoma, Sonoma Municipal Code Chapter 19.42: Historic Preservation and Infill in the Historic Zone.

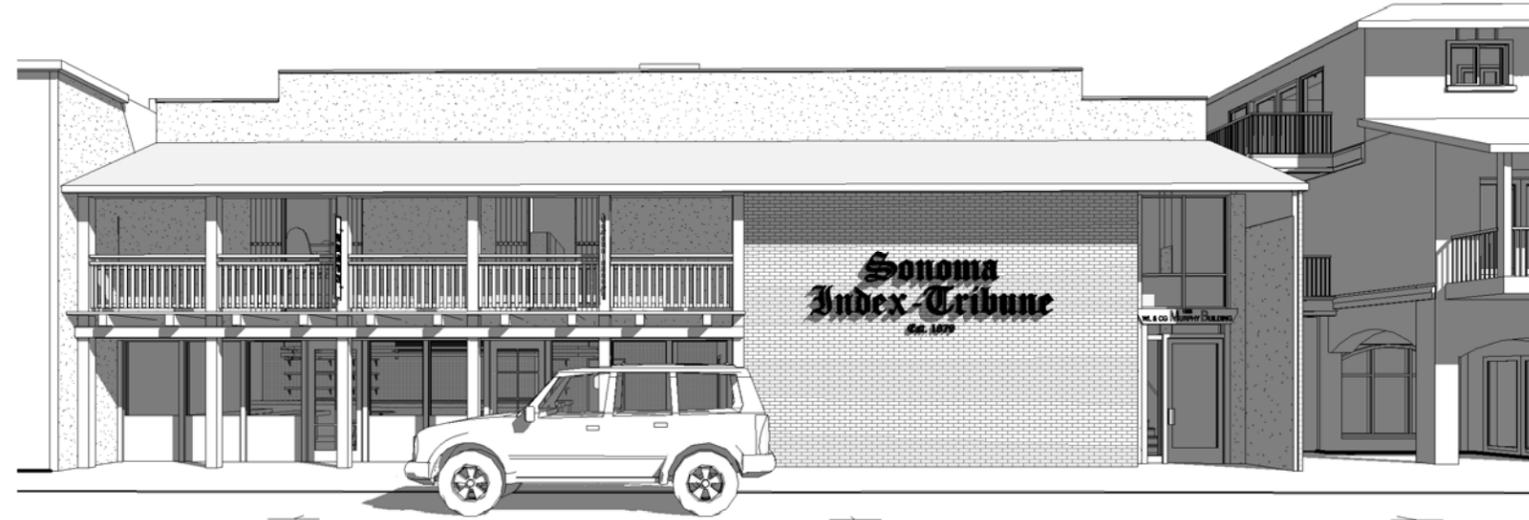
Page & Turnbull, “117 West Napa Street Historic Resource Study” (14 September 2012).

State of California. California Environmental Quality Act,
http://resources.ca.gov/ceqa/docs/2014_CEQA_Statutes_and_Guidelines.pdf, accessed 21 December 2015.

VI. APPENDIX

SONOMA INDEX-TRIBUNE BUILDING SECOND FLOOR EXPANSION

117 WEST NAPA STREET, SONOMA, CA. 95476



Concept Rendering: Not for Construction

PROJECT USE PERMIT DRAWINGS

RossDrulisCusenbery

18294
Sonoma Highway
Sonoma
CA 95476

TEL 707 996 8448
FAX 707 996 8542

ARCHITECTURE

Sonoma Index-Tribune Building 2nd Floor Expansion

117 West Napa Street
Sonoma, CA 95476

REVISIONS
No. Description Date

USE PERMIT

Sheet Title

COVER SHEET

Drawn By EW Checked By EW

Scale:

Date:
March 16, 2016

Project No. 2015012

A0.00

Drawing No.

Preliminary Design. Not For Construction Purposes.

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SCOPE OF WORK

The general Scope of Work covered under this Contract includes but is not limited to:

General Coordination, Scheduling and Code Compliance

- Contractor shall coordinate with Owner, adjacent tenants, and all subcontractors to manage this project to maintain uninterrupted, smooth, and continuous operation of the neighboring businesses and other tenants during the construction process.
- Maintenance of clean, secure and safe exterior and interior job site
- Compliance with all applicable codes, standards and guidelines
- Coordination and scheduling with PG&E, ATT and public agencies
- Protection of all existing surfaces, materials, and finishes from damage from the construction process including but not limited to: stairways, walls, elevator cabs, door frames, and all existing building systems and features
- Daily and final job site clean up including window cleaning on all interior & exterior surfaces
- All Permits and Fees

Architectural

- Demolition
- Site preparation
- New concrete footings and concrete floor slab.
- Seismic and structural strengthening.
- New Second Level floor framing and roof framing.
- New elevator system and Second Level egress stairs.
- Existing historic facade to be preserved/retained.
- Interior tenant improvements

Electrical

- New main electrical service with multiple meters
- New power, voice, data and lighting systems for office tenant improvements
- All computer/data, telecommunication, and intrusion alarm systems inclusive of cabling to be "Owner furnished, Owner installed". Contractor to supply a system of empty conduits, pull boxes and termination points for all voice, data and security systems labeled and home running to the Server/Copy Room
- Connection of all suites to the appropriate Server/Copy Room

Mechanical

- Provision of new roof-mounted HVAC systems and air handling units (AHU). Provide new supply, return ducts & grille per plan

Plumbing

- Five (5) new restrooms and three (3) new breakroom facilities

Fire Sprinkler System

- Relocation of fire sprinkler riser to west side of building.
- New automatic, monitored fire sprinkler system.

Site Improvements

- Accessible path of travel to parking lot & public right of way
- Required ADA signage

Office Improvements

- Office tenant improvements per plan
- New cabinets, casework and moveable furnishings to be "Owner Furnished/Owner Installed"
- New floor coverings to be Owner specified. Contractor to provide and install.

PROJECT INFORMATION

APN: 018-251-055
 PROJECT: SONOMA INDEX-TRIBUNE RENOVATION
 117 WEST NAPA STREET, SONOMA, CA 95476
 DESCRIPTION: PROJECT DESCRIPTION
 BUILDING AREAS: 5,645 SF SITE COVERAGE
 10,765 SF GROSS FLOOR AREA
 TOTAL BUILDING AREA FOR TENANT IMPROVEMENTS PER THIS PERMIT: 10,765 SF
 SITE: 20,267 SF (0.47 ACRES) TOTAL SITE AREA
 LOT COVERAGE: 27.8%
 FLOOR AREA RATIO: 0.53
 FIRE SPRINKLERED: YES
 T.I. USE/OCCUPANCY: "B" - BUSINESS
 "M" - MERCANTILE
 ZONING: "C" - COMMERCIAL with HISTORIC OVERLAY
 TOTAL BUILDING STORIES: 2
 DEFERRED SUBMITTALS: TBD

PROJECT DIRECTORY

PROPERTY OWNER
 Kenwood Investments, LLC
 144 W. Napa Street
 Sonoma, CA 95476
 (707) 721-8837

DEVELOPER
 Kenwood Investments, LLC
 144 W. Napa Street
 Sonoma, CA 95476
 (707) 721-8837

PROPOSED TENANTS
 KRAVE Jerky - First Level
 Sonoma Brands LLC. - Second Level
 Sonoma Index-Tribune - Second Level

ARCHITECT
 RossDrulisCusenbery Architecture, Inc.
 18294 Sonoma Highway
 Sonoma, CA. 95476
 (707) 996-8448

GEOTECHNICAL ENGINEER
 T.B.D.

CIVIL ENGINEER
 Huffman Engineering
 537 College Avenue, Suite A
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 (707) 542-6559

STRUCTURAL ENGINEER
 ZFA Structural Engineers
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ARCHITECTURE

Sonoma Index-Tribune Building 2nd Floor Expansion

117 West Napa Street
 Sonoma, CA 95476

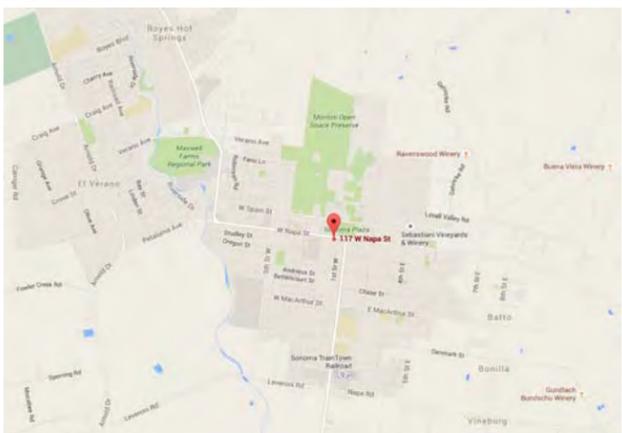
REVISIONS

No.	Description	Date

USE PERMIT

Sheed Title
PROJECT INFORMATION

VICINITY MAP



SITE CONTEXT MAP



SHEET INDEX

NUMBER	NAME
A0.00	COVER SHEET
A0.01	PROJECT INFORMATION
A0.02	ABBREVIATIONS, SYMBOLS, AND NOTES
A1.00	SITE PLAN - EXISTING
A2.01	FIRST & SECOND LEVEL FLOOR PLANS - EXISTING
A2.02	FIRST & SECOND LEVEL FLOOR PLANS - DEMOLITION
A2.03	FIRST & SECOND LEVEL FLOOR PLANS - NEW
A2.04	ROOF PLAN
A3.00	EXTERIOR ELEVATIONS & BUILDING CROSS SECTION - NEW
A3.01	NORTH STREET CONTEXT ELEVATION

Drawn By: EW Checked By: EW

Scale:
As indicated

Date:
March 16, 2016

Project No.: 2015012

A0.01
 Drawing No.

Preliminary Design. Not For Construction Purposes.

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ARCHITECTURE

**Sonoma
Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

REVISIONS

No.	Description	Date

USE PERMIT

Scale: 1/4" = 1'-0"

Date: **March 16, 2016**

Project No. 2015012

Drawn By EW Checked By EW

Scale: 1/4" = 1'-0"

Date: **March 16, 2016**

Project No. 2015012

A0.02
Drawing No.

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GENERAL NOTES

- DEFINITIONS:
 - "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL CONDITIONS U.O.N.
 - "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATIONS.
 - "PROVIDE" MEANS TO FURNISH AND INSTALL.
 - "FURNISH" MEANS TO FURNISH, AND OTHERS TO INSTALL.
- DIMENSIONING RULES:
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF FRAMING U.O.N.
 - DIMENSIONS NOTED "HOLD", "CLEAR" OR "CLR." MUST BE PRECISELY MAINTAINED.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT OR UNLESS NOTED (4).
 - DIMENSIONS TO THE EXTERIOR WALL ARE TO THE OUTSIDE FACE OF CONCRETE U.O.N.
 - VERTICAL DIMENSIONS FOR CASEWORK, TOILET ACCESSORIES, HANDRAILS AND GUARDRAILS ARE FROM THE FINISHED FLOOR, U.O.N.
 - DO NOT SCALE DRAWINGS. IF CONTRACTOR IS UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
 - DIMENSIONS MARKED V.I.F. SHALL BE "VERIFIED IN FIELD" BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- THE ORIGINAL OF THESE DRAWINGS MEASURE 24" x 36". IF THE SHEETS IN USE ARE SMALLER THAN THE ORIGINAL SHEETS HAVE BEEN REDUCED IN SIZE AND THE SCALE MUST BE REDUCED ACCORDINGLY.
- REPETITIVE ITEMS NOTED IN ONE CONDITION ARE TO BE PROVIDED COMPLETE IN ALL SIMILAR CONDITIONS.
- DETAILS ARE KEPT TO REPRESENTATIVE LOCATIONS ONLY AND APPLY TO ALL SIMILAR CONDITIONS.
- CONTRACTOR SHALL VISIT SITE AND BE FULLY COGNIZANT OF ALL FIELD CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE SUBMITTING BID AND STARTING WORK. ANY CONFLICT OR DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, BEFORE PROCEEDING WITH ANY WORK OR PRESENTATION OF BID. ONLY WRITTEN DIMENSIONS ON THE DRAWINGS SHALL BE USED. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL CONFORM TO ALL GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES WITH JURISDICTION OVER THIS PROJECT. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- QUESTIONS REGARDING DOCUMENTS, DISCREPANCIES, DOUBTS AS TO MEANING, OMISSIONS OR CONFLICTS IN THE VARIOUS PARTS OF THE CONTRACT DOCUMENTS SHALL BE REFERRED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACT DOCUMENTS INCLUDE THE DRAWINGS, THE SPECIFICATIONS, THE GENERAL CONDITIONS, SPECIAL CONDITIONS, THE PROJECT MANUAL, AND ALL ADDENDA ISSUED BY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND COORDINATE WORK WITH INSTALLATION OF "NOT IN CONTRACT" (NIC) ITEMS. COORDINATE ARCHITECTURAL DETAILS WITH ALL OTHER DISCIPLINES BEFORE ORDERING OR INSTALLING ANY WORK.
- ANY SURFACES DAMAGED DURING CONSTRUCTION SHALL BE PATCHED AND REFINISHED OR REPLACED TO MATCH SIMILAR/SAME FINISHES EXISTING ON SITE.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATION OF ANY NEW AND EXISTING MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING, SPRINKLER EQUIPMENT (INCLUDING ALL PIPING, DUCTWORK AND CONDUIT), AND ENSURE THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ANY CONFLICT MUST BE RESOLVED IN WRITING BEFORE INSTALLATION OF WORK IN THE AREA OF CONFLICT. THE CONTRACTOR SHALL SUBMIT COORDINATION DRAWINGS PRIOR TO STARTING OF THE WORK.
- SHOP DRAWINGS FOR ALL MILLWORK AND CASEWORK TO BE SUBMITTED TO AND REVIEWED BY THE ARCHITECT PRIOR TO FABRICATION.
- PROVIDE STRUCTURAL BACKING FOR ALL NEW CABINETS, GRAB BARS, TOILET ROOM, EQUIPMENT, SHELVES, HARDWARE, LIGHTING FIXTURES, SERVER CABINETS/RACKS FLAT SCREEN VIDEO MONITORS AND OTHER BUILDING ELEMENTS REQUIRING SECURE ANCHORAGE.
- CONTRACTOR SHALL MAINTAIN STRICT CONTROL OF CLEANLINESS AND PREVENT DUST FROM LEAVING CONSTRUCTION AREAS. CONSTRUCTION WORK SHALL NOT PREVENT OWNER FROM USING THE PREMISES IN AREAS NOT AFFECTED BY THE NEW WORK. CONSTRUCTION VEHICLES AND EQUIPMENT SHALL BE DEPLOYED IN A MANNER WHICH CAUSES AS LITTLE DISRUPTION AS POSSIBLE.
- SEALANT, CAULKING AND FLASHING LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURERS' INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY PRACTICES.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, PROVIDING TRENCHING, CONDUIT AND CONNECTIONS TO AND BETWEEN THE BUILDINGS FOR ALL UTILITIES AND CONFORMING WITH ALL UTILITY COMPANY AND GOVERNMENT AGENCY REQUIREMENTS AS REQUIRED BY THE CONTRACT DOCUMENTS.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE VISITS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY PERSONNEL FROM THE ARCHITECT SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE ITEMS.
- THESE PLANS ARE THE PROPERTY OF ROSSDRULISCUSENBERRY ARCHITECTURE, INC. (RDC) AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY WORK OTHER THAN THE LOCATIONS SHOWN HEREIN.
- BUILDING INSPECTOR NOTE: ACCEPT NO INK OR PENCIL CORRECTIONS TO THESE DRAWINGS. ALL CHANGES SHALL BE MADE TO THE ORIGINALS BY ROSSDRULISCUSENBERRY ARCHITECTURE, INC. (RDC). RDC SHALL BE HELD HARMLESS FOR ALL CHANGES NOT IN ACCORD WITH THIS REQUIREMENT. ALL USERS OF THESE DRAWINGS AGREE BY USING SAID DRAWINGS TO HOLD RDC HARMLESS FOR ANY AND ALL WORK THAT DOES NOT CONFORM TO REQUIREMENTS AND MINIMUM STANDARDS OF THE UNIFORM BUILDING CODE IN FORCE, APPLICABLE LOCAL ORDINANCE AND ACCEPTED STANDARDS OF GOOD CRAFTSMANSHIP.

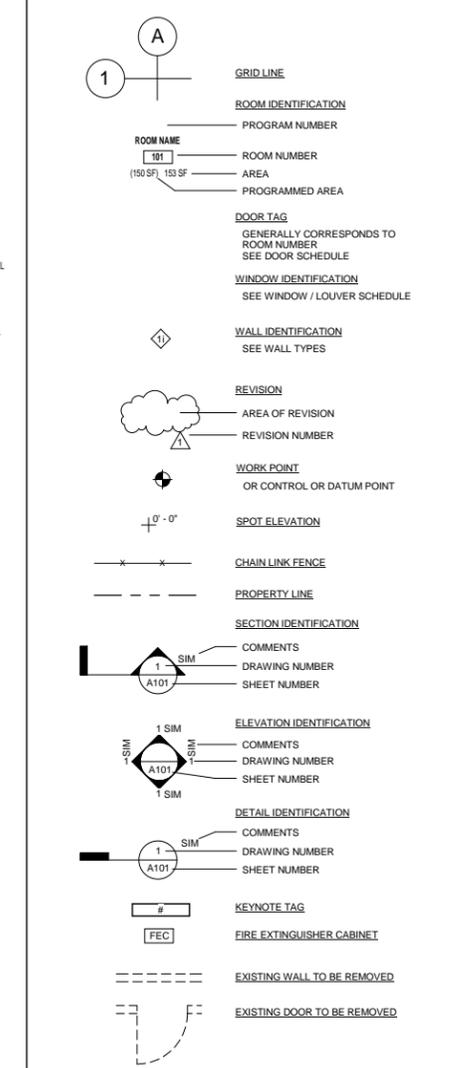
CODE ANALYSIS

OCCUPANT LOAD FACTORS	ALLOWABLE BUILDING AREA	PLUMBING FIXTURE ANALYSIS
(REFERENCE: CBC TABLE 1004.1.2)	TOTAL BUILDING T.I. AREA: 10,765 SF	(REFERENCE: CPC TABLE A & TABLE 422.1)
ACCESSORY STORAGE, MECHANICAL EQUIPMENT ROOM 300 gross	BUILDING TYPE: TYPE V-B	TYPE OF OCCUPANCY: B, M
ASSEMBLY WITHOUT FIXED SEATS (TABLES AND CHAIRS) 15 net	OCCUPANCY TYPES: CBC SECTION 304.1: "B" - BUSINESS CBC SECTION 309.1: "M" - MERCANTILE	OCCUPANCY LOAD FACTOR: 200 SF PER OCCUPANT
BUSINESS AREAS 100 gross	BASIC ALLOWABLE AREA (CBC TABLE 503): B & M OCCUPANCIES: 9,000 SF PER FLOOR	OCCUPANCY LOAD: MALE - 27 FEMALE - 27
KITCHENS (COMMERCIAL) 200 gross	BASIC ALLOWABLE HEIGHT (CBC TABLE 503): B OCCUPANCY: 2 STORIES ABOVE GRADE PLANE M OCCUPANCY: 1 STORY ABOVE GRADE PLANE	FIXTURES REQUIRED (B MOST RESTRICTIVE): WATER CLOSETS: MALE - 1 (1: 1-50) FEMALE - 2 (2: 16-30)
MERCANTILE (BASEMENT & GRADE FLOOR AREAS) 30 gross	ALLOWABLE AREA INCREASES: NOT REQUIRED	URINALS: MALE - 1 (1: 1-100)
MERCANTILE (STORAGE, STOCK, SHIPPING AREAS) 300 gross		LAVATORIES: MALE - 1 (1: 1-75) FEMALE - 1 (1: 1-50)
WAREHOUSES 500 gross		TOTAL FIXTURES PROVIDED: MALE RESTROOMS: 2 WATER CLOSETS 1 URINAL 2 LAVATORIES
		FEMALE RESTROOMS: 3 WATER CLOSETS 2 LAVATORIES
		UNI-SEX RESTROOM: 1 WATER CLOSET 1 LAVATORY

MATERIAL DESIGNATIONS

	CONCRETE MASONRY UNIT		PLYWOOD
	EARTH		GLASS
	GYPSUM BOARD		WOOD: FINISH
	CEMENT PLASTER		WOOD: ROUGH-CONTINUOUS
	STEEL		WOOD: ROUGH-BLOCKING
	ALUMINUM		

ARCHITECTURAL SYMBOLS



APPLICABLE CODES

- APPLICABLE REGULATIONS: CONFORM TO MOST CURRENTLY ADOPTED EDITION OF THE FOLLOWING CODES, GUIDELINES AND STANDARDS:
 - 2013 CALIFORNIA BUILDING CODE (CBC)
 - 2013 CALIFORNIA MECHANICAL CODE (CMC)
 - 2013 CALIFORNIA PLUMBING CODE (CPC)
 - 2013 CALIFORNIA ELECTRIC CODE (CEC)
 - 2013 CALIFORNIA FIRE CODE (CFC)
 - 2013 CALIFORNIA ENERGY CODE
 - 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE ("CALGREEN") AND CITY OF SONOMA ADDITIONAL MANDATORY STANDARDS
 - NFPA 101, LIFE SAFETY CODE - CHAPTERS 5 AND 13
 - NFPA 13, SPRINKLER SYSTEMS WITH APPROVED CALIFORNIA AMENDMENTS
 - TITLE 19 - PUBLIC SAFETY, STATE FIRE MARSHAL CALIFORNIA CODE OF REGULATIONS
 - TITLE 24 - CALIFORNIA CODE OF REGULATIONS, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAA)G) UNIFORM ACCESSIBILITY STANDARDS
- APPLICABLE STANDARDS:
- UL - UNDERWRITERS LABORATORIES FIRE RESISTANCE DIRECTORY
 - UL - UNDERWRITERS LABORATORY BUILDING MATERIALS DIRECTORY
 - SMACNA - FIRE, SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS

ABBREVIATIONS

A	AND	F.O.	FACE OF	PT	POINT
∠	ANGLE	F.O.F.	FACE OF FINISH	PTCL	PARTICLE
AT	AT	F.O.S.	FACE OF STUD	PTDS	PAPER TOWEL DISPENSER
C	CENTERLINE	F.T.	FACE OF TREAD	PTD	PAINTED
∠	DEGREES (45 DEGREES)	FPL	FIREPLACE	PTN	PARTITION
∅	DIAMETER OR ROUND	FRF	FIRE RESISTIVE	PVC	POLY VINYL CHLORIDE
INCHES (8 AND 1/2 INCHES)		FR	FIRE RESISTIVE		
#	ROUND OR NUMBER	FRMG	FRAMING POLYFS		
—	PROPERTY LINE	FSK	FLOOR SINK	QT	QUARRY TILE
>	LESS THAN	FT	FEET OR FOOT	QTY	QUANTITY
>	GREATER THAN	FTG	FOOTING	QVAL	QUALITY
		FURR	FURRING		
A/C	AIR CONDITIONING	(R)	REVISED		
AB	ANCHOR BOLT	R	RISER		
AC/CC	ASPHALTIC CONCRETE	RAD	RADIUS		
ACOUS	ACOUSTICAL	RD	ROOF DRAIN		
ACT	ACOUSTICAL CEILING TILE	REBAR	REINFORCING BAR		
AD	AREA DRAIN	REF	REFERENCE		
ADA	AMERICANS WITH DISABILITIES ACT	REFL	REFLECTED OR REFLECTIVE		
ADJ	ADJUSTABLE	REFR	REFRIGERATOR		
ADN	AMERICAN WITH DISABILITIES ACT	REG	REGISTER		
AF	ABOVE FINISH FLOOR	REIN	REINFORCED		
AGGR	AGGREGATE	REIN	REINFORCED		
AL	ALUMINUM	REO	REQUIRED		
ALUM	ALUMINUM	RET	RETAINING		
APPROX	APPROXIMATE	REV	REVISION OR REVISED		
APT	APARTMENT	REVER	REVERSED		
ARCH	ARCHITECTURAL	RF	RESIDENT FLOORING		
ASPH	ASPHALTIC	RH	RIGHT HAND		
AUTO	AUTOMATIC	RM	ROOM		
AVG	AVERAGE HB	RND	ROUND		
AV	ACOUSTICAL VENT	RO	ROUGH OPENING		
		R.O.W.	RIGHT OF WAY		
		RWD	REDWOOD		
		RWL	RAIN WATER LEADER		
		S	SOUTH		
		S&P	SHELF AND CLOTHES POLE		
		S&S	SEE ARCHITECTURAL DRAWINGS		
		SAFF	SELF-ADHERING FLEXIBLE FLASHING		
		SAVD	SEE AUDIOVISUAL DRAWINGS		
		SC	SOLID CORE		
		SCD	SEE CIVIL DRAWINGS		
		SCHED	SCHEDULE		
		SCP	SECURITY COMMUNICATION SYSTEM PANEL		
		SD	SOAP DISH OR DISPENSER		
		SECT	SECTION		
		SEF	SEE ELECTRICAL DRAWINGS		
		SF	SQUARE FEET		
		SFPD	SEE FIRE PROTECTION DRAWINGS		
		SFRM	SPRAY-APPLIED FIRE-RESISTIVE MATERIAL		
		SGL	SLING GLASS DOOR		
		SJD	SEE LANDSCAPE DRAWINGS		
		SLD	SEE LIGHTING DRAWINGS		
		SMD	SEE MECHANICAL DRAWINGS		
		SNG	SEE MECHANICAL DRAWINGS		
		SH	SHELF		
		SHR	SHOWER		
		SHT	SHEET		
		SHG	SHEATHING		
		SM	SIMILAR		
		SMW	SHEET METAL WATERPROOFING		
		SND	SANITARY NAPKIN DISPENSER		
		SNR	SANITARY NAPKIN RECEPTACLE		
		SP	SEE PLUMBING DRAWINGS		
		SPEC	SPECIFICATION		
		SPRM	SINGLE PLY ROOF MEMBRANE		
		SQ	SQUARE		
		SS	STAINLESS STEEL		
		SSD	SEE STRUCTURAL DRAWINGS		
		SSED	SEE SECURITY ELECTRONICS DRAWINGS		
		SSL	STAINLESS STEEL		
		STA	STATION		
		STD	STANDARD		
		STL	SEE TELECOMMUNICATIONS DRAWINGS		
		STL	STEEL		
		STN	STAINLESS		
		STR	STRACHE		
		STR	STRUCTURAL		
		SUSP	SUSPENDED		
		SVP	SHEET VINYL		
		SYN	SYMMETRICAL		
		T	TREAD		
		T&B	TOP AND BOTTOM		
		T&G	TONGUE AND GROOVE		
		TB	TOWEL BAR		
		TC	TRASH COMPACTOR		
		TDIS	TOWEL DISPENSER		
		TEL	TELEPHONE		
		TEMP	TEMPERED		
		TEMPOR	TEMPORARY		
		TER	TERRAZZO		
		TERM	TERMINATION		
		THK	THICK		
		THRSO	THRESHOLD		
		T.O.	TOP OF		
		T.O.W.	TOP OF WALL		
		TPH	TOILET PAPER HOLDER		
		TV	TELEVISION OUTLET		
		TRM	TRASH RECEPTACLE		
		TS	TUBE STEEL		
		TYP	TYPICAL		
		UL	UNDERWRITERS LABORATORIES INC.		
		UNF	UNFINISHED		
		UNO	UNLESS OTHERWISE NOTED		
		URNAL	URINAL		
		VCT	VINYL COMPOSITE TILE		
		VERT	VERTICAL		
		VEST	VESTIBULE		
		VIF	VERIFY IN FIELD		
		W	WITH		
		WD	WASHER AND DRYER		
		W	WEST OR WIDE		
		W/O	WITHOUT		
		WC	WATER CLOSET		
		WD	WOOD		
		WH	WATER HEATER		
		WH	WHERE OCCURS		
		WP	WATERPROOF		
		WPM	WATERPROOFING MEMBRANE		
		WR	WATER RESISTANT		
		WST	WET STRIPPING		
		WSP	WET STANDPIPE		
		WT	WEIGHT		
		GA	GAUGE		
		GALV	GALVANIZED		
		GB	GRAB BAR		
		GEN	GENERAL		
		GFR	GLASS FIBER REINFORCED CONCRETE		
		GR	GROUND FAULT INTERRUPTED		
		GI	GALVANIZED IRON		
		GL	GLASS OR GLAZING		
		GLUE	GLUE		
		GND	GROUND		
		GR	GRADE		
		GRAN	GRANITE		
		GSM	GALVANIZED SHEET METAL		
		GYP	GYPSUM		
		H	HIGH		
		HO	HOSE BIB		
		HC	HOLLOW CORE		
		HCP	HANDICAPPED		
		HD	HEAD		
		HDY	HAND DRYER		
		HDWD	HARDWOOD		
		HW	HARDWARE		
		HM	HOLLOW METAL		
		HO	HOPPER (WINDOW)		
		HR	HOUR		
		HR	HOUR		
		HT	HEIGHT		
		HVAC	HEATING VENTING & AIR CONDITIONING		
		HW	HOT WATER HEATER		
		ID	INSIDE DIAMETER		
		INCA	INCANDESCENT		
		INSUL	INSULATION		
		INT	INTERIOR		
		JAN	JANITOR		
		JCT	JUNCTION		
		JST	JOIST		
		JT	JOINT		
		KIT	KITCHEN		
		KHB	KEYED HOSE BIB		
		LAM	LAMINATE		
		LAND	LANDING		
		LAV	LAVATORY		
		L.C.C.	LEAD COATED COPPER		
		LH	LEFT HAND		
		LQ	LIQUID		
		LKR	LOCKER		
		LV	LEVEL LOAD		
		LL.V.	LONG LEG VERTICAL		
		L.P.	LOW POINT		
		LS	LEAK SLOT DIFFUSER		

**Sonoma
Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

REVISIONS

No. Description Date

USE PERMIT

Sheet Title

SITE PLAN - EXISTING

Drawn By EW

Checked By EW

Scale:
1/16" = 1'-0"

Date:
April 6, 2016

Project No. 2015012

A1.00

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Existing On Site Parking - Current Condition		
Lynch Building	2,029 SF Retail 6,208 SF Office Seven Apartments	1/300 = 7 stalls 1/300 = 21 stalls 1.5 Apt. + Guest = 13 stalls
Sub Total Lynch		41 stalls
Sonoma Index Tribune Printing Plant Building	6,369 SF Office/Retail 7,372 SF Warehouse/Storage (w/ 20% allowable office space)	1/300 = 21 stalls 1/1000 = 7 spaces
Subtotal Sonoma IT		28 stalls
Total Required		69 spaces
Existing Lot Provided		75 spaces

Expanded IT Building On-Site Parking Requirements - This Use Permit Application		
Lynch Building	2,029 SF Retail 6,208 SF Office Seven Apartments	1/300 = 7 stalls 1/300 = 21 stalls 1.5/Apt. + Guest = 13 stalls
Sub Total Lynch		43 stalls
IT Expanded Building Retail	804 SF Retail	1/300 = 3 stalls
IT Expanded Building Offices	9,961 SF Office	1/300 = 33 stalls
Printing Plant Building (Assumes use unchanged)	7,372 SF Warehouse/Storage (w/ 20% allowable office space)	1/1000 = 7 spaces
Sub Total IT Expanded		43 stalls
Combined Required (Lynch + IT Expanded)		84 spaces
Existing Lot Provided		75 spaces
New Surface Parking Added	South side of Printing Plant.	9 spaces
Parking Provided (if no hotel)		84 spaces

Sonoma Index-Tribune Building 2nd Floor Expansion

117 West Napa Street
Sonoma, CA 95476

REVISIONS		
No.	Description	Date

USE PERMIT

Sheet Title
FIRST & SECOND LEVEL FLOOR PLANS - EXISTING

Drawn By EW Checked By EW

Scale:
1/8" = 1'-0"

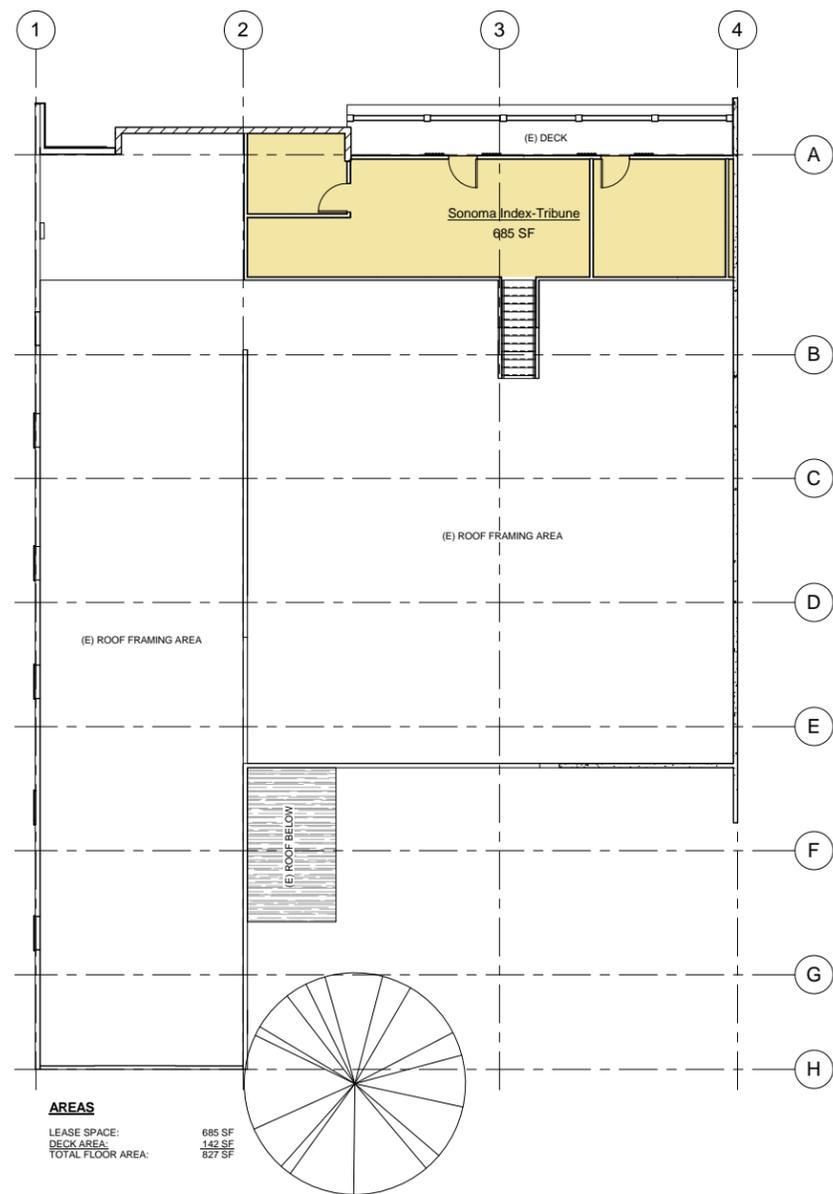
Date:
March 16, 2016

Project No. 2015012

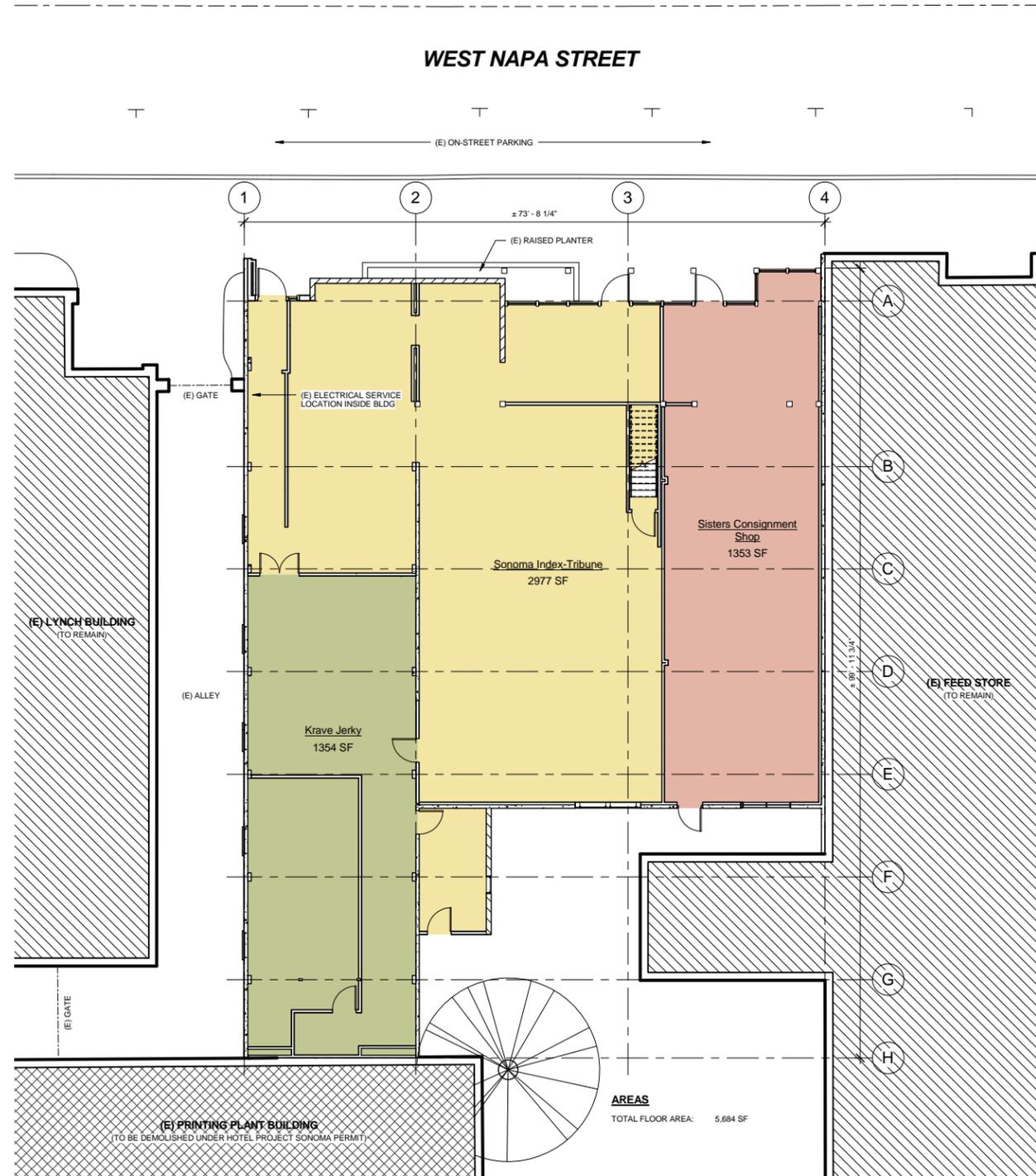
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② SECOND LEVEL FLOOR PLAN - EXISTING
1/8" = 1'-0"



① FIRST LEVEL FLOOR PLAN - EXISTING
1/8" = 1'-0"

**Sonoma
Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

REVISIONS

No.	Description	Date

USE PERMIT

Sheet Title
**FIRST & SECOND LEVEL
FLOOR PLANS - NEW**

Drawn By: EW Checked By: EW

Scale:

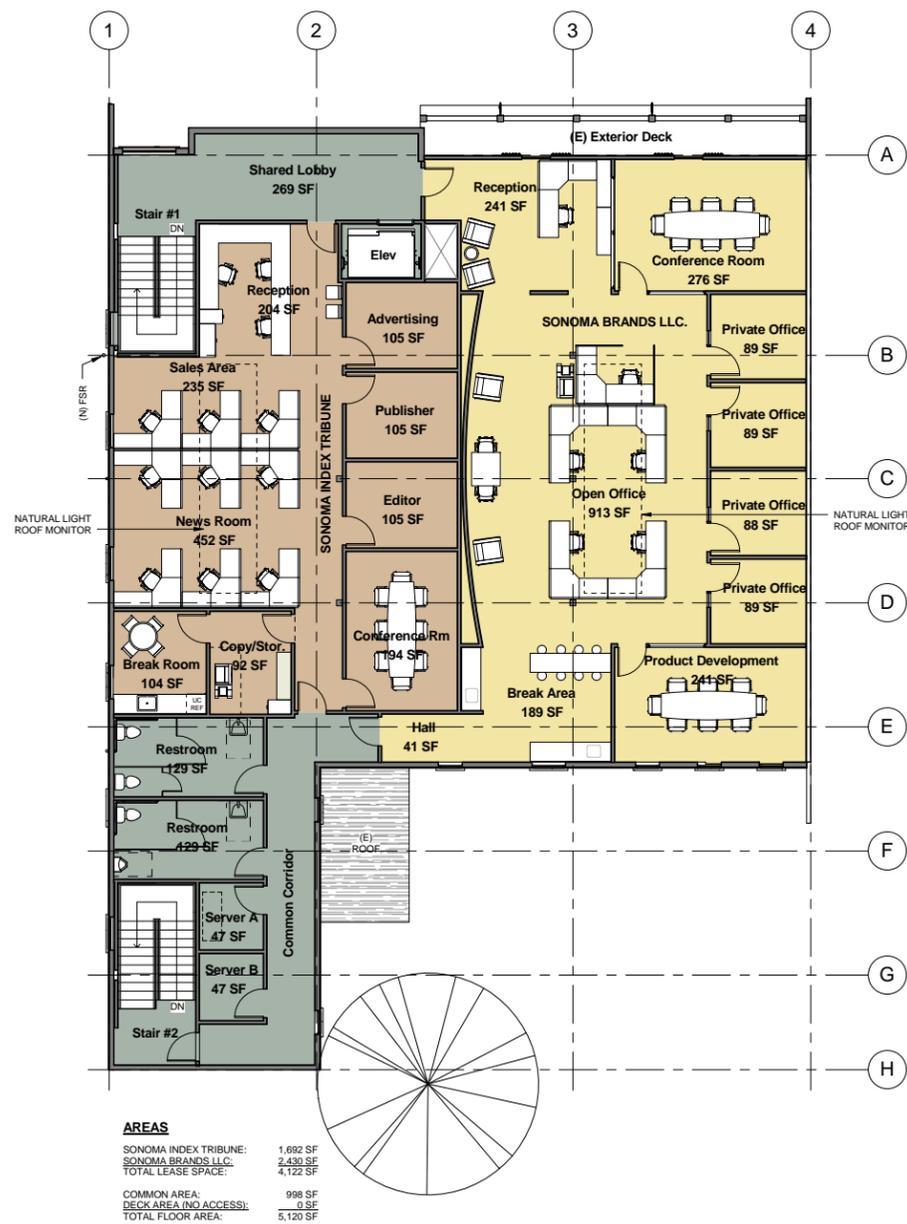
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Project No. 2015012

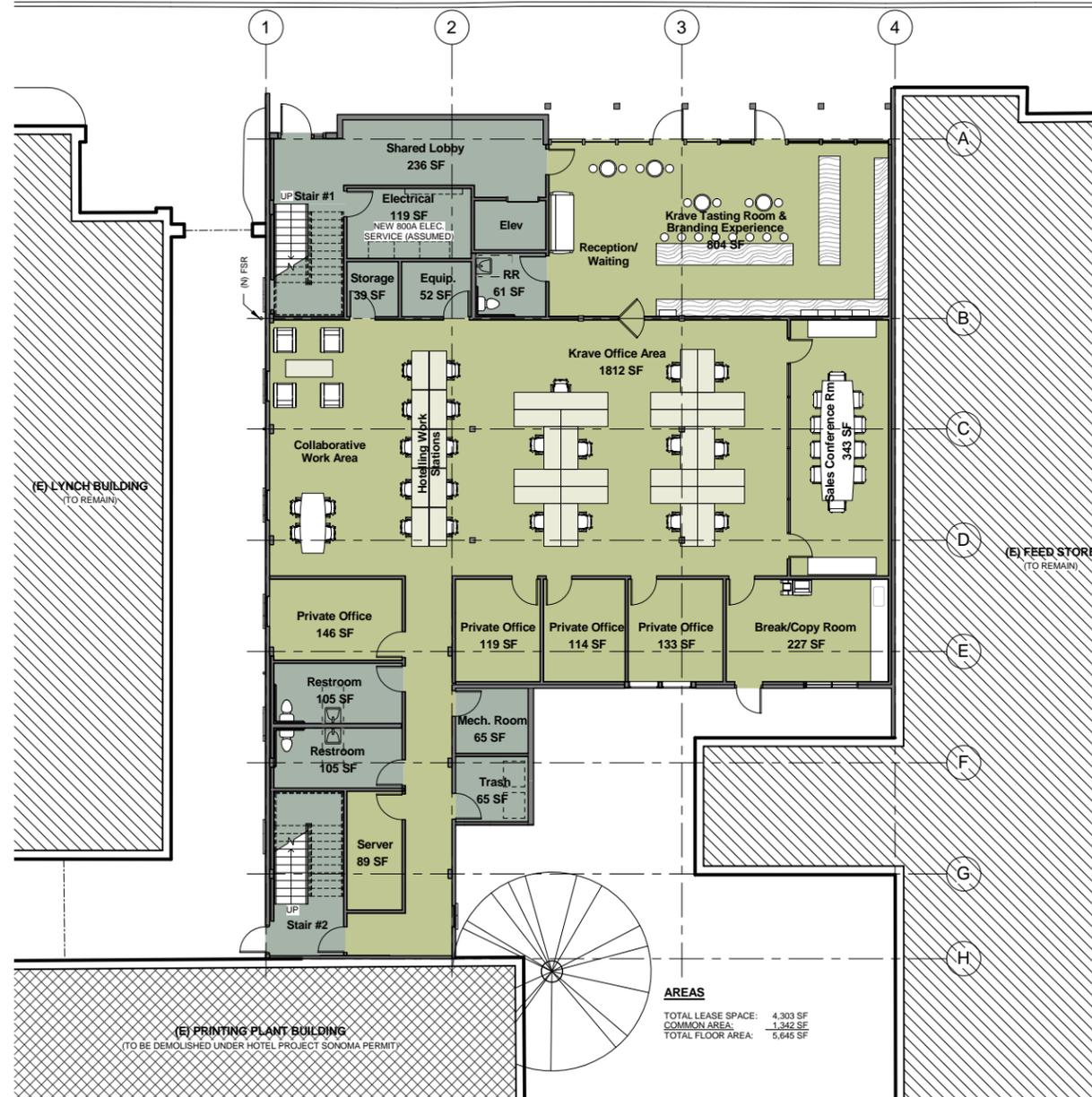
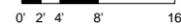
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WEST NAPA STREET



② SECOND LEVEL FLOOR PLAN - NEW
1/8" = 1'-0"

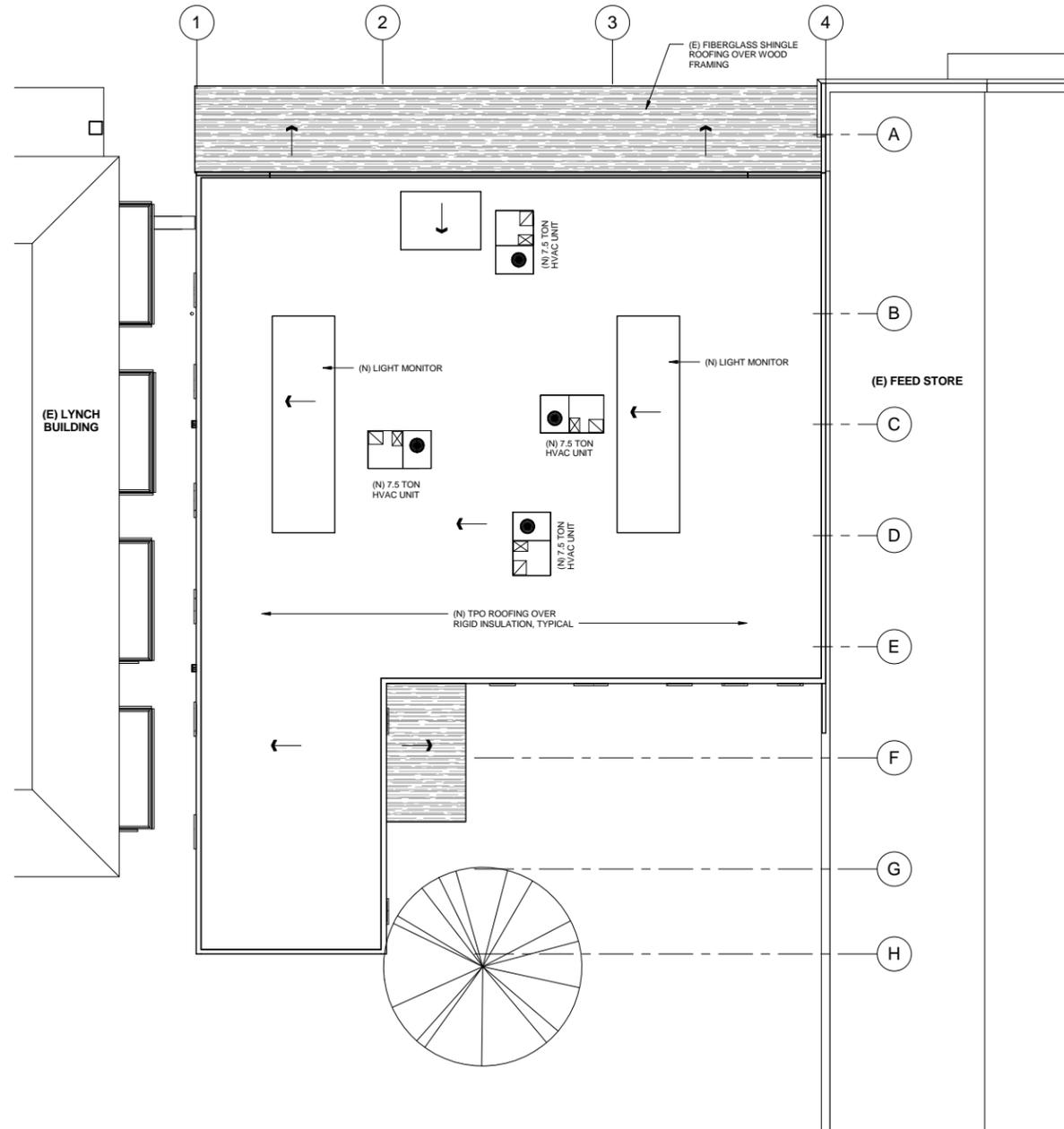


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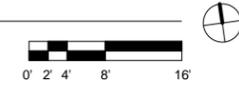


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1 ROOF PLAN
1/8" = 1'-0"



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Sonoma
CA 95476
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ARCHITECTURE

**Sonoma
Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

REVISIONS

No.	Description	Date
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USE PERMIT

Sheet Title
ROOF PLAN

Drawn By EW Checked By EW

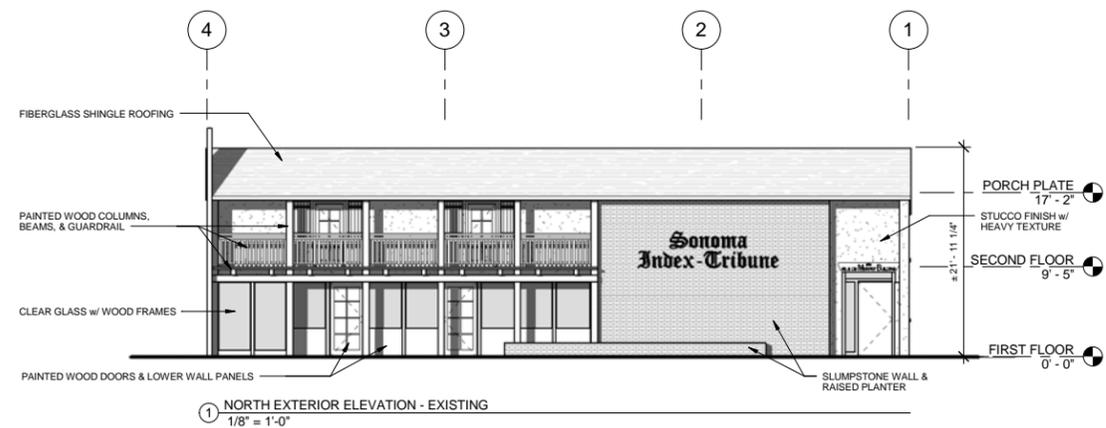
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Date:
March 16, 2016

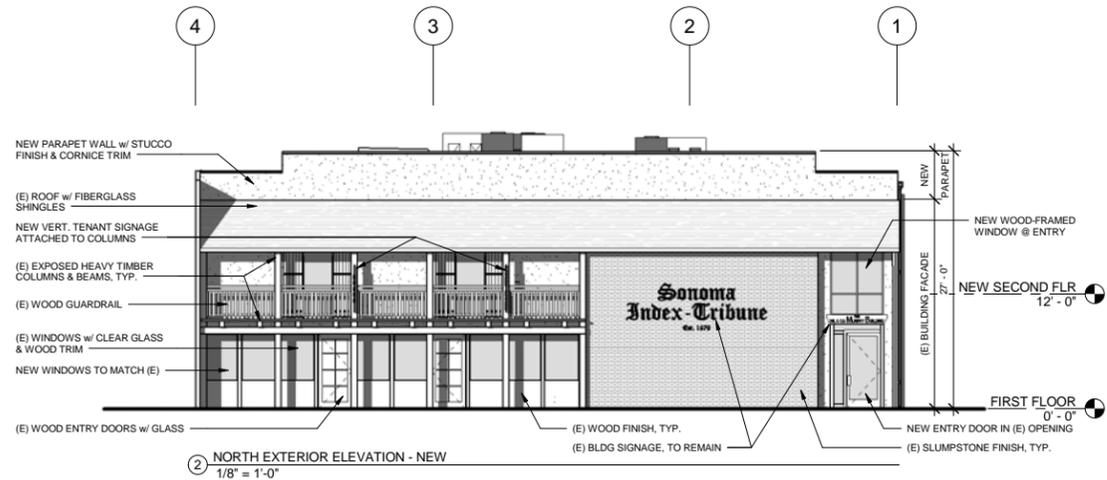
Project No. 2015012

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Drawing No.

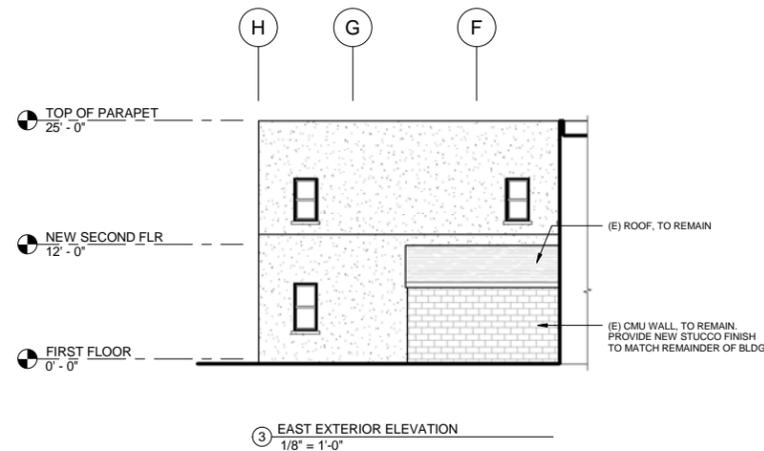
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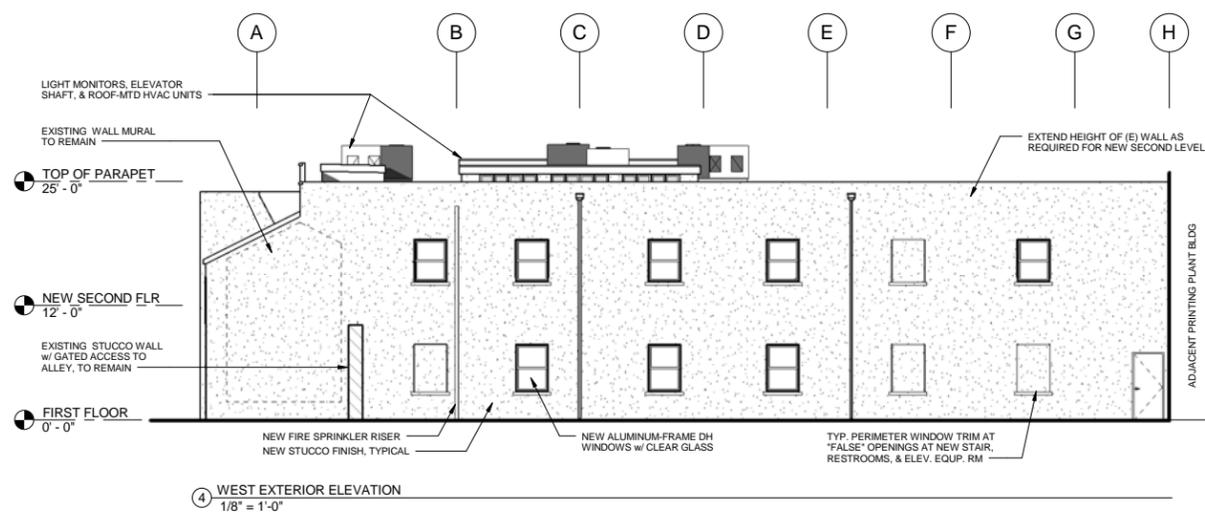
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1/8" = 1'-0"



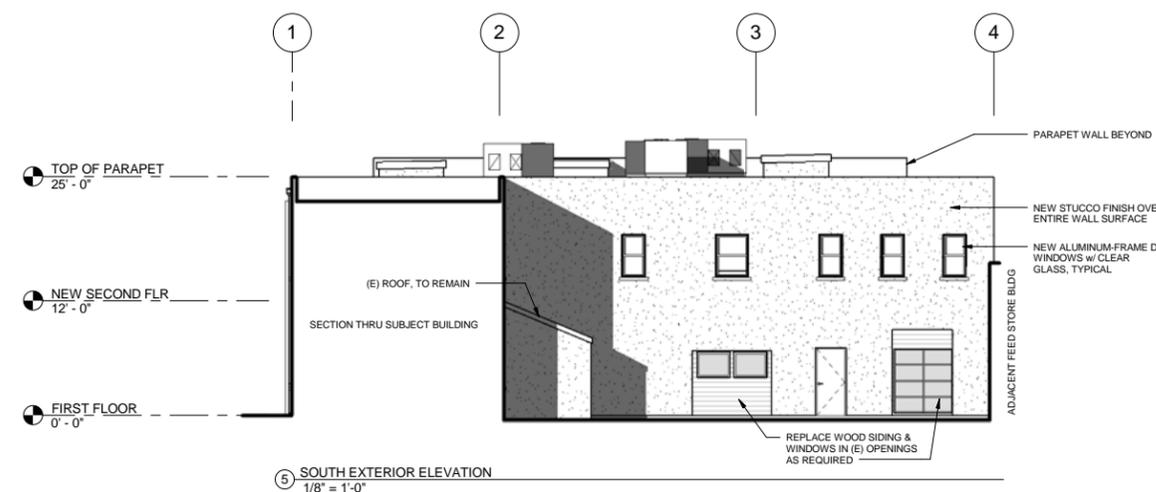
2 NORTH EXTERIOR ELEVATION - NEW
1/8" = 1'-0"



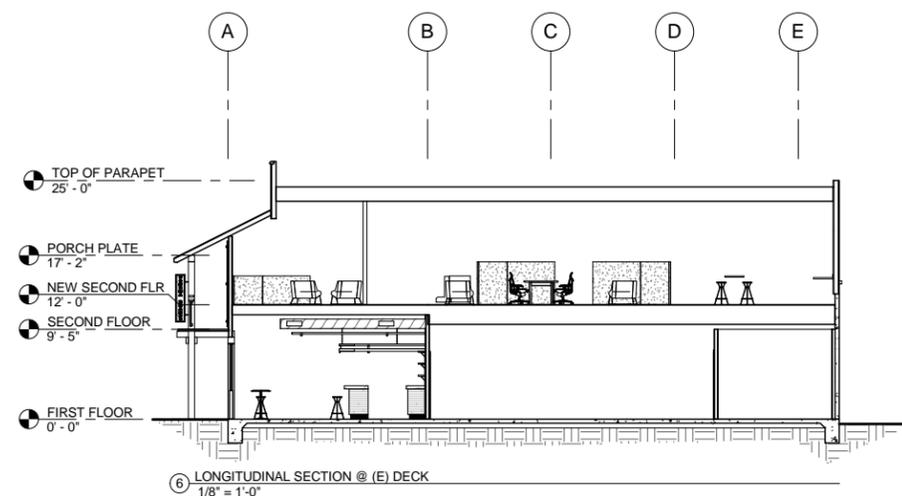
3 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



4 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



5 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



6 LONGITUDINAL SECTION @ (E) DECK
1/8" = 1'-0"

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**Sonoma
Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

REVISIONS		
No.	Description	Date

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Sheet Title

**EXTERIOR ELEVATIONS
& BUILDING CROSS
SECTION - NEW**

Drawn By: EW Checked By: EW

Scale:
1/8" = 1'-0"

Date:
March 16, 2016

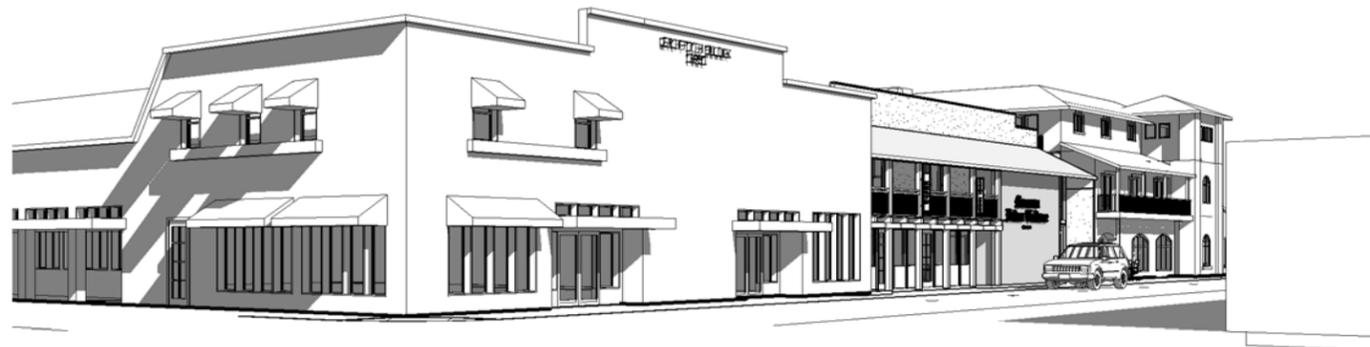
Project No.: 2015012

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Drawing No.

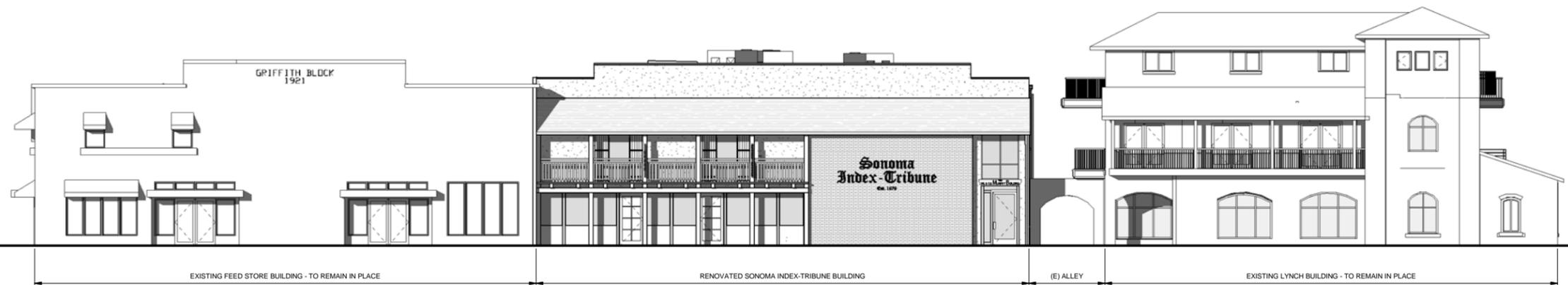
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② PERSPECTIVE VIEW FROM SW CORNER OF PLAZA



① NORTH STREET CONTEXT ELEVATION - NEW
1/8" = 1'-0"

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Index-Tribune
Building 2nd Floor
Expansion**

117 West Napa Street
Sonoma, CA 95476

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No.	Description	Date

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Sheet Title
**NORTH STREET
CONTEXT ELEVATION**

Drawn By EW Checked By EW

Scale:
1/8" = 1'-0"

Date:
March 16, 2016

Project No. 2015012

A3.01

Drawing No.

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117 WEST NAPA STREET
HISTORIC RESOURCE STUDY

SONOMA, CALIFORNIA
[12087]

Prepared for
KENWOOD INVESTMENTS

PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

5 JULY 2012

DRAFT

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I. INTRODUCTION

This Historic Resource Study (HRS) has been prepared at the request of Kenwood Investments for 117 West Napa Street (APN 018-251-055) in Sonoma, California. The commercial property is located on the south side of West Napa Street between First Street West and Second Street West in downtown Sonoma (**Figure 1**). Originally constructed in or around 1928, it has been continuously occupied by the offices of the local newspaper, the *Sonoma Index-Tribune*, among several other businesses. In 1958, the building was enlarged and redesigned in a commercial Monterey Revival style by owner Robert Lynch and builder John S. Moll.



Figure 1. 117 West Napa Street is shown in red. The central plaza is the large shaded square.
Source: City of Sonoma Geographic Information System, 2012; edited by Page & Turnbull.

METHODOLOGY

This Historic Resource Study provides a summary of previous historical surveys and ratings, a site description, historic context statement, construction chronology, and an evaluation of the property's eligibility for listing in the California Register of Historical Resources.

Page & Turnbull prepared this report using research collected at the following local repositories and various online sources in June 2012:

City of Sonoma, Building and Planning Departments

Page & Turnbull obtained photocopies of all available permits for 117 West Napa Street. The City's records included the 1953 Sanborn Fire Insurance Company map, which is not available online.

Sonoma State University Library

After speaking with a reference librarian, Page & Turnbull was informed that the university's library would not be a likely source of relevant information for this report. A librarian in the Regional and Special Collections department directed us to the digital resources available on the library's web site at <http://libweb.sonoma.edu/regional/>. No relevant information was obtained.

Sonoma County Library's Local History and Genealogy Annex

Page & Turnbull referenced the available residential and commercial directories for Sonoma County. However, a complete collection was not on file. The Sonoma County Library maintains a historic photograph collection, examples from which are included in this report.

Sonoma County Assessor-Recorder

Performing a title search for 117 West Napa Street was difficult due to the number of simultaneous owners and changing boundaries of the property. Page & Turnbull therefore enlisted the services of Mike Burton, a Sonoma County-based title researcher, who traced the chain of title to 1897. His findings are included in the "Owners and Occupants" section of this report.

Sonoma Valley Historical Society (Depot Park Museum)

Page & Turnbull requested a research appointment and was informed that the director, Diane Smith, is currently on leave. In her absence, our inquiries were directed to the Sonoma League for Historic Preservation and the *Sonoma Index-Tribune*.

Sonoma League for Historic Preservation

Page & Turnbull has been in contact with Patricia Cullinan, the chairperson of the League's Architectural Conservation and Education Committee, in order to identify previous documentation of 117 West Napa Street. The League's records of the subject property include several historic photographs and descriptions of some of the businesses that formerly occupied the property.

Sonoma Index-Tribune Archives

Archives for Sonoma's newspaper dating from the 1880s have been digitized and are available online. Page & Turnbull identified several relevant articles from the *Sonoma Index-Tribune*, which are referenced herein.

II. SUMMARY OF FINDINGS

117 West Napa Street is not listed in the National Register of Historic Places, the California Register of Historical Resources, or the Sonoma League for Historic Preservation Inventory of Historic Structures, and it is not a Sonoma County Historic Landmark. Furthermore, the building does not appear to be part of any known or potential historic district.

The significance evaluation in this report demonstrates that 117 West Napa Street appears to be individually eligible for listing in the California Register of Historical Resources under Criterion 1 (Event) for its association with the *Sonoma Index-Tribune*, the offices of which have been located at the property for more than 80 years, and under Criterion 2 (Person) for its association with Robert Lynch. Additionally, the building retains a high degree of architectural integrity. 117 West Napa Street is therefore considered to be an historical resource as defined by the California Environmental Quality Act (CEQA).

III. CURRENT HISTORIC STATUS

The following section briefly examines the national, state, and local historic ratings currently assigned to 117 West Napa Street.

NATIONAL REGISTER OF HISTORIC PLACES

The National Register of Historic Places (National Register) is the nation's most comprehensive inventory of historic resources. The National Register is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

117 West Napa Street is not listed in the National Register.

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

117 West Napa Street is not listed in the California Register.

CALIFORNIA HISTORICAL RESOURCE STATUS CODE

Properties listed or under review by the State of California Office of Historic Preservation are assigned a California Historical Resource Status Code (Status Code) of "1" to "7" to establish their historical significance in relation to the National Register of Historic Places (National Register or NR) or California Register of Historical Resources (California Register or CR). Properties with a Status Code of "1" or "2" are either eligible for listing in the California Register or the National Register, or are already listed in one or both of the registers. Properties assigned Status Codes of "3" or "4" appear to be eligible for listing in either register, but normally require more research to support this rating. Properties assigned a Status Code of "5" have typically been determined to be locally significant or to have contextual importance. Properties with a Status Code of "6" are not eligible for listing in either register. Finally, a Status Code of "7" means that the resource has not been evaluated for the National Register or the California Register, or needs re-evaluation.

117 West Napa Street is not listed in the California Historic Resources Information System (CHRIS) database with any Status Code, which means that the building has not been formally evaluated using California Historical Resource Status Codes.

SONOMA COUNTY HISTORIC LANDMARKS

In 1974, the Sonoma County Landmarks Commission was created under Ordinance No. 1768. The same ordinance established procedures to designate Historic Structures and Historic Districts.¹ According to the Landmarks Commission By-Laws, Historic Landmarks must meet the criteria for eligibility adopted by the Landmarks Commission, which are based on National Register eligibility criteria.² Of the 173 Sonoma County Historic Landmarks, 26 are in the City of Sonoma, none of which are located within any registered historic districts.³

117 West Napa Street is not a designated Sonoma County Historic Landmark and it is not located within a registered historic district.

SONOMA LEAGUE FOR HISTORIC PRESERVATION INVENTORY OF HISTORIC STRUCTURES

The Sonoma League for Historic Preservation maintains an inventory of historic structures in the City of Sonoma. According to the League's web site:

In 1978, with a grant from the County Landmarks Commission, the League began preparing the Sonoma Valley Historical Resources Survey [also known as the Inventory of Historic Structures] under the auspices of the City and County of Sonoma. The survey is an inventory of historic properties and includes structures from Kenwood to the Carneros Region. Each survey document provides important information that identifies and describes the property including its past and present owners, physical appearance of the structure, and the historical or architectural significance of the site including people and events associated with it.⁴

While the League has some records of 117 West Napa Street, the subject property is not listed in the Sonoma League for Historic Preservation Inventory of Historic Structures.

CITY OF SONOMA DEVELOPMENT CODE

According to Section 19.10.030.C2 of the City of Sonoma Development Code, the Historic Overlay zone “is intended to preserve structures that are historically and/or culturally significant...[and] the Design Review Commission shall review any new commercial buildings and additions or exterior changes to existing commercial buildings [within the Historic Overlay zone].”⁵

The Development Code identifies two types of structures eligible for adaptive reuse: officially designated structures and structures with potential historical value. According to Section 19.42.020 of the code:

¹ “Sonoma County Landmarks Commission,” *County of Sonoma Permit and Resource Management Department*, web site accessed 17 August 2011 from: <http://www.sonoma-county.org/prmd/historic/commission.htm>.

² Sonoma County Landmarks Commission, “By-Laws of the Landmarks Commission” (revised 30 June 2008), 2.

³ “Historic Landmarks,” *County of Sonoma Permit and Resource Management Department*, web site accessed 1 June 2012 from: http://prmd.sonoma-county.org/historic_landmark_list.aspx?sid=1015&sort=2.

⁴ “Preservation,” *Sonoma League for Historic Preservation*, web site accessed 16 August 2011 from: <http://sonomaleague.org/historical.html>.

⁵ Article II (Community Design), Chapter 19.10 (Zones and Allowable Uses), *City of Sonoma Development Code* (February 2005), 2.6.

IV. ARCHITECTURAL DESCRIPTION

SITE

117 West Napa Street is located on an irregular-shaped 18,150-sq. ft. parcel (APN 018-251-055) on the south side of West Napa Street between First Street West and Second Street West (**Figure 3**). Redesigned and substantially enlarged in 1958 in a commercial Monterey Revival style, the two-story reinforced concrete and wood-frame building features an L-shaped plan and is clad in a variety of materials including concrete, stucco, slumpstone brick (also known as slump block), and wood. The foundation material is concrete. The north-facing two-story portion of the building is capped by a gable roof with asphalt shingles, while the rear single-story portions are capped by flat roofs and a small addition with a shingled shed roof. A large, corrugated metal-clad warehouse constructed in 1977 abuts one of the south walls of the subject building and obscures the entire wall plane.



Figure 3. Aerial view looking north with boundaries of subject property shown in red.
Source: Bing Maps (Microsoft Corp. and Pictometry International Corp.), 2012;
edited by Page & Turnbull.

The building is located on or very near the north, east, and west property lines. It is separated from the south property line by two warehouses, a driveway, and a shed structure, and an asphalt parking lot extends to First Street West. 117 West Napa Street is flanked by two large commercial buildings: the Griffith Block, constructed in 1921, to the east; and the Lynch Building, constructed in 2002, to the west. The site features planters with shrubs and climbing plants along the north, east, and west façades, and several mature trees along the east façade.

A small rear yard immediately south of the subject building is separated from the adjacent property by a wood fence with a wood gate. Various building materials are stored in the rear yard (**Figures 10 and 11**). A narrow courtyard exists between the subject property and the Lynch Building immediately to the west. The courtyard is accessible by an arched gateway on West Napa Street and features a fountain and planters. There is no entrance to the subject building from the courtyard (**Figure 4**).



Figure 4. Courtyard looking south. 117 West Napa Street is on the left.
Source: Page & Turnbull, 2012.

EXTERIOR

Primary (North) Façade

The primary façade faces north and is composed of two distinct portions, each of which is two stories in height (**Figure 5**). The east portion is composed of five structural bays of equal width separated by timber posts. On the first story, the first (easternmost) bay features two full-height, wood-frame plate glass windows, and a third plate glass window wraps around the corner. The other four bays are recessed several feet behind the first bay. The second bay features a full-height, wood-frame plate glass window and a partially-glazed and paneled wood door. The third (center) bay features a full-height, wood-frame plate glass window and a fixed, wood-frame window with painted wood panel below. The fourth bay features a partially-glazed and paneled wood door and a fixed, wood-frame window with painted wood panel below. The fifth (westernmost) bay features two fixed, wood-frame windows with painted wood panel below. Hanging wood signs are located in the second, fourth, and fifth structural bays. The second story features a covered balcony with a wood deck and railing that span the five structural bays. Carved wood brackets support the balcony. The exterior wall at the second story is clad in stucco. Two multi-light, glazed wood doors flanked by wood shutters are aligned with the second and fourth bays.



Figure 5. Primary (north) façade.
Source: Page & Turnbull, 2012.

The west portion of the primary façade is primarily clad in slumpstone brick. It features a large, wall-mounted sign composed of individual wood and metal script letters that reads “Sonoma Index-Tribune.” A wall-mounted plaque that was dedicated on 8 June 2003 describes the history of the newspaper (Figure 6). A low planter constructed of slumpstone brick spans most of the west portion and the fifth structural bay of the east portion of the primary façade.

The west end is clad in stucco and is recessed several feet between the slumpstone brick wall on the east and a projecting stuccoed wall on the west. The first story features a partially-glazed, flush wood door with a multi-light transom and sidelight. The door is accessible from the inside only, as it does not have an external doorknob. A sign on the wood lintel above the doorway is composed of individual wood letters and reads “WL & CG MURPHY BUILDING” with the date 1958 above. On the east side of the projecting west wall is a partial-height, wood-frame wall with a beveled cap, a projecting sill painted to look like stone, and a painted scene in a small arched niche (Figure 7). The entire façade terminates in a gable roof with asphalt shingles.

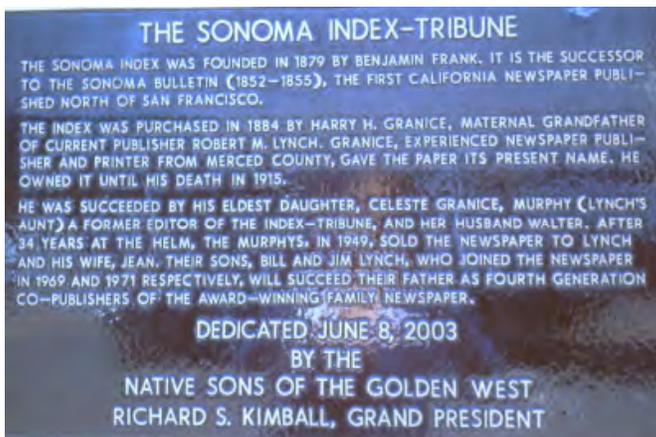


Figure 6. Commemorative plaque on center portion of primary façade.
Source: Page & Turnbull, June 2012.



Figure 7. Doorway in west portion of primary façade.
Source: Page & Turnbull, June 2012.

West Façade

The west façade is a reinforced concrete wall clad in stucco and is composed of two distinct portions. The north portion is two stories in height and features a large mural titled “Celebrating Our Sonoma Valley Heritage” (**Figure 8**). A small wall-mounted plaque indicates that the mural was painted in 2005. A planter with shrubs is located below the mural, and ivy climbs up the wall on the south side of the mural. The north portion of the façade terminates in the rake side of the gable roof.

The south portion of the façade is one story in height and is in the same plane as the north portion. It is clad in stucco and features five single-hung, metal-frame windows with projecting sills. A wall-mounted fountain is located between the first and second windows. Planters with climbing plants are located between the other windows. The south portion of the façade terminates in metal coping (**Figure 9**).



Figure 8. West façade with mural.
Source: Page & Turnbull, 2012.



Figure 9. West façade, looking south.
Source: Page & Turnbull, 2012.

East Façade

The east façade is composed of two one-story portions. The north portion abuts the adjacent property and is not visible.

The south portion faces the outdoor patio of the adjacent property and is obscured by climbing plants and mature trees. The façade features a circa 1953 addition with CMU walls and a sliding aluminum window. The addition terminates in the eave side of a shed roof. Beyond the addition is a reinforced concrete wall that terminates in metal coping.

Rear (South) Façade

The rear façade faces south and is composed of two one-story portions. The west portion is a reinforced concrete wall that is completely obscured by a large warehouse that was constructed in 1977.

The east portion of the façade is a board-formed reinforced concrete wall that faces the small rear yard described above (**Figures 10 and 11**). In an area that appears to have once been a larger opening, the façade features a pair of fixed wood frame windows with horizontal wood board cladding below. The façade also features a flush metal door and a multi-light, wood- and metal-frame window with two operable lights at the base. The façade terminates in metal coping, and the roofline slopes gently to a valley at the center, resembling a butterfly roof.



Figure 10. Rear yard looking east along south wall of subject building.
Source: Page & Turnbull, 2012.



Figure 11. Rear yard looking west along south wall of subject building.
Source: Page & Turnbull, 2012.

INTERIOR

The first floor is occupied by a consignment clothing store and the offices of the *Sonoma Index-Tribune* and *Sonoma Magazine*. The offices have carpeted and polished concrete floors and dropped ceilings with acoustical tiles and fluorescent light fixtures. Several rooms feature wood partitions. It appears that various alterations have been made to the interior spaces over time.

The second floor measures less than 800 sq. ft. and is used as additional office space for the newspaper. The finishes are consistent with those on the first floor.

V. HISTORIC CONTEXT

EARLY SONOMA HISTORY

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples. Most authorities consider the Coast Miwok to have been the dominant tribe.⁷ The Coast Miwok territory was centered in Marin and adjacent Sonoma counties and encompassed an area spanning approximately forty miles east-to-west and thirty-five miles north-to-south.⁸ The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, and the area surrounding Sonoma's central plaza is within close proximity to the ancient Coast Miwok village of Huchi.⁹

Hispanic Period

During much of Spanish rule, Alta California was a loosely held dominion administered by the Viceroy of New Spain in Mexico City. During the latter half of the eighteenth century, Spain responded to outside pressures by reinforcing its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The first mission was established in San Diego in 1769. By 1776, Father Junipero Serra had established Mission Dolores in Yerba Buena (now San Francisco). The decision by the Spanish Viceroy to build missions in the region north of the Golden Gate was ultimately provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County, in 1812.¹⁰

In 1823, Father Jose Altimira, sent from Spain in 1819 to assist at Mission Dolores, devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for what would be California's last mission and the only one established during Mexican rule. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years there were upwards of 1,300 Native Americans living at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, and the uprising resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.¹¹

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. The missions of California, like the missions on all Spanish colonial frontiers, were intended to be temporary institutions. When the work of Christianization and acculturation was deemed to be finished, the missionaries were to be replaced by secular clergy and the mission lands distributed among the former neophytes, a process known as secularization. The constitution of the Republic of Mexico endorsed the equality of all Mexicans regardless of race. Mexican liberals concluded that the missions—which denied basic liberties to the Native Americans—were unconstitutional. Meanwhile, native-born *Californios* saw the missions as an obstacle to the economic development of the province; they believed that the missions' control of prime agricultural lands and the indigenous labor force

⁷ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

⁸ Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

⁹ Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908).

¹⁰ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

¹¹ *Ibid.*, 10.

impeded the growth of private ranches and farms. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Native Americans, the act was in actuality little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. Although his responsibilities theoretically included overseeing the transfer of half of the mission lands to the former neophytes, Vallejo instead distributed the land among his friends.

In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.¹² In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the Laws of the Indies, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspheth survey of 1847 and survives today. Each block contained four lots or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, as well as a sumptuous adobe *palacio* for himself.¹³ From 1835 to 1839, Sonoma grew quite slowly, populated at first almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.¹⁴

American Period

Prior to the outbreak of the Mexican-American War, few Americans or other foreigners lived in Sonoma. This began to change quickly after Americans began making their way overland to California during the early 1840s. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.¹⁵ By 1845, the Pueblo of Sonoma had become the most important Mexican military outpost in northern Alta California.

California was admitted to the Union on 9 September 1850 and became the 31st state. The City of Sonoma was incorporated in 1883.¹⁶ In 1890, the railroad depot first opened in Sonoma Plaza, and the region attracted many visitors to resorts that touted the benefits of natural hot springs. California's wine industry, which was first established in the nineteenth century at Mission Sonoma, surged during the twentieth century, and the City of Sonoma has since become well known for its wine and picturesque setting.¹⁷

¹² Ibid, 191.

¹³ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

¹⁴ Ibid, 195.

¹⁵ Thompson, 12.

¹⁶ "History," *City of Sonoma*, Web site accessed 9 August 2011 from: <http://www.sonomacity.org/default.aspx?PageId=3>.

¹⁷ "Recent History," *Sonoma Valley Visitors Bureau*, web site accessed 9 August 2011 from: <http://www.sonomavalley.com/index.php/Table/Recent-history/>.

PROJECT SITE HISTORY

According to an 1888 Sanborn Fire Insurance Company map, the northern portion of the block containing the subject property was a vineyard (**Figure 12**). The only building on the single large parcel was a two-story dwelling along First Street West, which was located within the modern boundaries of the subject property and was relocated to First Street East sometime after 1973.¹⁸ Other blocks in the vicinity were almost completely developed by this time and featured a variety of building types including dwellings, hotels, drug stores, laundries, blacksmith shops, and wine storage. By 1891, the Union Stable had been built at the southwest corner of First Street West and West Napa Street. By 1905, several other buildings had been constructed on the subject block, including a wine storage facility, a farmhouse, and a French hotel with an adjacent French laundry. There were also a number of sheds, one of which was associated with the Union Stable and was located toward the rear of the subject property. The location of 117 West Napa Street was partially occupied by a vacant yard for the Union Stable (**Figure 13**).

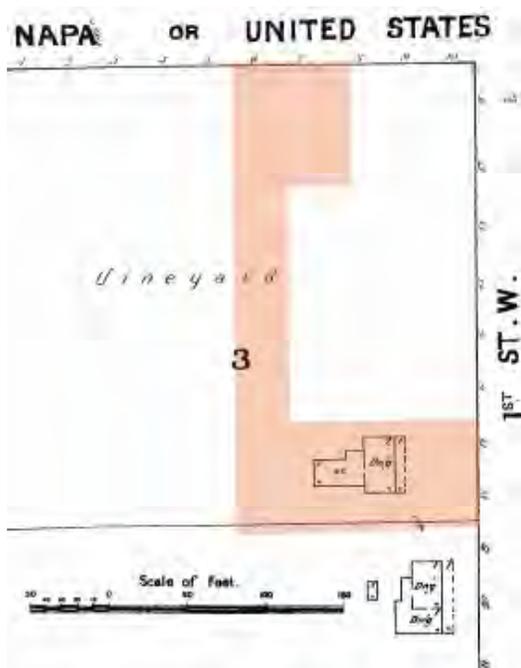


Figure 12. 1888 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red. Edited by author.

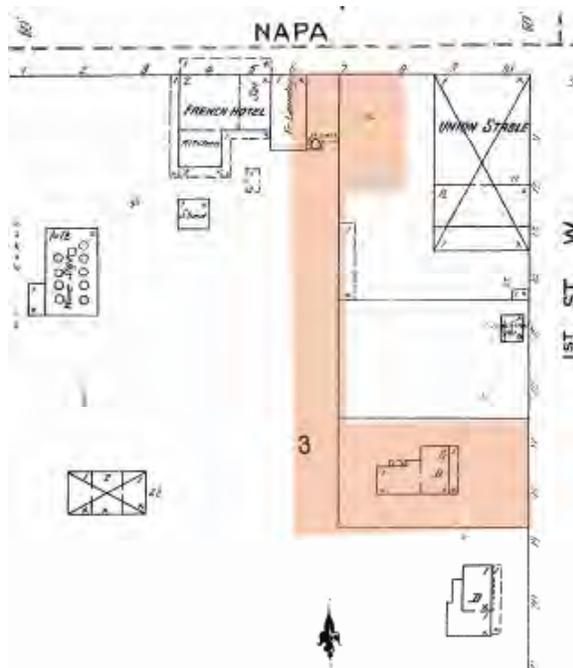


Figure 13. 1905 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red. Edited by author.

A one-story, iron-clad blacksmith shop and a one-story commercial building containing a barber shop and saloon were constructed on the subject property between 1905 and 1911 (**Figure 14**). Additional buildings on the block in 1911 included a second blacksmith shop and a plumbers. The building previously known as the “French hotel” had become the Palace Hotel. In the 1923 Sanborn Fire Insurance Company map, the blacksmith shop that previously occupied the property had expanded to include a dry goods store, and the saloon had been demolished (**Figure 15**).

¹⁸ “The General Joseph Hooker House,” *Sonoma League for Historic Preservation*, web site accessed 6 June 2012 from: <http://www.sonomaleague.org/historic-hooker-house-sonoma.html>.

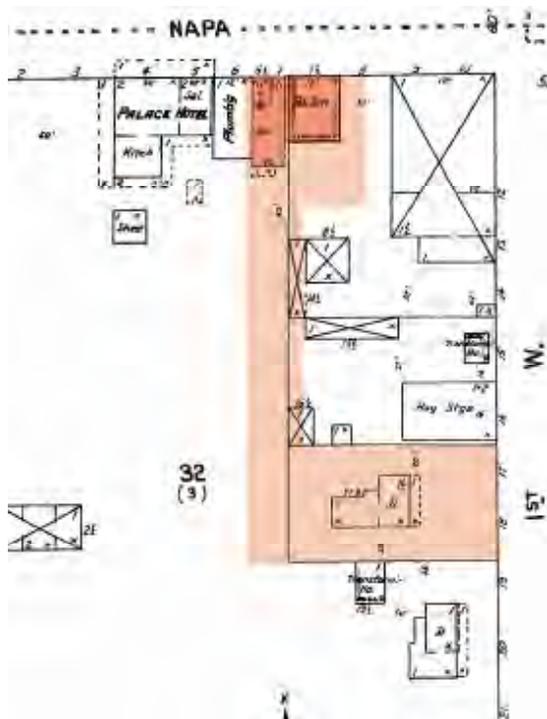


Figure 14. 1911 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red and earlier buildings in the location of the subject building in a darker shade. Edited by author.

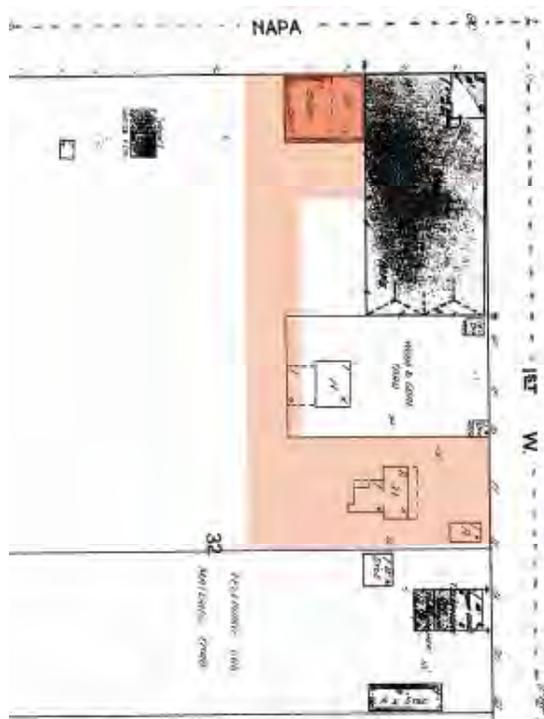


Figure 15. 1923 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red and earlier buildings in the location of the subject building in a darker shade. Edited by author.

It appears that the subject property did not have an address until around 1940. In earlier Sanborn Fire Insurance Company maps, the portion of the property fronting West Napa Street was listed as “6 1/2,” “7,” “7 1/2,” and “8,” with consecutive arbitrary street numbers running east along West Napa Street and continuing south along Broadway.¹⁹ In a 1941 Sanborn Fire Insurance Company map, the blacksmith and dry goods shops had either been enlarged or replaced with two one-story shop buildings addressed as 207 and 209 West Napa Street. To the west of the shops, a reinforced concrete building was constructed with two interior units addressed 211 and 213 West Napa Street, one of which was occupied by the offices of the *Sonoma Index-Tribune* (Figure 16). Rear additions had been constructed behind the two adjoining shops, addressed in the 1953 Sanborn Fire Insurance Company map as 207/113 and 209 West Napa Street, respectively. Similarly, an addition had been constructed on the east façade of the reinforced concrete building, which at that time was addressed 211, 213, and 123 West Napa Street (Figure 17).

¹⁹ The Sanborn Fire Insurance Company map key differentiates “alternate street numbers [that] are actual” from “consecutive street [numbers that] are arbitrary.”

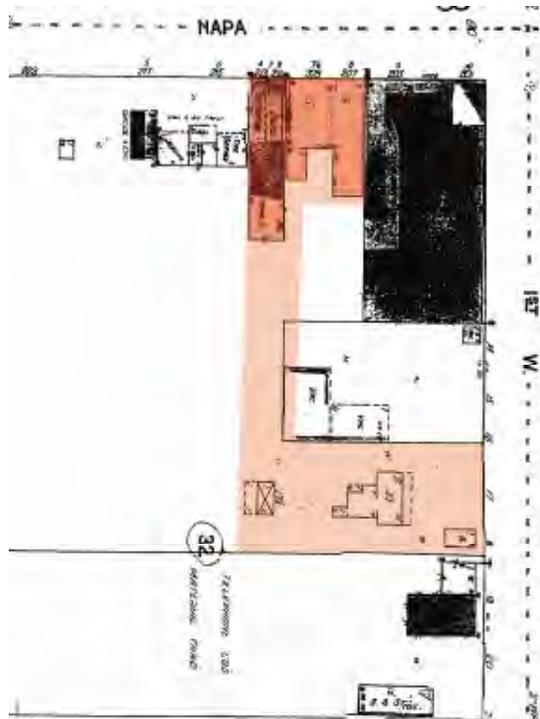


Figure 16. 1941 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red and the subject building prior to the 1958 redesign in a darker shade. Edited by author.

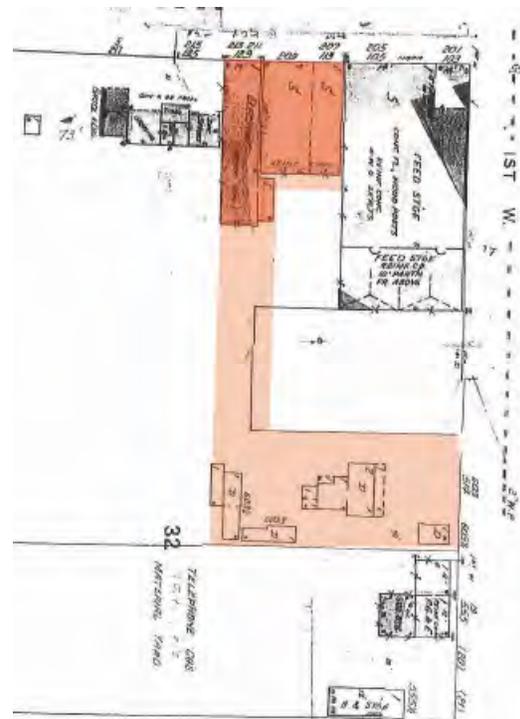


Figure 17. 1953 Sanborn Fire Insurance Company map showing the modern boundaries of the subject property in light red and the subject building prior to the 1958 redesign in a darker shade. Edited by author.

Architectural drawings prepared by contractor John S. Moll and dated 10 May 1958 confirm that the earlier buildings on the subject property were substantially altered and enlarged (see Appendix).²⁰ The 1958 design was for a new two-story façade on West Napa Street designed in a commercial Monterey Revival style, and for the creation of enlarged newspaper offices and an additional ground floor commercial space (Figure 18). The drawings identify existing concrete walls on the east, south, and west façades, as well as two existing interior walls, the locations of which are consistent with the footprints of the buildings shown in earlier Sanborn Fire Insurance Company maps. No building permit is on file for any work completed as a result of the 1958 design.

²⁰ The 1958 drawings for 117 West Napa Street are held by Bill Lynch.



Figure 18. The *Sonoma Index-Tribune* Building, 1960.

Source: Sonoma County Library, Sonoma County History and Genealogy Annex, Annex Photo 16510.

Since the 1958 redesign, numerous building permits have been issued for interior alterations and reroofing projects at the *Sonoma Index-Tribune* Building (**Figure 3**). The newspaper continues to operate from the building, along with the quarterly *Sonoma Magazine*. The ground floor commercial space is currently occupied by Sisters Consignment Couture.

CONSTRUCTION CHRONOLOGY

The following provides a timeline of the history of 117 West Napa Street, including major alterations. This is in addition to miscellaneous electrical and plumbing work undertaken from the 1950s until the present.

Ca. 1928-29

According to Bill Lynch, the “original building” on the subject property was constructed during this time. To his knowledge, there was no architect associated with the building, though it is possible that a contractor named Sprague, the brother-in-law of then-owners Walter L. and Celeste G. Murphy, constructed the building (**Figures 19 and 20**).²¹

²¹ Ibid.



Figure 19. Mission Fruit Market (left) and the office of the *Sonoma Index-Tribune* (right), ca. 1930.
Source: *Sonoma Index-Tribune*.



Figure 20. Mission Fruit Market and the office of the *Sonoma Index-Tribune* behind the car, ca. 1936.
Source: *Sonoma Index-Tribune*.

Post-1941:

Second Street West was continued south of West Napa Street, thereby dividing the subject block in two. The location of the subject property remained near the southwest corner of First Street West and West Napa Street.

Ca. 1941-53

Rear additions were constructed behind the two adjoining shops, addressed in the 1953 Sanborn Fire Insurance Company map as 207/113 and 209 West Napa Street, respectively (**Figure 21**). The west wall was clad in iron, and the south wall was of reinforced concrete construction. Immediately west of the shops, an

addition had been constructed on the east façade of the reinforced concrete building now addressed as 211, 213, and 123 West Napa Street.

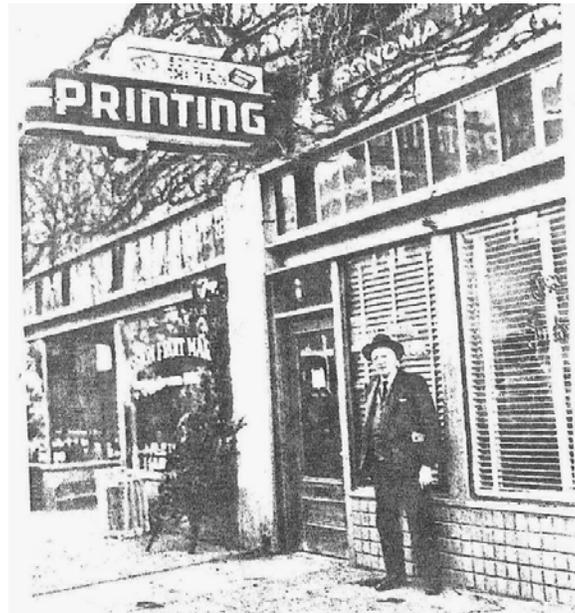


Figure 21. Mission Fruit Market (left) and the office of the *Sonoma Index-Tribune* (right), 1948. Walter L. Murphy is shown in the foreground.
Source: Sonoma League for Historic Preservation.

- 1953:** A building permit was issued for unspecified work for the estimated cost of \$2,366. The owner was the *Sonoma Index-Tribune* and the contractor was John S. Moll (Building Permit #487, 18 June 1953). It is believed that the address 117 West Napa Street was first used in reference to the *Sonoma Index-Tribune* in this permit.
- 1958:** Architectural drawings prepared by contractor John S. Moll and dated 10 May 1958 confirm that the earlier buildings on the subject property were substantially altered and enlarged (**see Appendix**). The 1958 design was for a new two-story façade on West Napa Street designed in a commercial Monterey Revival style, and for the creation of enlarged newspaper offices and a ground floor commercial space. The drawings identify existing concrete walls on the east, south, and west façades, as well as two existing interior walls, the locations of which are consistent with the footprints of the buildings shown in earlier Sanborn Fire Insurance Company maps. No building permit is on file for any work completed as a result of the 1958 design.
- Ca. 1958-81:** On the north façade, part of the storefront of the small commercial space was reconstructed. As designed in 1958, the entire first story storefront was in the same plane. The wall plane of the first bay has since been pushed several feet north toward West Napa Street. No building permit is on file that specifies this alteration.
- 1965:** A building permit was issued to “alter existing floor area for dark room and development room” for the estimated cost of \$3,000. The owner was Robert Lynch and the contractor was John Moll (Building Permit #1934, 19 April 1965).

A building permit was issued for “alteration[s] to interior office” for the estimated cost of \$400. The owner was Robert Lynch and the contractor was John Moll (Building Permit #2019, 25 August 1965).

1968: A building permit was issued for “alteration[s] to existing office portion for press plant” for the estimated cost of \$7,000. The owner was Robert Lynch and the contractor was John Lobsinger (Building Permit #2590, 26 March 1968).

A building permit was issued to re-roof the existing building. The owner was Robert Lynch and the contractor was Henri’s Materials (Building Permit #2757, 31 December 1968).

1969: A building permit was issued for unspecified interior alterations. The owner was the *Sonoma Index-Tribune* and the contractor was John Lobsinger (Building Permit #2962, 4 December 1969).

1974: A building permit was issued for unspecified alterations. The owner was the *Sonoma Index-Tribune* and the contractor was John Lobsinger (Building Permit #3961, 16 January 1974).

1976: A building permit was issued to reroof one section of the building for the estimated cost of \$1,900. The owner was the *Sonoma Index-Tribune* and the contractor was Henri’s Supply Inc. (Building Permit # 4374, 12 March 1976).

A building permit was issued to install new gas-electric units and attic fans for the estimated cost of \$4,000. The owner was the *Sonoma Index-Tribune* and the contractor was Peterson Heat and Cooling (Building Permit # 4291, 27 August 1976).

Ca. 1977: A building permit was issued to install new electrical service for the estimated cost of \$1,800. The owner was the *Sonoma Index-Tribune* and the contractor was Pete’s Electric Co. (Building Permit #4517, date illegible).

A building permit was issued to construct a 3,444-sq. ft. warehouse addition for the estimated cost of \$40,000. The owner was the *Sonoma Index-Tribune* and the contractor was Preco Erection Inc. (Building Permit #4943, 20 July 1977).

A building permit was issued for work on the underground service for the estimated cost of \$700. The owner was the *Sonoma Index-Tribune* and the contractor was Pete’s Electric Co. (Building Permit #5634, date illegible).

A building permit was issued to remodel office space, make a display window, and unspecified electrical, mechanical, and plumbing work for the estimated cost of \$4,100. The owner was the *Sonoma Index-Tribune* and the contractor was John S. Moll (Building Permit #7035, date illegible).

A building permit was issued to re-roof a rear section of roof, seal all pipes and vents, and coat the entire surface with asbestos fiber aluminum paint for the estimated cost of \$3,745. The owner was the *Sonoma Index-Tribune* and the contractor was Valley Roofing Co. (Building Permit #7130, date illegible).

Post-1981: On the north façade, several of the windows dating from the 1958 redesign were removed and replaced. On the first story, the third, fourth, and fifth structural bays originally featured full-height plate glass windows (**Figure 22**). The plate glass has since been replaced by fixed wood-frame windows. No building permit is on file that specifies replacement of storefront windows.



Figure 22. Sonoma Index-Tribune Building, ca. 1981.
Source: Sonoma League for Historic Preservation.

1986: A building permit was issued for foundation work for the estimated cost of \$100. The owner was the *Sonoma Index-Tribune* and the contractor was Lely Construction Inc. (Building Permit # 8884, 1 June 1986).

A building permit was issued to construct a warehouse/office addition for the estimated cost of \$325,000. The owner was the *Sonoma Index-Tribune* and the contractor was Lely Construction Inc. (Building Permit # 8912, 19 June 1986).

1988: A building permit was issued to re-roof the building for the estimated cost of \$6,467. The owner was Lynch and the contractor was Sonoma Valley Roofing Inc. (Building Permit # 9717, 20 September 1988).

1997: A building permit was issued to re-roof the “front shingle section of roof only” for the estimated cost of \$1,971. The owner was the *Sonoma Index-Tribune* and the contractor was Sonoma Valley Roofing Inc. (Building Permit #12994, 24 June 1997).

2000: A building permit was issued to “reroof over one existing” roof for the estimated cost of \$700. The owner was Robert Lynch and the contractor was Boris Roofing Specialty (Building Permit # 14317, 12 April 2000).

2005: A building permit was issued to reroof a section of the building “next to Old Feed Store” for the estimated cost of \$17,287. The owner was the *Sonoma Index-Tribune* and the contractor was Sonoma Valley Roofing Inc. (Building Permit # 17044, 7 July 2005).

A building permit was issued to replace five existing rooftop air conditioning units for the estimated cost of \$47,000. The owner was the *Sonoma Index-Tribune* and the contractor was Peterson Mechanical (Building Permit #17052, 11 July 2005).

OWNERS AND OCCUPANTS

The following information comprises the history of ownership and occupation of the subject property. The parcel on which 117 West Napa Street located is composed of several small parcels that were combined over time. The data presented below was compiled by Mike Burton, a Sonoma County-based title researcher, unless otherwise noted.

- 28 April 1897:** Ownership was transferred from Catherine Vasquez to Granville S. Harris (grant; Document ID 172/181). Harris paid \$10 for land that measured 50' x 150'.
- 10 September 1902:** Ownership was transferred from the Estate of Edward Wagner to L. Quartareli (grant; Document ID 203/161). Quartareli paid \$1,318.29 for land that excluded a portion of Assessor's Parcel 50 measuring 50' x 125'.
- 21 April 1904:** Ownership was transferred from Mr. and Mrs. Leonida Quartareli to John Peter Loustalet (grant; Document ID 210/30). The land excluded a portion of Assessor's Parcel 50 measuring 50' x 125'.
- 19 July 1906:** Ownership was transferred from Edward Stephens et al. to John Peter Loustalet (decree quieting title; Document ID 226/276). This concerned a portion of Assessor's Parcel 56.
- 28 February 1908:** Ownership was transferred from the Mr. and Mrs. John Peter Loustalet to Joseph F. Ryan (grant; Document ID 245/276). This concerned the land described by Mike Burton as "Assessor's Parcel 56 approx."
- 1 September 1908:** Ownership was transferred from Mr. and Mrs. John Peter Loustalet to Mrs. Anton Keiser (grant; Document ID 251/52). Kaiser paid \$290 in gold for the land, which measured 22' x 150'.
- 10 November 1908:** Ownership was transferred from Mr. and Mrs. Paul Robin to Mrs. Anton Keiser (grant; Document ID 250/494). Kaiser paid \$10 in gold for the same land she acquired on 1 September 1908.
- 11 September 1919:** Ownership was transferred from Mrs. Anton Keiser to Angelo Beretta (grant; Document ID 374/304). Beretta paid \$10 for the land, which measured 22-4" x 150'.
- 17 February 1921:** Ownership was transferred from Granville S. Harris to Ethelbert E. Griffith (grant; Document ID 395/496). The land measured 125' x 150' and included a portion of Assessor's Parcel 55.
- 3 January 1922:** Ownership was transferred from Ethelbert E. Griffith to Kate Griffith (gift deed; Document ID 406/217). The land measured 125' x 150'.

- 24 March 1922:** Ownership was transferred from the City of Sonoma et al. to Ethelbert Griffith (judgment quieting title; Document ID 7 OR 390). The land measured 125' x 150'.
- 4 April 1922:** Ownership was transferred from Mr. and Mrs. Angelo Beretta to W.L. Murphy (deed; Document ID 13 OR 30). Murphy paid \$10 for the land, the only known measurement of which was 22'-4".
- 22 April 1922:** Ownership was transferred from Kate Griffith to W.L. Murphy (deed; Document ID 13 OR 165). Murphy paid \$10 for the land, which measured 75' x 51'.
- 22 April 1922:** Ownership was transferred from Mrs. Anton Keiser to W.L. or Celeste Murphy (deed; Document ID 14 OR 58). The land measured 22'-4" x 150'.
- 1928-58:** The subject property was occupied by four businesses. From east to west they were: Cash and Carry Grocerteria, Batista Mori's Mission Fruit Market, "the tiny *Index-Tribune* office," and John's Café. By June 1929, a Safeway market had replaced Cash and Carry Grocerteria (**Figure 23**).²² The Mission Fruit Market, which occupied its location from circa 1928 until Mori's retirement in 1958, was "entwined, by location and friendship, with that of the *Index-Tribune* on West Napa Street."²³



Figure 23. Safeway market, formerly on the site of the present *Sonoma Index-Tribune* Building, ca. 1930.

Source: *The Sonoma Valley Story*, p. 172 (from the *Sonoma Index-Tribune* archives).

- 1951:** The building that occupied the subject property was known as the Murphy Building. In addition to the *Sonoma Index-Tribune*, office spaces were occupied by a real estate company (207 West Napa Street) and an insurance agency.²⁴
- Ca. 1960-2008:** The building was occupied exclusively by the *Sonoma Index-Tribune* (**Figure 22**).²⁵

²² Albert H. Pellandini, "When did Safeway come to Sonoma?" *Sonoma Index-Tribune*, 14 August 1985, n.p.

²³ Sonoma League for Historic Preservation, "Mission Fruit Market," *Culinary Visit to Historic Sonoma, Vol. 1*.

²⁴ "Wm. E. Doud & Co., Realtors, Open Sonoma Branch Office," *Sonoma Index-Tribune*, 9 November 1951, 3.

²⁵ Page & Turnbull, interview with Bill Lynch, Editor-In-Chief of the *Sonoma Index-Tribune*, 8 June 2012.

- 21 August 1963:** Ownership was transferred from the Estate of Celeste Murphy to Robert Lynch (decree of distribution; Document ID 1982 OR 521). This concerned the land described by Mike Burton as “all parcels.”
- 20 April 1965:** Ownership was transferred from the Estate of Walter L. Murphy to Robert Lynch (decree of distribution; Document ID 2122 OR 476). This concerned the land described by title researcher Mike Burton as “all parcels.”
- 30 June 1986:** Ownership was transferred from William Lynch et al. to Robert and Jean Lynch (quitclaim deed; Document ID 86-047620). This concerned what was described by title researcher Mike Burton as a “small strip of land on the west side of Assessor’s Parcel 55.”
- 23 May 1988:** Ownership was transferred from Robert M. and Jean H. Lynch to Robert M. and Jean Lynch as joint tenants (grant; Document ID 88-040676). The transfer included all of Assessor’s Parcel 55.
- 11 August 1999:** Ownership was transferred from Robert M. and Jean H. Lynch to Robert M. and Jean Lynch as trustees of trust dated 29 August 1990 (quitclaim deed; Document ID 1999-0101956). The transfer included all of Assessor’s Parcel 55.
- 5 April 2004:** Ownership was transferred from Robert M. Lynch, deceased, to Jean H. Lynch, trustee (affidavit of death of trustee; Document ID 2000-047412). The transfer included all of Assessor’s Parcel 55.
- 5 April 2004:** Ownership was transferred from Jean H. Lynch, trustee of 1990 trust, to William E. and Dorothy Lynch, trustees of 1991 trust (quitclaim deed; Document ID 2004-047413). The transfer included one percent of the interest of Jean H. Lynch.
- 5 April 2004:** Ownership was transferred from Jean H. Lynch, trustee of 1990 trust, to James R. and Sharon Lynch, trustees of 1991 trust (quitclaim deed; Document ID 2004-047414). The transfer included one percent of the interest of Jean H. Lynch.
- 5 April 2004:** Ownership was transferred from all parties to the Lynch Real Estate Limited Partnership, a Nevada partnership (quitclaim deed; Document ID 2004-047415). The transfer included all interest in Assessor’s Parcel 55.
- Ca. 2008:** After being occupied exclusively by the *Sonoma Index-Tribune* for nearly 50 years, the first floor commercial space was rented to other businesses.²⁶
- 2012 (Present):** 117 West Napa Street continues to be occupied by the *Sonoma Index-Tribune*. Controlling interest in the newspaper was sold to Sonoma Media Partners, LLC. The first floor commercial space is currently occupied by Sisters Consignment Couture.

²⁶ Ibid.

THE SONOMA INDEX-TRIBUNE: A FAMILY BUSINESS

The *Sonoma Index-Tribune* has been owned and operated by four generations of the same family for more than 120 years. In 1879, the *Sonoma Index* was established by Benjamin Frank. In 1884, Harry Granice purchased the newspaper, which by that time it had been renamed the *Sonoma Tribune*, and acted as editor for more than 30 years. During his ownership, the paper was again renamed the *Sonoma Index-Tribune*.²⁷ Two of his daughters, Celeste and Ramona, operated the business following Harry Granice's death in 1915. Soon after, Celeste and her husband, Walter L. Murphy, purchased the newspaper, and the couple co-owned and operated the business until they jointly retired in 1949. That year, Robert Lynch, Celeste Murphy's nephew who had worked at the *Sonoma Index-Tribune* since 1946, became the new editor and publisher of the paper. He held that position for more than 50 years, and under his leadership the business achieved great success. The *Sonoma Index-Tribune* became an award-winning publication, its length increased to upwards of 40 pages, and its frequency increased to two weekly editions in 1985. Robert Lynch's three sons—Bill, Jim, and John—were all employed at the newspaper during the late 1960s or 1970s. When Robert Lynch passed away in 2003, Bill and Jim Lynch became fourth-generation co-publishers of the *Sonoma Index-Tribune*; Bill Lynch acted as editor-in-chief and Jim Lynch acted as chief financial officer.²⁸ In 2012, David Bolling became the editor and publisher and Bill Hooper became the chief operating officer. Bill Lynch continues to work for the *Sonoma Index-Tribune* as the business news reporter and fishing editor.²⁹

JOHN S. MOLL, CONTRACTOR

John Sigurd Moll (b. 1924) is a well-known local builder who has been involved in countless projects in and around Sonoma. He designed the 1958 remodel of the *Sonoma Index-Tribune* at 117 West Napa Street for newspaper owner and editor Robert Lynch. Moll's father, who was a native of Norway and had the same name, worked as a carpenter and building contractor throughout northern California. John Moll's own son, Steven Moll, is a third-generation contractor based in Sonoma. On his website, Steven Moll describes his family business as “a company with long ties to Sonoma County and with lasting relationships with many businesses working in the construction industry.”³⁰ John Moll continues to live in Sonoma County.³¹

²⁷ Emily Charrier-Botts, “Happy Birthday to Us” (19 April 2012), *Sonoma Index-Tribune*, web site accessed 7 June 2012 from: <http://www.sonomanews.com/News-2012/Happy-birthday-to-us/>.

²⁸ Gerald Hill, “Sonoma Index-Tribune—from Lynch Mob to Lynch Family” (3 November 2010), *Hill on History*, web site accessed 7 June 2012 from: <http://hillonhistory.com/test-columns>.

²⁹ “Contact Us,” *Sonoma Index-Tribune*, web site accessed 7 June 2012 from: <http://www.sonomanews.com/Contact-Us/>.

³⁰ Steven Moll, *John Moll: General Contractor* (2012), web site accessed 7 June 2012 from: <http://johnmoll-gencontr.com/home>.

³¹ Page & Turnbull, telephone interview with Diane Moll Smith, Director of the Sonoma Valley Historical Society, 6 June 2012.

VI. CONTEXT & RELATIONSHIP

117 West Napa Street is located in downtown Sonoma near the southwest corner of the central plaza, which boasts some of the oldest buildings in the city. The neighborhood surrounding 117 West Napa Street is exclusively commercial. Extant buildings in the vicinity date from a variety of eras, although most were constructed during the first half of the twentieth century. Across from the subject property on the north side of West Napa Street are three commercial buildings: 147 First Street West (constructed in 1910), 118 West Napa Street (constructed in 1923), and 136 West Napa Street (constructed in 1940). Farther west are three residential buildings, one of which was constructed circa 1925. Originally built as dwellings, they are currently occupied by a radio station and a newspaper. Several buildings lining the west side of the central plaza date from the 1900s and 1910s (**Figure 24**).³²



Figure 24. Looking east from the intersection of Broadway and West Napa Street, 1895. The Union Hotel and Hall are the two buildings on the right. Source: Sonoma County Library.

According to Sanborn Fire Insurance Company maps, the block containing the subject property appears to have been one of the last downtown blocks to be developed. Much of the block appears to have been vacant as late as 1941, the year of the last digitized Sanborn Fire Insurance Company map. Alterations and widespread replacement of buildings have occurred since that time. When Second Street West was continued south of West Napa Street sometime after 1941, it created additional street frontage on the block and development continued. Today, the buildings in the neighborhood feature various footprints and massing, and range from approximately one to three stories in height. At two stories, 117 West Napa Street is congruous with many of the surrounding buildings which range from approximately one to three stories in height. Like the subject building, several nearby commercial buildings are designed in the Monterey Revival style, including a few that face the central plaza (**Figures 25 and 26**).

117 West Napa Street is located in proximity of the Sonoma Plaza National Historic Landmark, which was dedicated in 1961. The plaza and its environs make up the Sonoma Plaza National Historic District which includes all of the buildings fronting the central plaza and extends along Broadway, East Spain Street, and East Napa Street.³³ 117 West Napa Street is located on the historic California State Route 12 which stretches eastward from Sebastopol in Sonoma County to San

³² Construction dates based on information provided by the City of Sonoma Geographic Information System.

³³ Sonoma Plaza was listed in the National Register in 1974 as item No. 75000489 NHLS. The Sonoma Plaza Boundary Extension was listed in the National Register in 1992 as item No. 92000293.

Andreas in Calaveras County. The segment of the route that runs through Sonoma Valley and along West Napa Street is known as “The Valley of the Moon Scenic Route.”³⁴



Figure 25. Looking west on West Napa Street. The subject property is in the center.
Source: Page & Turnbull, 2012.



Figure 26. North side of West Napa Street, looking east.
Source: Page & Turnbull, 2012.

³⁴ “Routes 9 through 16,” *California Highways*, web site accessed 9 August 2011 from: <http://cahighways.org/009-016.html#012>.

VII. EVALUATION

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria:

- *Criterion 1 (Events)*: Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons)*: Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture)*: Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential)*: Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

Criterion 1 (Event)

117 West Napa Street appears to be individually eligible for listing in the California Register under Criterion 1 (Event) for its association with the local newspaper, the *Sonoma Index-Tribune*. The city's historic downtown, encompassed by the Sonoma Plaza National Historic District, contains many commercial, residential, and religious buildings dating from the city's formative period (1830s until approximately 1900), which concluded well before the offices of the newspaper were relocated to the subject property in the late 1920s. Rather, 117 West Napa Street is associated with early and mid-twentieth-century commercial development in downtown Sonoma. Although the *Sonoma Index-Tribune* previously had its offices in various other locations including another building in downtown Sonoma, the newspaper has continuously operated at 117 West Napa Street—the only extant property associated with newspaper—for more than 80 years.³⁵ The period of significance associated with this criterion ranges from circa 1928 to 1962. This range begins with the construction of the original *Sonoma Index-Tribune* offices at the subject property. Since the newspaper continues to operate at the subject property to the present day, the period of significance extends to the 50-year age criteria consideration. The *Sonoma Index-Tribune* is a local institution, and its continued existence and operation at the subject property is sufficiently significant in Sonoma's commercial history for the building to qualify under this criterion.

³⁵ Hill.

Criterion 2 (Person)

117 West Napa Street appears eligible for listing in the California Register under Criterion 2 (Person) for its association with Robert Lynch (1920-2003). Lynch was the fourth-generation owner and publisher of the *Sonoma Index-Tribune*, and he made his greatest contributions to the City of Sonoma during his productive 54-year tenure. Aside from 117 West Napa Street, there are no other extant buildings associated with Robert Lynch's productive life.³⁶ The period of significance associated with this criterion ranges from 1949 (the beginning of Lynch's ownership) until 2003 (the end of his ownership and active participation in operations). During this period, Lynch transformed the business by increasing the number of staff nearly tenfold, which in turn led to increased length, production, and readership of the newspaper. The *Sonoma Index-Tribune* and its staff garnered numerous prizes in journalism during his tenure, including "overall best weekly in California, display advertising, editorial pages, photography, page design, news and feature stories."³⁷ Lynch was active in the field of publishing, serving as president of the California Newspaper Publishers Association and the California Press Association, the latter of which named him California Newspaper Executive of the Year in 1989. Six years before his death, Lynch was inducted into the Sonoma County Hall of Fame.³⁸

Lynch also enlarged the newspaper offices in several phases, beginning with the 1958 remodel that resulted in the building one sees today at 117 West Napa Street. Although several other buildings were constructed on the subject property during the period of significance, they are not yet 50 years old and do not appear to be exceptionally significant under any criteria. Aside from 117 West Napa Street, there are no other extant buildings associated with Robert Lynch's productive life.

In conclusion, research indicates that Robert Lynch figured prominently in the City of Sonoma's history, and that his family business, the *Sonoma Index-Tribune* at 117 West Napa Street, qualifies for listing in the California Register under Criterion 2.

Criterion 3 (Architecture/Design)

117 West Napa Street does not appear eligible for listing in the California Register under Criterion 3 (Architecture/Design) as a building that embodies the distinctive characteristics of a type, period, or method of construction; represents the work of a master; or exhibits high artistic value. The façade of the subject property was designed in 1958 in a commercial Monterey Revival style. Before that, the building has been adapted over time to accommodate a variety of uses (including a blacksmith shop, grocery stores, and a newspaper press), and it has always been a commercial property in Sonoma's expanding downtown. The contractor of the extant building, John S. Moll, was a well-known local builder who was involved in numerous projects in and around Sonoma, and he continues to live in Sonoma County. The subject property is not distinguishable from others by its style or quality. As an example of mid-twentieth-century commercial architecture, it does not express aesthetic ideals or design concepts more fully than other properties of its type. The building lacks architectural distinction, and therefore does not qualify under this criterion.

Criterion 4 (Information Potential)

The analysis of 117 West Napa Street for eligibility under Criterion 4 (Information Potential) is beyond the scope of this report. This Criterion is typically reserved for archeological resources, and therefore it is not evaluated as part of this report.

³⁶ This was confirmed in an e-mail from Bill Lynch, Robert Lynch's son, on 25 June 2012.

³⁷ Hill.

³⁸ Michael Cabanatuan, "Robert Lynch, Owner of Sonoma Index-Tribune," *San Francisco Chronicle*, 25 September 2003, A-23.

INTEGRITY

In order to qualify as a resource for the purposes of CEQA, a property must possess significance and have historic integrity. Seven variables or aspects define integrity: location, design, setting, materials, workmanship, feeling, and association. According to the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*, these seven characteristics are defined as follows:

Location is the place where the historic property was constructed.

Design is the combination of elements that create the form, plans, space, structure and style of the property.

Setting addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building/s.

Materials refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history.

Feeling is the property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

117 West Napa Street retains integrity of location, as it has not moved from its site. It also retains integrity of feeling because the neighborhood continues to be an extension of Sonoma's historic downtown and commercial core. The subject property does not retain integrity of setting because multiple auxiliary buildings have been constructed at the rear of the property since the 1970s, and several nearby buildings have either been moved (e.g. the General Joseph Hooker House, formerly located on the subject property and relocated to 414 First Street East) or replaced by newer construction or surface parking lots. Since being enlarged and redesigned in 1958, 117 West Napa Street has undergone few known exterior alterations. These alterations appear to be limited to the replacement of some storefront windows and roofing materials, and the building therefore retains integrity of materials to the period of significance. Although the 1958 design included few examples of tooling, carving, painting, graining, turning, or joinery, those details remain in place, and the building therefore retains integrity of workmanship. Likewise, the building retains integrity of design because the footprint, massing, style, and structure as they relate to the 1958 design have been minimally altered. The property retains integrity of association because it continues to be occupied by the *Sonoma Index-Tribune* offices, which have been located on the site for more than 80 years. Overall, the subject property retains a high degree of integrity.

Though the interior has undergone several rounds of alterations, non-public building interiors are generally not factored into evaluations of historic significance because it is assumed that alterations will be made over time to accommodate for changes in taste, lifestyle, and technology. Likewise, the condition of building materials, such as water damage or wood rot, does not factor into the evaluation of historic significance. The interior alterations that have been documented in building permits were therefore not considered in the integrity evaluation for 117 West Napa Street.

CHARACTER-DEFINING FEATURES

For a property to be eligible for national or state designation under one or more of the significance criteria, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. To be eligible, a property must clearly retain enough of those characteristics, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials. The character-defining features of 117 West Napa Street include:

- Continuous storefront on the first story of the primary façade, including the two original wood doors and the original wood-frame plate glass windows;
- Monterey Revival-style details, including the exposed wood structural elements and the second story balcony with wood railing;
- Slumpstone brick wall and planter on the primary façade;
- Metal and wood wall-mounted projecting letter sign that reads “Sonoma Index-Tribune” on the primary façade;
- Wood sign on the primary façade that reads “WL & CG MURPHY BUILDING” with the date 1958 above;
- Two-story massing along West Napa Street and one-story massing of rear portions of the building; and
- Reinforced concrete wall located on the west property line that was part of the building that housed the newspaper offices and predated the 1958 redesign.

The character-defining features of 117 West Napa Street do not include:

- Mural on the west façade;
- Commemorative plaques installed in 2003 and 2005; and
- Storefront windows that have been altered or replaced.

VIII. CONCLUSION

117 West Napa Street was originally constructed as a commercial property in or around 1928 by an unknown builder, and it was enlarged and redesigned in 1958 in a commercial Monterey Revival style. The builder was John S. Moll, a local contractor best known for his residential projects in and around Sonoma. The offices of the *Sonoma Index-Tribune* have been located on the property for more than 80 years, and 117 West Napa Street therefore appears to be individually eligible for listing in the California Register under Criterion 1 (Event) for its association with the long-running publication. The period of significance associated with this criterion is circa 1928 to 1962. The building also appears to be eligible under Criterion 2 (Person) for its association with Robert Lynch, the third-generation editor of the *Sonoma Index-Tribune* who owned and ran the business from 1949 until 2003. Additionally, 117 West Napa Street retains a high degree of architectural integrity, and it is therefore considered to be an historical resource as defined by the California Environmental Quality Act (CEQA).

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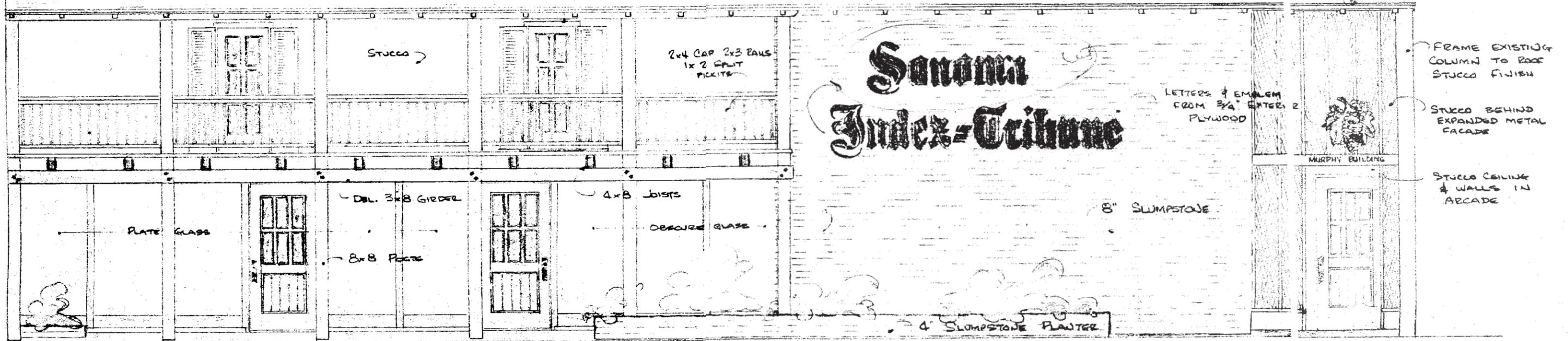
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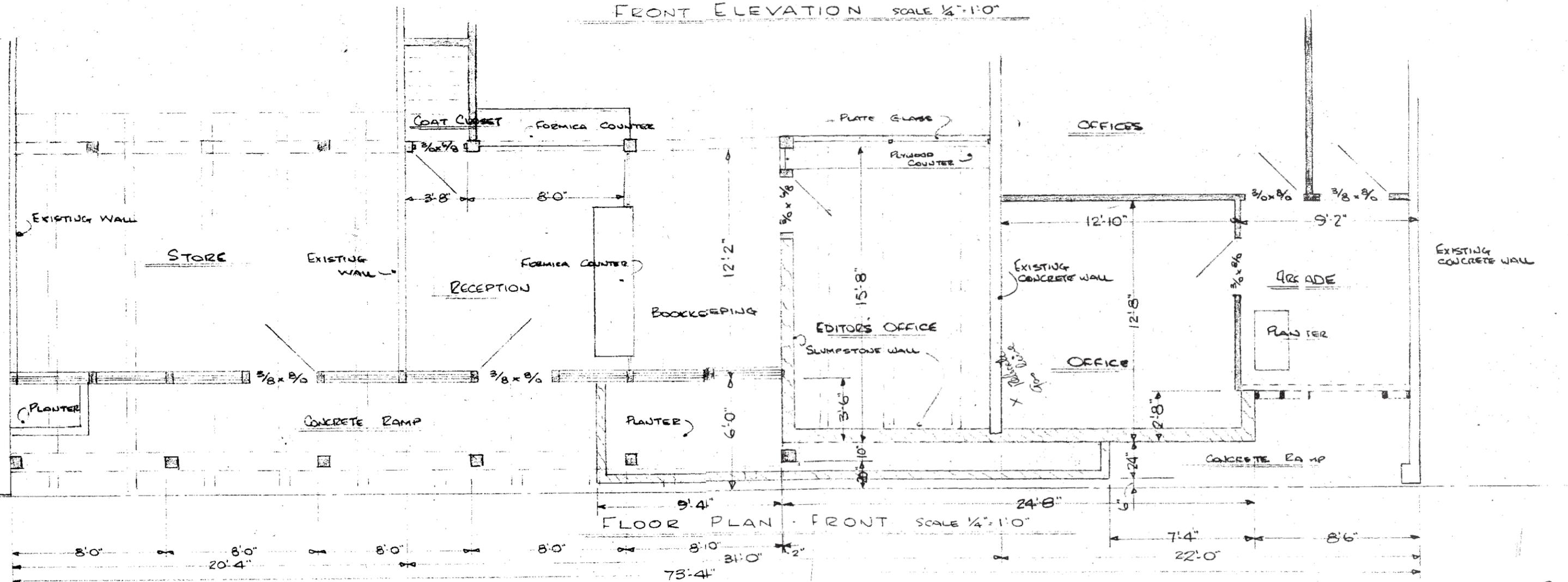
X. APPENDIX

Architectural drawing of 117 West Napa Street prepared by John S. Moll and dated 10 May 1958. This and other drawings of the subject building are in the possession of Bill Lynch.

COMPOSITION SHINGLE ROOF
6/12 ROOF PITCH



FRONT ELEVATION SCALE 1/4" = 1'-0"



FLOOR PLAN - FRONT SCALE 1/4" = 1'-0"

MURPHY BUILDING - WEST NAPA ST. - SONOMA

SHEET NO. 1 of 8

JOHN S. MOLL 10 MAY 1958

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M E M O

To: Planning Commission
From: Planning Director Goodison
Re: Update on Sanitation District issues

Within Sonoma Valley, the sanitation services are provided by the Sonoma Valley County Sanitation District (District), which is staffed by the Sonoma County Water Agency. The District's service area extends from the unincorporated community of Glen Ellen in the north to Schellville in the south. The wastewater collection system consists of approximately 188 miles of pipeline and two lift stations. The collection system conveys wastewater to the Sonoma Valley County Sanitation District's treatment facility, located in the southern portion of the Sonoma Valley on Eighth Street East. The treatment facility currently provides tertiary level treatment of wastewater. The District serves approximately 17,027 equivalent single-family dwelling units with an average dry weather flow of approximately 2.7 million gallons per day (mgd).

The District operates under a permit system established through the federal Clean Water Act and implemented in Bay Area by the San Francisco Bay Regional Water Quality Control Board (RWQCB). The RWQCB issues and enforces National Pollutant Discharge Elimination System (NPDES) permits for all publicly owned sanitary sewer collection systems within its area of jurisdiction with more than one mile of sewer pipe. NPDES permits allow the RWQCB to regulate where and how the waste is disposed, including the discharge volume and effluent limits of the waste and the monitoring and reporting responsibilities of the discharger. The RWQCB is also charged with conducting inspections of permitted discharges and monitoring permit compliance. NPDES Permits are issued and renewed on a five-year cycle. The NPDES for the District was renewed in 2014.

While the estimated maximum capacity of the treatment plant is 20 MGD, the NPDES permit limits the permitted average dry weather flow (ADWF) of the treatment plant to 3.0 million gallons per day (MGD). This NPDES permit does not directly cover wet weather flows, which are difficult to estimate due to storm water infiltration. During the wet weather months the plant discharges treated water into Schell Slough (no discharge is allowed during the dry weather period, defined as May 1st through October 31st). In addition, the plant has several equalization basins that can store excess wastewater during wet weather flows.

In recent meetings of the Planning Commission and City Council, concerns have been raised regarding the adequacy of the sewer collection system. Staff has reviewed these concerns with the staff of the District and of the RWQCB. The issues raised and the agency responses to them may be summarized as follows:

1. *The sewers are overflowing right now (March 10, 2016).*

The collection system does have problems, as discussed below. However, no overflows were reported on March 10, 2016. To date during the 2015/2016 wet season (beginning November 1st), there has been only a single capacity-related overflow (on January 19, 2016), which was limited to 100 gallons and which occurred north of city limits.

2. *The sewer collection is inadequate. This is demonstrated by the Sanitation District's poor record of Sanitary Sewer Overflows (SSOs) since 2007 and by the Cease and Desist order imposed on the District two years ago.*

The collection system in Sonoma Valley includes components that are ageing and in need of upgrade, which has led to a poor record of SSOs. Since 2010, the District has been fined approximately 1 million dollars by the RWQCB for SSOs. That said, the District has worked to address this issue. Since 1994, the District has completed six major capital improvement projects to repair and/or upgrade approximately 9.7 miles of its trunk mains at a cost of 14.9 million dollars. Broadly speaking, the trunk main upgrade project started on the south, beginning at the Treatment Plant, and has worked its way northward. As would be expected, the capacity problems currently experienced during storm events are focused in the upper portion of the collection system, usually north of city limits. The north/south geographic distribution of storm-related SSOs since 2007 is summarized in the table below.

Capacity-related SSO Incidents, 2007-2016										
Year	North/South	Capacity-related SSO Incidents and Gallons Released								Total Gal.
2007/08	City limits and south	4,800	18,630	46,800	40,500	42,000				152,730
	North of city limits	276,000	82,800	13,200						372,000
2008/09	City limits and south									0
	North of city limits	16								16
2009/10	City limits and south	1,220	150							1,370
	North of city limits	29,250	15,600	6,930						51,780
2010/11	City limits and south	2,250	1,000	3,150						6,400
	North of city limits	5,560	2,400	525	2,248	1,800	4,575	500	17,875	35,483
2011/12	City limits and south									0
	North of city limits	30								30
2012/13	City limits and south									0
	North of city limits	2,275	9,000	88	12,750	1,650	9,262			35,025
2013/14	City limits and south									0
	North of city limits	3,000	56,250	39,400	13,200	4,400				116,250
2014/15	City limits and south	3,375	12,825	3,570						19,770
	North of city limits	600	65,055	2,750	22,375					90,780
2015/16	City limits and south									0
	North of city limits	100								100

3. *The Sanitation District keeps promising to fix the collection system, but nothing has changed.*

As noted above, since 1994, the District has repaired and upgraded approximately 9.7 miles of its trunk mains at a cost of 14.9 million dollars. Since 2005, the District has spot-repaired approximately 197 pipe segments. In addition, the design work associated with completing the trunk line upgrade is underway.

4. *These overflows occur in the dry season, which means that they are not necessarily related to storm events. This is a year-around problem.*

According to the RWQCB, the SSOs are primarily the result of capacity deficiencies with respect to storm events that would be addressed by improvements to the trunk line and the replacement of ageing laterals. This assessment is borne out by the SSO reporting as recorded by the Water Resources Control Board. For example, between November 1, 2014 and October 31, 2015, seven capacity-related SSOs occurred, all in December, all rain-fall related. Six of these took place on the same day, in different locations. The three other incidents recorded during that period resulted from root intrusion (one incident) and blockages caused by grease deposition (two incidents). Similarly, between November 1, 2013 and October 31, 2014, out of a total of 8 incidents, six were storm-related and occurred on the same day. The other two were minor incidents caused by root intrusion.

5. *The Cease and Desist order gives the District 20 years to fix the collection system, which is too long.*

To adequately address recurring SSO events, upgrades must be performed on approximately 2.9 miles of sewer mains, at an estimated cost of 6.15 million dollars. The RWQCB has agreed that this work may be implemented in phases, with final completion by 2024. However, each phase will reduce SSOs.

6. *There should be a moratorium on new connections to the system until the collection system is fixed.*

According to the RWQCB, a moratorium on new connections is not warranted. As stated in the Response to Comments attached to the attached RWQCB staff report addressing the Cease and Desist order:

Completion of the capacity-deficient trunk mains as required by the tentative CDO will eliminate future wet weather capacity-related SSOs. A moratorium on new sewer connections is not warranted at this time because of the marginal impact it would have on wet weather sewage flows. The District's SSO problem occurs as a result of excess wet weather infiltration and inflow through leaky sewer pipes. The solution is to fix the leaky pipes and/or increase the size of pipes so that larger pipes can carry more peak wet weather flow. Sewage flows from new connections, if any, would add only marginally to the base sewage flows and not to peak wet weather flows that are many times higher than base flows. Peak wet weather flows come from old defective pipes, not new pipes.

While the RWQCB explicitly reserves the right to impose a connection moratorium if the District fails to comply with the terms of the Order, this would be a punitive measure that would not address the deficiencies that actually cause the SSOs.

In summary, the SVCSD collection system has deficiencies resulting in recurring SSO's related to storm capacity, significant enough that the RWQCB has imposed substantial fines on the District and served it with a Cease and Desist Order. These deficiencies are primarily associated with trunk lines located north of city limits. The District is implementing capital projects to upgrade the affected elements of the collection system under a time-table approved by the RWQCB. The RWQCB has considered the question of whether a moratorium on new connections should be imposed and concluded that this action is not warranted since the problems experienced by the collection system are not cause by new connections.

Recommendation

Receive report.

Attachments:

1. RWQCB Board Staff Report on the Adoption of a Cease and Desist Order, dated June 10, 2015.

cc: Wendy Gjestland, Engineer IV, SCWA
Kevin Booker, Principal Engineer, SCWA
Anna Gomez

STATE OF CALIFORNIA
REGIONAL WATER QUALITY CONTROL BOARD
SAN FRANCISCO BAY REGION

EXECUTIVE OFFICER SUMMARY REPORT
MEETING DATE: June 10, 2015

ITEM: 7

SUBJECT: **Sonoma Valley County Sanitation District, Sanitary Sewer Collection System, Sonoma County** – Adoption of Cease and Desist Order

CHRONOLOGY: June 2015 – Imposed \$732,300 penalty for 46 sanitary sewer overflows
May 2014 – Reissued NPDES Permit
July 2010 – Imposed \$348,400 penalty for 37 sanitary sewer overflows

DISCUSSION: Since 2010, the Board has imposed over \$1,000,000 in administrative civil liabilities against the District for more than 80 unauthorized discharges from its sanitary sewer collection system. The Revised Tentative Cease and Desist Order (CDO) (Appendix A) would require the District to undertake specific tasks to ensure adequate collection system capacity and financing. Specifically, these tasks include the following:

- Replace and upgrade approximately 3 miles of trunk sewer main by October 31, 2024.
- Update and implement plans for additional capacity-related capital improvement projects necessary to eliminate wet weather sanitary sewer overflows (SSOs) similar to those cited in the CDO.
- Assure adequate financing to complete the work required.
- Consider adoption of a private sewer lateral ordinance to require testing and replacement, if necessary, upon sale or major remodel.

If not addressed, the Board's Prosecution Team contends that future capacity-related SSOs are likely to occur during wet weather.

In March 2015, the Prosecution Team distributed a tentative CDO for public comment. The only comments received were from a resident who requested that the Board impose a moratorium on new sewer connections against the District. As indicated in the Prosecution Team's Response to Comments (Appendix C), the Prosecution Team disagrees that such a moratorium is warranted at this time because of the marginal impact a moratorium would have on reducing wet weather sewage flows. However, in response to the comments, the Prosecution Team has proposed clarifying revisions that are reflected in the Revised Tentative CDO.

The commenter has indicated that she will testify at the hearing. The District is not contesting the Revised Tentative CDO and intends to comply with it as proposed.

**RECOMMEND-
DATION:**

I will have a recommendation at the close of the hearing.

FILE:

CW - 257754 and CW - 631036

APPENDICES:

- A. Revised Tentative CDO
- B. Comments Received
- C. Prosecution Team Response to Comments

Appendix A:
Revised Tentative CDO

**CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
SAN FRANCISCO BAY REGION**

REVISED TENTATIVE CEASE AND DESIST ORDER No. R2-2015-XXXX
REQUIRING THE

SONOMA VALLEY COUNTY SANITATION DISTRICT
SANITARY SEWER COLLECTION SYSTEM
IN SONOMA COUNTY

TO

CEASE AND DESIST DISCHARGING WASTE
IN VIOLATION OF

REGIONAL WATER BOARD ORDER Nos. R2-2008-0090 AND R2-2014-0020,
STATE WATER BOARD ORDER 2006-0003-DWQ,
STATE WATER BOARD ORDER WQ 2013-0058-EXEC,
CLEAN WATER ACT SECTION 301, AND
CALIFORNIA WATER CODE SECTION 13376

WHEREAS the California Regional Water Quality Control Board, San Francisco Bay Region (hereinafter Regional Water Board), finds that:

1. The Sonoma Valley County Sanitation District (hereinafter Discharger) owns and operates a treatment plant and collection system. From the period of August 1, 2010, to June 30, 2014, the collection system was subject to Regional Water Board Order No. R2-2008-0090 (2008 NPDES Permit). From the period of July 1, 2014, to the present, the collection system is subject to Regional Water Board Order No. R2-2014-0020 (2014 NPDES Permit). Also, the collection system is subject to State Water Resources Control Board (State Water Board) Order 2006-0003-DWQ, *Statewide General Waste Discharge Requirements for Sanitary Sewer Systems* (Sanitary Sewer Order), and State Water Board Order WQ 2013-0058-EXEC, *Adopting Amended Monitoring and Reporting Requirements for the Sanitary Sewer Order* (MRP).
2. The Discharger signed a notice of intent to comply with the Sanitary Sewer Order, and any subsequent amendments, on August 15, 2006.
3. The Discharger's collection system includes about 132 miles of gravity sewer pipe, 3 miles of force mains, and 2 pump stations. The Discharger's collection system collects and transports approximately 2.7 million gallons per day (MGD) of wastewater to its wastewater treatment plant (plant), and serves an approximate population of 36,000. The plant's design average dry weather flow is 3 MGD.

4. The 2008 and 2014 NPDES Permits, and the Sanitary Sewer Order all prohibit sanitary sewer overflows (SSOs) that result in a discharge of untreated or partially treated wastewater to waters of the United States (Discharge Prohibition III.E of the 2008 and 2014 NPDES Permits, and Prohibition C.1 of the Sanitary Sewer Order).
5. The Discharger violated Discharge Prohibition III.E of the 2008 and 2014 NPDES Permits, and Prohibition C.1 of the Sanitary Sewer Order. Between August 1, 2010, and January 31, 2015, the Discharger reported a total of 52 SSOs from the Discharger's collection system to the State's California Integrated Water Quality System (CIWQS). Of the total, 46 SSOs reached waters of the United States and are violations of Discharge Prohibition III.E of the 2008 and the 2014 NPDES Permits, and Prohibition C.1 of the Sanitary Sewer Order. Additionally, 39 of the 46 SSOs were caused by insufficient capacity of the Discharger's collection system resulting in approximately 425,000 gallons of untreated wastewater that discharged to waters of the United States. A detailed list of the 52 SSOs is contained in Attachment A, incorporated herein by reference.
6. The Sanitary Sewer Order specifies provisions for which enrollees must comply as operators of a collection system:
 - a. Enrollees must properly, manage, operate, and maintain all parts of the collection system (Provision D.8).
 - b. Enrollees must allocate adequate resources for the operation, maintenance, and repair of its collection system, by establishing a proper rate structure, accounting mechanisms, and auditing procedures to ensure adequate revenues and expenditures (Provision D.9).
 - c. Enrollees shall take all feasible steps to eliminate SSOs (Provision D.3).
 - d. Enrollees shall provide adequate capacity to convey base and peak flows (Provision D.10).
 - e. Enrollees shall develop and implement a written Sewer System Management Plan (SSMP) that contains mandatory elements, and comply with a completion time schedule and a schedule for developing the funds needed for a capital improvement plan (Provisions D.11, D.13 and D.15).
 - f. Enrollees shall prepare and implement a system evaluation and capacity assurance plan that will provide hydraulic capacity of key sanitary sewer system elements for dry weather peak flow conditions, as well as the appropriate design storm or wet weather event (Provision D.13(viii)).
7. The Discharger is currently in violation of, or is threatening to violate, Provisions D.8, D.9, and D.10 of the Sanitary Sewer Order by not allocating adequate resources for,

and thus failing to ensure for, the proper operation, maintenance, repair and adequate capacity of its collection system.

- a. Due to failure to provide for adequate funding and unavoidable construction and right-of-way hurdles, the Discharger is four or more years behind its November 2006 Capital Projects Plan (2006 CPP) in implementing priority sewer trunk main and collection system replacement/rehabilitation projects intended to eliminate SSOs related to inadequate capacity and structural deficiencies. The right-of-way hurdles involve procuring right-of-way from commercial, local and State agencies, and numerous private property owners through acquisitions such as agreements and eminent domain and will take nearly two years per project to complete depending upon the complexities of property title.
- b. The 2006 CPP included the Discharger's priority projects from its April 2002 wet weather overflow (WWO) prevention study,¹ which identified and prioritized capital improvement projects by combining upsizing and structural deficiency mitigation.
- c. The 2002 WWO prevention study identified approximately 9 miles of capacity improvement projects and approximately 63 miles of structural improvement projects. The 2002 WWO prevention study proposed a 20-year timeline to complete these projects at an estimated cost of \$45 million (M).
- d. Since 1994, the Discharger has completed approximately 9.7 miles of major capacity and structural improvement projects at a total cost of \$14.9 M. In addition, through routine collection system maintenance the Discharger has spot-repaired 197 pipe segments to address structural pipe deficiencies since 2005.
- e. The 2006 CPP had scheduled a trunk main (approximately 5 miles from Sonoma to Agua Caliente) capacity upsizing project to start construction in fiscal year 2010/2011 with completion by fiscal year 2012/2013 at an approximate cost of \$6.15 million (M). If completed as scheduled, this project would have eliminated or significantly reduced 39 of the 46 capacity-related SSOs referenced in finding 5 above.
- f. The 2006 CPP included a schedule to implement the Discharger's strategic plan to address the needs of its collection system, treatment plant, and reclamation system while also considering financial resources. With its available capital resources, the Discharger chose to obtain limited-availability grant funds to implement recycled water and water quality improvement projects including a recycled water storage reservoir (completed construction in 2012 at an approximate cost of \$2.3 M), the Napa Sonoma Salt Marsh reclaimed water pipeline (completed construction at an approximate cost of \$5.5M), and a

¹ The Discharger completed the April 2002 WWO prevention study in accordance with a 1999 Regional Water Board notice of violation for SSOs. The Discharger based the WWO prevention study on its 2001 Sewer Capacity Study, which was based on its 1994 Collection System Master Plan.

biosolids handling facility upgrade (completed construction in 2014 at an approximate cost of \$4.3 M). Also, the Discharger proceeded with the design and right-of-way work for the trunk main projects at the same time that the recycled water and water improvement projects were constructed.

- g. The Discharger has initiated a Sewer Capacity Study to update its sewer system master plan and collection system modelling, and anticipates completing the sewer system master plan by December 31, 2015. The Sewer Capacity Study may identify projects necessary to reduce or eliminate the SSOs and develop a schedule to implement these projects.
8. The Discharger threatens to violate Discharge Prohibition III.E of the 2014 NPDES Permit, and Prohibition C.1 of the Sanitary Sewer Order, by failing to properly manage, operate, and maintain parts of its collection system.
- a. As stated in finding 7.b, the Discharger's 2002 WWO prevention study identified and prioritized capital improvement projects, which included a total of approximately 9 miles of proposed sewer capacity and structural improvements. Currently, the Discharger has approximately 4.4 miles of capacity and structurally deficient trunk mains left to replace at an approximate cost of \$8.9 M, which are reliant on future not-yet-approved sewer rate increases. The \$8.9 M includes completion of three trunk main replacement projects. Two of the three projects totaling approximately 2.9 miles will adequately address the capacity-related SSOs included in this enforcement action at an approximate cost of \$6.15 M. If these capacity deficient trunk mains are not addressed, it is likely that SSOs would occur during wet weather.
 - b. The Discharger's WWO prevention study identified and prioritized several collection system service areas in need of rehabilitation to correct sewer pipe structural deficiencies. The collective length of the identified collection system pipe is approximately 7 miles at an approximate cost of \$5 M that is reliant on future not-yet-approved sewer rate increases.

LEGAL AUTHORITY

9. Water Code section 13301 authorizes the Regional Water Board to issue a cease and desist order when it finds that a discharge of waste is taking place, or threatening to take place, in violation of requirements or discharge prohibitions prescribed by the Regional or State Water Board.
10. Water Code section 13267 authorizes the Regional Water Board to require any person who discharged, discharges, or is suspected of having discharged or discharging, within its region, to furnish technical or monitoring program reports in connection with any action relating to any requirement authorized by Division 7 of the Water Code.

11. This Order requires the Discharger to submit reports and technical information pursuant to Water Code section 13267. The reports and technical information required herein are necessary to assess system management and implementation of necessary corrective measures to reduce and eliminate SSOs and associated violations and to ensure compliance with this Order. The evidence supporting this requirement is contained in the public file for this matter. The burden, including costs, of the reports required by this Order bear a reasonable relationship to the need for the reports and the benefits obtained from them.
12. This Order is an enforcement action and, as such, is exempt from the provisions of the California Environmental Quality Act (CEQA) (Pub. Res. Code § 21000 *et seq.*) in accordance with Title 14, California Code of Regulations section 15321. Actions associated with implementing this Order may not be exempt from CEQA and may need to be evaluated by the appropriate lead CEQA agency.
13. The Regional Water Board notified the Discharger and interested persons of its intent to consider adoption of this Order, and provided an opportunity to submit written comments and appear at a public hearing. The Regional Water Board, in a public hearing, heard and considered all comments.
14. Any person adversely affected by this action of the Regional Water Board may petition the State Water Board to review the action. The petition must be received by the State Water Board Office of Chief Counsel, P.O. Box 100, Sacramento, CA 95812-0100, within 30 days of the date which the action was taken. Copies of the law and regulations applicable to filing petitions will be provided upon request.

IT IS HEREBY ORDERED, in accordance with Water Code section 13301 and section 13267, that effective immediately, the Discharger shall cease and desist from discharging and threatening to discharge wastes, in violation of the Sanitary Sewer Order and shall take appropriate remedial or preventative actions as follows:

1. Complete Rehabilitation and Capital Improvement Projects

The Discharger shall complete the capital improvement projects identified in the 2006 CPP in accordance with the schedule in Table 1 below.

Table 1 Capital Improvement Projects

Project	Project Description	Project Completion Date
1. Trunk Main Replacement MH 90-3 to MH 135-1 (Project 12 of 2006 CPP)	Replace 7,108 linear feet of 21-inch diameter reinforced concrete trunk main with 27-inch diameter trunk main; replace 31 manholes; and address structural deficiency and capacity restricted sections.	By October 31, 2022 ¹

2. Trunk Main Replacement MH 48-2 to MH 90-3 (Project 13 of 2006 CPP)	Replace 8,245 linear feet of 21-inch and 18-inch diameter reinforced concrete trunk main with appropriately larger sized force main; replace 35 manholes; and address structural deficiency and capacity restricted sections.	By October 31, 2024
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Note: 1) Project 1 consists of three phases. The first phase is currently being designed and is estimated to be under construction in 2017. The design of the second phase is anticipated to begin in 2018. Construction of Phase 2 is anticipated to begin in 2019. Design of Phase 3 is anticipated to begin in 2020. Construction of Phase 3 is anticipated to begin one year after the design is completed in 2021. The District has included one year for unforeseen problems. Overall, the District anticipates completing Project 1 by October 31, 2022.

2. Update Capacity Assessment and Implement Improvement Projects

- a. By August 1, 2016, the Discharger shall complete its Sewer Capacity Study to identify, prioritize, and develop a schedule for completing projects necessary to reduce or eliminate the recurring SSOs cited in this Order through an update of, or as a supplement to, the 2006 CPP.
- b. The Discharger shall implement the projects that are necessary to reduce or eliminate the recurring SSOs cited in this Order per the schedule in Provision 2.a above with consideration of any comments from the Executive Officer.

3. Report on Non-Compliance for Project Completion

If the Discharger fails to achieve compliance with any of the tasks in provisions 1 and 2 above, the Discharger shall submit a report no later than 30 days after the respective deadline that provides (1) sufficient information concerning the specific circumstances leading to noncompliance, (2) evidence for any pertinent affirmative defenses, and (3) a plan and time schedule to remedy the violation as soon as possible.

4. Set Adequate Financing to Ensure Compliance

- a. The Discharger shall submit a Rate/Funding Structure Report by August 1, 2016, describing the sewer rates or other financing it proposes to put in place to implement the tasks identified in this Order and the Sanitary Sewer Order, along with justification of the appropriateness and adequacy of those rates or other financing to ensure adequate funding for implementation of the tasks.
- b. The Discharger shall evaluate its revenues and make necessary adjustments by July 1, 2017, and annually thereafter, to its ensuing fiscal year sewer rates or other financing to ensure adequate funding to complete tasks by the deadlines required in this Order and the Sanitary Sewer Order.
- c. If the Discharger fails to achieve compliance with Provision 4.a or to ensure adequate funding as required by 4.b, then the Discharger shall submit a report no later than on August 1 following the required task that provides (1) sufficient

information concerning the specific circumstances leading to noncompliance, (2) provides evidence for any pertinent affirmative defenses, and (3) provides a plan and time schedule for remedying the violation as soon as possible.

5. Consider Private Sewer Lateral Rehabilitation Program

By July 1, 2016, the Discharger shall prepare and consider adopting an ordinance requiring (1) testing of private sewer laterals upon sale of property, and/or other appropriate triggers, which may include but are not limited to a remodel greater than \$75,000 or any remodel that adds a bathroom; reasonable exceptions such as a newer residence or a newer lateral system may be included in the ordinance; (2) repair or replacement of defective private sewer laterals as appropriate; and (3) evidence from property owner that the defective private sewer lateral has been repaired, rehabilitated, or replaced as condition to close of escrow, or the Discharger's sign-off on a building/plumbing permit.

6. Submit Annual Status Reports

By February 1, 2016, and annually thereafter for the duration of this Order, the Discharger shall submit a report providing the status of its rehabilitation and capital improvement projects required to be implemented in provisions 1 and 2. And starting with the annual status report due February 1, 2018, the Discharger shall include a summary of its efforts to evaluate and make necessary adjustments to sewer rates or other financing required by provision 4.b. For the improvement projects, the annual status reports shall include a table or list of all required projects along with a running tally of the progress of each project and a detailed summary of pipe repairs, replacements, and rehabilitations (locations and lengths) completed for each project during the prior calendar year.

7. Consequences of Non-Compliance. If the Discharger fails to comply with the provisions of this Order the Regional Water Board can take additional enforcement action, which may include the imposition of administrative or judicial civil liability pursuant to Water Code sections 13331, 13350, 13268, and/or 13385, or referral to the Attorney General. The Executive Officer is authorized herein to refer violations of this Order to the Attorney General to take such legal action as he or she may deem appropriate.

8. Reservation of Enforcement Authority and Discretion. Nothing in this Order is intended to or shall be construed to limit or preclude the Regional Water Board from exercising its authority under any statute, regulation, ordinance, or other law, including but not limited to, the authority to bring enforcement against the Discharger in response to violations of its 2008 NPDES Permit.

9. Regulatory Changes. Nothing in this Order shall excuse the Discharger from meeting any more stringent requirements that may be imposed hereafter by changes in applicable and legally binding legislation, regulations, or generally applicable state-wide or regional requirements.

I, Bruce H. Wolfe, Executive Officer, do hereby certify that the foregoing is full, true, and correct copy of an order adopted by the Regional Water Board, on _____.

Bruce H. Wolfe, Executive Officer

Attachment A

Attachment A

Table of Sonoma Valley County Sanitation District reported SSOs in CIWQS from August 1, 2010, through January 31, 2015

Start Date	End Date	Spill Location	Gallons Discharged	Gallons Recovered	Gallons Reached Surface Water	Final Spill Destination	Impacted Surface Water	Cause ¹	Same SSO Location cited in 2011 ACLO ²
12/15/2014	12/15/2014	Meadowbrook Trailer Park	200	0	200	Surface Water	Agua Caliente Creek	Rainfall Exceeded Design, I and I (Separate CS only)	Yes
12/11/2014	12/12/2014	4 th Street W./ Andrieux St.	3570	0	3570	Surface Water	Fryer Creek	Rainfall Exceeded Design, I and I (Separate CS only)	No
12/11/2014	12/12/2014	4 th Street W./ Bettencourt St.	3375	0	3375	Surface Water	Fryer Creek	Rainfall Exceeded Design, I and I (Separate CS only)	No
12/11/2014	12/11/2014	18055 River Rd.	2750	0	2750	Surface Water	Sonoma Creek	Rainfall Exceeded Design, I and I (Separate CS only)	No
12/11/2014	12/12/2014	4 th Street E./ E Spain St.	12825	0	12825	Surface Water	Nathanson Creek	Rainfall Exceeded Design, I and I (Separate CS only)	Yes
12/11/2014	12/11/2014	Vailletti/ Casabella	22375	0	22375	Surface Water	Sonoma Creek	Rainfall Exceeded Design, I and I (Separate CS only)	No
12/11/2014	12/12/2014	Rancho Mobile Homes	65055	0	65055	Surface Water	Sonoma Creek	Rainfall Exceeded Design, I and I (Separate CS only)	Yes
12/11/2014	12/12/2014	18715 Sonoma Hwy.	35910	0	35910	Surface Water	Agua Caliente Creek	Rainfall Exceeded Design, I and I (Separate CS only)	Yes
12/3/2014	12/3/2014	18880 Hwy 12	600	0	600	Surface Water	Agua Caliente Creek to Sonoma Creek	Flow Exceeded Capacity	Yes
10/30/2014	10/30/2014	Bains Ave.	40	20	0	Unpaved Surface	NOT APPLICABLE²	Root Intrusion	No
4/30/2014	4/30/2014	765 Donald St. Sonoma, CA	200	10	0	Unpaved surface	NOT APPLICABLE²	Root Intrusion	No
4/29/2014	4/29/2014	472 5th Street West	1500	500	1000	Separate Storm Drain	Fryer Creek	Grease Deposition (FOG)	No
2/9/2014	2/9/2014	Casabelle & Vailletti, Boyes Hot Springs, CA	1650	0	1650	Surface Water	Sonoma Creek	Flow Exceeded Capacity	No
2/9/2014	2/9/2014	Rancho Vista Mobile Home Park	7420	0	7420	Surface Water	Pequeno Creek to Sonoma Creek	Flow Exceeded Capacity	Yes
2/8/2014	2/9/2014	Rancho Vista Mobile Home Park	39400	0	39400	Surface Water	Pequeno Creek to Sonoma Creek	Flow Exceeded Capacity	Yes
2/8/2014	2/8/2014	E. Spain St. & 4th St. East	3000	0	3000	Surface Water	Nathanson Creek	Flow Exceeded Capacity	Yes
2/8/2014	2/9/2014	Cedar and Vailletti, Boyes Hot Springs, CA	13200	0	13200	Surface Water	Sonoma Creek	Flow Exceeded Capacity	No
2/8/2014	2/9/2014	Casabella & Vailletti Agua Caliente, CA	4400	0	4400	Surface Water	Sonoma Creek	Flow Exceeded Capacity	No
2/8/2014	2/10/2014	18715 Sonoma Highway, Sonoma, CA	56250	0	56250	Surface Water	Agua Caliente Creek	Flow Exceeded Capacity	No
10/20/2013	10/20/2013	440 Baines Avenue	420	0	0	Unpaved surface	NOT APPLICABLE²	Root Intrusion	No
8/28/2013	8/28/2013	Moll Ct.	550	25	525	Separate storm drain; Street/curb and gutter; Surface water	Nathanson Creek	Pipe structural problem/failure	No
1/6/2013	1/6/2013	781 Martin St	200	0	200	Street/curb and gutter; Surface water	Sonoma Creek	Root intrusion	No
12/23/2012	12/23/2012	17324 Sonoma Hwy	18000	0	18000	Surface water	Sonoma Creek	Other – Severe storm causing flooding and I&I	Yes
12/23/2012	12/23/2012	18715 Sonoma Hwy	9000	0	9000	Surface water		Other - Severe storm causing flooding and I&I	No

Attachment A

Start Date	End Date	Spill Location	Gallons Discharged	Gallons Recovered	Gallons Reached Surface Water	Final Spill Destination	Impacted Surface Water	Cause ¹	Same SSO Location cited in 2011 ACLO
12/23/2012	12/23/2012	712 Oman Springs	88	0	88	Surface water	Sonoma Creek	Other – Severe storm causing flooding and I&I	No
12/23/2012	12/23/2012	1520 Burbank Dr.	8550	0	8550	Surface water	Sonoma creek	Other – Severe storm causing flooding and I&I	No
12/23/2012	12/23/2012	18881 Sonoma Hwy Meadowbrook	2275	0	2275	Surface water	Agua Caliente creek	Other – Severe storm causing flooding and I&I	No
12/23/2012	12/23/2012	17450 Vailletti Dr.	1650	0	1650	Surface water	Sonoma Creek	Other – Severe storm causing flooding and I&I	Yes
12/16/2012	12/16/2012	18775 Gilman Dr	123	123	0	Unpaved surface; Overflow contained within berm that was put in place	NOT APPLICABLE²	Other – Contractor hit main when new light pole was installed, Pipe full of gravel,	No
12/13/2012	12/13/2012	18764 Gillman Dr.	80	0	80	Separate storm drain; Street/curb and gutter; Surface water	Verano Creek	Other – Contractor hit main when new light pole was installed, Pipe full of gravel, also signs of grease, rags	No
12/2/2012	12/2/2012	17324 Sonoma Hwy	12750	0	12750	Separate storm drain; Surface water	Sonoma Creek	Other – Due to flooding and I&I, system overwhelmed, exceeded flow capacity	Yes
12/2/2012	12/2/2012	17397 Vailletti	630	0	650	Separate storm drain; Surface water	Sonoma creek	Other – Due to flooding and I&I, system overwhelmed, exceeded flow capacity	No
11/30/2012	11/30/2012	Sonoma Hwy 17324	45075	0	45075	Separate storm drain; Surface water	Sonoma Creek	Other – Due to flooding and I&I, system overwhelmed, exceeded flow capacity	Yes
11/30/2012	11/30/2012	17397 Vailletti	9262	0	9262	Separate storm drain; Surface water	Sonoma Creek	Other – Due to flooding and I&I, system overwhelmed, exceeded flow capacity	No
6/11/2012	6/11/2012	300 Bettencourt Street	5	4	1	Separate storm drain	Fryer Creek	Debris-Rags	No
1/20/2012	1/20/2012	Meadowbrook-18881 Sonoma Hwy, Sonoma	30	0	30	Surface water	Agua Caliente creek	Flow exceeded capacity	No
12/10/2011	12/10/2011	692 Cherry Ave	1200	500	600	Other (specify below)	Winkle creek	Grease deposition (FOG)	No
11/5/2011	11/5/2011	285 Napa Road	900	0	0	Street/curb and gutter; ditch	NOT APPLICABLE²	Grease deposition (FOG)	No
10/28/2011	10/28/2011	18878 Railroad Ave	220	0	220	Separate storm drain; Street/curb and gutter	Verano Creek	Grease deposition (FOG)	No
3/26/2011	3/26/2011	37 Meadowbrook	525	0	525	Street/curb and gutter; Surface water; Unpaved surface	Agua Caliente Creek	Other – Heavy rains causing flooding and I&I, overwhelming system	No
3/26/2011	3/26/2011	712 OMAN SPRINGS Ct	1800	0	1800	Street/curb and gutter; Surface water	Sonoma Creek	Rainfall exceeded design	No
3/24/2011	3/24/2011	712 Oman Springs Ct	805	0	805	Separate storm drain; Street/curb and gutter; Surface water	Sonoma Creek	Other – Heavy rains causing flooding and I&I, overwhelming system	No
3/20/2011	3/20/2011	21774 Splude Rd	2250	0	2250	Surface water; Unpaved surface	Nathanson Creek	Rainfall exceeded design	No
3/20/2011	3/20/2011	712 Oman Spring Ct	4575	0	4575	Separate storm drain; Street/curb and gutter; Surface water	Sonoma Creek	Flow exceeded capacity	No
12/29/2010	12/29/2010	Arkay & Solano Ave	50	0	0	Street/curb and gutter	NOT APPLICABLE²	Other – Unknown	No
12/29/2010	12/29/2010	21694 Splude Rd Easement	1000	0	1000	Surface water; Unpaved surface	Nathanson Creek (potentially)	Rainfall exceeded design	No

Attachment A

Start Date	End Date	Spill Location	Gallons Discharged	Gallons Recovered	Gallons Reached Surface Water	Final Spill Destination	Impacted Surface Water	Cause ¹	Same SSO Location cited in 2011 ACLO
12/29/2010	12/29/2010	598 Bokman	500	0	500	Separate storm drain; Street/curb and gutter; Surface water	Sonoma Creek	Rainfall exceeded design	Yes
12/29/2010	12/29/2010	17324 Sonoma Hwy	17875	0	17875	Separate storm drain; Street/curb and gutter; Surface water	Sonoma Creek	Rainfall exceeded design	Yes
12/29/2010	12/29/2010	18715 Sonoma Hwy	2248	0	2248	Street/curb and gutter; Surface water	Agua Caliente Creek	Rainfall exceeded design	No
12/28/2010	12/29/2010	100 Vailetti Dr.	5560	0	5560	Separate storm drain; Street/curb and gutter; Surface water	Sonoma Creek	Rainfall exceeded design	Yes
12/28/2010	12/29/2010	4th St East/ East Spain St.	3150	0	3150	Separate storm drain; Street/curb and gutter; Surface water	Nathanson Creek	Rainfall exceeded design	Yes
12/20/2010	12/20/2010	Meadowbrook Trailer Park	2400	0	2400	Surface water	Agua Caliente Creek	Other – Surcharged pipe caused backup into private lateral	No

Legend to Table

- 1 There are a total of 52 SSOs. The 39 capacity-related SSOs are those SSOs with a cause attributable to the following: Flow exceeded capacity; Other – Severe storm causing flooding and I&I; Other – Due to flooding and I&I, system overwhelmed; Other – Heavy rains causing flooding, overwhelming system; Rainfall exceeded design. Also, the 11 blockage-related SSOs are shaded in gray.
- 2 The six SSOs that did not discharge to surface water are **in bold print**.
- 3 Administrative Civil Liability Order No. R2-2011-0021

Appendix B:
Comments Received

Chee, Michael@Waterboards

From: [REDACTED]
Sent: Thursday, April 16, 2015 4:56 PM
To: Chee, Michael@Waterboards
Cc: Christian, Vince@Waterboards
Subject: Anna Gomez Objection Letter to Settlement Agreement SVCSD

To Whom it may concern:

The Sonoma Valley County Sanitation District agreement does not include the 10 miles of collection system that need to be repaired or replaced per The Sonoma Valley Budget Plan 2012-2013, The Final Report County Of Sonoma Municipal Review 2004. It does not include the \$45 million dollars of repairs that were identified by the SF Waterboard in 2002 that have still not been repaired.

Sonoma Valley County Sanitation District continues to be in violation of their Discharge Permit and will continue to be until all repairs are made to the collection system. The original report of the deteriorating, leaking pipes were first documented in 1994. Every year the same cut and paste information is mentioned in the SVCSD Budget Plans and nothing is done to repair the collection system.

The investigation by the SF Waterboard is incomplete and this information was not included as part of the violation. It is of public record and is easily obtained online.

Sonoma Valley County Sanitation District Budget Report 2012-2013
LAFCO Nov 2004 (considered current information per Richard Bottarini)
Sonoma County Wast Agency Capital Projects 2017-2018

After reading these reports which blatantly admit to the leaking deteriorating collection system of SVCSD another agreement with stronger hand should be recommended. SVCSD is a repeat offender that will not repair their collection system.

Thank you,
Anna Gomez

Chee, Michael@Waterboards

From: [REDACTED]
Sent: Friday, April 17, 2015 12:57 PM
To: Chee, Michael@Waterboards
Cc: Christian, Vince@Waterboards
Subject: Re: Anna Gomez Objection Letter to Settlement Agreement SVCSO

Mr Chee,

Thank you for returning my email. I would like to clarify your email to me. By saying "The Tentative Cease and Desist Order (CDO), which was emailed to you, addresses the repair and rehabilitation of the District's collection system."

The amount that is mentioned over and over in the reports I included in my email to you is \$45 million dollars to repair the collection system of SVCSO that consists of 10 miles of leaking, undersized and deteriorated pipes. The violations being covered in the CDO are from overflows from Aug 2010 - Jan 2015. The collection system was diagnosed as in need of repair and replaced in 1994 and it has yet to be repaired. This is in violation of SVCSO Discharge Permit. I opposed SVCSO being issued their Discharge Permit last year because of the broken collection system that they refuse to repair. At that time, I was told at the meeting in Oakland that the collection system was to be investigated and a solution would come forth. This is not a solution to the problem. The problem of the 10 miles of leaking pipes has not gone away and was not looked into by the investigator that was assigned to investigate the SVCSO collection system violations. I have waited almost a full year to see an investigation by the Waterboard into the SVCSO collection system that would generate a demand and enforcement of repairs.

Sincerely,

Anna Gomez

In a message dated 4/17/2015 11:44:10 A.M. Pacific Daylight Time, Michael.Chee@waterboards.ca.gov writes:

Ms. Gomez,

Thank you for your interest in our enforcement against the Sonoma Valley County Sanitation District (District). The proposed Settlement Agreement (SA) addresses past violations of the District. However, your comments to the proposed SA concern the District's need to repair and rehabilitate its collection system. The Tentative Cease and Desist Order (CDO), which was emailed to you, addresses the repair and rehabilitation of the District's collection system. The comment deadline for the Tentative CDO is 5 pm on April 20, 2015.

The following is a link for your convenience to our webpage where you may access the Tentative CDO documents: http://www.waterboards.ca.gov/sanfranciscobay/board_decisions/tentative_orders.shtml.

Thank you,

Michael T. Chee, PE

SSO Enforcement and Pretreatment Program

SF Bay RWQCB

1515 Clay Street, Suite 1400

Oakland, CA 94612

mchee@waterboards.ca.gov

510-622-2333

Fax 510-622-2460

From: [REDACTED]
Sent: Thursday, April 16, 2015 4:56 PM
To: Chee, Michael@Waterboards
Cc: Christian, Vince@Waterboards
Subject: Anna Gomez Objection Letter to Settlement Agreement SVCSD

To Whom it may concern:

The Sonoma Valley County Sanitation District agreement does not include the 10 miles of collection system that need to be repaired or replaced per The Sonoma Valley Budget Plan 2012-2013, The Final Report County Of Sonoma Municipal Review 2004. It does not include the \$45 million dollars of repairs that were identified by the SF Waterboard in 2002 that have still not been repaired.

Sonoma Valley County Sanitation District continues to be in violation of their Discharge Permit and will continue to be until all repairs are made to the collection system. The original report of the deteriorating, leaking pipes were first documented in 1994. Every year the same cut and paste information is mentioned in the SVCSD Budget Plans and nothing is done to repair the collection system.

The investigation by the SF Waterboard is incomplete and this information was not included as part of the violation. It is of public record and is easily obtained online.

Sonoma Valley County Sanitation District Budget Report 2012-2013

LAFCO Nov 2004 (considered current information per Richard Bottarini)

Sonoma County Waste Agency Capital Projects 2017-2018

After reading these reports which blatantly admit to the leaking deteriorating collection system of SVCSD another agreement with stronger hand should be recommended. SVCSD is a repeat offender that will not repair their collection system.

Thank you,

Anna Gomez

April 20 2015

To Whom it may concern:

The investigation into the Sonoma Valley County Sanitation District was a result of my complaint. The Settlement is unacceptable because the investigation was not properly carried out and is incomplete.

On May 14, 2014 the Discharge Permit for Sonoma Valley County Sanitation District (SVCSO) was expired and need to be reissued. I opposed the issuing of that Discharge Permit sighting that SVCSO was in violation of the current Discharge Permit and would be in violation upon signing a current Discharge Permit. It states very clearly on the permit that the discharger may not release sewage from their collection system:

" Duty to Comply

1. The Discharger must comply with all of the conditions of this Order. Any noncompliance constitutes a violation of the Clean Water Act (CWA) and the California Water Code and is grounds for enforcement action, for permit termination, revocation and reissuance, or modification; or denial of a permit renewal application. (40 C.F.R. § 122.41(a).)

Definitions:

15. Waste, waste discharge, discharge of waste, and discharge are used interchangeably in the permit. The requirements of the permit apply to the entire volume of water, and the material therein, that is disposed of to surface and ground waters of the State of California.

69B69BA. Discharge Prohibitions

1. Prohibitions in this Order

a. Discharge Prohibition III.A (No discharge other than as described in this Order): This prohibition is based on 40 C.F.R. section 122.21(a) and Water Code section 13260, which require filing an application and Report of Waste Discharge before a discharge can occur. Discharges not described in the application and Report of Waste Discharge, and subsequently in this Order, are prohibited.

c. Discharge Prohibition III.C (No bypass of untreated wastewater): This prohibition is based on 40 C.F.R. section 122.41(m). See Federal Standard Provisions, Attachment D, section G.

e. Discharge Prohibition III.E (No sewer overflows): This prohibition is based on Basin Plan Prohibition 15 (Table 4-1) and the CWA, which prohibits the discharge of wastewater to surface waters except as authorized under an NPDES permit. Publicly owned treatment works must achieve secondary treatment at a minimum and any more stringent limitations necessary to meet water quality standards (33 U.S.C. § 1311[b][1][B and C]).

A sanitary sewer overflow that results in the discharge of raw sewage or wastewater not meeting this Order's effluent limitations to surface waters is therefore prohibited under the CWA and the Basin Plan.

G

1. Neither the treatment nor the discharge of pollutants shall create pollution, contamination, or nuisance as defined by California Water Code Section 13050.
2. Collection, treatment, storage, and disposal systems shall be operated in a manner that precludes public contact with wastewater, except in cases where excluding the public is infeasible, such as private property.

Definitions:

15. Waste, waste discharge, discharge of waste, and discharge are used interchangeably in the permit. The requirements of the permit apply to the entire volume of water, and the material therein, that is disposed of to surface and ground waters of the State of California."

I submitted my complaint and attended the May 14 2014 meeting in Oakland Ca. I stood before the SF Water Board and stated my case sighting all of the numerous dry weather overflows as well as numerous different budget reports from 1994 forward that explained the state of the leaking collection systems. I will state them again below. It was decided to issue the Discharge Permit but to launch an investigation into the violations that I had brought to light.

The investigation done by the SF Water Board does not include any of the violations I mentioned in my comments or that I raised at the meeting when I stood before the board.

SVCS D has been rolling the same "In 1994 (/1997) a study was done of the collection system that showed 10 of the 120 miles of district pipeline needs to be repaired or replaced due to deterioration or insufficient capacity" from 1994 to the current 2018 budget reports. SVCS D is never going to make those repairs unless you as the SF Water Board, who's job it is to protect the waters of the United States as well as the ground water, make them do it.

The settlement in question only looks at a very small window of wet weather overflows (from Aug 2010 - Jan 2015) and a creek rehabilitation. The trunk lines that the SF Water Board is suggesting be voluntarily repaired by the private land owners has nothing to do with the "45 million dollars" needed to repair the system. It has been 21 years of leaking sewage into the ground. You have knowledge that these violations are occurring and it is unacceptable. Your job is to protect water so I brought the situation to your attention of the state of the collection system of SVCS D and the leaks that have been ongoing for the last 21 years. Your investigation was not thorough and not one bit of the information that I brought forth was looked into at all.

Please see quotes from the sighted budgets and reports below:

SONOMA COUNTY WATER AGENCY CAPITAL PROJECTS 2013- 2018

"IN 2002 SVCSO COMPLETED A STUDY TO COMPLY WITH 1999 NOTICE OF VIOLATION THAT IDENTIFIED AREAS IN THE COLLECTION SYSTEM WHERE REPLACEMENT OR REPAIRS ARE NEEDED MOST. THE STUDY IDENTIFIED 45 MILLION DOLLARS OF TRUNK MAIN AND COLLECTION SYSTEM REPAIRS."

SONOMA VALLEY COUNTY SANITATION BUDGET SUMMARY 2012 - 2013

"IN 1994 A STUDY OF THE COLLECTION SYSTEM SHOWED THAT 10 OR THE 120 MILES OF DISTRICT PIPELINE NEEDS TO BE REPAIRED OR REPLACED DUE TO DETERIORATION OR INSUFFICIENT CAPACITY. IN 1999 THE DISTRICT COMPLETED A WET WEATHER STUDY THAT IDENTIFIED AREAS IN THE COLLECTION SYSTEM WHERE REPAIRS AND OR REPLACEMENT PROJECTS ARE MOST NEEDED. IT IS ESTIMATED THAT REQUIRE IN THE ORDER OF 3 MILLION DOLLARS PER YEAR."

SONOMA VALLEY COUNTY SANITATION DIST 2007 - REVISED 2012

"IN 1994 A STUDY OF THE COLLECTION SYSTEM SHOWED THAT 10 OR THE 120 MILES OF DISTRICT PIPELINE NEEDS TO BE REPAIRED OR REPLACED DUE TO DETERIORATION OR INSUFFICIENT CAPACITY. IN 1999 THE DISTRICT COMPLETED A WET WEATHER STUDY THAT IDENTIFIED AREAS IN THE COLLECTION SYSTEM WHERE REPAIRS AND OR REPLACEMENT PROJECTS ARE MOST NEEDED. DISTRICT CAPITAL EXPENDITURES ARE EXPECTED TO TOTAL OVER 20 MILLION OVER THE NEXT 5 YEARS."

COUNTY OF SONOMA MUNICIPAL SERVICE REVIEW 2004

"THE COLLECTION SYSTEM NEEDS OVER 40 MILLION DOLLARS OF WORK IN THE FUTURE. PROJECTS IN THE COUNTY'S CIP PLANNED FOR THE NEXT 5 YEARS INCLUDE THE MAIN SEWER TRUNK REPLACEMENT AND WILL LIKELY TOTAL OVER 5 MILLION DOLLARS."

SONOMA VALLEY COUNTY SANITATION DISTRICT HAS BEEN DEFERRING REPAIRS TO THE COLLECTION SYSTEM SINCE 1999 AND EVERY 5 YEARS THEY SIGN A DISCHARGE PERMIT THAT STATES THAT THE COLLECTION SYSTEM MUST BE MAINTAINED AND REPAIRED AND THAT RELEASING UNTREATED SEWAGE FROM THE COLLECTION SYSTEM IS PROHIBITED.

The investigation into Sonoma Valley County Sanitation District was instigated as a result of my complaint. The investigation was short sided and not complete therefore the settlement is incomplete and does not encompass the full scope of the repairs that need to be completed by SVCSO so that they are in compliance.

Thank you,

Anna Gomez



Appendix C:
Prosecution Team Response to Comments

**CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
SAN FRANCISCO BAY REGION**

PROSECUTION TEAM RESPONSE TO COMMENTS

on a tentative Cease and Desist Order to
Sonoma Valley County Sanitation District

The Regional Water Board Prosecution Team (Prosecution Team) received comments on a tentative cease and desist order (CDO) distributed in March 2015 for public comment from the following:

1. Anna Gomez – e-mail dated April 17, 2015, and letter dated April 20, 2015
2. Anna Gomez – verbal comments provided on May 15, 2015

The Prosecution Team has summarized the comments shown below in *italics* (paraphrased for brevity) and followed each comment with the Prosecution Team’s response. For the full content and context of the comments, refer to the email and comment letter.

All revisions to the tentative CDO are shown with underline text for additions.

1. Anna Gomez – e-mail dated April 17, 2015, and letter dated April 20, 2015

Anna Gomez Comment 1.a

Ms. Gomez states that the Settlement is unacceptable because the investigation was not properly carried out and is incomplete. Ms. Gomez expected to see an investigation that generated a demand and enforcement of repairs.

Response to Anna Gomez Comment 1.a

We disagree. The proposed settlement for \$732,300 is appropriate and consistent with State Water Board Enforcement Policy. The District’s delay of previously identified necessary capital projects was a factor in increasing the amount of the proposed penalty. As part of the penalty investigation, Prosecution staff investigated the circumstances of the violations and corrective actions necessary to prevent future violations. We published for public comment, within days of the proposed settlement, a tentative cease and desist order that would require the District to complete the necessary repairs and corrective actions.

Anna Gomez Comment 1.b

Ms. Gomez states that the District collection system was “diagnosed as in need of repair... in 1994 and it has yet to be repaired.” Ms. Gomez states that since 1994 the District has issued numerous budget reports that indicated its collection system needed repair and rehabilitation due to deterioration or insufficient capacity. She comments that every year the District budget reports repeat a 1994 District collection system study finding that 10 of its 120 miles of sewer pipe need repair. She also notes that a 2002 District study identified \$45 million of trunk main and collection system repairs, which have yet to be completed. Further, Ms. Gomez states that the District will never complete the identified repairs unless the Regional Water Board requires them to do so.

Response to Anna Gomez Comment 1.b

We agree in part, which is the reason the Prosecution Team is proposing that the Board impose a cease and desist order to require the District to complete necessary repairs to eliminate future SSOs caused by insufficient wet weather capacity. That said, the District has completed some of the repairs identified in 1994 and in its 2002 wet weather overflow (WWO) prevention study. As summarized in Table A below, the District has repaired approximately 9.7 miles of collection system (at a reported cost of approximately \$14.9 million) through the completion of six major capital improvement projects (CIPs). These CIPs addressed both insufficient capacity (5.9 miles) and structurally-deficient (3.8 miles) trunk mains.

The 1994 study referenced by Ms. Gomez provided the basis for the District's 1994 Collection System Master Plan¹. This Master Plan was the basis for a 2001 Sewer Capacity Study, which in turn formed the basis for the 2002 WWO prevention study. Each iteration of study identified additional and/or slightly different priorities for pipe segments that needed capacity or structural upgrades. This is because both the pipe size and its structural integrity (and the integrity of upstream pipe segments) factor into how capacity upgrades are prioritized.

Sorting through each study, there remains 2.9 miles of pipe that were identified in the 2002 WWO prevention study that when upgraded will eliminate the recurring wet weather capacity-related sanitary sewer overflows (SSOs). It is the elimination of these SSOs that is the primary focus of the tentative CDO. Provision 1 would require completion, by October 31, 2024, of these 2.9 miles of needed capacity-related repairs. (The District estimated this cost to be about \$6.15 million.)

Additionally, the tentative CDO Provision 2 would require the District to identify and implement any additional projects that are necessary to eliminate capacity-related SSOs in recurring areas. This will be through update and implementation of the District's 2006 Capital Projects Plan. This 2006 Capital Projects Plan includes the \$45 million in priority projects referenced by Ms. Gomez that were identified by the 2002 WWO prevention study. However, not all projects that were identified in the 2006 Capital Projects Plan are related to capacity problems. Many address structural problems and general collection system upkeep.

To more fully describe the current status and circumstances of the District's collection system repairs, we added to the tentative CDO new Findings 7.c and d, updated footnote 1 of 7.b, and revised 8.a as follows:

7. The Discharger is currently in violation of, or is threatening to violate, Provisions D.8, D.9, and D.10 of the Sanitary Sewer Order by not allocating adequate resources for, and thus failing to ensure for, the proper operation, maintenance, repair and adequate capacity of its collection system.
- ...
- b. The 2006 CPP included the Discharger's priority projects from its April 2002 wet weather overflow (WWO) prevention study¹, which identified and prioritized capital improvement projects by combining upsizing and structural deficiency mitigation.

¹ Our investigation determined that the District in 1994 had identified more than 10 out of its 120 miles needing repair. The 1994 Collection System Master Plan identified 11.3 miles of sewer pipe as capacity deficient.

- c. The 2002 WWO prevention study had identified approximately 9 miles of capacity improvement projects and approximately 63 miles of structural improvement projects. The 2002 WWO prevention study proposed a 20-year timeline to complete these projects with an estimated cost of \$45 million (M).
- d. Since 1994, the Discharger has completed approximately 9.7 miles of major capacity and structural improvement projects at a total cost of \$14.9 M. In addition, through routine collection system maintenance the Discharger has spot-repaired 197 pipe segments to address structural pipe deficiencies since 2005.

...

¹ The Discharger completed the April 2002 WWO prevention study in accordance with a 1999 Regional Water Board notice of violation for SSOs. The Discharger based the WWO prevention study on its 2001 Sewer Capacity Study, which was based on its 1994 Collection System Master Plan.

...

8. The Discharger threatens to violate Discharge Prohibition III.E of the 2014 NPDES Permit, and Prohibition C.1 of the Sanitary Sewer Order, by failing to properly manage, operate, and maintain parts of its collection system.
- a. As stated in finding 7.b, the Discharger's 2002 WWO prevention study identified and prioritized capital improvement projects, which included a total of approximately 9 miles of proposed sewer capacity and structural improvements. Currently, the Discharger has approximately 4.4 miles of capacity and structurally deficient trunk mains left to replace at an approximate cost of \$8.9 M, which are reliant on future not-yet-approved sewer rate increases. The \$8.9 M includes completion of three trunk main replacement projects. Two of the three projects totaling approximately 2.9 miles will adequately address the capacity-related SSOs included in this enforcement action at an approximate cost of \$6.15 M. If these capacity deficient trunk mains are not addressed, it is likely that SSOs would occur during wet weather.

TABLE A: SUMMARY OF MAJOR COLLECTION SYSTEM CAPITAL IMPROVEMENT PROJECT REPAIRS				
Year	Project	Pipe Length in linear feet (miles)	Project Cost (millions)	Type of Repair / Description
1998	Riverside Dr	7,500 (1.4)	\$1.5	Capacity upgrade: Installed PVC pipe ranging in size from 18-inch diameter to 6-inch diameter and 81 four-inch diameter and 2 six-inch diameter PCV lateral service connections and cleanouts; removed or abandoned existing manholes and installed 33 new manholes.
1998	Eight St East	3,800 (0.7) capacity 335 (0.1) structural	\$0.65	Capacity and structural upgrades: Installed 3,800 linear feet (LF) of 12-inch sewer main, 285 LF of 8-inch sewer main and 50 LF of 10-inch sewer main and related facilities including 13 manholes and five bore and jack installations of 240 LF of

				16-inch and 60 LF of 18-inch diameter steel casings under existing Railroad right-of-way to carry the 8- and 10-inch sewers.
2000	France St and Solano Ave	17,870 (3.4)	\$0.95	Structural upgrade: Rehabilitated existing sewage collection system by lining the sewer main, cleanouts, and leaking precast manholes, and other associated work.
2005	Fifth St West	9,150 (1.7)	\$4.1	Capacity upgrade: Installed a gravity sewer trunk system parallel to an existing sewer pipe outside and within the Sonoma city-limits.
2007	Watmaugh Road East to Broadway	5,500 (1.0) capacity 1,400 (0.3) structural	\$3.8	Capacity and structural upgrades: Installed approximately 5,500 LF of 30-inch sewer main and 1,400 LF of 8-inch sewer main and appurtenances.
2011	Watmaugh Road East to Treatment Plant	5,800 (1.1)	\$3.9	Capacity upgrade: Replaced existing sewer truck main and appurtenances with new PVC sewer pipe ranging in size from 30- to 42-inch diameter and installed a 60-inch steel cylinder encasement under Schell Creek.
	Total capacity and structural upgrades	51,355 (9.7)	\$14.9	

2. Anna Gomez –May 15, 2015, verbal comments²

Anna Gomez Comment 2.a

Ms. Gomez is concerned that the Discharger will not be subject to further enforcement if it fails to complete Provisions 1 and 2 tasks. Ms. Gomez stated that Provision 3 allows the Discharger to justify any non-compliance by merely submitting a plan to remedy the violation without facing any repercussions. Ms. Gomez requested that we add language to Provision 3 to clearly state consequences of non-compliance.

Response to Anna Gomez Comment 2.b

We disagree. Provision 7 of the tentative CDO states clearly the consequences of non-compliance with any provision of the CDO. This includes the imposition of civil liability and referral to the Attorney General. The purpose of Provision 3 is simply to require the District to provide the circumstances and reasons for each violation, if any, so as to inform future Board enforcement action.

Anna Gomez Comment 2.c

Ms. Gomez requested that we revise the tentative CDO to require the Discharger to impose a moratorium on new sewer connections within its service area. The moratorium would allow the Discharger to repair its collection system without accepting increased sewage flows that could further overload the collection system and result in additional capacity-related SSOs.

² Ms. Gomez provided additional verbal comments on the tentative CDO during a telephone conversation with the Prosecution Team. Although these comments were received after the formal deadline for written comments, the Prosecution Team is including the comment and a response for Board consideration.

Response to Anna Gomez Comment 2.c

We disagree. Completion of the capacity-deficient trunk mains as required by the tentative CDO will eliminate future wet weather capacity-related SSOs. A moratorium on new sewer connections is not warranted at this time because of the marginal impact it would have on wet weather sewage flows. The District's SSO problem occurs as a result of excess wet weather infiltration and inflow through leaky sewer pipes. The solution is to fix the leaky pipes and/or increase the size of pipes so that larger pipes can carry more peak wet weather flow. Sewage flows from new connections, if any, would add only marginally to the base sewage flows and not to peak wet weather flows that are many times higher than base flows. Peak wet weather flows come from old defective pipes, not new pipes. That said, if the District fails to eliminate wet weather capacity-related SSOs, the Board has the option to consider a connection ban in the future to remedy the problem.

MEMO

To: Planning Commission

From: Planning Director Goodison

Re: Continued review of the Circulation Element update, focusing on options for improving Plaza-area circulation conditions

Background

Last year, the City began the process of updating the Housing Element and the Circulation Elements of its General Plan, with consultant assistance from the M-Group and W-Trans. The updates of the two Elements have been on separate tracks, because the adoption of the Housing Element is subject to a State-mandated timetable that does not apply to the Circulation Element. For this reason, the Housing Element update was prioritized in the schedule and was completed in March 2015. Now that work on the Housing Element is complete, the focus is on completing the update of the Circulation Element and the preparation of a downtown parking study. The purpose of any Circulation Element is to coordinate development of the city circulation system with existing and planned land uses. Areas of particular focus include pedestrian, bicycle, and transit improvements, as well as auto use. The Circulation Element serves as the policy basis for the development of an integrated circulation system and it specifies the improvements necessary to resolve existing deficiencies and accommodate planned growth. The element emphasizes the importance of promoting alternatives to auto use as a means of avoiding the need for or minimizing road improvements while maintaining adequate service levels.

The scope of work for the Circulation Element update, which was reviewed and approved by both the Planning Commission and the City Council includes a number of components, including: a review of existing policies and programs; the development of updated traffic counts and traffic projections; the development of updated information on bicycle use and bicycle facilities, pedestrian use and pedestrian facilities, and transit use and transit facilities; and identification of needed intersection and roadway improvements. In addition, the approved scope of work specifically calls for an analysis of the intersections of Broadway/West Napa Street and West Napa Street/First Street West with respect to traffic and pedestrian safety conditions and develop options for improving those intersections. Over the course of the update process, the Planning Commission has held a series of discussions on policy options and improvement alternatives addressing the Plaza area. Through this process, the Commission has provided the following key directions:

- Explicitly prioritize pedestrian safety and convenience with respect to circulation improvements on the Plaza area.
- The five intersections surrounding the historic Sonoma Plaza shall be exempt from vehicle LOS standards in order to maintain the historic integrity of the Plaza and prioritize non-auto modes.
- Continue to seek context-sensitive solutions to reduce traffic congestion and improve pedestrian circulation at the intersection of Broadway (SR 12)/Napa Street.

- Design and implement road diets along the Broadway corridor, in coordination with Caltrans, to enhance pedestrian and bicycle facilities, provide additional opportunities for landscaping, and potentially increase parking supply.
- Collaborate with Caltrans and the County in exploring potential ways to accommodate regional pass-through traffic on routes other than Highway 12 through the Sonoma Plaza area.

The policy direction approved by the Planning Commission with respect to the intersection of Broadway/West Napa Street is intended to provide maximum flexibility and allow for the further study of a wide range of improvement options. In this regard, W-Trans, the co-consultant retained by the City for the Circulation Element, has prepared an updated review of options addressing that intersection as well as alternative cross-sections for north Broadway illustrating various improvement options made possible through a road diet. These options include:

- Restripe with On-Street Bike Lanes (no road diet).
- Road Diet with Buffered Bike Lanes and Median.
- Road Diet with Protected Bikeways and Center Turn Lane.
- Road Diet with Buffered Diagonal Parking and Protected Bikeway.

While it is not staff's intent to identify a preferred option for this intersection as part of the Circulation Element update or a specific preference for the north Broadway street section, this broader discussion had been requested by the Planning Commission, so it is being presented for discussion and general feedback.

The W-Trans memo also addresses safety improvement options for the intersection of First Street West/West Napa Street. Based on previous discussions, it is staff's understanding that the Planning Commission prefers the "Rectangular Flashing Beacons" option, in conjunction with curb-bowouts to reduce crossing distances, because it would not require the installation of overhead masts. Staff would like to confirm this direction.

Next Steps

Staff and W-Trans will shortly provide the Planning Commission with a complete draft of the updated Circulation Element, incorporating all of the direction given to date, so that the Commission will have ample time for review in anticipation of final review and adoption in May.

Recommendation

Discuss and provide feedback.

Attachments:

Potential Roadway Improvements near the Sonoma Plaza (W-Trans, April 7, 2016)



April 7, 2016

Mr. David Goodison
City of Sonoma
1 The Plaza
Sonoma, CA 95476

Potential Roadway Improvements near the Sonoma Plaza

Dear Mr. Goodison;

Following is a brief summary of several conceptual circulation improvements that have been developed by W-Trans for Broadway and West Napa Street near the Sonoma Plaza. Focus has been placed on potential improvements at the intersections of West Napa Street/First Street West and West Napa Street/Broadway, as well as for the segment of Broadway as it approaches the Plaza. The improvements have been formulated with the highest emphasis being placed on pedestrian circulation and safety, while recognizing the need to maintain traffic flow and truck maneuverability in a manner that is acceptable to Caltrans.

An aerial photograph showing the existing roadway configuration in the vicinity is shown on Figure 1.

West Napa Street/First Street West Intersection

Roadway Narrowing Concept

Existing pedestrian crossing distances at this intersection are relatively short on the west and south intersection legs at approximately 40 feet, but are rather long on the east and north legs at approximately 60 to 75 feet. The intersection also encounters high pedestrian crossing volumes during busy periods, resulting in high crosswalk use that tends to create traffic congestion along West Napa Street. The primary philosophy applied in considering improvements for this intersection was to reduce pedestrian crossing distances as much as possible. As a result, pedestrian safety and convenience would improve, and impacts to through traffic be decreased. Another goal of the roadway narrowing scheme is to reconfigure the northern and eastern crosswalks to be perpendicular.

With respect to traffic flow patterns, both First Street West approaches are currently restricted to right turns, though several vehicles per hour are typically observed violating this restriction. Traffic movements along West Napa Street are unrestricted. In order to improve both pedestrian and vehicle safety, the recommended improvement scheme includes implementing a new left turn prohibition from eastbound West Napa Street onto northbound First Street West. Elimination of this movement should also reduce delays on eastbound West Napa Street that are caused by drivers backing up traffic as they wait to turn left. This turn prohibition would cause minimal inconvenience to drivers because of the ability to circulate around the Plaza on other streets, or if a roundabout is implemented at Broadway (discussed below), make a u-turn and return to First Street West.

Prohibition of the westbound left turn movement from West Napa Street to southbound First Street West would also improve traffic flow and reduce vehicle-to-pedestrian conflicts, though because alternative routes for drivers wishing to make this turn are relatively inconvenient, this restriction has not been included in the current concept (a diversion of approximately 0.75 miles would be required if drivers needed to continue to Second Street West, turn left and continue to Andrieux Street, and then turn left again back onto First Street West).

Enhanced Pedestrian Crossing Devices

Reconfiguring the West Napa Street/First Street West intersection to reduce pedestrian crossing distances would be expected to have a beneficial impact to safety and operation. Additional enhancements to pedestrian safety

may be achievable with the implementation of active warning beacons, which would be activated by pedestrians via push buttons. Following are descriptions of two potential options.

Rectangular Rapid Flashing Beacons

Rectangular Rapid Flashing Beacons (RRFB) are user-actuated, rectangular-shaped amber LEDs that supplement warning signs at uncontrolled marked crosswalks. The devices are sealed units that are mounted above ground for good visibility by oncoming motorists, and have similar weather resistant features as traffic signals. The beacons flash rapidly in a wig-wag “flickering” flash pattern that is similar to emergency flashers on police vehicles, and the unit is mounted immediately between the crossing sign and the sign’s supplemental arrow plaque. Studies have found RRFB’s to have excellent performance at increasing driver awareness of crossing pedestrians. Other benefits of RRFB’s include high durability and low maintenance costs, including ease of replacing standard crosswalk warning signs when they become faded. While implementation of RRFBs at West Napa Street/First Street West would be expected to enhance pedestrian safety, they would have little effect on traffic operation or delays caused to through traffic as a result of high pedestrian crossing volumes.



Pedestrian Hybrid Beacons

Pedestrian Hybrid Beacons (PHB), which in the past have also been referred to as “HAWK” signals, are user-actuated pedestrian crossing devices that stop through vehicular traffic in order to provide protected pedestrian crossings. PHBs include “walk” and “don’t walk” symbols for pedestrians similar to those used at conventional traffic signals, but are quite different in the way they operate with vehicle traffic. When a pedestrian activates the crossing push button, a call is put into the PHB controller. Based on input timings, the PHB will change from dark (no signal heads lit) to flashing yellow, then to solid yellow, and then to red. When the vehicle signal face turns red, pedestrians are given a “walk” signal, and drivers are subject to the same rules as when they encounter a red light at a conventional traffic signal. After the pedestrian crossing changes to flashing “don’t walk,” the vehicle signal changes to flashing red, allowing drivers to proceed after they have come to a complete stop and have ensured that no pedestrians remain within the crosswalk. Once the steady “don’t walk” symbol is displayed for pedestrian traffic, the PHB signals facing vehicle traffic go dark until the next pedestrian crossing is activated.



Mid-block PHB on Montgomery Drive in Santa Rosa

PHB’s may be installed at intersections or at midblock locations. When installed at intersections, side streets continue to be controlled by STOP signs. The advantages of PHB’s include provision of a protected pedestrian crossing without the need to install a full traffic signal. In the case of Sonoma, a PHB at First Street West would also stop the flow of pedestrians between activations, allowing West Napa Street to flow with less interruption than it currently does. PHB cycle lengths are also relatively short, meaning pedestrians do not need to wait long between crossing opportunities.

Implementing PHB's at intersections can be challenging because of the potential to create driver confusion, particularly until such time as the PHB becomes a more familiar device. Much of this potential confusion at West Napa Street/First Street West would be avoided due to the presence of turn restrictions. A potentially larger disadvantage of using a PHB at this location would be related to historic compatibility based on past discussions in the City about the potential for traffic signals near the historic Plaza. Like conventional signals, PHB's require the use of signal poles and mast arms, although the number of mast arms would be limited to two and the number of poles would be less than used at a conventional signal.

A concept layout showing the narrowed intersection and options for enhanced pedestrian crossing devices is shown on Figure 2.

West Napa Street/Broadway Intersection

Modern Roundabout

The roundabout concept shown in Figure 3 depicts a single-lane modern roundabout at the intersection to replace the existing multi-lane all-way stop-controls. Pedestrian crossing distances, which are currently 80 to 90 feet, would be reduced to two 15-foot crossings separated by wide refuge medians (the roundabout splitter islands). Pedestrians crossing in each of the 15-foot wide crosswalks would contend with low-speed traffic traveling only in one direction. The combination of significantly reduced vehicle-to-pedestrian conflict points and low vehicle speeds would substantially improve not only pedestrian safety, but also pedestrian comfort in traversing the intersection.

The conceptual roundabout has an inscribed diameter of 130 feet and has been oriented to result in no impacts to adjacent buildings. Approximately 1,650 square feet of the Plaza's landscaping area would need to be incorporated into the roundabout. Conversely, approximately 14,000 square feet of existing paved area could be converted to landscaping and/or widened sidewalks. The roundabout shown on Figure 3 accommodates "California Legal" sized semi-trucks traveling along the west and south intersection legs (which are Highway 12). Semi-truck maneuverability diagrams are shown on Figure 4.

The 130-foot roundabout diameter was chosen to represent the upper range in size for a roundabout in this type of context, though it may be possible to design a successful roundabout with a slightly smaller diameter in the range of 120 feet and still accommodate truck traffic. A sketch showing the outer edge of a 120-foot diameter roundabout with widened truck apron is shown on Figure 5 in order to demonstrate the order-of-magnitude differences between roundabout sizes.

Maintain All-Way Stops with Narrowed Intersection

An additional option for substantially improving pedestrian circulation at the intersection would be to narrow the effective crossing distances in a similar manner to that shown at West Napa Street/First Street West. A conceptual layout showing one potential scheme for narrowing the intersection is shown in Figure 6. Pedestrian crossing distances on West Napa Street are currently 80 feet but with the narrowing would be reduced to 36-48 feet. On Broadway, the pedestrian crossing distance is currently 90 feet and could be reduced to approximately 60 feet. The narrowing would also allow crosswalks to be aligned closer to 90 degrees. As shown on the figure, the narrowing could be accomplished without reducing the number of vehicle approach lanes.

The extent to which narrowing of the intersection can be achieved is related to the need to maintain maneuverability for semi-trucks, particularly on the western and southern legs of the intersection that serve as Highway 12. The intersection would also need to accommodate bus maneuvers made by Sonoma County Transit, including into and out of the City Hall driveways within the Plaza. A diagram showing truck and bus maneuverability with the narrowed intersection is shown in Figure 7.

As with the roundabout concept, the narrowed intersection concept would also allow changes to be made to the adjacent West Napa Street and Broadway roadway segments. The narrowing concept depicted in Figure 6 shows implementation of new diagonal parking along the Plaza. The diagonal parking would be located within the current paved width of the street using space currently occupied by parallel parking and a turn lane. The concept shows a 3- to 8-foot wide buffer between the rear of parked vehicles and the adjacent travel lane in order to minimize the potential for parking maneuvers to affect through traffic. On Broadway, the narrowing concept shows implementation of a “road diet” and protected bikeway, both of which are described further below.

Manual Traffic Control

Some community members have expressed an interest in the City implementing manual traffic control at the intersection. This would likely entail assigning one to two law enforcement officers to the intersection during the periods when traffic levels and congestion are at their highest. Officers would be responsible for controlling traffic and pedestrian flow at these times, while the current stop controls would remain in place and control traffic during off-peak periods. The current size of the intersection makes manual traffic control challenging, but with narrowing of the intersection as shown in Figure 6, it would likely become more manageable.

The City’s Police Chief has evaluated the potential for manual traffic control to be implemented in consideration of both the current and narrowed intersection configurations, and has several concerns. These include the ability for officers to adequately control the numerous vehicle and pedestrian movements occurring, the fact that rules established by standard traffic control devices (stop signs) would be routinely bypassed when officers assume control of the intersection causing possible driver confusion and safety concerns, the liability assumed by the City, and the ability to staff the officer positions.

Roadway Configuration on Broadway

The draft Circulation Element update includes a policy to implement a “road diet” on Broadway between MacArthur Street and West Napa Street, reducing the number of vehicle lanes from two in each direction to one in each direction plus a potential center turn lane. This type of configuration would accommodate future traffic volumes while freeing up a substantial amount of roadway width for other purposes such as bike lanes, medians, diagonal parking, and/or widened pedestrian zones. The current configuration of Broadway has a considerable automobile focus, and reallocation of the roadway width to support other modes would be in line with the City’s goals to implement more complete streets. Caltrans has recently embraced the potential for future changes on Broadway (and in fact the length of Highway 12 in Sonoma) in the *Transportation Concept Report State Route 12 (West)* published by the agency in 2014. The report states that, “On Broadway in Sonoma (and other four-lane sections in the urban area, reducing the number of lanes by a combination of diagonal parking, bike lanes and/or a median would improve the location efficiency and community design.”

Broadway generally has an 80-foot wide curb-to-curb width between MacArthur Street and West Napa Street. This roadway width lends itself to many possible configurations, several of which are described below and shown on the enclosed exhibits.

1. Restripe with On-Street Bike Lanes: This option does not implement the proposed road diet, but does narrow the vehicle travel lanes in order to create space for on-street bicycle lanes.
2. Road Diet with Buffered Bike Lanes and Median: This option implements the road diet, converts the former vehicle travel lanes to bike lanes with striped buffers on each side, and replaces the painted median with a raised median where appropriate. Turn lanes could still be preserved at intersections and where needed for local access. The painted buffers on each side of the bike lane help to establish a separation between bicyclists and moving cars, as well as between bicyclists and parked vehicles (and parked vehicle door openings).

3. Road Diet with Protected Bikeways and Center Turn Lane: Caltrans has recently approved the use of “protected bike lanes,” also referred to as Class IV bikeways¹. These bike facilities can take several forms but always entail establishing a strong buffer between bike lanes and moving traffic. The concept for Broadway complies with Caltrans criteria and includes bike lanes adjacent to sidewalks, with the bike lanes separated from on-street parking by a 7-foot wide raised area (which could be landscaped or a decorative hardscape). The width of Broadway dedicated to vehicles would be effectively reduced from 80 feet to 52 feet while still maintaining traffic flow and on-street parking. In order to reduce the cost associated with construction and drainage modifications, the raised area between parking and bike lanes could also be created through striping.



Protected Bikeway in Missoula, MT (image source: *Separated Bike Lane Planning and Design Guide, FHWA, 2015*)

4. Road Diet with Buffered Diagonal Parking and Protected Bikeways: This concept establishes both protected bikeways and diagonal parking. In order to create sufficient width for diagonal parking, the raised island width between the bike lane and parking spaces is minimized, and the center turn lane and/or median on Broadway is eliminated. A 3-foot buffer is used between diagonal parking spaces and traffic lanes. At intersections and as Broadway approaches the Plaza, the cross-section would likely need to be adjusted to add turn lane(s) and reduce pedestrian crossing distances.

Intersection Operation

The all-way stop-controlled intersection at Broadway/West Napa Street currently operates at LOS D. With projected year 2040 p.m. peak hour traffic levels, maintaining the current all-way stop-controls along with implementation of the potential intersection narrowing scheme would result in LOS F operation. A traffic signal would be expected to operate at LOS E, and a single-lane roundabout would be expected to operate at LOS B. While methodologies to determine how well an intersection would function with manual traffic control do not exist, it is reasonable to assume that well-trained traffic control officers could potentially achieve operation as effective as a traffic signal, or LOS E in this case.

The traffic simulation program SimTraffic and roundabout analysis software SIDRA were utilized to gauge how a roundabout at Broadway would interact with adjacent intersections including at First Street West. It was determined that, even with future traffic growth and a doubling of pedestrian crossing volumes, vehicle queues would generally remain within 150 feet of the roundabout on all approaches during the p.m. peak hour and not extend into adjacent intersections.

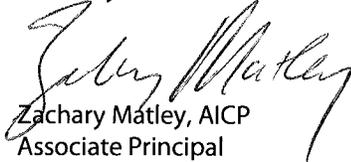
Vehicle queuing on eastbound and westbound West Napa Street at the First Street West intersection would be expected to improve somewhat compared to existing conditions, due to the narrowing of pedestrian crossings and prohibition of eastbound left turn movements. Adding an RRFB to the intersection would be expected to

¹ See *Design Information Bulletin Number 89, Class IV Bikeway Guidance*, Caltrans, December 2015

have a negligible impact to traffic flow. Implementation of a PHB would create queues at the intersection during "red" pedestrian crossing phases, though queues are not projected to extend into adjacent intersections (including the roundabout at Broadway). The PHB would be likely to improve traffic flow through the intersection overall since pedestrians would cross at regular "pulses" with the signal in contrast to the nearly continuous pedestrian flow that occurs now during busy periods.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,



Zachary Matley, AICP
Associate Principal

JZM/SON041.L2

- Enclosures: Figure 1 – Existing Configuration
Figure 2 – Narrowed Intersection at First Street West
Figure 3 – Roundabout Concept for Broadway/West Napa Street
Figure 4 – Semi Truck Maneuverability with Roundabout
Figure 5 – Approximate Diameter of Reduced-Size Roundabout
Figure 6 – Narrowed Intersection with Protected Bikeway on Broadway
Figure 7 – Semi Truck and Bus Maneuverability with Narrowed Intersection
Figure 8 – Possible Roadway Cross Sections for Broadway



Potential Roadway Improvements near Sonoma Plaza

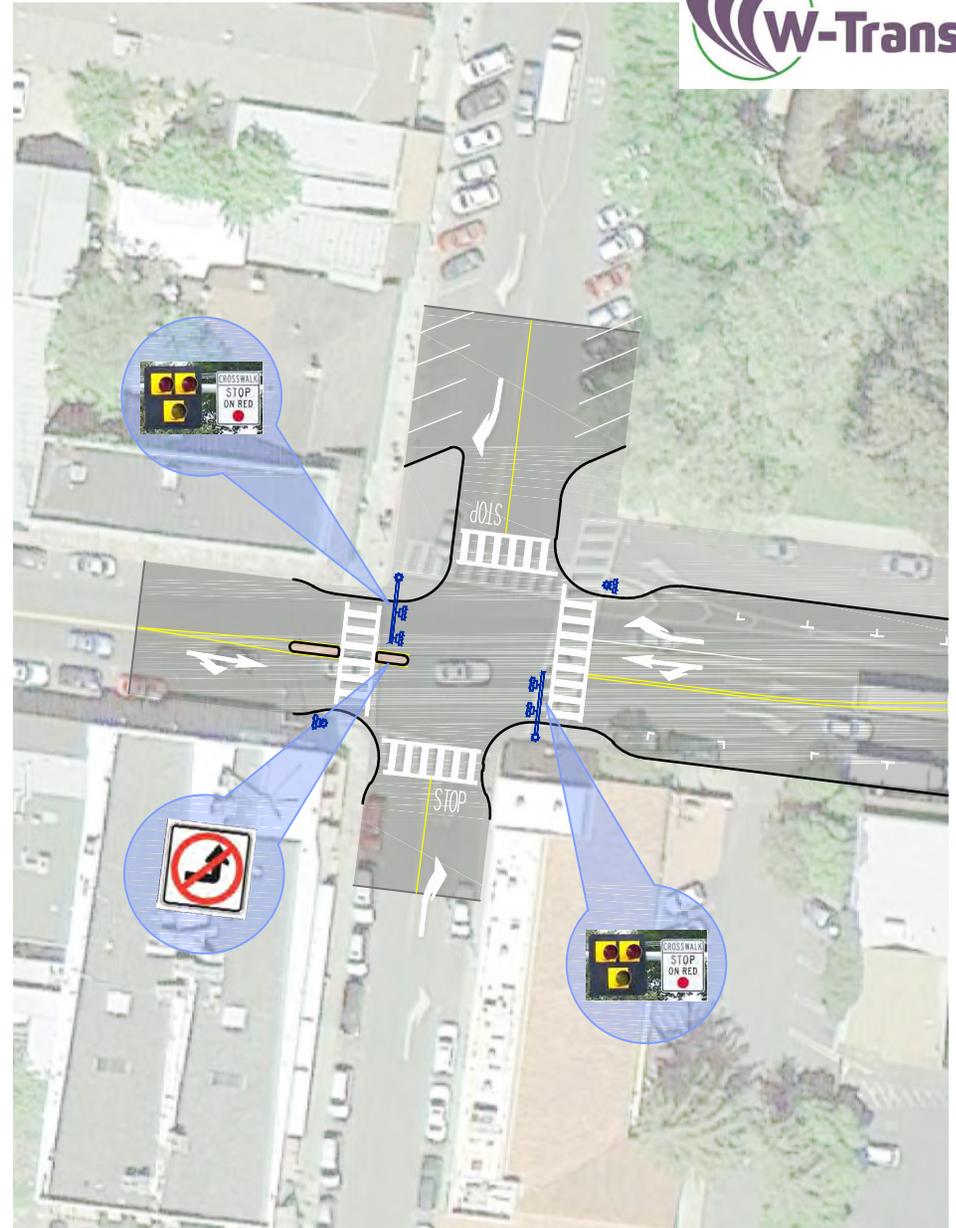
Existing Configuration

Figure 1

4/4/2016



Rapid Rectangular Flashing Beacons (RRFB)



Pedestrian Hybrid Beacon (HAWK signal)

Potential Roadway Improvements near Sonoma Plaza

Narrowed Intersection at First Street West

Figure 2

4/4/2016

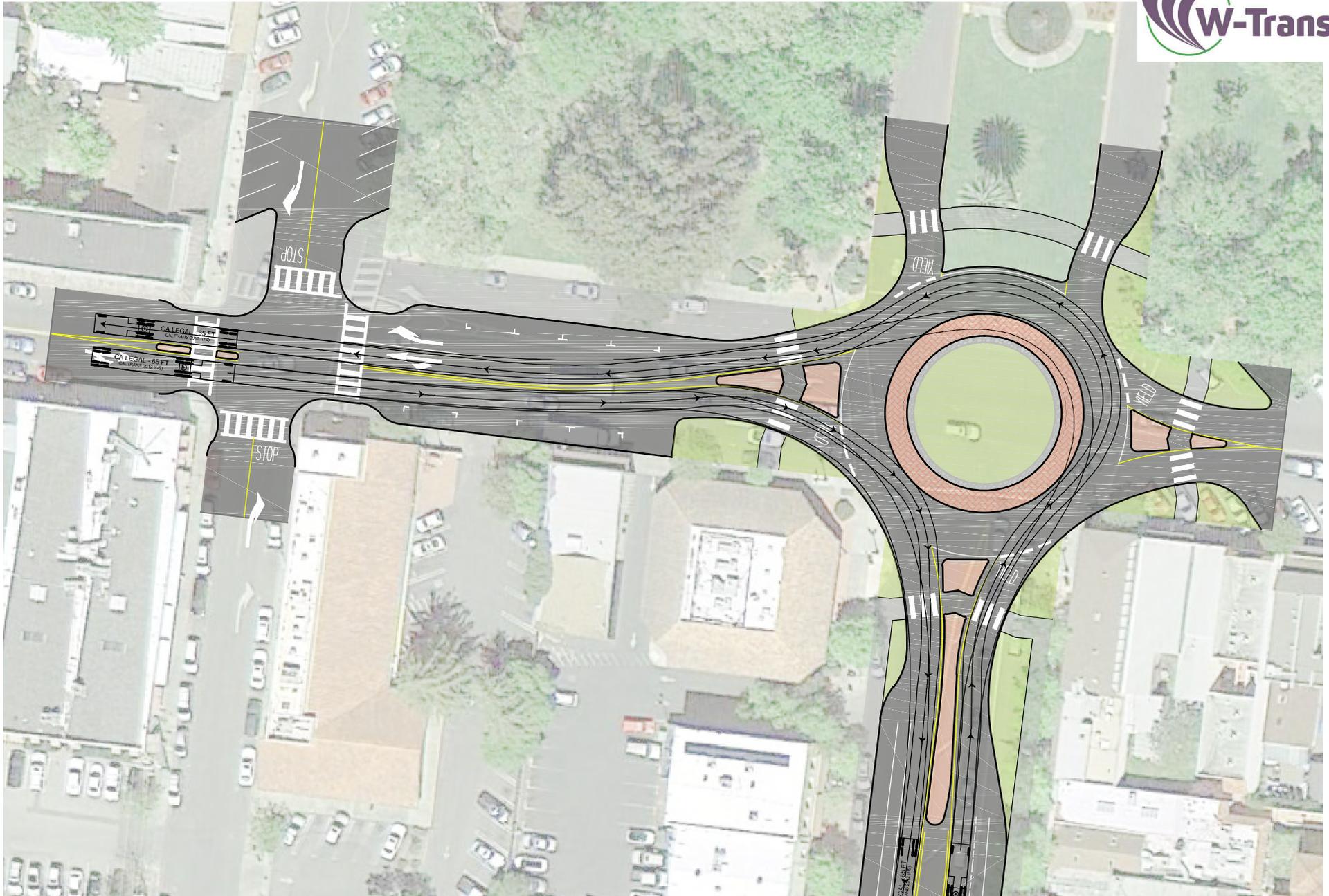


Potential Roadway Improvements near Sonoma Plaza

Roundabout Concept for Broadway/West Napa Street

Figure 3

4/4/2016

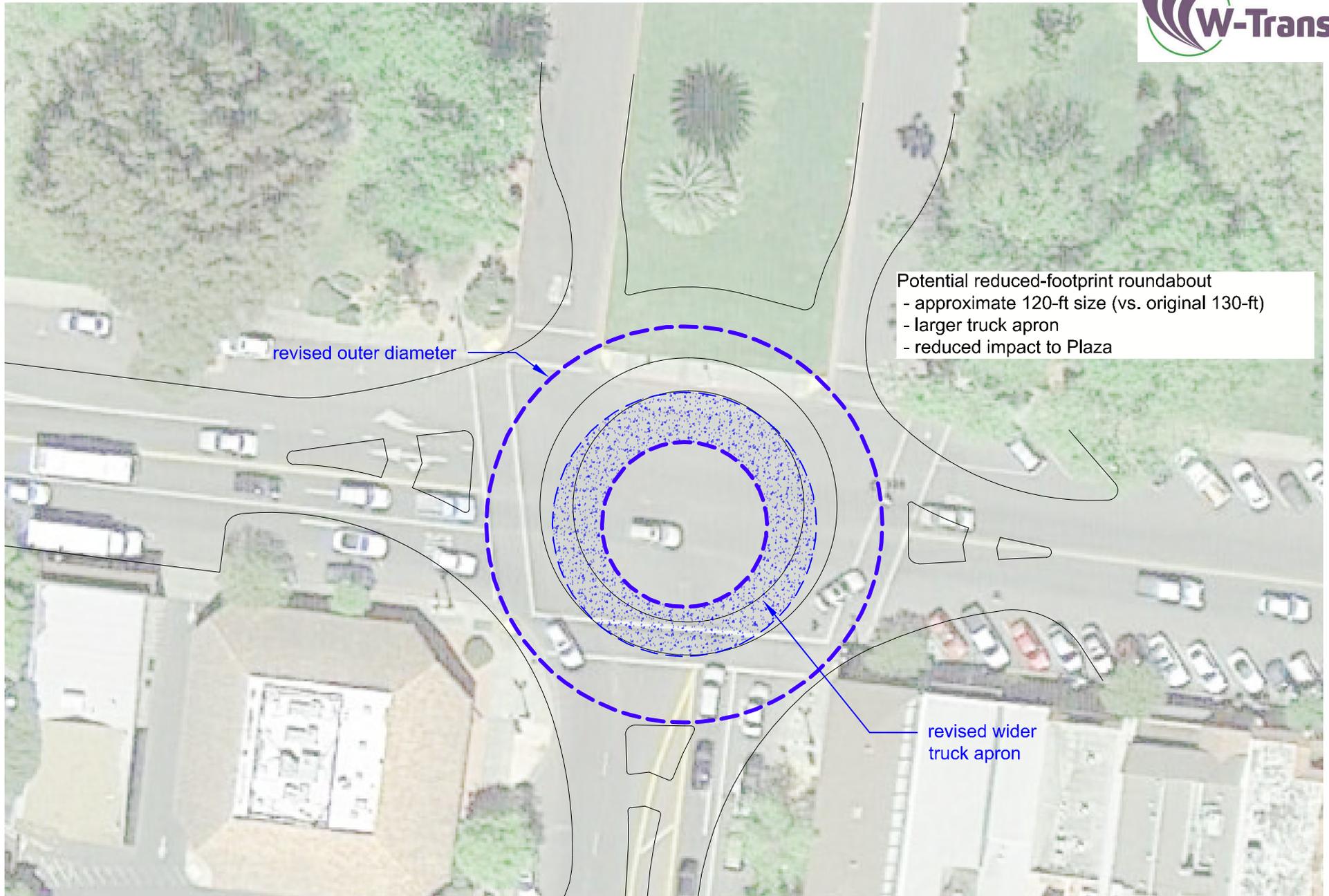


Potential Roadway Improvements near Sonoma Plaza

Semi-Truck Maneuverability with Roundabout

Figure 4

4/4/2016



Potential Roadway Improvements near Sonoma Plaza

Approximate Diameter of Reduced-Size Roundabout

Figure 5

4/4/2016



Potential Roadway Improvements near Sonoma Plaza

Narrowed Intersection with Protected Bikeway on Broadway

Figure 6

4/4/2016

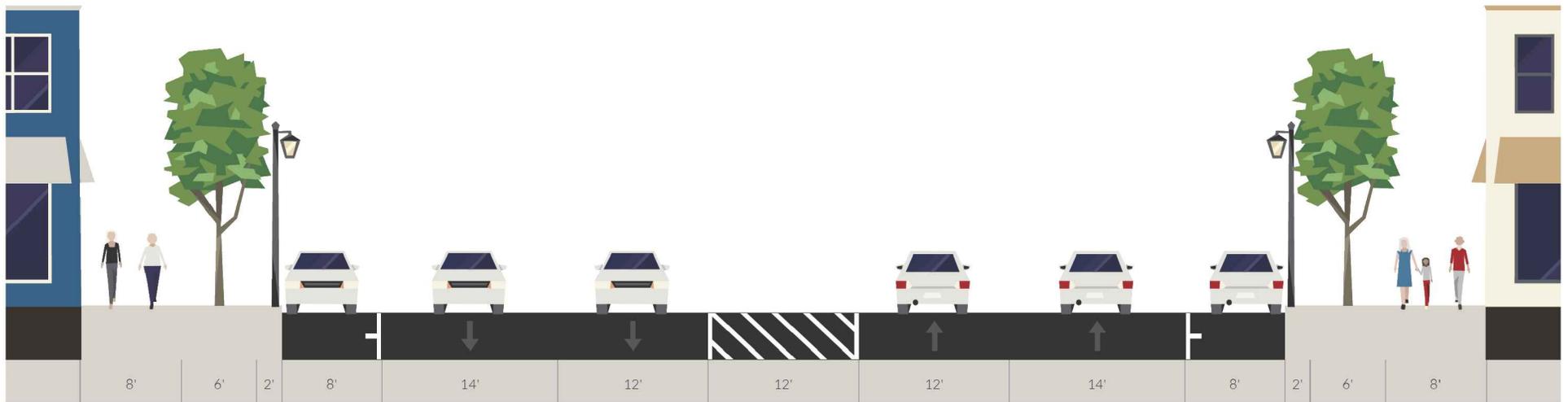


Potential Roadway Improvements near Sonoma Plaza

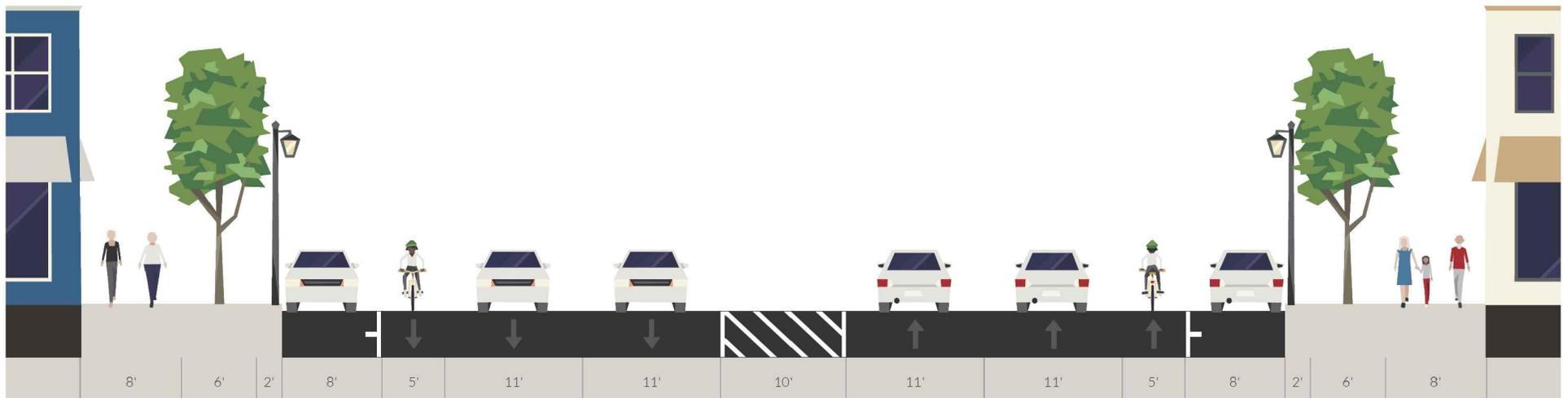
Semi-Truck and Bus Maneuverability with Narrowed Intersection

Figure 7

4/4/2016



Current Configuration



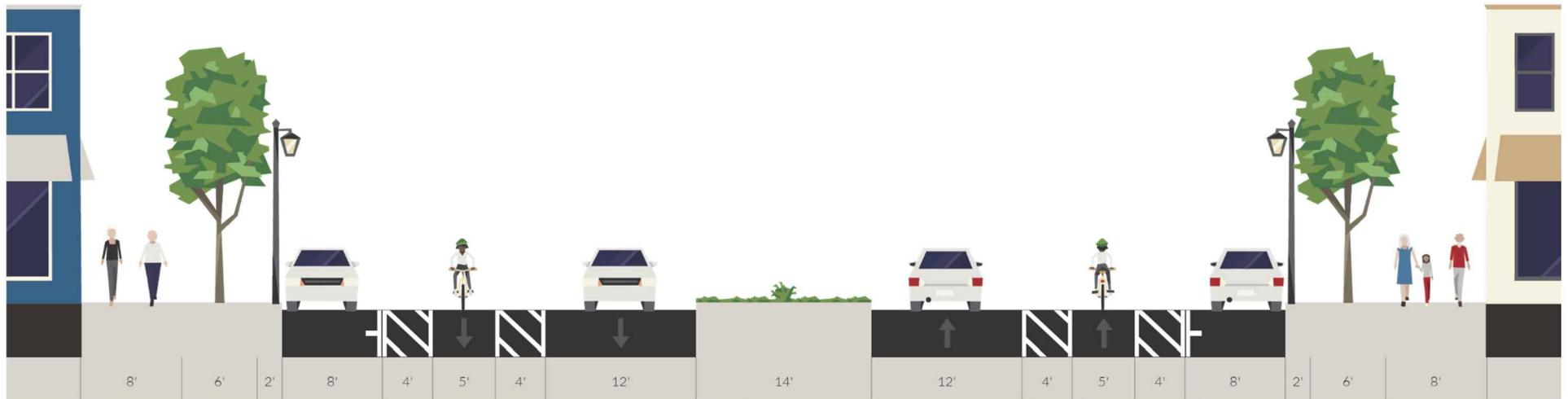
A. Restripe with On-Street Bike Lanes

Potential Roadway Improvements near Sonoma Plaza

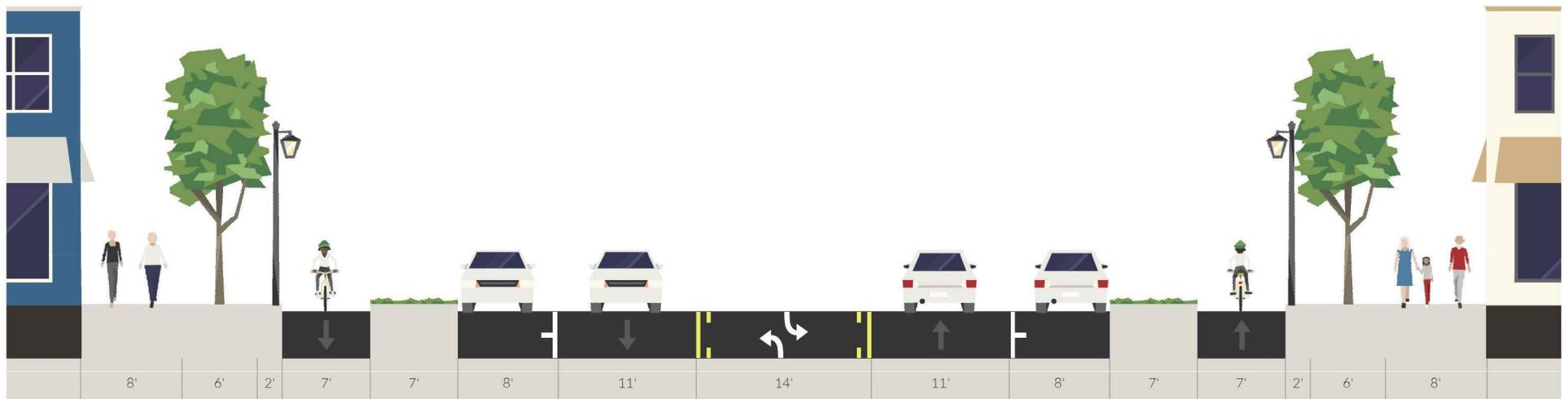
Possible Roadway Cross Sections for Broadway - MacArthur Street to West Napa Street

Figure 8

4/4/2016



B. Road Diet with Buffered Bike Lanes and Median



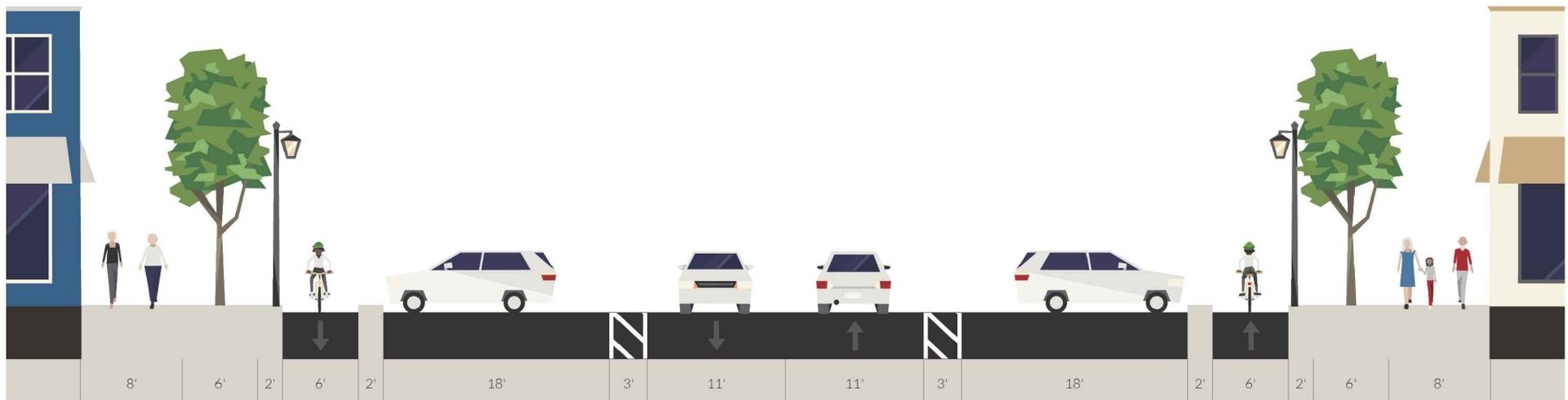
C. Road Diet with Protected Bikeways and Center Turn Lane

Potential Roadway Improvements near Sonoma Plaza

Possible Roadway Cross Sections for Broadway - MacArthur Street to West Napa Street

Figure 8

4/4/2016



D. Road Diet with Buffered Diagonal Parking and Protected Bikeways

Diagrams created using www.streetmix.net

Potential Roadway Improvements near Sonoma Plaza

Possible Roadway Cross Sections for Broadway - MacArthur Street to West Napa Street

Figure 8

4/4/2016

M E M O

To: Planning Commission

From: Planning Director Goodison

Re: Continued discussion of guidelines for Planning Commission Study Sessions

Background

At its meetings of February 11 and March 10, 2016, the Planning Commission held discussions on the purpose and conduct of study sessions. Study sessions are addressed in the Development Code as follows:

19.52.040.B. Planning Commission Study Session. Prospective applicants and agents considering development applications that are large, complex, or potentially controversial, are encouraged to request a study session with the planning commission prior to or immediately following the submittal of a formal application. Such sessions are structured so as to provide an opportunity for a free dialog between an applicant and the planning commission in order to explore issues and alternatives related to site design, building massing and architecture, environmental mitigation, and other planning issues at an early stage of project review.

Apart from that reference, there are no adopted rules pertaining to study sessions. In its discussions of the matter, the Planning Commission gave direction to staff on a variety of issues that it wished to see structured as a set of guidelines to be used by staff, prospective applicants, and the Planning Commission in the conduct of study sessions moving forward. As directed by the Commission, revised draft guidelines have been prepared for its review and adoption.

Recommendation

Adopt the study session guidelines as a Planning Commission policy, subject to any further revisions deemed that may be deemed necessary.

CITY OF SONOMA

RESOLUTION NO. 01 - 2016

A RESOLUTION OF THE CITY OF SONOMA SONOMA PLANNING COMMISSION ADOPTING GUIDELINES FOR PLANNING COMMISSION STUDY SESSIONS

WHEREAS, Section 19.52.040.B of the Sonoma Development Code authorizes and encourages prospective applicants and agents considering development applications that are large, complex, or potentially controversial to request a study session with the planning commission so as to provide an opportunity for a free dialog between an applicant and the planning commission in order to explore issues and alternatives related to site design, building massing and architecture, environmental mitigation, and other planning issues at an early stage of project review; and,

WHEREAS, the Development Code does not provide any further guidance as to the conduct of study sessions or recommended submittal materials; and,

WHEREAS, in order to provide clarity to prospective applicants and interested members of the public, as well as consistency and equity in the conduct of study sessions, the planning commission has developed guidelines for planning commission study sessions.

NOW, THEREFORE BE IT RESOLVED, that the Planning Commission of the City of Sonoma hereby finds and declares that the guidelines for study sessions developed by the Planning Commission, as set forth in Exhibit "A", are hereby adopted as the official policy of the Planning Commission.

AYES:
NOES:
ABSENT:

Robert Felder, Chair

ATTEST:

Cristina Morris, Administrative Assistant

Study Session Guidelines

Purpose: Study sessions are encouraged in order to provide an opportunity for early feedback on a project concept by the Planning Commission and the public prior to or immediately after the filing of an application. Study sessions are appropriate for development proposals that are large, complex, or potentially controversial. Planning Commission feedback provided in a study session will focus on:

- Site planning
- Compatibility with neighboring uses
- Overall consistency with the General Plan policies and Development Code standards and guidelines
- Scale and mass
- Potentially significant environmental impacts

To qualify for a study session, the project concept should demonstrate reasonable understanding of and adherence to applicable Development Code requirements and guidelines. Staff may reject project concepts that are over-scaled, require multiple Variances or Exceptions, or that clearly conflict with General Plan policies or Development Code standards and guidelines.

Conduct: The prospective applicant is expected to provide an overview of the project concept and answer questions from the Planning Commission. Because a study session is not a formal public hearing, the Planning Commission Chair has the discretion to invite the applicant to return for further comments and questions following initial comments from the public and the Planning Commission. Similarly, the Planning Commission Chair has the discretion to invite additional comments from the public after initial feedback from the Planning Commission has been given. Comments on a study session item should be directed toward the project proposal.

Commission Comments and Feedback: While a study session provides an opportunity for Planning Commissioners to identify potential issues of concerns, Commissioners will refrain from making statements of absolute judgment, as these could be considered expressions of bias. Straw votes or polls of the Commission will not be undertaken. Commissioner comments made in the course of a study session should not be construed as limiting any action that the Planning Commission may subsequently take with respect to a project in the course the entitlement process.

Submittal Materials, Required: 1) Project narrative, including project objectives, schedule of land uses, schedule of residential unit sizes, estimated FAR and coverage, # of off-street parking spaces; 2) Site plan, showing the project in the context of its surroundings, including at a minimum, building envelopes on adjoining properties.

Submittal Materials, Encouraged: 1) Preliminary pedestrian-level massing studies (using Sketch-up or similar) addressing the project and its neighborhood context; 2) Alternative site plans. Any models used in the preparation of submittal materials should be made accessible at the study session.

Submittal Materials, Discouraged: 1) Landscaping plans; 2) Detailed building elevations showing specific architecture; 3) Submittal materials that are overly-detailed or unrelated to the basic issues of land use and compatibility.

Fees: There shall be no fee for an initial study session. Follow-up study sessions for a project proposal will only be allowed in cases where the site plan or other key projects components have been substantially modified. A fee shall be required for any follow-up study session.

M E M O

To: Planning Commission
From: Planning Director Goodison
Re: Discussion of upcoming joint study session with the City Council concerning housing issues

Background

As previously reported to the Planning Commission, the City Council is interested in holding a joint study session with the Commission to discuss issues and options for addressing Sonoma's housing needs. As staff understands it, the discussion is intended to be fairly open-ended, meaning that while the City's Regional Housing Needs allocation would be part of the conversation, broader community housing needs, such as workforce housing and middle-income housing, are up for discussion as well. That said, because the purview of the Planning Commission pertains to land use, the joint meeting will focus on issues and ideas that are relevant to the Commission's authority and jurisdiction. For example, while the City Council might separately discuss issues related to rent control, that topic would not be relevant to the joint meeting with the Planning Commission. In preparation for the joint meeting, staff is asking the Planning Commission to discuss issues of concern related to housing as well as potential avenues for addressing the City's housing needs. This discussion will assist staff in drafting an agenda for the joint meeting and developing background information that may be desired.

As a starting point for discussion, staff is attaching a progress summary on the implementation measures set forth in the current Housing Element, adopted in March 2015. In addition, information on housing issues and potential program options was reviewed by the Planning Commission at its meeting of March 10, 2016.

Recommendation

Discuss and provide feedback to staff.

Attachments:

1. 2015-2023 Housing Element Program Progress Summary

Housing Element Program Progress Summary

Housing Program	Program Goal/Objective	Target Time Frame	Current Status
Housing Diversity			
H-1 Inclusionary Housing Ordinance	Integrate affordable units within market rate development. Re-evaluate City's inclusionary program, and amend to strengthen and improve effectiveness.	Amend Ordinance by 2017.	On schedule. City Council scheduled to select consultant for this task on April 20 th . (See also H8)
H-2 Land Assembly and Write-Down	Facilitate development of affordable housing. Coordinate with County Housing Authority in issuance of RFP for the Broadway site; develop with minimum 39 low income rental units.	2015- Issue RFP 2018- Complete construction on the Broadway site.	On schedule. RFP was issued by CDC in 2015 and a Development partner has been selected (Affordable Housing Associates). The neighbor outreach and predevelopment process are underway. The City Council has contributed \$100,000 to fund predevelopment costs.
H-3 Partnerships with Affordable Housing Developers	Build partnerships with affordable housing providers. Partner with non-profits by providing incentives. Work with County on farmworker housing needs.	Annually meet with County representatives re: potential funding applications.	Ongoing.
H-4 Adaptive Reuse	Introduce housing in non-residential areas, restore buildings, and provide live/work space. Evaluate elimination of vacation rentals.	Evaluate ordinance modifications by 2018.	Ahead of schedule. Ordinance eliminating vacation rentals an adaptive re-use option will be reviewed by the City Council on April 20th.
H-5 Alternative Housing Models	Support the provision of non-traditional, innovative housing types to meet unique needs. Offer flexible zoning to foster alternative housing types. Evaluate and adopt standards for cottage housing and junior second units.	Adopt development standards for cottage housing and junior second units by 2017.	Program not yet initiated.
H-6 Second Dwelling Units	Evaluate prohibiting use of second units as vacation rentals.	Evaluate ordinance revisions by 2017.	Ahead of schedule. Ordinance prohibiting the use of second units as vacation rentals will be reviewed by the City Council on April 20th.

Housing Program	Program Goal/Objective	Target Time Frame	Current Status
Housing Affordability			
H-7 Affordable Housing Funding Sources	Leverage local funds to maximize assistance. Actively pursue variety of funding sources for affordable housing. Support developers in securing outside funding.	Annually as RFPs are issued.	Ongoing. Current priority is the Broadway project.
H-8 Affordable Housing Impact Fees	Require residential and non-residential development to offset their impact on affordable housing demand through payment of an impact fee. Conduct a nexus study to evaluate the establishment of an affordable housing impact fee on residential and non-residential development.	Conduct nexus study by 2017.	On schedule. City Council scheduled to select consultant for this task on April 20 th . (See also H8)
H-9 Section 8 Rental Assistance	Assist extremely low and very low-income households with rental payments. Encourage landlords to register units with Housing Authority; prepare handout for rental property owners.	Ongoing.	Ongoing.
Housing and Neighborhood Preservation			
H-10 Housing Rehabilitation Program	Maintain quality of housing stock. Advertise availability of program on website and via handouts. Seek to assist 30 lower income households.	Assist 30 households by 2023.	Ongoing.
H-11 Mobile Home Park Rent Stabilization and Conversion Ordinance	Maintain mobile home parks as important source of affordable housing. Enforce mobile home park rent stabilization and conversion ordinances. Evaluate strengthening the City's existing ordinance.	2015 - evaluate strengthening ordinance.	Complete. Council introduced an ordinance implementing a comprehensive update of MH rent control regulations at its meeting of April 4, 1016.
H-11a Mobile Home Park Senior-Only Occupancy Restrictions	Maintain age restrictions in senior-only parks as a means of preserving senior housing. Evaluate regulatory mechanisms, such as a senior-only zoning overlay, for mobile home parks to maintain to senior-only occupancy restrictions.	2015 - evaluate regulatory mechanisms 2016 - adopt ordinance as deemed appropriate.	Behind schedule. Program not yet initiated. This program was postponed, pending the completion of the update of the rent control regulations.

Housing Program	Program Goal/Objective	Target Time Frame	Current Status
H-12 Condominium Conversion Ordinance	Provide protections for tenants in apartments and mobile homes proposed for conversion. Implement condominium and mobile home park conversion regulations.	Ongoing.	Ongoing.
H-13 Preservation of Assisted Rental Housing	Preserve the existing affordable housing stock at risk of conversion to market rents. Initiate discussions with property owners; explore outside funding and preservation options; offer preservation incentives to owners; provide technical assistance and education to affected tenants.	Contact property owners within one year of potential expiration and complete other steps as necessary.	Ongoing.
H-14 Affordable Housing Monitoring/ Annual Report	Provide monitoring and annual reporting of the Housing Element implementation progress, in compliance with State law. Review the Housing Element on an annual basis, provide opportunities for public participation, and submit annual report to the State.	By April 1st every year.	Ongoing.
H-15 Design Guidelines and Design Review	Ensure excellence in architectural and community design. Continue to implement Sonoma's design review process.	Ongoing	Ongoing.
Removing Governmental Constraints			
H-16 Growth Management Ordinance-Exception for Affordable Housing	Ensure growth management policies do not hinder affordable housing production or attainment of regional housing needs. Annually review effects of GMO on production of affordable housing and modify as necessary to provide adequate incentives consistent with Sonoma's current and future regional housing needs.	Annually.	Ongoing.

Housing Program	Program Goal/Objective	Target Time Frame	Current Status
H-17 Parking Incentives and Modified Standards	Incentivize development of affordable, special needs, mixed use, live- work, and pedestrian oriented housing. Provide parking reductions on affordable projects, and other projects which meet community goals Re-evaluate multi-family parking standards and modify as appropriate.	Ongoing incentives. Re-evaluate standards by 2015.	In progress/Behind schedule. The City is revisiting its parking standards, but this program is behind schedule.
H-18 Affordable Housing Density Bonus	Provide density and other incentive to facilitate affordable housing development. Implement City's density bonus provisions, advertise on website, and promote in discussions with developers.	Ongoing.	Ongoing.
Equal Housing Opportunities			
H-19 Fair Housing Program	Promote fair housing practices and prevent housing discrimination. Refer fair housing complaints to Fair Housing of Sonoma County. Disseminate fair housing information.	Ongoing.	Ongoing.
H-20 Universal Design	Increase accessibility in housing through Universal Design. Disseminate Universal Design Principals brochure, and inform residential development applicants.	Ongoing.	Ongoing.
H-21 Reasonable Accommodation Procedures	Ensure fair access to housing for persons with disabilities, including developmental disabilities. Implement City's reasonable accommodation procedures.	Ongoing.	Ongoing.
H-22 Homeless Services and Shelter	Assist the homeless and persons at risk of homelessness in obtaining shelter and services. Maintain Sonoma homeless shelter and support other providers and regional efforts.	Ongoing.	Ongoing.

Housing Program	Program Goal/Objective	Target Time Frame	Current Status
Environmental Sustainability			
H-23 Green Building Program	Promote sustainable and green building design in development. Provide outreach and education on incorporating sustainability in project design.	Ongoing.	Ongoing.
H-24 Energy Conservation Initiatives	Promote the installation of solar systems and water efficient technologies. Connect eligible affordable homes with GRID Alternatives. Advertise the Energy Independence Loan Program to residents and businesses.	Ongoing.	Ongoing.
H-25 Sonoma Water Action Plan	Ensure projected water needs are met. Implement Water Action Plan. Conduct periodic reviews and modify as necessary to ensure adequate water supply to meet Sonoma's regional housing needs (RHNA). Advertise available water conservation programs.	Review Water Action Plan on bi-annual basis. Update website as new water conservation programs become available.	Ongoing. Note: The City is updating its Urban Water Management Plan.