



# City of Sonoma Planning Commission **AGENDA**

Regular Meeting of July 14, 2016 -- 6:30 PM  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476

Meeting Length: No new items will be heard by the Planning Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Chair, Robert Felder

Commissioners: Michael Coleman  
James Cribb  
Chip Roberson  
Mary Sek  
Ron Wellander  
Bill Willers  
Robert McDonald (Alternate)

*Be Courteous - **TURN OFF** your cell phones and pagers while the meeting is in session.*

## **PLEDGE OF ALLEGIANCE**

**COMMENTS FROM THE PUBLIC:** Presentations by audience members on items not appearing on the agenda.

**MINUTES:** Minutes from the meeting of June 9, 2016.

## **CORRESPONDENCE**

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### **ITEM #1 – CONSENT CALENDAR**

#### **REQUEST:**

#### **RECOMMENDED ACTION:**

These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party.

Request for a one-year extension to the Use Permit allowing a multi-tenant marketplace, including restaurant uses, for the Sonoma Cheese Factory at 2 West Spain Street (Applicant: Viviani Trust).

Grant one-year extension.

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### **ITEM #2 – PUBLIC HEARING**

#### **REQUEST:**

Consideration of Exceptions to the height standards and rear yard setback requirements to legalize an existing accessory structure located in the rear yard of a residential property.

#### **Applicant/Property Owner:**

Robert Baumann & Associates/Leslie Carlson

#### **Project Location:**

458 East MacArthur Street

#### **General Plan Designation:**

Low Density Residential (LR)

#### **Zoning:**

**Planning Area:** Central-East Area

**Base:** Low Density Residential (R-L)

**Overlay:** None

#### **RECOMMENDED ACTION:**

Approve with conditions.

#### **CEQA Status:**

Categorically Exempt.

**Staff:** Wendy Atkins

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**ITEM #3 – PUBLIC HEARING****REQUEST:**

Consideration of a Use Permit to convert a building into a vacation rental unit.

**Applicant/Property Owner:**

Ryan Martin

**Staff:** Wendy Atkins

**Project Location:**

456 Fifth Street West

**General Plan Designation:**

Mixed Use (MU)

**Zoning:**

**Planning Area:** Northwest Area

**Base:** Mixed Use (MX)

**Overlay:** None

**RECOMMENDED ACTION:**

Commission discretion.

**CEQA Status:**

Categorically Exempt.

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**ITEM #4 – PUBLIC HEARING****ISSUE:**

Review of Draft Downtown Sonoma Preservation Design Guidelines.

**Staff:** Wendy Atkins

**RECOMMENDED ACTION:**

Forward to City Council, with recommendations.

**CEQA Status:**

Not applicable.

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**ISSUES UPDATE****COMMENTS FROM THE COMMISSION****COMMENTS FROM THE AUDIENCE****ADJOURNMENT**

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on July 8, 2016.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

**Rights of Appeal:** Any decision of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Planning Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda. A fee is charged for appeals.

*Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Planning Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.*

*If you challenge the action of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.*

*In accordance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48-hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

## MEMO

**To:** Planning Commission  
**From:** Senior Planner Gjestland  
**Subject:** Request of the Viviani Trust for an extension of the Use Permit allowing a multi-tenant marketplace, including restaurant uses, for the Sonoma Cheese Factory at 2 West Spain Street.

### Background

On July 15, 2015, the Planning Commission approved a Use Permit allowing new and replacement commercial floor area for the Sonoma Cheese Factory at 2 West Spain Street to support a multitenant marketplace that includes restaurant uses. The Trustee of the Viviani Trust is requesting additional time to complete financing and development negotiations for the project (see attached letter). Because the Use Permit approval is initially valid for only one year, the Trustee is requesting an extension in order to exercise the permit (under Section of 19.56.040.A of the Development Code, a permit is not deemed “exercised” until a building permit is obtained). This would be the first extension given to the project, a request that is typically granted in cases where steps have been taken to implement the approval.

### Recommendation

Approve one-year extension.

#### Attachments

1. *Extension Request*
2. *Location Map*
3. *Planning Commission Approved Site Plan*

cc: Sharon M. Fong (via email)  
Comerica Bank  
2321 Rosecrans Avenue, 5th Flr.  
El Segundo, CA 90245



COMERICA BANK  
MC 4681  
2321 Rosecrans Avenue, 5th FLOOR, El Segundo, CA 90245  
Office • 310.297.2877

**Sharon M. Fong**  
*Vice President, Regional Property Manager  
Wealth Management*  
smfong@comerica.com

June 27, 2016

Mr. Rob Gjestland, Senior Planner  
City of Sonoma Planning Department  
No. 1 The Plaza  
Sonoma, CA 95476-6618

RE: Extension Request for Use Permit for Sonoma Cheese Factory

Dear Mr. Gjestland,

We would like to request an extension on the Use Permit for Sonoma Cheese Factory. We have been busy with negotiating with a developer and working on funding for the project. We will need more time to finalize our agreements with all the parties. We are still very excited about this project and would like to continue to move forward. Your consideration and approval of an extension would greatly be appreciated.

We will be sending the renewal fee of \$55 to your office directly from our Detroit office.

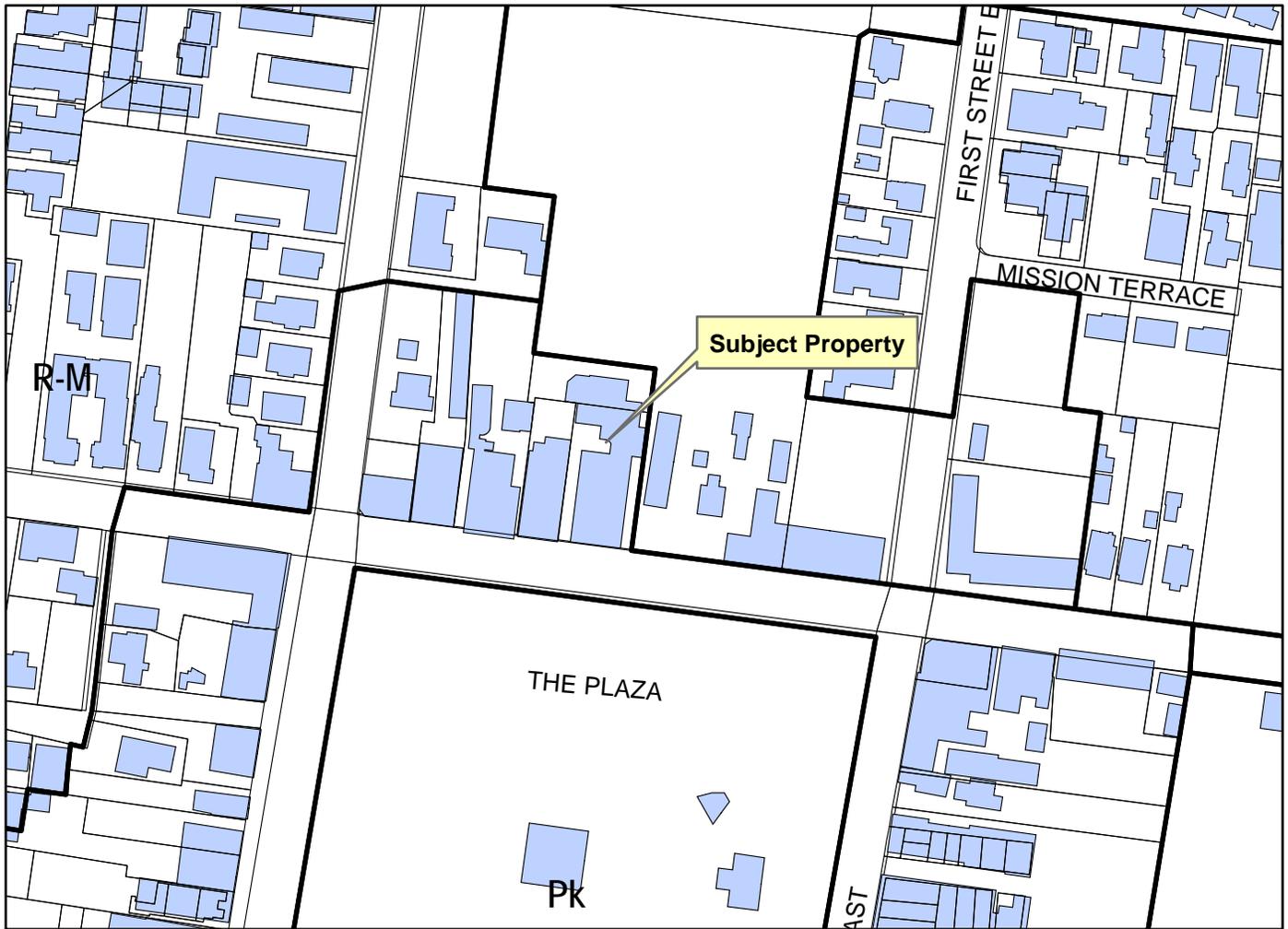
If you have any questions, please feel free to contact me at 310-297-2877.

Sincerely,

A handwritten signature in cursive script that reads "Sharon M. Fong".

Sharon M. Fong  
Vice President

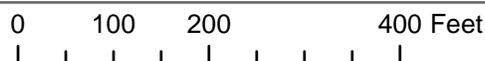
# Vicinity Map



## Project Summary

<i>Project Name:</i>	Sonoma Cheese Factory
<i>Property Address:</i>	2 West Spain Street
<i>Applicant:</i>	APPA Development
<i>Property Owner:</i>	Viviani Trust
<i>General Plan Land Use:</i>	Commercial
<i>Zoning - Base:</i>	Commercial
<i>Zoning - Overlay:</i>	Historic; Plaza Retail
<i>Summary:</i>	

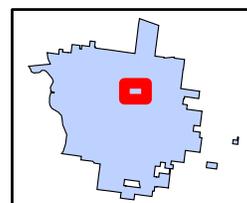
Consideration of a Use Permit to allow new and replacement commercial floor area for the Sonoma Cheese Factory as part of a multitenant marketplace, including consideration of a restaurant use and a Parking Exception.



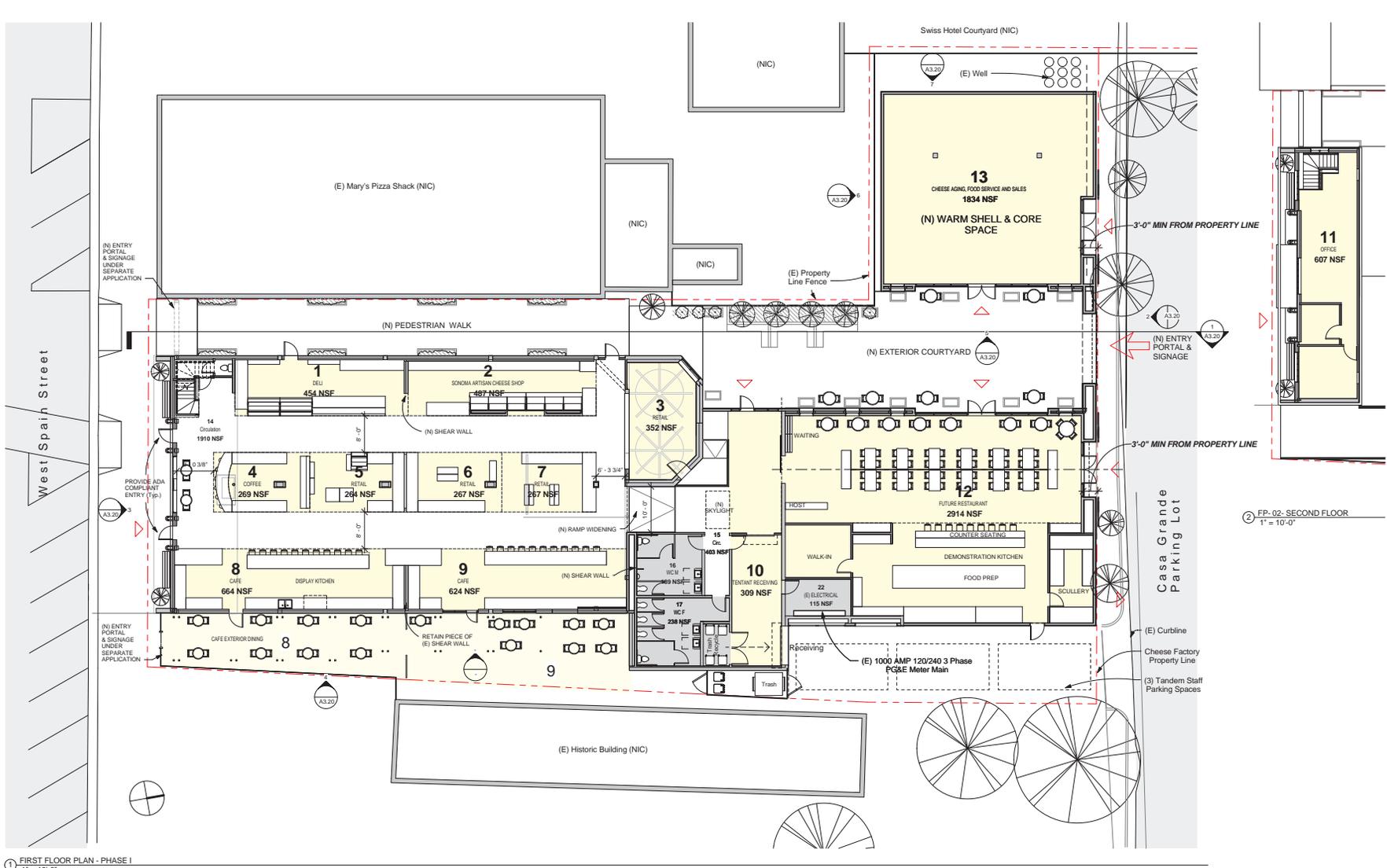
1 inch = 200 feet

## Zoning Designations

- R-HS Hillside Residential (1 D.U./10acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Denisty Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture



C:\Users\james\Documents\Sonoma Cheese Factory - SHARED\04 06/25/2015 12:20:33 PM



1 FIRST FLOOR PLAN - PHASE I  
1" = 10'-0"

TOTAL GROSS BUILDING AREA: 13,635 GSF

**RosDrulisCusenbery**  
 18294 Sonoma Highway  
 Sonoma, CA 95476  
 TEL 707 996 8448  
 FAX 707 996 8542

ARCHITECTURE  
**SONOMA CHEESE FACTORY**  
 APPA Development  
 2 West Spain Street,  
 Sonoma, CA. 95476  
 A.P.N. # 018-162-004  
 & 018-162-022

REVISIONS  
 No. Description Date

PROJECT USE PERMIT  
 DRAWINGS

Sheet Title  
**FLOOR PLANS (N)**

Drawn By: ER Checked By: Checker  
 Scale:  
 Date: 06/25/2015  
 Project No.: Project Number

**A2.10**  
 Drawing No.

See locations/ numbers are representative and subject to change  
 Preliminary Design Concepts. Design Subject To Change. Not For Construction Purposes.

If this drawing is not 24" x 36" it is a reduced print - scale accordingly.  
 All rights reserved. Reproduction is prohibited in any form  
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**Agenda Item Title:** Application for Exceptions to the height standards and rear yard setback requirements to legalize an existing accessory structure located in the rear yard of the property.

**Applicant/Owner:** Robert Baumann & Associates/Leslie Carlson

**Site Address/Location:** 458 East MacArthur Street

**Staff Contact:** Wendy Atkins, Associate Planner  
Staff Report Prepared: 06/28/16

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**PROJECT SUMMARY**

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**Description:** Application of Robert Baumann for Exceptions to the height standards and rear yard setback requirements to legalize an existing accessory structure located in the rear yard of the property at 458 East MacArthur Street.

**General Plan Designation:** Low Density Residential

**Zoning:** **Base:** Low Density Residential (R-L) **Overlay:** None

**Site Characteristics:** The property is a ±6,050 square foot lot located on the north side of East MacArthur Street, midblock between Fourth Street East and Fifth Street East. The site is currently developed with a one-story residence and detached accessory structure.

**Surrounding Land Use/Zoning:**  
**North:** Single-family home/Low Density Residential  
**South:** Single-family home/Low Density Residential  
**East:** Single-family home/Low Density Residential  
**West:** Single-family home/Low Density Residential

**Environmental Review:**

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

**Staff Recommendation:** Approve, subject to conditions of approval.

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## **PROJECT ANALYSIS**

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### **BACKGROUND**

In December, 2015, the Building Department became aware of a detached accessory structure, used as a guest room, on the property constructed without a building permit (by a previous property owner) and initiated the code enforcement process. Since that time, the applicant and the property owner have been working with the Building and Planning Departments to resolve issues related to the illegal structure. The applicant is proposing to bring the structure into conformance with the Building Code, but is requesting Exceptions to the height standards and rear yard setback requirements so that a portion of the existing structure may remain in the form that it was constructed. The building in question is a one-story structure, with an area of 326, located behind the main residence, at the back of the property. It is comprised of two elements, of which the smaller (284 square foot) portion will be demolished. The larger building element (326 square feet), which is proposed to be retained, is set back four feet from the rear property line (short of the normal five-foot setback requirement) and it has a wall height of 9 feet 8 inches, which exceeds the normal limit of nine feet. Note: the determination of building setbacks is based on the location of the property line fence, rather than a formal survey. This is an acceptable approach from the perspective of the Building Department, in cases where the location of the property line is not in dispute.

### **DETAILED PROJECT DESCRIPTION**

The project involves an application to legalize an existing detached accessory structure (guest room) in the northern portion of the property. The structure is setback approximately 4 feet from the rear yard setback (northern elevation). The detached accessory structure would have a wall height of 9 feet 8 inches on the north facing elevation and a peaked roof with a maximum height of 13 feet. The structure is currently used as a guest room and no kitchen is proposed. (If Planning Commissioners wish to visit the site, please contact Robert Baumann at (707) 996-7947 to schedule a site visit.)

### **GENERAL PLAN CONSISTENCY** ( **Not Applicable to this Project**)

The property is designated Low Density Residential by the General Plan. This designation is intended for urban single-family housing, with a density of between two to five residential units per acre (excluding second units). The proposal conforms to the goals and policies of the 2020 Sonoma General Plan and the purpose of the district in which the subject property is located.

### **DEVELOPMENT CODE CONSISTENCY** ( **Not Applicable to this Project**)

The project is consistent with limitations on Floor Area Ratio (0.35) and lot coverage (40%). It also complies with the size limit applicable to guest rooms (400 square feet) and it meets the setback standards applicable to residential accessory structures relative to the eastern and western property lines. However, per the Development Code, detached accessory structures should not exceed 9-feet at the exterior wall line (i.e. eave) and 15-feet at the roof peak in order to qualify for a five-foot setback from rear and side property lines (§19.50.080C). While the existing detached structure is under the maximum height limit, it does not meet the following requirements: (1) it would be located approximately 4 feet from the north property line, encroaching one-foot into the required setback; and, (2) it would have a wall height of 9 feet 8 inches. As a result, the applicant is requesting exceptions from the height standards and minimum setback standards for the project.

*Setback Exception Approval:* Pursuant to Development Code Section 19.48.050.A.1, the Planning Commission may grant exceptions from the setback standards, provided that the following findings may be made:

1. *The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;*

The residential use associated with the setback exception request is consistent with the property's Low Density Residential land use designation and zoning.

2. *An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;*

The subject property is constrained because it has an area of only 6,050 square feet, which is less than the 7,500 square-foot minimum normally be required by the Development Code. In addition, the exception could potentially be justified by the historic development patterns of the property and the interest in promoting creativity and personal expression in site planning and development.

3. *Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.*

In staff's view, the Exception would not adversely impact other properties or residents in the vicinity. The proposed 4-foot rear yard setback is not unusual for accessory structures conditions elsewhere in the neighborhood. The property owner has indicated that she has spoken to the adjacent neighbors and they have no problems with the proposal. In addition, and as of the date of the staff report, one piece of correspondence has been received regarding the proposal (see Discussion of Project Issues, below).

It is staff's view, the proposed Exceptions are relatively minor in nature and the findings necessary to support them may be made.

**CONSISTENCY WITH OTHER CITY ORDINANCES/POLICIES** ( Not Applicable to this Project)

**ENVIRONMENTAL REVIEW** ( Not Applicable to this Project)

Pursuant to Section 15305 of the State CEQA Guidelines, setback exceptions and variances not resulting in the creation of any new parcel are Categorical Exempt from the provisions of CEQA (Class 5 – Minor Alterations in Land Use Limitations).

**DISCUSSION OF PROJECT ISSUES**

*Neighbor Compatibility.* In staff's view, apart from the findings necessary to approve the exceptions, the primary issue associated with this application is compatibility with nearby properties. In this regard, the structure is basically compatible with its surroundings in its low-profile design and location. In addition, the existing 6-foot fence along with existing vegetation provides an adequate amount of screening. These features minimize the visibility of the proposed accessory structure from directly adjoining properties to the north and east. Furthermore, the property owner has indicated that she has spoken with the adjoining neighbors regarding the application and the neighbors have no problem with it. Correspondence (see attached) has been submitted by the property owner to the north requesting that the Planning Commission consider including a condition of approval to extend the height of the fence on the north side of the guest room. The height of the top of the window is 8.5 feet. Subsequently, a condition of approval has been included requiring an 8-foot tall fence on the subject property (north of the guest room) to address the northern property owners' concerns.

**RECOMMENDATION**

Approve, subject to conditions of approval.

Attachments

1. *Draft Findings of project approval*
2. *Draft conditions of approval*
3. *Location map*
4. *Project narrative*
5. *Correspondence*
6. *Site plan/Elevations*

cc: Robert Baumann & Associates  
545 Third Street West  
Sonoma, CA 95476

Leslie Carlson  
458 East MacArthur Street  
Sonoma, CA 95476

Mark and Maurine Solomonson  
31700 N. Mitchell Creek road  
Fort Bragg, CA 95437

City of Sonoma Planning Commission  
**FINDINGS FOR PROJECT APPROVAL**  
Carlson Accessory Structure – 458 East MacArthur Street

July 14, 2016

**Exception Findings:**

1. The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;
2. An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;
3. Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

**DRAFT**

City of Sonoma Planning Commission  
**CONDITIONS OF PROJECT APPROVAL**  
Carlson Accessory Structure – 458 East MacArthur Street

July 14, 2016

1. The project shall be constructed in conformance with the approved site plan and building elevations, except as modified by these conditions.

*Enforcement Responsibility: Planning, Building and Public Works*  
*Timing: Prior to issuance of a building permit; Ongoing*

2. All Building Division requirements shall be met. A building permit shall be required. The building permit shall include the demolition of the smaller (284 square foot) portion of the building.

*Enforcement Responsibility: Building Division*  
*Timing: Prior to construction*

3. All Fire Department requirements shall be met.

*Enforcement Responsibility: Fire Department; Building Department*  
*Timing: Prior to issuance of a building permit*

4. The peak roof height shall be limited to 15 feet and the wall height shall be limited to 9 feet 8 inches.

*Enforcement Responsibility: Planning Department*  
*Timing: Prior to issuance of a building permit*

5. The applicant shall comply with the following requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA):

- a. A sewer permit form PRMD to review the design and inspection for guest unit.
- b. Two sets of site plans with the side sewers shown (from all structures to the sewer main). Existing side sewers should be differentiated on the plans from proposed, if any. All angle points, cleanouts, pumps, etc. should be shown.
- c. Additional sewer construction, or modification may be required if the existing system does not comply with Standards.
- d. A recorded "Second Unit Letter" from the Sonoma County Water Agency may be required if two existing building share a sewer line.
- e. Additional sewer review may be required depending upon the sewer design and layout.

*Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department;  
Sonoma County Water Agency: City of Sonoma Building Department*  
*Timing: Prior to issuance of a building permit*

7. A minimum 8-foot tall fence (solid material) shall be constructed to the north of the guest house..

*Enforcement Responsibility: Planning Department*  
*Timing: Ongoing*

# Vicinity Map



## Zoning Designations

### Project Summary

*Project Name:* Carson Guest Room

*Property Address:* 458 East MacArthur Street

*Applicant:* Robert Baumann & Associates

*Property Owner:* Leslie Carlson

*General Plan Land Use:* Low Density Residential

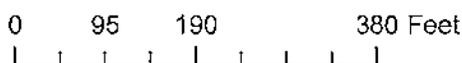
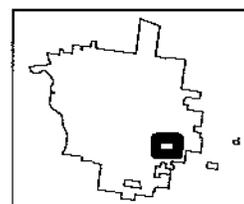
*Zoning - Base:* Low Density Residential

*Zoning - Overlay:* None

#### Summary:

Application for Exception to the height standards and rear yard setback requirements to legalize an existing accessory structure located in the rear yard of the property.

- R-HS Hillside Residential (1 D.U./10 acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Density Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- PK Park
- A Agriculture



1 inch = 200 feet



**Robert Baumann + Associates**  
**CA License # C28431**  
545 Third Street West, Sonoma, CA 95476  
P - 707.996.7947 F - 707.996.7904  
[rb@robertbaumann.com](mailto:rb@robertbaumann.com)

RECEIVED

JUN 27 2016

CITY OF SONOMA

DATE: July 14, 2016  
TO: City of Sonoma, Planning Department

**RE: PROJECT NARRATIVE – Carlson Residence, 458 East Macarthur Street**

This Application for Exception is being made on behalf of our client, Leslie Carlson, the owner of 458 East Macarthur Street, in response to a Notice and Order to Abate Violations dated May 2, 2016. The Notice and Order relates to an accessory structure built on the property without the requisite building permit. After consulting with Planning and Building Department staff about the best path forward, we are formally initiating the abatement process and seeking planning approvals as described below.

The existing, unpermitted building was built in two stages. The smaller (284 square foot) portion, which was constructed first, will be demolished; an initial cost estimate from a general contractor proves it to be financially impractical to legalize. The larger (326 square foot) portion of the existing building was constructed using means and methods generally conforming to current California Residential Building Code. It is our intent to seek planning approval for this portion of the structure as a first step toward full permitting.

As described in the submitted drawing set, our proposed changes to the existing structure only result in increased compliance with Floor Area Ratio (F.A.R.) or Lot Coverage requirements. Our resulting building envelope is more than eleven feet from the western side-yard property line, more than twenty-five feet from the eastern sideyard property line, and the net rear yard coverage is only 26% (where 50% is allowed).

Although the existing portion of this unpermitted structure meets and/or exceeds the requirements of the City of Sonoma Development Code discussed above, we are seeking exceptions to the maximum wall height and rear property line setback requirements outlined in Section 19.50.080(C)(2). Per this section, maximum wall height from grade to top of plate is limited to 9 feet. The portion of our building which is to remain exceeds this maximum by between six and eight inches as shown in the submitted building elevations. The structure does, however, comply with the maximum allowable height of 13 feet measured ten feet from property lines, and it is more than 18 inches below the maximum allowable height of 15' at its ridge.

Two separate, meandering fencelines and several mature trees obscure the location of the rear property line. The existing building face is roughly four feet from the adjacent fenceline, and roughly five feet from the outboard fenceline. Seeking to avoid the expense of a record of survey for this property line, our client is assuming a property line location to her own detriment and is requesting an exception for the 18 linear feet of existing structure which encroach approximately one foot into this assumed rear yard setback.

The design we are presenting is consistent with the overall objectives of the Development Code for the Central-East Planning Area in that it allows the property to retain its low-density, residential character. It is comparable in scale and architectural style to structures on adjacent properties, yet it is distinct enough to contribute to the variety of architectural styles representative of this planning area. To the extent that the additional wall height is incompatible with planning objectives, its effect should be mitigated by the presence of mature trees and existing privacy fences on all sides of the structure.

If you require additional information, or have any questions about the submitted material, please contact me at your earliest convenience.

Thank you,

A handwritten signature in black ink, appearing to read "Robert Baumann", with a long horizontal flourish extending to the right.

Robert Baumann, *Architect*

07-06-2016

To: The City of Sonoma Planning Commission

Re: 458 East MacArthur

From: Mark and Maurine Solomonson - 877 Virginia Court, Sonoma CA

- 1) Please visit the structure and see just how close to the fence and property line the unit was built.
- 2) The concern is that it is not an "accessory structure" but it is built as a small home to be occupied. (There is an original shed to the east of the new structure and it was built out along that north wall line.)
- 3) The unit was built within 10" or so of our back (south fence) and has a window facing into our yard and bedroom silding glass doors, even with the trees and ivy the light from the window shines into the yard/bedroom area now. ( Our son lives in the house now and recently mentioned it to us.)
- 4) Since it is an illegally built house, we want assurances the structure has been inspected and built to current building codes.
- 5) The Planning Commision should approve an extended height fence for the structure's owners to build along the north side of the structure to block the window facing into our yard and restore the privacy of that area.

Please keep us informed of your actions on this matter.

Sincerely-

Mark and Maurine Solomonson

877 Virginia Court

Sonoma, CA 95476

Mailing address-

31700 N. Mitchell Creek Road

Fort Bragg, CA 95437

*Mark Solomonson &  
Maurine W. Solomonson*

RECEIVED

JUL 06 2016

CITY OF SONOMA

## NOTICE OF PUBLIC HEARING

*The Project described below is located on property that lies within 500 feet of your property:* Notice is hereby given that the Planning Commission of the City of Sonoma, at a meeting on July 14, 2016 to be held in the Community Meeting Room at 177 First Street West, will conduct a public hearing on the project described below at 6:30 p.m., or as soon thereafter as the matter may be reached:

**Project Description:** Application of Robert Baumann & Associates for Exceptions to the height standards and rear yard setback requirements to legalize an existing accessory structure located in the rear yard of the property at 458 East MacArthur Street.

**Public Response Requested:** The public is hereby invited to comment by sending written comments to the Planning Commission, c/o Sonoma City Hall, No. 1 The Plaza, Sonoma, CA 95476 no later than **July 14, 2016**. Interested persons are also invited to attend the public hearing and address any comments directly to the Planning Commission. The project application and related materials are available for review at Sonoma City Hall, No. 1 The Plaza, Sonoma, CA 95476. **A Planning Department staff report on the item will normally be available at City Hall on the Friday prior to the meeting.**

The City of Sonoma has, by resolution, adopted the time limits set forth in California Civil Procedure Section 1094.6. Pursuant to these time limits, should any member of the public seek judicial review of a decision on the project, such action must be filed no later than the ninetieth day following the date that the administrative decision becomes final.

**Date of Notice: Friday, June 24, 2016**



**PRELIMINARY  
PROGRESS  
NOT FOR CONSTRUCTION**



545 Third Street West  
Sonoma, CA 94976  
707.938.1700  
707.938.1701  
rba@rlbassociates.com

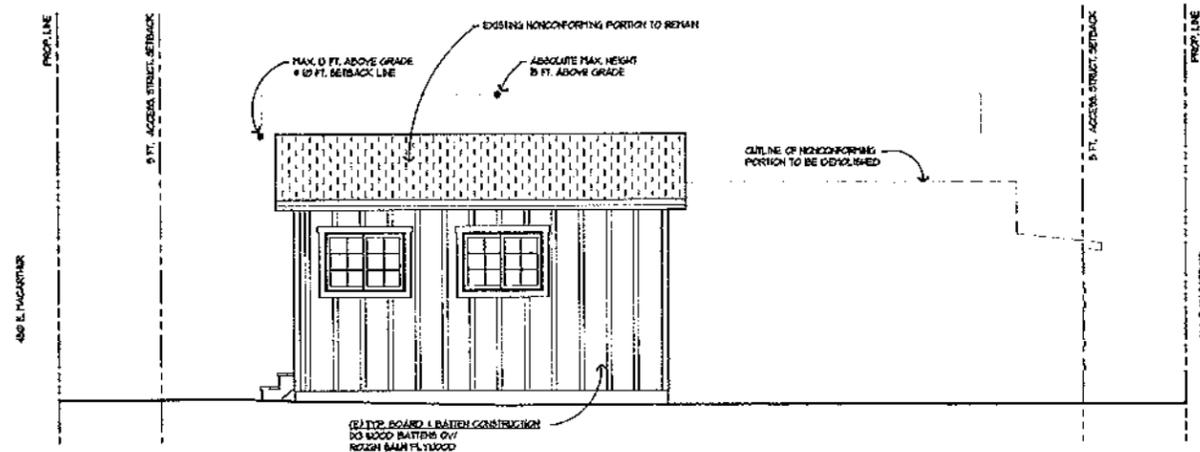
ROBERT BAUMANN



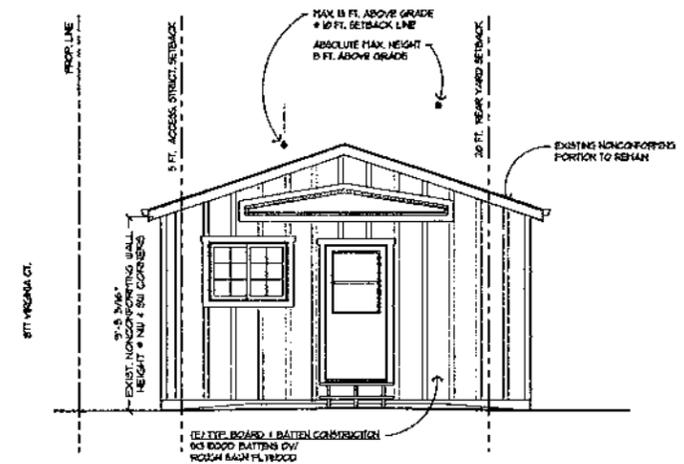
**CARLSON RESIDENCE**  
458 E. MACARTHUR STREET  
SONOMA, CA 94976 (A.P.N.: 018-381-011)

ISSUE DATE: 6/7/16

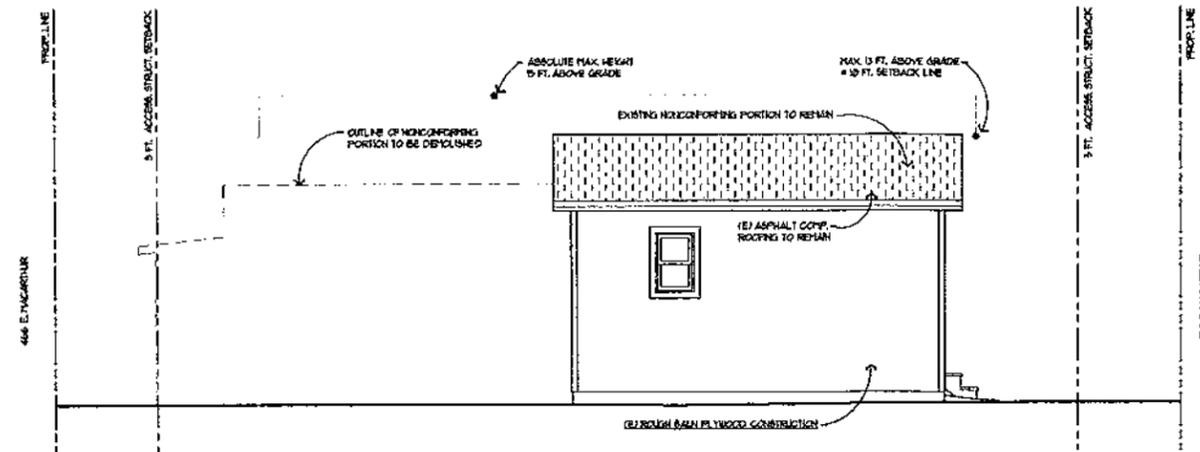
REVISIONS
6/15/16 PLANNING SUBMIT
6/24/16 PLANNING REV-2
6/27/16 PLANNING REV-3



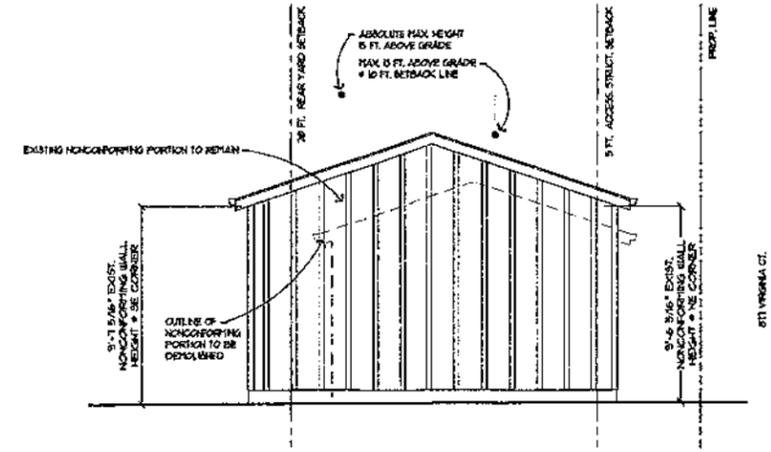
**(D) SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**(D) WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**(C) NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**(A) EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

PROPOSED  
ADDITION /  
REMODEL  
SCHEMATIC  
DESIGN  
PROPOSED  
ELEVATIONS

**A3.1**

*Handwritten signature or initials at the bottom right corner.*

**Agenda Item Title:** Application for a Use Permit to convert a building into a vacation rental unit.  
**Applicant/Owner:** Ryan Martin  
**Site Address/Location:** 456 Fifth Street West (APN 018-193-035)  
**Staff Contact:** Wendy Atkins, Associate Planner  
Staff Report Prepared: 6/27/16

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**PROJECT SUMMARY**

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**Description:** Application of Ryan Martin for a Use Permit to convert a building into a vacation rental unit at 456 Fifth Street West.

**General Plan Designation:** Mixed Use (MU)

**Planning Area:** Northwest Area

**Zoning:** **Base:** Mixed Use (MX) **Overlay:** None

**Site Characteristics:** The subject property is a ±6,098-square foot parcel located on the east side of Fifth Street West at the corner of Fifth Street west and Church Street. The property is currently developed with a 1,046-square foot building.

**Surrounding Land Use/Zoning:**  
**North:** Offices/Commercial  
**South:** Offices/Commercial  
**East:** Driveway to parking lot  
**West:** Valley Mart Shopping Center

**Environmental Review:**

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

**Staff Recommendation:** Commission discretion.

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## **PROJECT ANALYSIS**

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### **BACKGROUND**

Building permits for the property indicate an approval for a two-bedroom dwelling unit in 1959. A subsequent building permit in 1987 was issued for a new roof. The applicant has indicated that when the property was purchased in 2008, it did not feature kitchen equipment.

### **DETAILED PROJECT DESCRIPTION**

The owner is requesting approval to operate an existing building, originally built as a single-family residence, as a two-bedroom vacation rental unit. The project narrative indicates that most recently the building has been used as quasi-commercial use; however, building and use permit searches have not revealed a change of use for the building from residential to commercial. The building, which was built as a single-family residence, has a floor area of ±1,046 square feet (excluding its attached garage). The applicant has indicated that the building will be retrofitted to provide a working kitchen. As a vacation rental, it would be rented on a short-term basis for periods of less than 30 consecutive days under management by a local property management company. The applicant has indicated that the property is not in an ideal area to rent as a full-time personal residence, as it is completely surrounded by commercial properties and the area is subject to heavy traffic and associated noise. More details on the proposal can be found in the attached project narrative.

### **GENERAL PLAN CONSISTENCY** ( **Not Applicable to this Project**)

The Mixed Use land use designation is intended to accommodate uses that provide a transition between commercial and residential districts, to promote a pedestrian presence in adjacent commercial areas, and to provide neighborhood commercial services to adjacent residential areas. Vacation rentals are allowed in the corresponding Mixed Use zone with a Use Permit. The following goals and policies of the General Plan are applicable to the project:

*Local Economy Element, Policy 1.5:* Promote and accommodate year-round tourism that is consistent with the historic, small-town character of Sonoma.

*Housing Element, Policy 3.8:* Preserve Sonoma's existing housing stock by regulating and restricting the use of residences for vacation rentals.

The proposal is consistent with the policy that encourages tourism; however, the effect of converting the building to vacation rental use must also be considered in relation to policies that support housing (refer to "Discussion of Project Issues" below).

### **DEVELOPMENT CODE CONSISTENCY** ( **Not Applicable to this Project**)

*Use:* The property is zoned Mixed Use (MX), which allows for a variety of residential and commercial uses, including vacation rentals, subject to review and approval of a Use Permit by the Planning Commission.

*Development Standards:* The proposed use would operate within an existing structure. New construction is proposed in the form of new electrical and plumbing, replace all windows, add a full kitchen, refinish the wood flooring, repaint entire interior and exterior, and completely renovate front and backyard landscaping. The project, which does not involve the addition of any new building area, does not raise any issues in terms of compliance with building setback, FAR, lot coverage, open space, and building height standards.

*On-Site Parking:* Under the Development Code, one parking space is required for each bedroom within a vacation rental. Accordingly, two on-site parking spaces are required for the use. The property is provided with one parking space along the north property line (Church Street), and two parking spaces on the west property line (one in the garage and one in the driveway apron area). While the two parking spaces on Fifth Street West are tandem, due to the nature of the proposed use, guests would be able coordinate their use if needed.

*Vacation Rental Standards:* The applicable standards set forth under Section 19.50.110 of the Development Code have been included in draft conditions of approval (attached). These include requirements related to fire and life safety, maintaining a business license, payment of Transient Occupancy (TOT) taxes, and limitations on signs.

*Design Review:* The proposal involves the conversion of a building to commercial use. The project narrative anticipates that new windows will be installed and a new external paint color may be proposed. In addition, it is also possible that planned modifications to the floor plans, accessibility improvements required by the Building Code, and/or other upgrades, could result in alterations to the building exterior. Pursuant to 19.54.080.B.2 of the Development Code, maintenance and in-kind replacement of exterior materials are not subject to design review. However, exterior building modifications that require a building permit are subject to design review. A draft condition of approval has been included in this regard.

**CONSISTENCY WITH OTHER  
CITY ORDINANCES/POLICIES** (Not Applicable to this Project)

**ENVIRONMENTAL REVIEW** (Not Applicable to this Project)

Pursuant to Section of 15301 of the State CEQA Guidelines, the leasing, permitting, or operation of existing private structures involving negligible or no expansion of use is considered Categorical Exempt from the provisions of CEQA (Class 1 – Existing Facilities).

**DISCUSSION OF PROJECT ISSUES**

*Housing:* The proposal would reduce the City’s current long-term housing stock by one unit. Although the narrative states that the property has been used as a commercial use since it was purchased by the applicant in 2008, staff was unable to locate building permits or a use permit addressing the change of use from residential to commercial. In addition, converting it to a vacation rental would reduce the potential for the unit to be used as a long-term unit/rental in the future given the economic incentive associated with vacation rentals in the City of Sonoma.

*Compatibility:* In staff’s view, the proposal does not raise significant issues in terms of compatibility with surrounding land uses. The vacation rental would be located in a setting that supports a variety of land uses including numerous commercial businesses, including a shopping center and a bank, as well as single-family residences to the east (on Church Street). The neighboring property on the south is used as an office (under a use permit granted in 1992) and the Wells Fargo Bank parking lot adjoins the subject property on the east. As noted in the narrative, the owners intend to have a local property management company manage the vacation rental. Through the terms of their rental contract, group size would be limited to a maximum of 6 guests, and parties/events, live music, pets, and smoking would be prohibited at the rental (these limits have been included in the draft conditions of approval along with a requirement that outside noise cease by 10p.m).

**RECOMMENDATION**

Over the past three years, the Planning Commission has approved nine Use Permit applications involving the approval of vacation rentals in Commercial and Mixed Use zoning districts, including some instances of converting long-term rentals that were viewed as no longer desirable for that purpose (e.g., 284-294 West Napa Street, Units #2 and #3) due to the intensity of nearby commercial uses. The subject proposal could be viewed in that in light. However, the loss of residential units to vacation rental conversions has become an issue of increasing concern and the residential rental use option would be precluded as a practical matter if the application were to be approved. Based on these factors, the staff recommendation is Commission discretion.

Attachments

1. *Findings of Project Approval*
2. *Draft Conditions of Approval*
3. *List of Approved Vacation Rentals*
4. *Location map*
5. *Project Narrative*
6. *Site Plan & Building Elevations*

cc: Ryan and Allen Martin  
P.O. Box 969  
Hughson, CA 95326-0969

City of Sonoma Planning Commission  
**FINDINGS OF PROJECT APPROVAL**  
Martin Vacation Rental Use Permit – Fifth Street West  
July 14, 2016

Based on substantial evidence in the record, including but not limited to the staff report, and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

**Use Permit Approval**

1. That the proposed use is consistent with the General Plan and any Specific Plan;
2. That the proposed use is allowed with a conditional Use Permit within the applicable zoning district and complies with all applicable standards and regulations of the Development Code (except for approved Variances and Exceptions).
3. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity; and
4. The proposed use will not impair the architectural integrity and character of the zoning district in which it is to be located.

City of Sonoma Planning Commission  
**CONDITIONS OF PROJECT APPROVAL**  
Martin Vacation Rental Use Permit – Fifth Street West  
July 14, 2016

1. The vacation rental shall be operated in conformance with the project narrative except as modified by these conditions and the following:

- a. No more than four guests shall occupy the vacation rental unit.
- b. Parties, weddings, events, and live music shall be prohibited at the vacation rental property.
- c. Occupants shall observe a quiet time of 10 p.m. to 7 a.m.

*Enforcement Responsibility: Planning, Building and Public Works*  
*Timing: Ongoing*

2. Two on-site parking spaces shall be provided and maintained for the vacation rental.

*Enforcement Responsibility: Planning, Building, and Public Works*  
*Timing: Ongoing*

3. The applicant/property owner shall obtain and maintain a business license from the City for the vacation rental use, and shall register with the City to pay associated Transient Occupancy Taxes (TOT).

*Enforcement Responsibility: Planning, Building, and Public Works; Finance Department*  
*Timing: Prior to operation of the vacation rental and ongoing*

4. Fire and life safety requirements administered by the Fire Department and the Building Division shall be implemented. Minimum requirements shall include approved smoke detectors in each lodging room, installation of an approved fire extinguisher in the structure, and the inclusion of an evacuation plan posted in each lodging room.

*Enforcement Responsibility: Building Division; Fire Department*  
*Timing: Prior to operation and ongoing*

5. The vacation rental shall comply with the annual fire and life safety certification procedures of the Fire Department.

*Enforcement Responsibility: Fire Department*  
*Timing: Ongoing*

6. One sign, with a maximum area of two square feet, may be allowed subject to the approval of the City's Design Review Commission.

*Enforcement Responsibility: Planning Department; DRC*  
*Timing: Prior to installation of a sign for the vacation rental*

7. The project shall comply with all Building Department and Building Code requirements, including any applicable ADA accessibility requirements.

*Enforcement Responsibility: Building Department*  
*Timing: Prior to operation*

8. Any exterior building modifications that go beyond maintenance and/or in-kind replacement of exterior materials (including repainting, except when the existing color scheme is substantially retained) and require a building permit shall be subject to review and approval by the DRHPC

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to the issuance of any building permit*

Ryan Martin □ Po Box 969, Hughson, Ca 95326 □ 209.613.7295 □ evenwake@gmail.com

Date: 6/17/16

To: City of Sonoma Planning Commission

RE: Vacation rental use permit

Site Address: 456 5th St. West

PROJECT NARRATIVE:

By way of introduction, my name is Ryan Martin, and I am the owner of the property at 456 5th St. West. I, along with my parents, Allen & Paula Martin, purchased this property in 2008, as a place to stay while working in the area. Unfortunately, life has taken us away from Sonoma, but we are still very interested in utilizing the property as a periodic vacation destination for our family, while also being able to generate revenue while the property is not in personal use.

Our proposed plan is to operate this property as a vacation rental, pursuant to Municipal Code 19.50.110. Admittedly, this property is not in the ideal area to rent as a full-time personal residence, as it is completely surrounded by commercial property and generates a lot of traffic and noise. However, as a temporary residence, this location offers many amenities, such as restaurants, shopping, spa services, and a gym with short term memberships for visitors. We feel there is a great opportunity to partner with these local businesses in bringing customers into the adjacent shopping center.

The property has been used as commercial use since we purchased it, and has most recently been occupied by a business owner, who operates his restaurant across the street. Although the tenant signed a commercial lease, he has utilized the property at times as a living space. Our building currently doesn't provide kitchen amenities needed for a residential property, so he utilized the kitchen from his restaurant on a temporary basis.

Our mixed use property is currently in working condition to be utilized as a commercial property, but would need remodeling in order to attract potential residents. If approved, it is our intention to makeover this property, in order to provide a charming experience to vacationers staying in Sonoma. Our plan is to update the electrical and plumbing, replace all windows, add a full working kitchen, refinish the wood flooring, repaint entire interior and exterior, and completely renovate front and backyard landscaping.

Lastly, we intend to work with a local Property Management company, in order to provide residents with professional 24 hour customer service. We are currently in the process of finding the right company now.

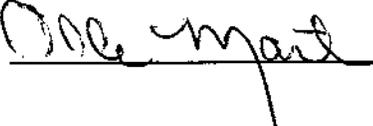
It is our intention to operate a high end, organized, well operated vacation rental and feel this property is a perfect candidate to provide such an experience, while generating revenue to both

**JUN 17 2016**

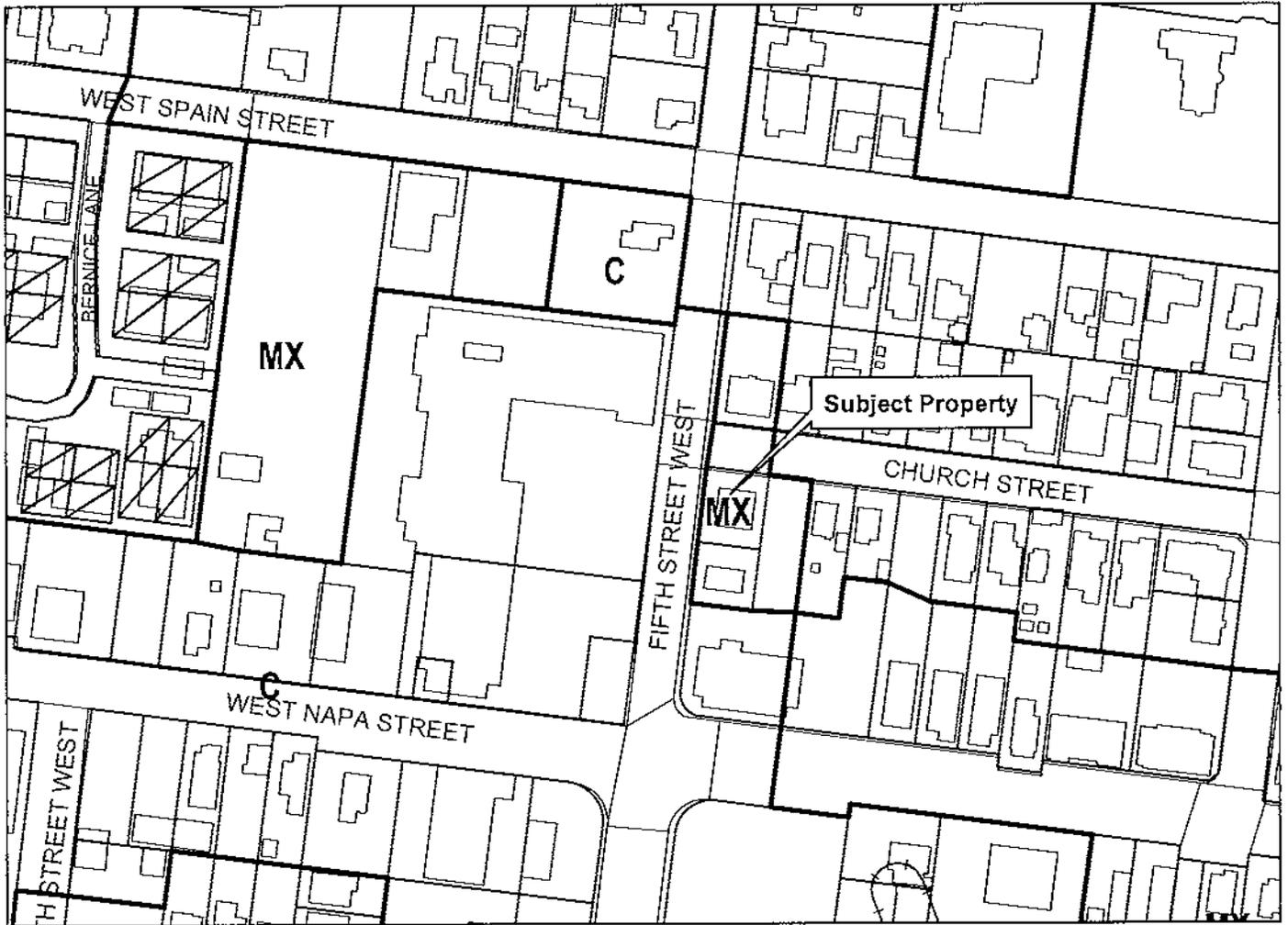
Ryan Martin □ Po Box 969, Hughson, Ca 95326 □ 209.613.7295 □ evenwake@gmail.com

the city and local businesses. Thank you for your consideration and please feel free to contact me should you have any questions.

Ryan Martin:  6/17/16

Allen Martin:  6-17-16

# Vicinity Map



## Zoning Designations

- R-HS Hillside Residential (1 D.U./10 acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Density Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture

### Project Summary

*Project Name:* Martin Vacation Rental

*Property Address:* 456 Fifth Street West

*Applicant:* Ryan Martin

*Property Owner:* Same

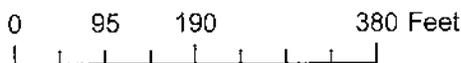
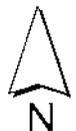
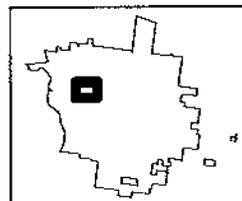
*General Plan Land Use:* Mixed Use

*Zoning - Base:* Mixed Use

*Zoning - Overlay:* None

### Summary:

Application for a Use Permit to convert a building into a vacation rental unit.



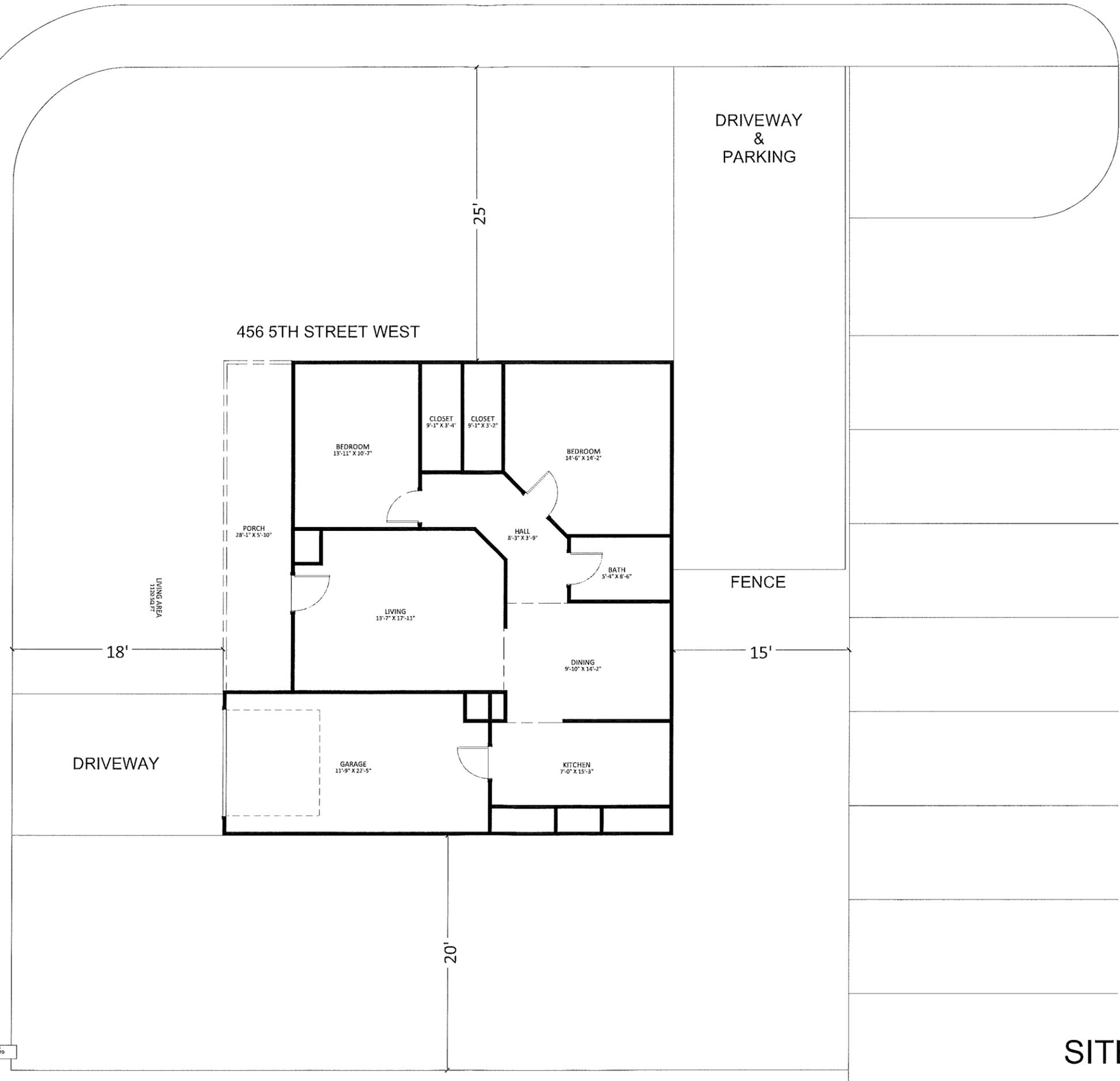
1 inch = 200 feet

CHURCH STREET



5TH STREET WEST

456 5TH STREET WEST



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**Allen Martin**  
456 5TH STREET WEST, SONOMA, CA (209) 605-6427

DATE: June 14, 2016  
SCALE: 1/4" = 1'  
REVISIONS:

SHEET NUMBER

1 of 2

SITE PLAN

CONTRACTOR OR OTHERS DOING WORK ON THIS JOB SHALL VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES AND GRADE REQUIREMENTS BEFORE CONSTRUCTION. PLAN DISCREPANCIES OR ERRORS SHALL BE BROUGHT TO THE ATTENTION OF DESIGN CLASSICS BEFORE WORK BEGINS.

CHURCH STREET



5TH STREET WEST

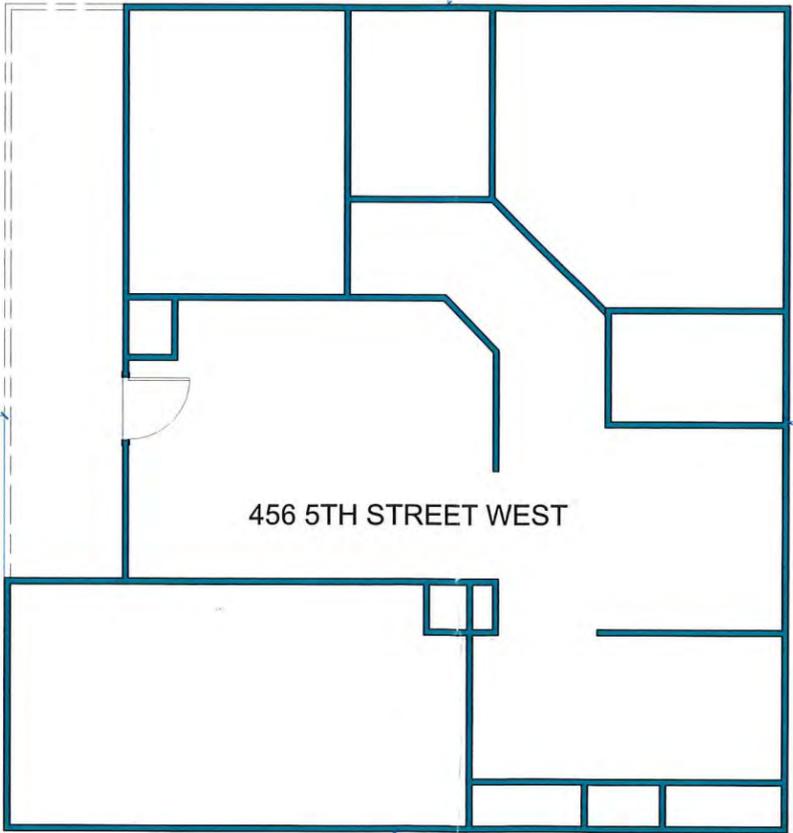
18'

20'

25'

15'

456 5TH STREET WEST



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June 14, 2016  
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NUMBER**  
1 of 2

**SITE PLAN**

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100' RADIUS

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June 14, 2016

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1/16" = 1'

REVISIONS:

SHEET  
NUMBER

2 of 2



JUN 17 2016

**M E M O**

**To:** Planning Commission  
**From:** Associate Planner Atkins  
**Subject:** Draft Downtown Sonoma Preservation Design Guidelines

**Background**

On April 21, 2015 a draft request for proposals (RFP) for preparation of downtown preservation and design guidelines was presented to the Design Review and Historic Preservation Commission (DRHPC) for review and comment, at which time the Commission voted unanimously to forward the RFP to the City Council. Subsequently, on May 4, 2015, the City Council unanimously approved the RFP. In August, 2015, Page & Turnbull was selected by an interview panel consisting of City staff, commission members, and members of the public to prepare the design guidelines. Following the selection of the consultant, the key steps undertaken to date in the preparation of the design guidelines are as follows:

- November 19, 2015: The Advisory Committee participated in a walking tour of the project area and provided suggestions and feedback on the format of the document.
- January 25, 2016: The City of Sonoma held a public workshop and received suggestions and comments from the public on many aspects of the content of the design guidelines.
- On May 19, 2016: A review draft of the Downtown Design Guidelines was completed.
- June 2, 2016: The Advisory Committee met to discuss the draft design guidelines, provided additional feedback, and participated in a design review exercise (see attached) using the draft Downtown Sonoma Preservation Design Guidelines as a tool to complete the exercise.
- June 21, 2016: The DRHPC held a public hearing and received suggestions and comments from the Commission and the public on the draft design guidelines. As summary of their feedback is as follows:
  - Add more substance to the document—this comment was made frequently but only one example was given. Comm. Essert suggested that section 5.1.4 (Windows & Doors) be modified to explain what “necessary” means.
  - The DRHPC and the public requested the DRHPC and the Planning Commission focus more on FAR and coverage issues related to projects.
  - Include the overarching historic preservation concepts from the PowerPoint slide in the Guidelines.

- Include more “successful” examples and pictures. The checks and “X” marks were found to be very helpful.
- Explain the relationship between the Development Code, Historic Overlay Zone, and Secretary of Interior Standards. Is there a hierarchy and how do they relate?
- Provide recommendations or explain why a color study or guidelines was not provided.
- Will the new guidelines provide clarification to the Development Code or require changes to design review application?

The DRHPC forwarded the guidelines to the City Council, with a unanimous recommendation to approve the Downtown Sonoma Preservation Design Guidelines after Page & Turnbull has incorporated the public feedback from the DRHPC meeting and the Planning Commission meeting. In addition, the DRHPC encouraged the City Council to allocate resources for additional preservation guidelines for the remaining planning districts beginning with the districts located in the Historic Overlay Zone.

### **Introduction and Purpose**

The Downtown Sonoma Preservation Design Guidelines were prepared to serve as a project planning tool for residents, property owners, the Planning Commission, and the Design Review and Historic Preservation Commission. The city of Sonoma’s Downtown Planning Area is the focal point of historic Sonoma, as it encompasses the Sonoma Plaza historic district (listed both in the National Register of Historic Places and as a National Historic Landmark). The guidelines seek to accommodate growth and change in the Downtown Planning Area, while guiding alterations of existing buildings and new development, with the goal of respecting and preserving the historic character of the community and promoting excellence in the built environment. The document provides guidance to property owners, city staff, the design community, and the general public to sustain the historical character of downtown Sonoma and ensure that changes to the built environment will be sensitive to the community’s historical legacy.

### **How to Use the Design Guidelines**

Introductory chapters explain the basis, scope and purpose of the Guidelines. With regard to project review, the guidelines are arranged by chapters according to the nature and scope of a proposed project:

- **Chapter 5:** Repairing and Altering Existing Buildings
- **Chapter 6:** Additions to Existing Buildings
- **Chapter 7:** Designing and Constructing New Buildings
- **Chapter 8:** Site Design and Alterations
- **Chapter 9:** Special Considerations

Each of these chapters outlines a number of historic preservation concepts that should inform the thought process behind project development and design review. The concepts represent design objectives that can be applied to many different situations and result in a compatible building that is integrated into the historic context. Each guideline is followed by additional and clarifying information in a bulleted list. Where possible, the guidelines also include links to National Park

Service (NPS) Technical Preservation Briefs, which provide additional guidance and “how-to” information that may prove useful and is compliant with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. Three sub-areas within the Downtown Planning District have been identified using the boundaries of the Sonoma Plaza National Register Historic District, the National Historic Landmark, and the Historic Overlay Zone. The first sub-area is determined by the boundaries of the National Register Historic District and National Historic Landmark District. The second sub-area is located outside of the historic districts but still within the Historic Overlay Zone established by the City of Sonoma. The third sub-area encompasses the southernmost portion of the Downtown Planning District and is located outside of the Historic Overlay Zone. The purpose of identifying these sub-areas is to clearly define the pre-existing conditions and polices that apply to each area. The goal is to encourage high-quality design and development that addresses the three sub-areas in appropriate ways.

### **Response to DRHPC Comments**

Planning staff and Page & Turnbull have developed the following responses to the feedback provided by the DRHPC:

- **Add more substance to the guidelines:** Explaining how to replace a window is beyond the typical content of a design guidelines document. If the desire is to discuss thresholds an easy fix to tighten up the document might be to change language from phrases such as “consider” to more prescriptive language like “avoid” or “should/do not”. Page & Turnbull hedged against that kind of prescriptive language since every property and project varies to an extent and planning staff agrees with this approach. These are, after all, design *guidelines* and they are intended to provide the DRHPC and the Planning Commission with some degree of flexibility in order to respond to individual property conditions and constraints.
- **FAR and Coverage:** Many comments were received regarding FAR and coverage issues and suggestions were made that the DRHPC should have more authority with regard to these issues. Municipal Code Section 19.54.080.D (Review Responsibility) discusses the responsibilities of the Planning Commission and DRHPC with regard to site design and architectural review. In summary, the section indicates that for projects subject to review by the Planning Commission, the Planning Commission shall be responsible for reviewing and acting upon the project site plan, building massing and elevation concepts to the extent it deems necessary. Subsequent review by the DRHPC is limited to elevation details, colors and materials, landscaping, lighting, site details, and any issues specifically referred to the DRHPC by the Planning Commission. That also means that when projects are reviewed by the DRHPC and were not subject to review by the Planning Commission, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing, and elevation concepts. Staff will include this statement in future DRHPC staff reports to make it clear to the DRHPC and the applicants that the DRHPC has discretion over site plan, building massing, and elevation concepts even if the FAR and coverage meets the Development Code requirements. All of that said, modifying the coverage and FAR standards set forth in the Development Code is not within the scope of the preparation of the Downtown Design Guidelines.

- **Overreaching Historic Preservation Concepts:** The overarching historic preservation concepts from the PowerPoint slides will be included in the introduction to the Guidelines.
- **Successful Examples:** Additional successful examples and pictures will be provided throughout the Guidelines.
- **Relationship between the Development Code, Historic Overlay Zone, and Secretary of Interior Standards:**
  - Any project subject to discretionary review that involves a building which is over 50 years old and meets CEQA's definition of a historical resource as defined in section 15064.5 must be consistent with the Secretary of Interior Standards for the Treatment of Historic Properties in order for it to be exempt from CEQA.
  - Design review is required for new development inside the Historic Overlay Zone.
  - Design review is required for some existing residential development if the building was constructed prior to 1945 (see attached Development Code section 19.54.080 for more information).
  - The guidelines will be used in conjunction with the Development Code. When findings are made for projects in the Downtown District the guidelines will be used to address the findings in addition to the Guidelines for Preservation and Adaptive Use in Development Code section 19.42.040. References to the guidelines will be included in all relevant design review and planning handouts.
- **Color Study:** The following edits have been made to the Guidelines with regard to color:
  - Guideline 5.1.3 (where painting was originally addressed) has been edited to read: When painting, consider original or historic colors or color schemes that are compatible with surrounding streetscapes in order to maintain a cohesive appearance.
  - Added the following language as bullets under Guideline 5.1.3:
    - Select paint colors that are compatible with the historic character of the district.
    - Muted colors found in nature are almost always compatible.
    - Bright accent colors should be used sparingly.
  - The following change was made to Guideline 6.1.3 (The design of an addition should be compatible with the original building and respect its primacy): Do not attempt to differentiate an addition simply by using a contrasting paint color scheme. New colors and accent schemes should be compatible with those used on the original residence.
- **Changes to Design Review and Planning Application Materials:** A reference to the Guidelines will be provided on the Uniform Application Supplemental Requirements and to the Design review Color and Material Submittal Requirements.

## Review Exercise

Attached is a review exercise that commissioners may want to undertake using the Downtown Sonoma Preservation Design Guidelines as a tool to complete the task. Commissioners will have the opportunity to review test scenarios involving additions, new construction, and site improvements that are similar to situations that could occur in downtown Sonoma. The intent of

the exercise is to elicit feedback to improve the design guidelines. Three scenarios and associated drawings are attached for reference.

*Scenario Descriptions:*

- A. The house was constructed c. 1915 and is within the Historic Preservation Overlay Zone (sub-area 2, see page 47). It is considered a historic resource. The homeowner is considering building an addition to the house in the form of a guest bedroom. The homeowner would also like to replace the existing carport with an enclosed two-car garage. Please describe how you might attempt to solve these issues while complying with the Downtown Sonoma Preservation Design Guidelines.
- B. The owner of the residence, built in 1906, has proposed a project involving a new addition, new features on the front façade, and landscape changes. The house is within the Historic Overlay Zone (sub-area 1, see page 47). Consider this project with respect to the Downtown Sonoma Preservation Design Guidelines. In what ways would the project comply with the guidelines? In what ways would it not, and how could the design be improved?
- C. The house was constructed in 2010 on a block that contains residences dating to the 1910s within the Historic Over Zone (sub-area 2, see page 47). In consideration of the Downtown Sonoma Preservation Design Guidelines, what are some issues you see with the new design? How could the design guidelines have influenced the building's design? What if the building had been located in sub-area 3?

**Schedule and Next Steps**

- August 15, 2016 – Tentative date for City Council adoption of final Downtown Sonoma Preservation Design Guidelines.

**Recommendation**

The draft Downtown Design Guidelines are now presented to the Planning Commission for review and comment from the Commission and interested members of the public. Staff from Page & Turnbull will be present at the Planning Commission meeting to provide an overview of the Guidelines and to receive comments that will inform edits made to the draft before final adoption by the City Council, scheduled for August of 2016. The staff recommendation is to receive the presentation, provide feedback, and identify any recommended revisions, and provide a recommendation to City Council for final approval.

Attachments:

- 1. Review exercise.
- 2. Correspondence.

A printed copy of the public review draft Downtown Design Guidelines is available for review at City Hall. The Downtown Design Guidelines are also available by going to the City of Sonoma's

website at: <http://www.sonomacity.org/News.aspx>. A printed copy may be also be requested by contacting the Planning Department.

cc: Downtown Design Guidelines Advisory Committee

Downtown Design Guidelines Interest List

Design Review and Historic Preservation Commission

Page & Turnbull

## **DOWNTOWN SONOMA PRESERVATION DESIGN GUIDELINES ADVISORY GROUP MEETING #2**

June 1, 2016

Activity instructions: You will have the opportunity to review one of three test scenarios involving additions, new construction, and site improvements that are similar to situations that could occur in downtown Sonoma. Advisory Group participants should break into three groups, and each group will take on a different scenario: A, B, or C. First, appoint a spokesperson to take notes. For each scenario, please read the associated directions below, and reference the illustration sheets placed at the table, as well as copies of the Design Guidelines that are provided. You will have approximately ten minutes to review the Design Guidelines in relation to the project scenario.

### **Scenario**

**A:** Consider this scenario from the perspective of the owner of the house pictured who would be referencing the design guidelines. The house was constructed c. 1915 and is within the Historic Preservation Overlay Zone (sub-area 2, see page 47). It is considered a historic resource. All of the bedrooms in the house are currently used by your family members, but you are considering building an addition to house a guest bedroom. Furthermore, you are unhappy with the current side carport—which was constructed during the 1950s—and would like an enclosed, two-car garage. Please describe how you might attempt to solve these issues while complying with the Downtown Sonoma Preservation Design Guidelines. Separate into sub-groups to review Chapters 5, 6, and 8 to find appropriate guidance.

**Scenario B:** The owner of the residence shown in these photographs, built in 1906, has proposed a project involving a new addition, new features on the front façade, and landscape changes. The house is within the Historic Preservation Overlay Zone (sub-area 1, see page 47). The proposed alterations are illustrated in the drawings provided. Consider this project with respect to the Downtown Sonoma Preservation Design Guidelines. In what ways would the project comply with the guidelines? In what ways would it not, and how could the design be improved? Separate into sub-groups to review Chapters 5, 6, and 8 to find appropriate guidance.

**Scenario C:** The house depicted here was constructed in 2010 on a block that contains residences dating to the 1910s within the Historic Overlay Zone (sub-area 2, see page 47). In consideration of the Downtown Sonoma Preservation Design Guidelines, what are some issues you see with the new design? How could the design guidelines have influenced the building's design? What if the building had been located in sub-area 3? Separate into sub-groups to review Chapters 7 and 8 to find appropriate guidance.

After your group discusses, we will ask each spokesperson to report on the group's approach to the scenarios.

# Scenario A: Planning an Addition



# Scenario B: Evaluating a Proposed Addition



Existing front facade



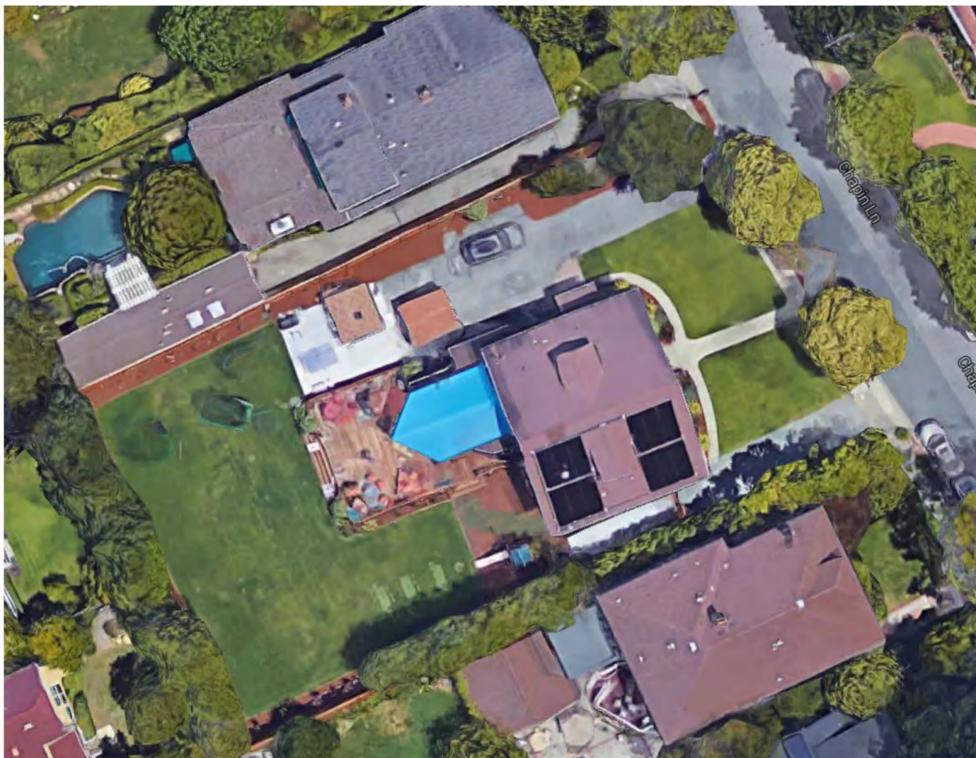
Proposed new front elevation



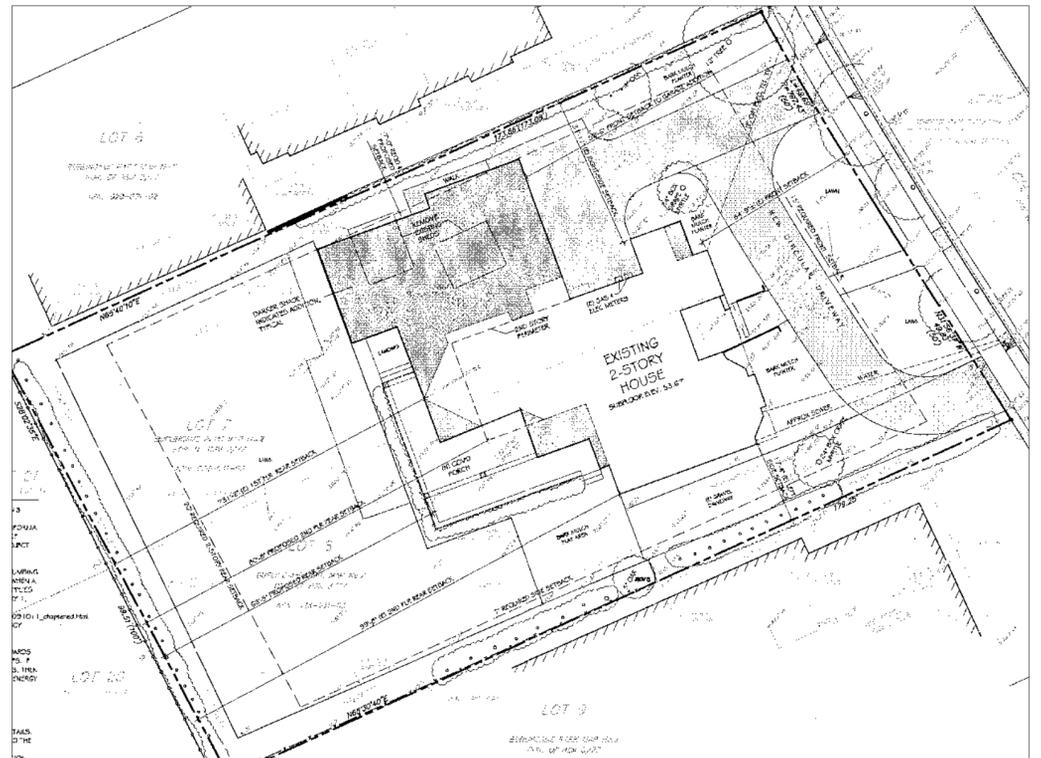
Existing side facade



Proposed new side elevation

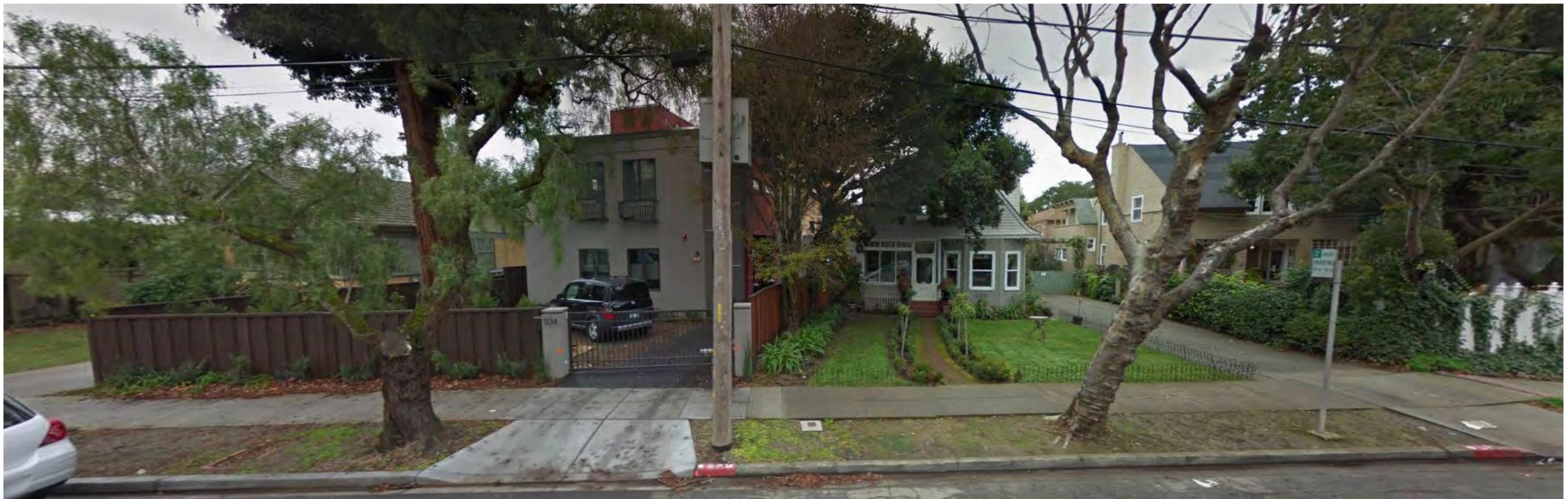


Existing site



Proposed new site plan

# Scenario C: Evaluating a New Residence



## Wendy Atkins

---

**From:** Victor Conforti <victor@victorconforti.com>  
**Sent:** Thursday, June 30, 2016 1:09 PM  
**To:** Wendy Atkins  
**Cc:** David Goodison; Victor Conforti - Architect  
**Subject:** Downtown Design & Preservation Guidelines

Wendy,

RE: Downtown Design & Preservation Guidelines (DD&PG)

Thanks for your report and leading a good public comment hearing at the June meeting of the DRHPC. Here are some of the ideas I mentioned at the hearing to forward to the Planning Commission.

1. Add the Overarching Historic Preservation (HP) Concepts to the Guidelines.
2. Make guidelines as specific as possible, so architects and developers are not having to interpret what is expected and can predict what will be approved. They need and like as much certainty as possible.
3. Include language used in the Secretary of Interior (SOI) guidelines. They are very helpful in defining what is recommended and not recommended. The SOI language and examples are very helpful.
4. Add a section of Definitions, as is provided in the Development Code and most regulatory documents. In this section, include definitions for subjective words in the guidelines such as “size, height, scale, mass, similar forms” and give additional language and examples, visual examples and quantifiable measurements where possible. Some examples: Size is measured by square footage, coverage and volume; Height is measured relative to the historic resource absolute elevations of walls, roof eaves & roof ridge and other building elements; Scale is a comparison between the historic building and proposed building's size, simplicity/complexity of forms and elements; Mass is measured by cubic feet volume of the enclosed building form; Similar Form is a comparison between the historic building and proposed building's footprint, wall, and roof forms.
5. Include explanations of what is not recommended, to help provide clarity, in each section of the DD&PG.
6. Include a Pre-Application Review Process by staff, in the form of a HP Guideline checklist. At the beginning of the checklist, include a “program” checklist question: “Is your building “program”, i.e. various room functions & sizes (living or commercial functions and sizes), ancillary spaces or guest rooms, storage, garage/parking spaces, etc., realistic for the size of the parcel or in the case of an addition, the remaining space on the parcel? This is often a problem, that is best reviewed in the beginning.
7. Consider a reduced FAR for parcels in the Historic Overlay zone. Include in FAR all structures, including Second Units. OR include language that the HP Guidelines override the FAR.
8. Allow the DRHPC to use the HP Guidelines through the remaining Historic Overlay areas, outside of the Downtown district.

Thanks,

Vic



*363 First Street W.*

*CB 3/24/16*

# Downtown Sonoma Preservation Design Guidelines

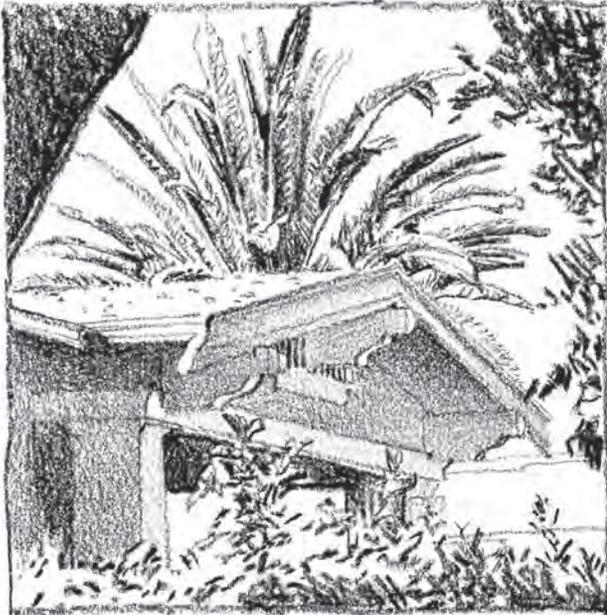
City of Sonoma, California

*May 2016*



PAGE & TURNBULL





263 First Street W.

*[Signature]* 3/26/16

# Downtown Sonoma Preservation Design Guidelines

City of Sonoma, California

*May 2016*



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# Acknowledgments

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Madolyn Agrimonti, Mayor Pro Tem  
David Cook  
Gary Edwards  
Rachel Hundley

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Michael Coleman  
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Ron Wellander  
Bill Willers  
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Alice Duffee, Sonoma League of Historic  
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## Prepared by

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# Introduction



# 1. Introduction

The Downtown Sonoma Preservation Design Guidelines were prepared by Page & Turnbull for the City of Sonoma to serve as a project planning tool for residents and property owners. The city of Sonoma's Downtown Planning District is the focal point of historic Sonoma and includes the Sonoma Plaza historic district which is listed in the National Register of Historic Places and as a National Historic Landmark. Some of the historic resources in downtown Sonoma represent the most significant events in our nation's history. Locally, downtown Sonoma is the heart and soul of the city and remains a living piece of Sonoma's urban fabric.

Small-town charm is exhibited in the historic core and surrounding residential areas along a street grid. The downtown commercial district is expanding, and some of the traditionally residential areas adjacent to it are beginning to transition

from residential use to new commercial mixed use. Older buildings require maintenance to remain in good condition. In addition, alterations may be desired in order to adapt the Downtown Planning District's early buildings to contemporary uses. In some cases, new buildings have been constructed and additional new construction is anticipated for the future. These guidelines seek to accommodate growth and change in the Downtown Planning District, while guiding alterations of existing buildings and new development with the goal of respecting the historic character of the community and promoting a level of excellence in the built environment.

## **Purpose of the Downtown Sonoma Preservation Design Guidelines**

The purpose of these design guidelines is to manage change while preserving the qualities that are most important to the Downtown Planning District's historic character. This document provides guidance to property owners, city and county staff, the design community, and the general public to sustain the historical character of downtown Sonoma and ensure that changes to the built environment will be sensitive to the community's historical legacy.

The guidelines provide direction for treatment of historic buildings throughout the Downtown Planning District, alterations to all existing buildings, and the design of infill construction. Another goal of the guidelines is to discourage the demolition of buildings and structures that contribute to the

historic character of Sonoma's Downtown Planning District and present direction for alternatives and reuse. They are designed to help the City of Sonoma in determining appropriateness of proposed work, and to help building owners and project applicants make appropriate decisions during the design process. These guidelines aim to clarify and simplify the design review process and provide a clear framework for creating an integrated and inspiring built environment for Sonoma.

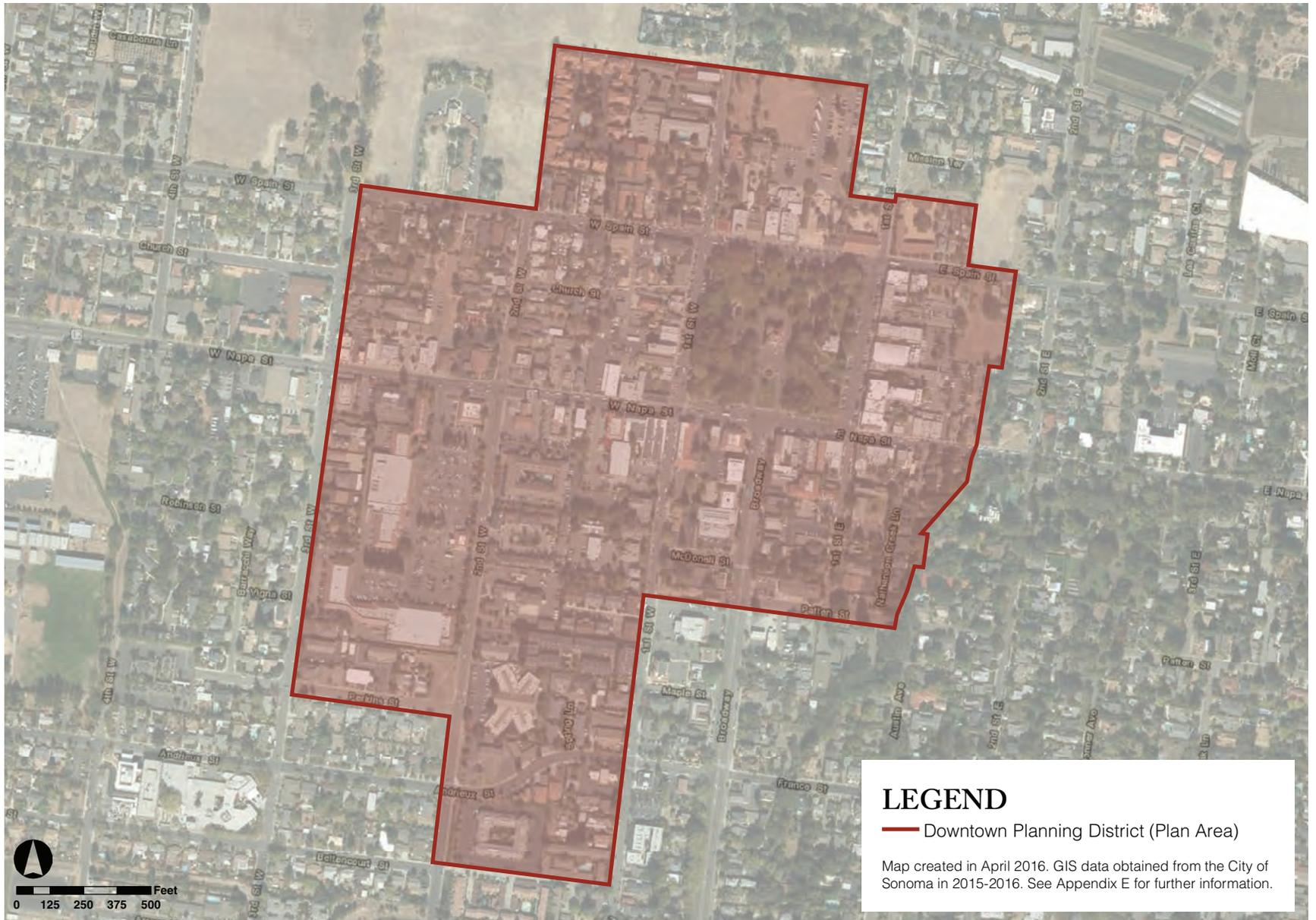
The Downtown Sonoma Preservation Design Guidelines have been developed to respond to community concerns about future development. Through a collaborative process between the city staff and the public, these guidelines form an agreed-upon direction for Sonoma.

## Methodology

This report was prepared through collaboration with City of Sonoma staff, the Preservation Design Guidelines Advisory Committee, members of the community, and historic preservation consultants. Page & Turnbull conducted a windshield survey of the Downtown Planning District in November 2015 to identify existing conditions, building types, and common development patterns. Also in November 2015, Page & Turnbull met with the Preservation Design Guidelines Committee to confirm the general outline of content and graphic format of the document. A public workshop was held on January 25, 2016 to introduce participants to the project and seek input on priorities to be addressed in the Preservation Design Guidelines. The document was reviewed by City staff via an Administrative Draft, followed by a Public Draft available to all interested parties for review and comment. Lastly, the Downtown Sonoma Preservation Design Guidelines were finalized and approved by the City of Sonoma.



(Opposite) Map of the Downtown Planning District plan area.



## How to Use the Design Guidelines

The guidelines in this document are arranged by chapters according to the scope of a proposed project:

- **Chapter 5:** Repairing and Altering Existing Buildings
- **Chapter 6:** Additions to Existing Buildings
- **Chapter 7:** Designing and Constructing New Buildings
- **Chapter 8:** Site Design and Alterations
- **Chapter 9:** Special Considerations

Each of these chapters outlines a number of broad historic preservation concepts that should inform the thought process behind project development. These concepts are organized by feature or type of project, and are broken down into specific guidelines that will guide design decisions. The guidelines cannot anticipate every specific case that will arise, and it is possible that not all of the guidelines will apply to specific projects.

Nevertheless, they represent design objectives that can be applied to many different situations and result in a compatible building that is integrated into its historic context. Each guideline is followed by additional and clarifying information in a bulleted list. Where possible, the guidelines also include links to National Park Service (NPS) Technical Preservation Briefs, which provide additional guidance and “how-to” information that may prove useful and is compliant with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

The flexibility of applicable guidelines will be partially determined by the location of the proposed work. Three sub-areas within the Downtown Planning District have been identified using the pre-existing boundaries of the Sonoma Plaza National Register Historic District, the National Historic Landmark, and the Historic Overlay Zone. The Sonoma Plaza Historic District and Historic Overlay Zone are described in detail in the following chapter. Referencing the objectives for each sub-area and the specific guidelines for the type of property will steer development in a positive and cohesive manner.

## Components of a Design Guideline

### 1.1 Repairs and Alterations to Historic Buildings

OVERARCHING CONCEPT, TYPE OF PROJECT, OR FEATURE OF THE BUILDING

Historic exterior materials, whether used for cladding or decorative purposes, are critical components of a building's architectural style and finely grained visual character.

STATEMENT EXPLAINING DESIGN OBJECTIVE OR GENERAL APPROACHES THAT APPLY TO ALL OF THE FOLLOWING GUIDELINES

#### 1.1.1 Maintain original windows wherever possible. The original window type, including shape, size, and material, should be retained.

DESIGN GUIDELINE ILLUSTRATING A PARTICULAR OBJECTIVE. OCCASIONALLY, ADDITIONAL IDENTIFICATION OF DESIGN PRIORITIES FOLLOWS THE GUIDELINE

- Always consider repairing original windows before replacing. If replacement is necessary, replacing in-kind and matching the original window is the preferred treatment.
- Where one component is deteriorated or broken (such as a muntin or a lite), repair or replace the individual element rather than replacing the entire window unit.

CLARIFYING BULLETED LIST WITH SPECIFIC APPLICATIONS AND FURTHER INFORMATION

WHEN APPLICABLE, LINKS TO ADDITIONAL PUBLISHED INFORMATION ARE INCLUDED

For additional information on windows, see Preservation Brief, "The Repair of Historic Wooden Windows," (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

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## Background Information



## 2. Background Information

This chapter outlines previous studies of downtown Sonoma and the factors that contribute to the existing regulatory environment. It also includes a summary of the city review process for a preservation/rehabilitation project or new construction project.

### **Sonoma Plaza National Historic Landmark**

Sonoma Plaza is one of the earliest designated National Historic Landmarks (NHL). Survey work for Sonoma Plaza was recorded as early as 1958, which preceded the National Historic Preservation Act of 1966. In 1961, the City applied for Registered National Historic Landmark status. The Sonoma Plaza was granted Landmark designation by the Department of the Interior and was dedicated in December 1961. In 1966, with the passage of the National Historic Preservation Act, landmarks

which had already been determined to have national significance were automatically included in the newly created National Register of Historic Places. In 1974, the Sonoma Plaza National Historic Landmark boundary was redefined with respect to its period of significance. Through this process, the focus was placed on the Bear Flag Revolt and the history of California in relation to the Mexican War, and the period of significance therefore encompassed a relatively limited period of time: 1821-1848.

### **Sonoma Plaza National Register Historic District**

In 1992, Michael Crowe of the Western Regional Office of the National Park Service realized that the Sonoma Plaza National Historic Landmark status did not address local historic significance. Accordingly, he prepared and submitted a

nomination for Sonoma Plaza to become a National Register Historic District based on an evaluation that connected downtown buildings to the City of Sonoma's own history. The Sonoma Plaza National Register District, which was established in 1992, includes 82 contributing buildings and 56 non-contributing buildings, five sites (of which three are contributing), one contributing structure, and two contributing objects. The period of significance for the district is 1835-1944.

The nomination describes the bucolic character of the Plaza, characterizes the architecture of the significant and contributing commercial buildings, and describes the residential structures adjoining the commercial district. "The overall integrity of the district both physically and architecturally remains very high," stated the nomination, with changes largely limited to low-rise new construction and window replacement. The nomination found that

contributing buildings retain architectural integrity to their construction date; have integrity of location, and have the ability to convey a sense of the history of change and the district's development during its period of significance.

### Sonoma State Historic Park

The Sonoma State Historic Park encompasses a series of key historic attractions in several locations within downtown Sonoma. The park is comprised of the following elements:

- The Mission San Francisco Solano de Sonoma: established by Father Jose Altamira in 1823. Although partially reconstructed, it is the oldest building in Sonoma. This adobe is located northeast of the Plaza.
- The Blue Wing Inn: A two-story adobe, located southeast of the Mission on East Spain Street and built in the 1840s.
- The Sonoma Barracks, the Toscano Hotel, and La Casa Grande: A complex of structures across from the Sonoma Plaza on the north, constructed over the period 1830-1860.

- The Vallejo Home (Lachryma Montis), the home of General Mariano Guadalupe Vallejo: The Gothic-styled Victorian residence is actually a pre-fabricated structure installed in the 1850s at the north side of Sonoma Plaza. This portion of the Sonoma State Park includes 60 acres of open space.

While these properties are not subject to local regulation, they are key elements of the historic setting and contain many of Sonoma's most significant resources.



The Toscano Hotel is one of several historic resources in Sonoma State Park that are integral to downtown Sonoma's character.

### California Historical Landmarks

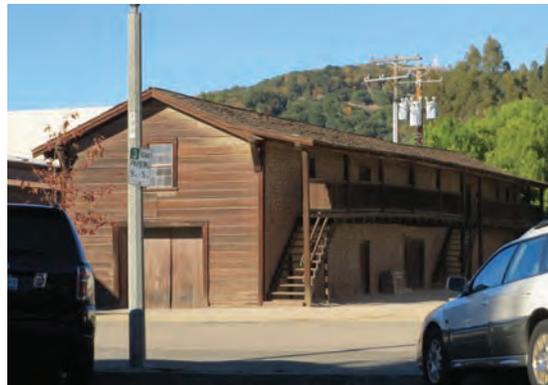
Several registered California Historical Landmarks are located within the Downtown Planning District boundary.<sup>1</sup> These landmarks include:

- Landmark No. 3: Mission San Francisco Solano de Sonoma, constructed in 1823.
- Landmark No. 7: Bear Flag Monument, located within Sonoma Plaza.
- Landmark No. 17: Blue Wing Inn, constructed in 1840.
- Landmark No. 316: Presidio of Sonoma (Sonoma Barracks), constructed in 1836.
- Landmark No. 496: Swiss Hotel, constructed in 1850.
- Landmark No. 501: Salvador Vallejo Adobe, constructed between 1836 and 1846.
- Landmark No. 667: Nash Adobe, constructed in 1847.

<sup>1</sup> The full list of registered California Landmarks in Sonoma County is available from the California Office of Historic Preservation: [http://ohp.parks.ca.gov/?page\\_id=21528](http://ohp.parks.ca.gov/?page_id=21528)

## Sonoma County Historic Landmarks

In 1974, the Sonoma County Landmarks Commission was created under Ordinance No. 1768. The same ordinance established procedures to designate local Historic Structures and Historic Districts. According to the Landmarks Commission By-Laws, Historic Landmarks must meet the criteria for eligibility adopted by the Landmarks Commission, which are based on National Register eligibility criteria. Of the 173 Sonoma County Historic Landmarks, twenty-six are in the City of Sonoma, none of which are located within any registered historic districts.



Mission San Francisco Solano de Sonoma (top) and La Casa Grande (bottom) are some of the oldest buildings in Sonoma and important features of the historic downtown area.

## Adopted Inventory of Historic Structures

In 1979, the Sonoma League for Historic Preservation created a historic resource inventory, which was updated in 1998. The inventory originally identified over 100 potentially significant buildings in Sonoma, including those already recognized by the State. Although this inventory has not been formally adopted by the City of Sonoma, it is a recognized guide for determining the potential historic value of age-eligible properties.<sup>2</sup>

As required to achieve a Certified Local Government certification, the Sonoma City Council adopted a local inventory of historic structures in 2006. The inventory consists of sites and structures within the city already identified by the State Office of Historic Preservation as possessing historic significance.<sup>3</sup>

<sup>2</sup> Sonoma Municipal Code 19.42.030.A2.

<sup>3</sup> Sonoma City Council Resolution 18-2006.

## Certified Local Government Status

The City of Sonoma became a Certified Local Government (CLG) in October 2014. As a CLG, the City of Sonoma is required to undertake the following actions:

- Enforce appropriate state and local laws and regulations for the designation and protection of historic properties;
- Establish an historic preservation review commission by local ordinance;
- Maintain a system for the survey and inventory of historic properties;
- Provide for public participation in the local preservation program; and
- Satisfactorily perform responsibilities delegated to it by the state.

## City of Sonoma Development Code

The City of Sonoma's Development Code is the primary mechanism for implementing requirements pertaining to design guidance. Adopted in 2005, the Development Code established the Design Review Commission and dictates work that may be done within the Historic Overlay zone, which encompasses the majority of the Downtown Planning District area. Chapter 19.42, "Historic Preservation and Infill in the Historic Zone," outlines guidelines that would apply to preservation, adaptive reuse, and infill development within the Historic Overlay Zone, and establishes the designation process for local historic resources or districts. The guidelines outlined in the Development Code apply to "officially designated structures," defined as structures listed with the State Office of Historic Preservation or locally listed, and "structures having potential historical value," meaning age-eligible buildings (50 years old or older) or structures that contribute to the overall character of Sonoma and may be listed on the Sonoma League for Historic Preservation's inventory of historic structures. See Appendix A of this document for the full text of Chapter 19.42.

## Historic Overlay Zone

The Historic Overlay Zone was first established by the City of Sonoma in 1974. Its boundaries have changed over the years, with the most recent amendment adopted in 2007 in order to better reflect the concentrations of historic structures and resources within the community. The Historic Overlay Zone encompasses much more of the City of Sonoma than the Downtown Planning District. The purpose of the Historic Overlay Zone is to define an area within which special zoning regulations are applied (e.g., expanded requirements for design review) as a means of protecting historic resources.

## Design Review and Historic Preservation Commission

The Design Review and Historic Preservation Commission is a five-member panel whose representatives are appointed by the City Council. The commission is responsible for administering the majority of key reviews associated with historic preservation regulations. (See SMC 2.60.) The Commission was created to protect the architectural heritage of Sonoma, identify and review the

significance of historic resources, and promote a level of excellence in the built environment.<sup>4</sup>

The Commission is responsible for reviewing:

- The demolition of any structure fifty years old or older is subject to the review and approval of the Design Review Commission (SMC 19.54.090). This review includes findings designed to prevent the demolition of historically significant structures.
- All new commercial, mixed-use, and multi-family development is subject to design review, whether inside or outside of the Historic Overlay Zone. In addition, exterior changes to commercial or mixed-use structures that entail the issuance of a building permit are subject to design review.
- Within the Historic Overlay zone, the following types of residential development are subject to design review:
  - Alterations to residences constructed prior to 1945 and for which a building permit is required that increases floor area by 10% or 200 square feet (whichever is greater).
  - Alterations to residences constructed prior to 1945 for which a building permit is required that result in changes to the primary elevation or a street-side elevation.
  - Alterations to residences constructed prior to 1945 for which a building permit is required that result in a change in the roof structure (pitch or height).
  - The development of any new residence<sup>5</sup>. (See Sections 19.10.030.C.2 and 19.54.080.)

### **Adaptive Reuse Requirements**

The Development Code provides for the adaptive reuse of historic buildings, subject to the review and approval of the Planning Commission. Within the Historic Overlay Zone, adaptive reuse is an option for officially designated buildings as well as potentially historic buildings. Outside of the Historic Overlay Zone, adaptive reuse is allowed for buildings having an official designation as documented by the State Office of Historic Preservation or that are locally-listed as historic resources. Adaptive reuse incentives include increased density allowances and specified commercial uses, including bed and breakfast inns, hotels, limited retail, professional offices, and restaurants.<sup>6</sup>

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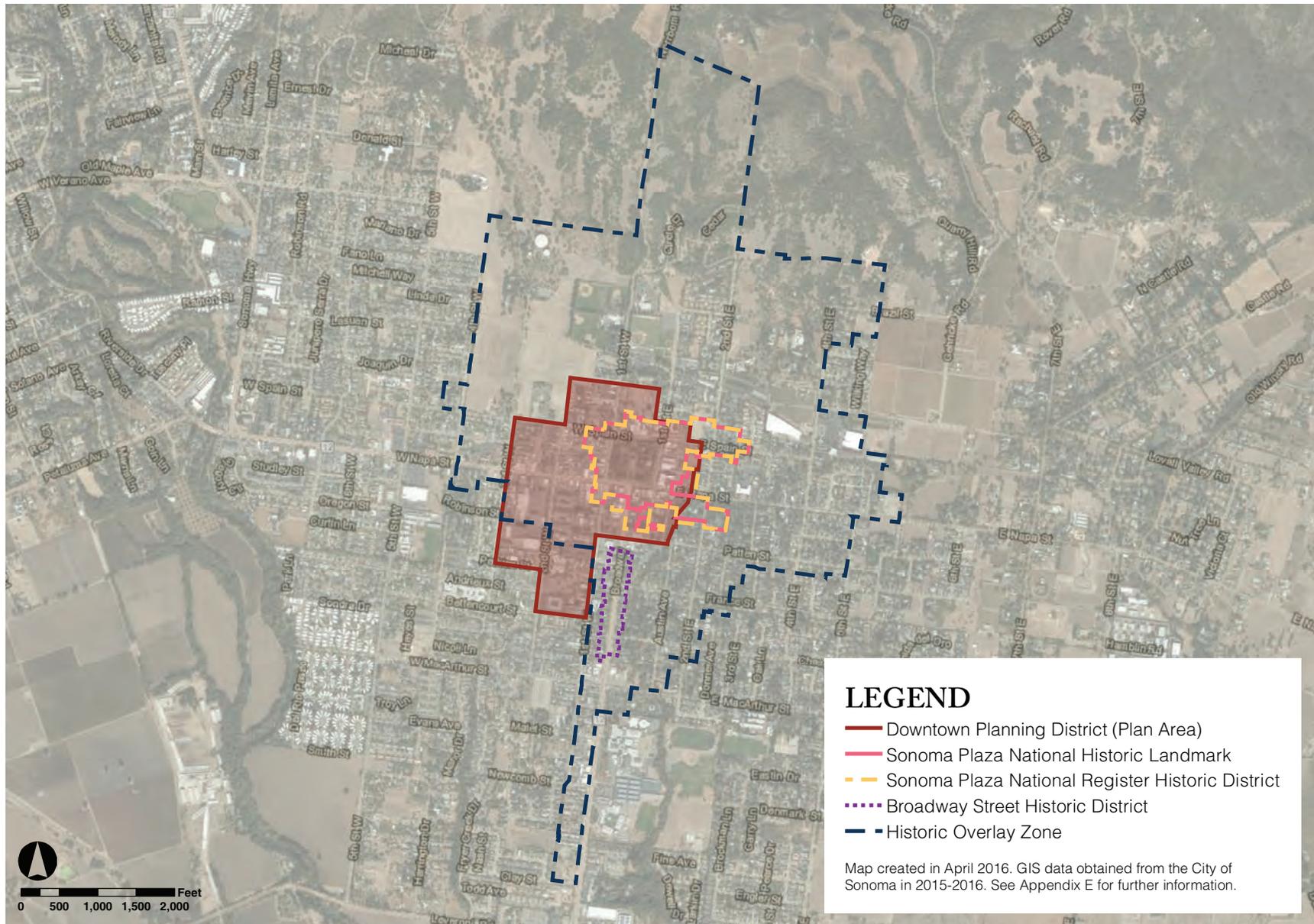
<sup>4</sup> City of Sonoma Municipal Code, section 2.60.010.

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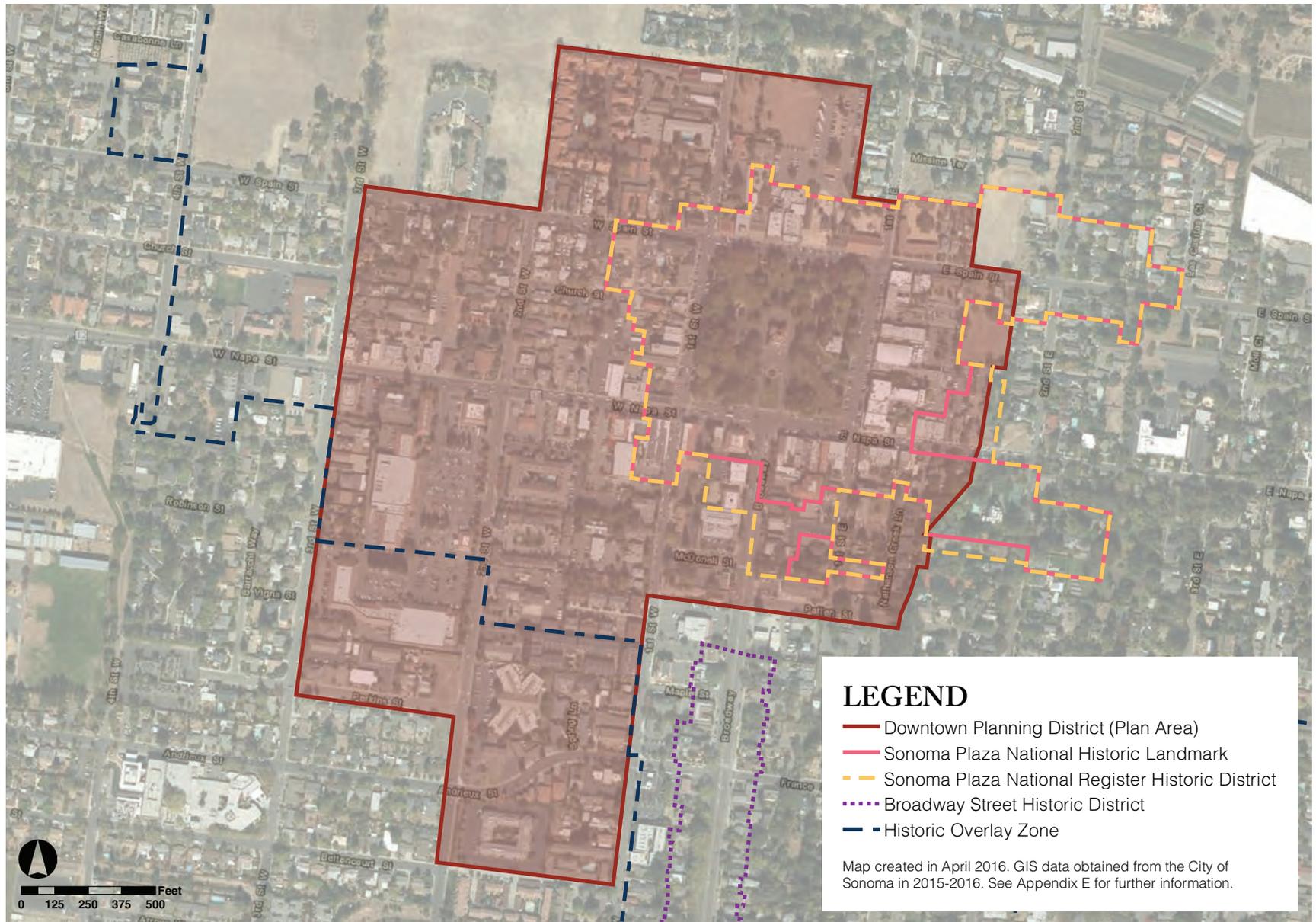
<sup>5</sup> See City of Sonoma Municipal Code sections

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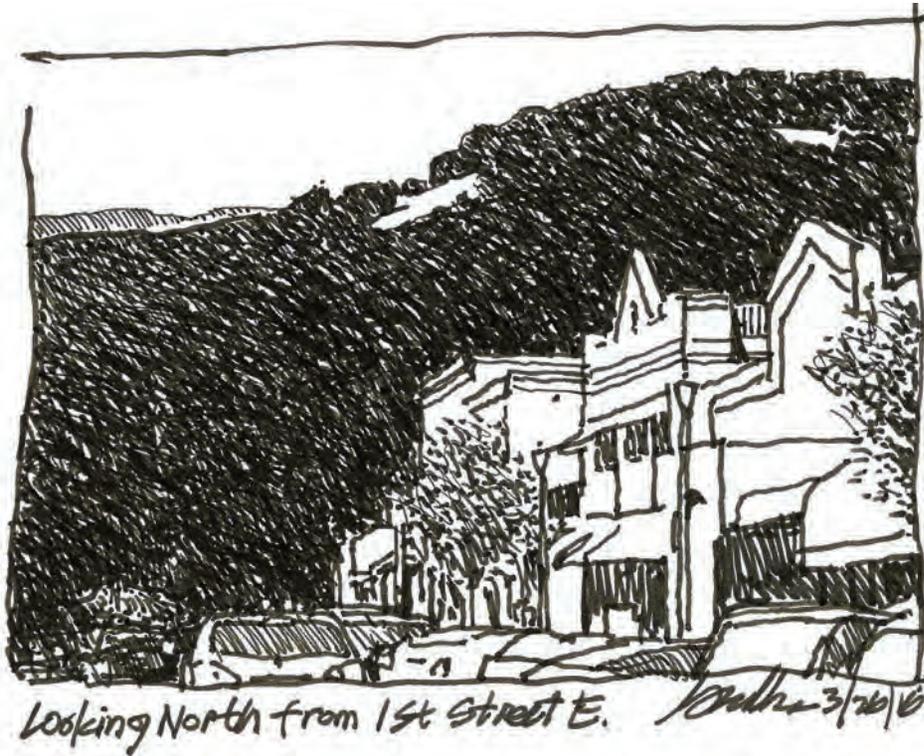
<sup>6</sup> See Sonoma Municipal Code section 19.42.020.



Map of the Historic Overlay Zone, recognized historic district, and the Downtown Planning District.

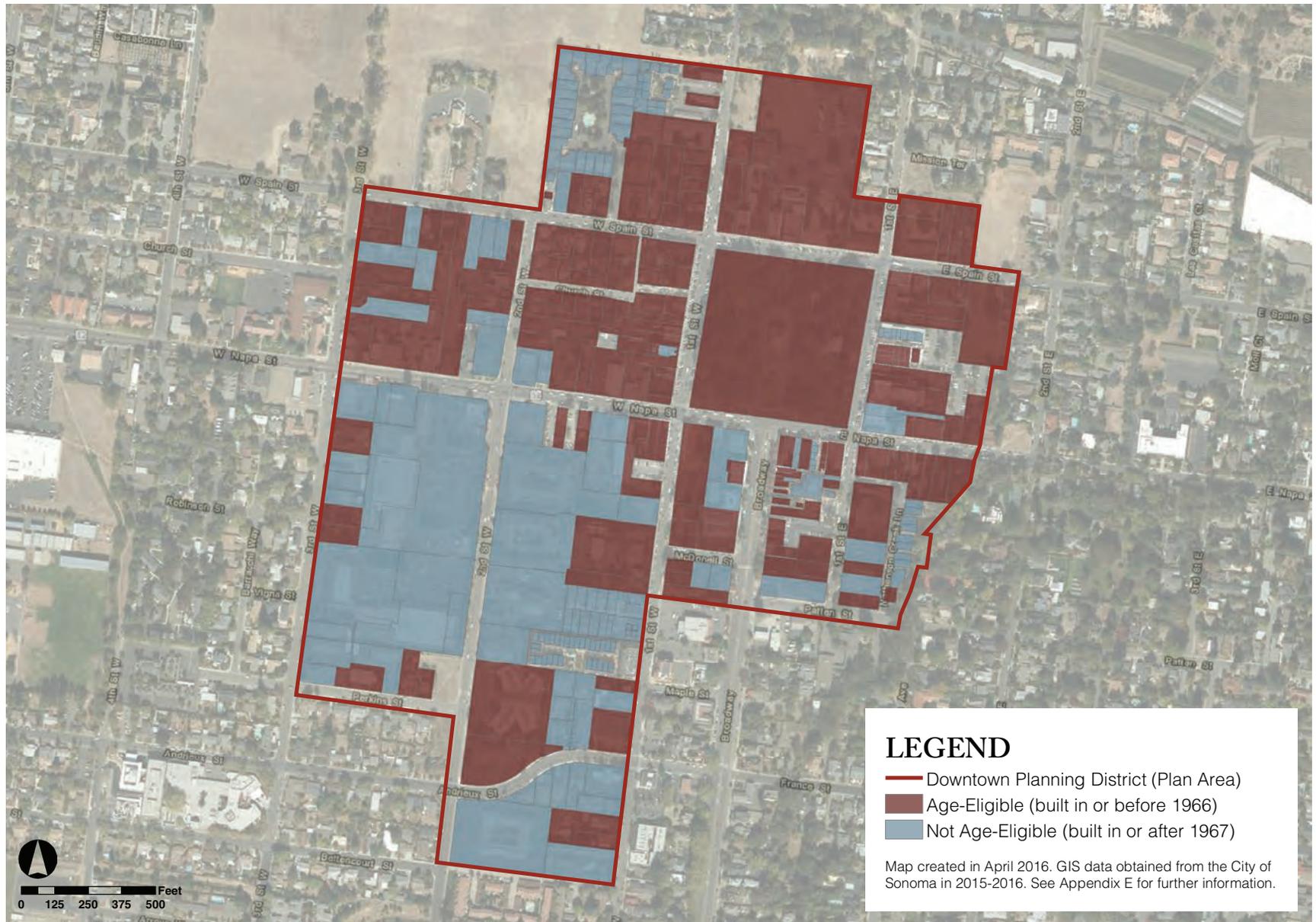


Map of the Downtown Planning District and overlapping sections of the Historic Overlay Zone, National Register Historic District, and National Historic Landmark.



## Age Eligibility for Potential Historic Resources

The age of a property is often the first determination of its potential as a historic resource. The generally established threshold for age eligibility, as described in the National Register of Historic Places, is 50 years old. The City of Sonoma Municipal Code and these Downtown Sonoma Preservation Design Guidelines use the 50-year threshold for considering potential historic value.



Map of age-eligible properties within the Downtown Planning District (eligibility calculated as of 2016)

## Recommended Review Process Summary

This section provides an outline and flow chart for a recommended process to review proposed projects associated with age-eligible buildings (identified historic resources or potential historic resources that are at least 50 years old) or new construction within the City of Sonoma's Downtown District. A second flow chart indicates the review process for a project that requires a demolition permit. Projects requiring demolition permits will be reviewed twice by the Design Review and Historic Preservation Commission.

### Existing Age-Eligible Building:

- Determine if the building is historically significant (Historic Resource Evaluation)
  - Has the building been previously recognized as a historic building?
  - Is it individually significant, and for what reason(s)? What are its character-defining physical features?
  - Does it retain integrity?
  - Is it a contributor to the Sonoma Plaza Historic District?
- Define program requirements
  - What is the project? What is the desired outcome?
  - What improvements are necessary?
  - How does this project integrate with the character and uses of nearby buildings?
- Determine appropriate building treatment
  - Refer to the appropriate section of the Downtown Sonoma Preservation Design Guidelines for recommendations and design strategies.
- Finalize scope and design concept
- Review by Design Review Commission

### New Building:

- Determine the significance of the surrounding area
  - Is the proposed project within the Sonoma Plaza National Historic District, the Sonoma Plaza National Register Landmark, or the Historic Overlay Zone?
  - Is the proposed project near or adjacent to any identified historic resources?
  - What are the defining characteristics of the neighborhood?
- Define program requirements
  - What is the project? What is the desired outcome?
  - How does this project integrate with the character and uses of nearby buildings?
- Finalize scope and design concept
- Review by Design Review Commission

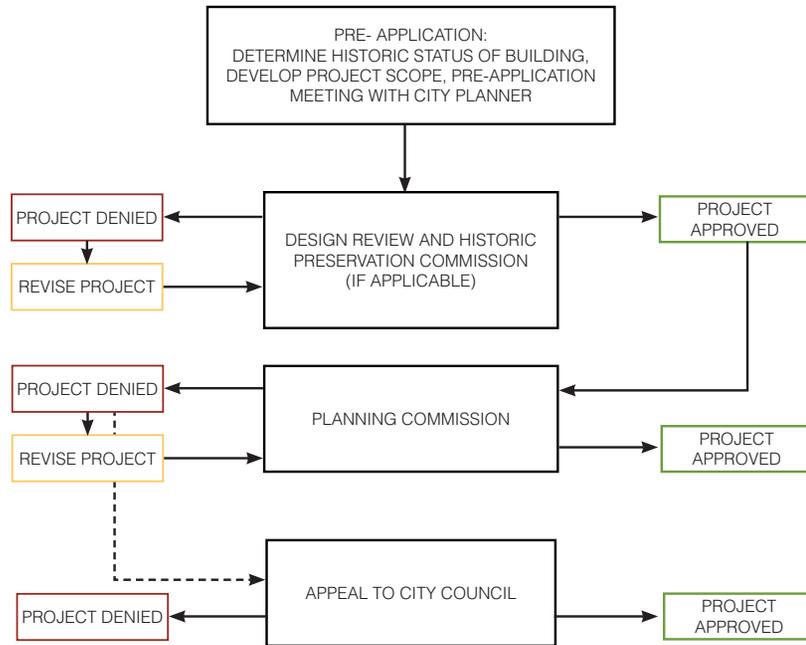


Illustration of the local review process for the review of a project involving an existing building. Some projects may not require Design Review and Historic Preservation Commission review and will proceed directly to Planning Commission review. See Sonoma Municipal Code sections 19.52 and 19.54 for more information.

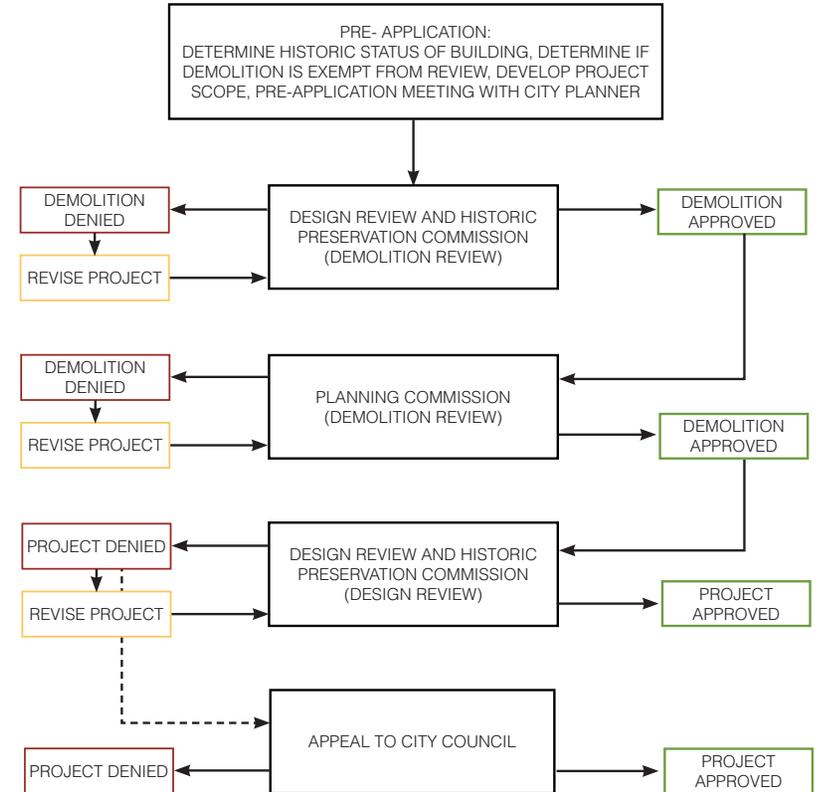


Illustration of the local review process for the review of a project that requires a demolition permit. See Sonoma Municipal Code sections 19.52 and 19.54 for more information.

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# Downtown Planning District Character

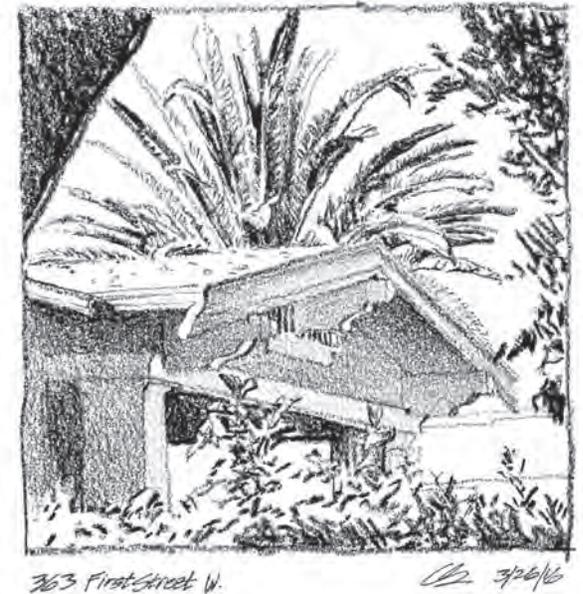


### 3. Downtown Planning District Character

#### Character-Defining Features of the Project Area

The Downtown Planning District is characterized by a variety of architectural styles. This section presents the most prevalent architectural styles found in the neighborhood and describes features that commonly belong to those styles. The following lists of features should not be understood to be comprehensive and complete. Rather, they are meant to assist downtown Sonoma property owners and City staff to understand the stylistic qualities of the buildings in the area and to identify those elements that define their visual character. Gaining such an understanding will be important when using the guidelines included later in this document.

Note that some buildings may not have a single style but instead combine elements from more than one, so character-defining features may come from more than one list. Those buildings with a combination of styles should not be thought of as “impure” examples. Instead, they should be recognized for adding to the architectural variety that is characteristic of downtown Sonoma.





GABLE ROOF

ONE-AND-A-HALF  
STORY HEIGHT

SIMPLE TRIM

FULL-WIDTH ENTRY  
PORCH AND STEPS

WOOD SIDING

### Vernacular Cottage

Characterized by an overall simplicity and functionality, the vernacular residential style is found throughout the Downtown District. Residences usually exhibit simple designs and were constructed through many decades.

Character-defining features include:

- One or one-and-a-half story in height
- Raised first story
- Gable, hip, or cross gable roof
- Double-hung windows
- Full-width or partial entry porch with steps
- Simple wood railings on porch or steps
- Wood siding
- Simple trim
- Shallow front yard
- Side or rear parking





DOMINANT FRONT-FACING GABLE

PYRAMIDAL ROOF

CUTAWAY BAY WINDOW WITH TRIMMED OVERHANGS

DECORATIVE DETAILING AT BRACKETS, POSTS, AND SPINDLES

### Queen Anne Victorian

The Queen Anne style is one of several “Victorian” styles that emerged around the turn of the 20th century. Application of this style in Sonoma is found in simple one-story cottages with the occasional grander iterations. The Queen Anne style is usually applied to residential construction. It is most easily identified by elaborate wood-cut ornament and steeply gabled roof-forms. Character-defining features include:

- Steeply-pitched gabled, pyramidal, or cross-gabled roofs, usually with dominant front-facing gable
- Asymmetrical massing
- Towers
- Wood clapboard siding
- Patterned shingles, especially in gable ends
- Variations in siding between stories
- Cutaway bay windows (with trimmed overhangs)
- Ground-level porches
- Various fenestration
- Decorative detailing (spindles, posts, finials, half-timbering)





GABLE ROOF

SHED DORMER WINDOW

OVERHANGING ROOF EAVE AND EXPOSED RAFTER TAILS

WOOD SIDING

PARTIAL FRONT PORCH WITH SQUARE COLUMNS

### Craftsman Bungalow

The Craftsman style is a term applied to residential homes that have clear similarities to the work of California architects (and brothers) Greene and Greene. Popular from the 1900s into the 1930s, Craftsman style homes are known for low-pitched gabled roofs with wide, unenclosed eave overhangs, decorative beams or braces, tapered square columns or pedestals and extending porch elements. Small craftsmen bungalows can be found in communities throughout the state.

Character-defining features include:

- One-to-two stories in height
- Gable or cross-gabled roof, often featuring a dormer window
- Full or partial front porch
- Tapered square columns or pedestals
- Overhanging roof eaves and exposed rafter tails
- Exposed beams or braces under gables
- Gable or shed dormers
- Wood siding





- PITCHED ROOF WITH RED, CLAY BARREL TILES
- WIDE OVERHANGING ROOF EAVE
- MULTIPLE OPENINGS AT SECOND STORY
- FULL WIDTH SECOND STORY PORCH; FIRST STORY ARCADE; SIMPLE WOOD POSTS
- ADOBE CONSTRUCTION WITH SMOOTH WALL FINISH
- SMALL WINDOW OPENINGS

**Spanish Colonial (Adobe)**

In California, the early Spanish and Mexican settlers created buildings with a simplified architectural vocabulary rooted in regional traditions. Though not as ornate as earlier prototypes, the style was characterized by low-pitched or flat roofs, thick masonry walls of adobe brick or rubble stone, and small window openings. This style, widely known as Spanish Colonial, was executed in adobe, which described both the building material and the structure itself. Character-defining features include:

- One-to-two stories in height
- Adobe/mud brick construction usually with a smooth wall finish
- Linear plan or courtyard plan
- Pitched tile roof
- Wide overhangs
- Multiple entrances
- Small windows
- Full width porches with balustrades and simple posts,
- Second story balcony, usually cantilevered (or with posts to create ground level arcade)





RED, BARREL TILE ORNAMENTATION AT ROOFLINE

FLAT ROOF

STUCCO CLADDING

ARCHED OPENING

RECESSED ENTRY

### Mission Revival

California is the birthplace of the Mission Revival style. It is rooted in local interpretations of traditional Spanish, Native American, and Mexican design and construction techniques, which were indigenous to the area, and it emerged as the result of a search for an idealized regional style. By the 1920s, the Mission Revival in California was joined by the more elaborate Mediterranean and Spanish Colonial Revival variants. The Mission Revival style began to fade from favor after World War I. Character-defining features include:

- Stucco cladding in smooth or textured finish
- Sculpted dormers or parapets
- Red, barrel tile roofs or ornamentation at roofline
- Recessed entries, multiple doorways
- Low-pitched or flat roofs
- Arcades / arcaded porches
- Arches and arched openings
- Multi-lite windows
- Lack of decorative detailing, excepting the later elaborate variants of the style.





- FULL HEIGHT FENESTRATION
- SIMPLE POSTS
- SECOND STORY BALCONY
- FIRST STORY ARCADE
- STUCCO CLADDING

### Monterey Colonial

The Monterey Colonial style is a popular variant of the Spanish Colonial style in Sonoma and elsewhere in Northern California. The style blends adobe construction techniques and details with other types of Colonial Revival massing and siting (typical to New England). The original examples of this style emerged in California in the mid-19th century and are most often identified by two story, full-width porches under a pitched roof. The Monterey Colonial Revival style was popular starting in the 1920s through the 1950s. Character-defining features include:

- Two story height
- Low-pitched roof
- Second story balcony, usually cantilevered under an extension of the roof
- First story arcade
- Simple posts on balcony
- Adobe and concrete construction
- Stucco, brick, and wood cladding
- Shingle or tile roofs
- Full height fenestration
- Shutters





L-SHAPED PLAN;  
CROSS-GABLED  
ROOF

EMPHASIS ON  
HORIZONTALITY

SIMPLE  
FENESTRATION

PARTIAL PORCH

## Ranch

Ranch style architecture is a uniquely American residential building type that originated in California in the mid-1930s. The style gained popularity during the 1940s and became the dominant style throughout the country during the decades of the 1950s and 1960s. A typical Ranch style house features an asymmetrical one-story mass that included a built-in garage capped with a low-pitched roof that was either hipped, cross-gabled or side-gabled. Character-defining features include:

- One story in height
- Asymmetrical primary facade
- Low pitched roof
- Rectangular or L-shape plan
- Street-facing attached garage
- Horizontal emphasis
- Wood construction
- Partial porches
- Simple fenestration
- Decorative shutters
- Often set behind a front yard





SIMPLE CUBIC FORM, STRONG RIGHT ANGLES, AND FLAT ROOF

LARGE STEEL-FRAME WINDOWS

STUCCO-CLAD METAL RIBS DIVIDING PRIMARY FACADE

STACKED GLAZED TILE CLADDING

METAL AWNINGS AND CANOPY AT STOREFRONT

### Mid-Century Modern

The Modern style began emerging during the 1930s but reached its height in popularity between 1945 and 1965. The style incorporates the use of bright or contrasting colors, horizontality, asymmetrical facades, and strong geometric forms. Mid-century designs are sprinkled throughout Sonoma. The style occasionally took cues from historical styles such as Monterey Colonial. Some character-defining features include:

- Projecting eaves, exposed rafters, and cantilevered overhangs
- Flat, shed or low-pitched gable roof forms
- Articulated primary facades
- Stucco, wood, or corrugated siding, and stacked roman brick or stone veneer
- Expressed post and beam construction
- Strong right angles and simple cubic forms
- Projecting vertical elements
- Large steel- or wood-framed windows
- Recessed commercial vestibules
- Atrium or courtyard entryways
- Overhanging trellises, sunshades, and pergolas
- Integrated planters
- Metal awnings or canopies (zigzag, corrugated metal, or sheet metal)





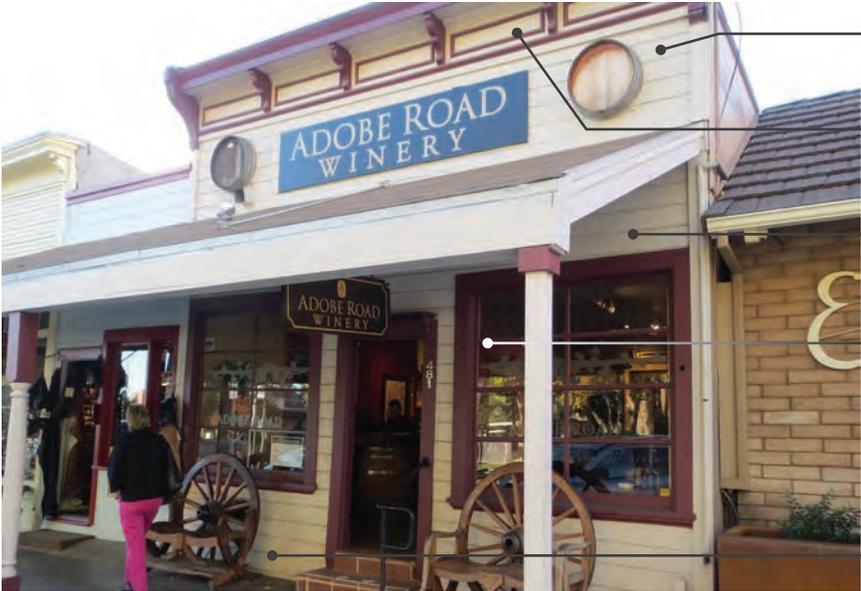
- PRESSED METAL CLADDING
- MASONRY CLADDING
- REGULAR FENESTRATION WITH SEGMENTAL ARCHES
- LINTEL ABOVE STOREFRONT
- TRANSM WINDOW
- RECESSED STOREFRONT ENTRANCE

### 19th and 20th Century Commercial

19th and 20th century American commercial buildings often employed masonry construction, restrained ornament, and multi-story heights to create a solid streetwall in downtown areas. Large open storefronts typically make up the ground floor with smaller, symmetrical window openings at the upper stories. Character-defining features include:

- Masonry construction / masonry wall surfaces
- Exterior materials include wood and pressed metal
- Decorative cornice
- Belt courses
- Recessed entry
- Lintel above storefront
- Transom windows
- Regular fenestration pattern
- Rounded arch window openings
- Shaped parapet or prominent roof feature





- PARAPET WITH GABLE ROOF BEHIND
- DECORATIVE WOOD FRIEZE AND BRACKETED CORNICE
- HORIZONTAL WOOD SIDING
- LARGE STOREFRONT WINDOWS
- NO SETBACK FROM SIDEWALK

**Flat Front Italianate**

The Flat Front Italianate is a style commonly used for small commercial businesses between the 1860s and 1890s. The flat facade conceals a gable roof behind, creating a more cohesive block face. Ornament is mostly limited to the upper portion of the facade. Character-defining features include:

- One to two story height
- Gable roofs with a high parapet to give the impression of a flat roofline
- Usually wood construction
- Large storefront windows, transom windows
- Distinctive wood frieze and bracketed cornice
- No setback from street
- Recessed entry





SHAPED PARAPET

MOLDINGS AND CORNICE

BELT COURSES AND PILASTERS

GLAZED TILE VENEER

ROUNDED ARCH TRANSOM WINDOWS

RECESSED STOREFRONT ENTRANCE

### Classical Revival

A renewal of interest in Classical architecture occurred in the late 19th and early 20th centuries. Inspired by the “White City” of the 1893 World’s Columbian Exposition in Chicago and the grand Beaux Arts style, the Classical Revival style incorporated a simplified and often flattened use of classical elements like columns, belt courses, and cornices. An emphasis on symmetry and references to Classical ornament defined the style. Classical Revival style buildings in Sonoma are commonly commercial buildings. Character-defining features include:

- Symmetrical facades
- Brick construction
- Sometimes glazed tile cladding
- Attached columns or pilasters
- Parapets
- Geometric or floral decorative features
- Rounded arch windows and openings
- Belt courses
- Dentil molding and molded cornices





TWO-STORY HEIGHT AND GABLE ROOF COMMON

VINYL-FRAME SLIDING WINDOWS

BOARD AND BATTEN SIDING



IRREGULAR ROOFLINES

**Contemporary**

Contemporary buildings include those which have been built in recent decades and are not clearly identifiable within the historic array of architectural styles. Contemporary buildings sometimes draw inspiration from historic design in their detailing or façade treatment, but they differentiate themselves in use, materials, and scale. Character-defining features include:

- A variety of cladding materials such as concrete, stucco, vertical board siding, vinyl siding, and masonry veneer
- Sometimes adopts elements (such as roof forms or balconies) from older, nearby buildings
- Many contemporary buildings in Sonoma have mixed uses.



## Less Common Architectural Styles

### Gothic Revival

The Gothic Revival style emerged in the mid-19th century as part of the picturesque and romantic movements in architecture. The style was particularly popular in church design. Gothic Revival is not common in Sonoma but is present within the National Register Historic District and National Historic Landmark. Character-defining features include:

- Pointed Gothic-arch windows
- Front gables roofs, often steeply pitched
- Wood construction
- Often asymmetrical massing and arrangement



### Carpenter Gothic

The Carpenter Gothic style is a variation on the Gothic Revival that is distinguished by an extensive use of exterior ornament. The name derives from a proliferation of incised wood trim and decorative elements that were mass-produced by newly available woodworking machines and jigsaws.

Character-defining features include:

- Incised wood trim, brackets, and finials
- Vertical board and batten wood siding

### Sub-Areas Within the Downtown Planning District

Historic resources within the Downtown Planning District boundary include many historic building types that range in construction date from the early 19th century to the mid-20th century. The historic commercial core is mostly located within the Sonoma Plaza Historic District and National Historic Landmark, centered around the plaza itself. A variety of architectural styles creates diversity and represents a continuum of the history that has shaped Sonoma. Commercial activity has gradually spread west and south of the historic core, and the most recent commercial development has occurred in the southwest portion of the Downtown Planning District boundary. Clusters of historic residential buildings are located in the eastern portion of the District, the northwest portion, and scattered within the southern area. As commercial activity has spread from Sonoma Plaza, much of the Downtown Planning District is characterized by mixed-use buildings.



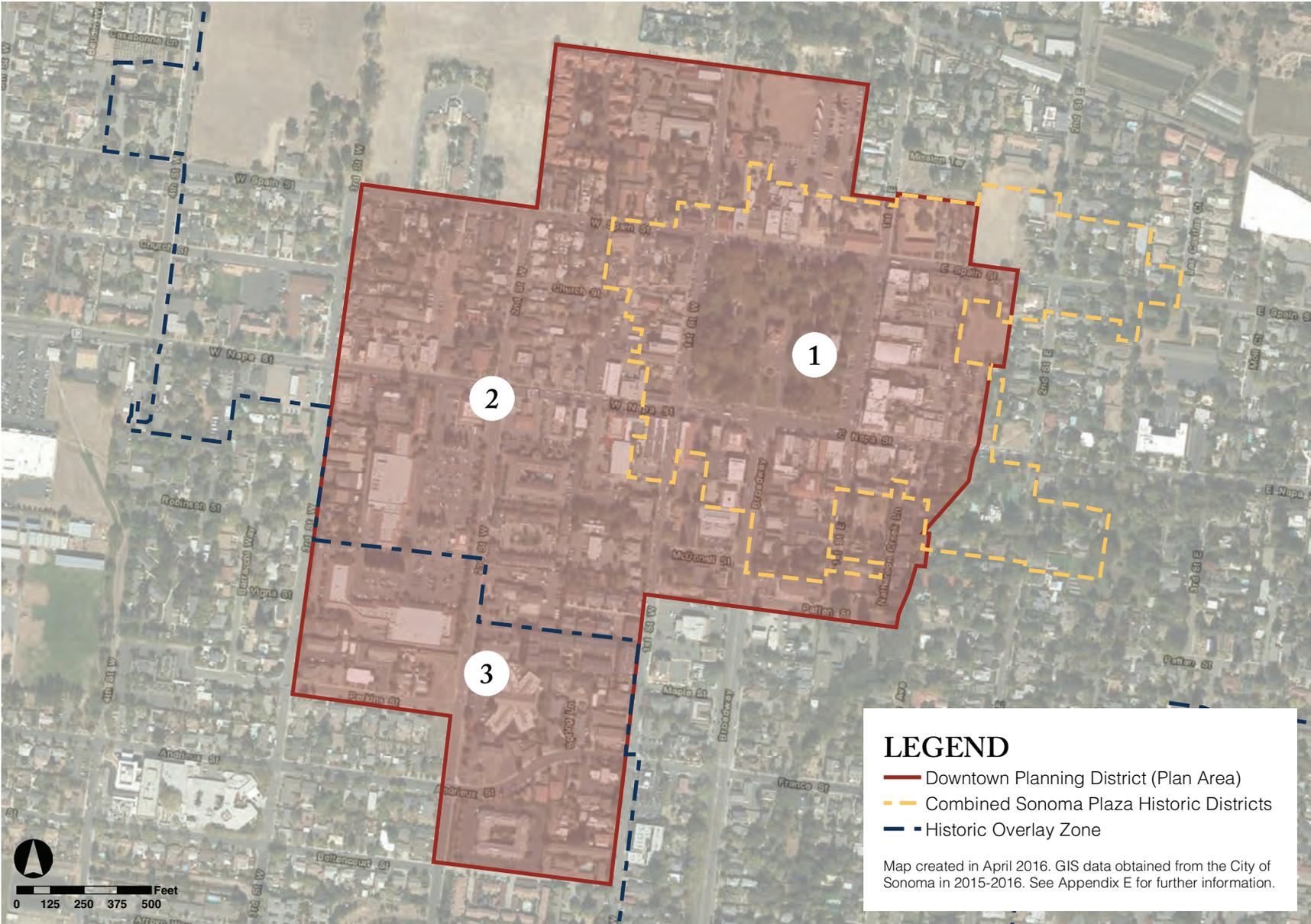
Corner of Perkins and W. Second Sonoma Perkins 3/2016



For these design guidelines, three sub-areas within the Downtown Planning District have been identified. The first sub-area is determined by the boundaries of the National Register Historic District and National Historic Landmark District. The second sub-area is located outside of the historic districts but still within the Historic Overlay Zone established by the City of Sonoma. The third sub-area encompasses the southernmost portion of the Downtown Planning District and is located outside of the Historic Overlay Zone. The purpose of identifying these sub-areas is to clearly define the pre-existing conditions and polices that apply to each area. The goal is to encourage high-quality design and development that addresses the three sub-areas in appropriate ways.

The Downtown Planning District is surrounded by other areas that possess historic character. These include the Broadway Street Historic District and residential areas immediately east and north of the Downtown Planning District. These areas are significant to the overall context and historic fabric of Sonoma. While some of the guidelines in this document may be relevant to other historic areas of Sonoma, those areas are not included within the boundary of the Downtown Planning District and therefore are not specifically addressed in these Preservation Design Guidelines.

(Opposite) Map indicating the three identified sub-areas within the Downtown Planning District



### **Sub-Area 1: Within National Register Historic District and National Historic Landmark**

The boundary for Sub-Area 1 with the Downtown Planning District is defined by the combined boundaries of the Sonoma Plaza National Register Historic District and NHL. The resources within this area are a mix of commercial and residential, with the commercial properties primarily clustered around Sonoma Plaza. This area contains some of the most historically significant properties within the city of Sonoma.

#### **Characteristics of Sub-Area 1**

##### **Boundaries**

- Encompasses the eastern portion of the Downtown Planning District.
- Overlaps with Sonoma State Historic Park properties including Mission San Francisco Solano.

- The eastern portions of the National Register Historic District and National Historic Landmark are outside of the Downtown Planning District's boundary.

##### **Streetscape**

- Centered around the historic plaza, which contains open green space and city buildings.
- Mature trees are located throughout the plaza.
- Medium-sized street trees, sparse on the outer sides of the blocks surrounding the Plaza and primarily lining Broadway at regular intervals
- The commercial district is comprised of retail, office, and hotels.
- Wide sidewalks invite space for window shopping or outdoor seating.
- Street parking is characterized by angled spaces.
- Several surface parking lots are located adjacent to or behind buildings.

##### **Buildings**

- Many iconic historic buildings are located within and contribute to the Sonoma Plaza National Register Historic District and NHL.
- Buildings are one to three stories in height.
- Most buildings fill their parcel frontage and range in width from approximately 20 feet to 120 feet.
- Roof forms around Sonoma Plaza include flat, gable, cross-gable, and deck roofing.
- Dominant materials include brick, horizontal wood siding, adobe, and textured stucco cladding; wood and steel sash windows; and glazed wood doors.
- Porches, flat or shed awnings, and/or second story balconies project from most buildings
- A few Mid-century modern and contemporary buildings are interspersed among the historic buildings.
- Styles include but are not limited to Spanish Colonial Revival, Monterey Colonial, Mission Revival, 19th Century

Flat Front Vernacular, Renaissance Revival, and Mid-century Modern. The range of historic architectural styles is a primary characteristic of the sub-area.

- Several residential properties within this area have been converted to commercial use.



Character images of Sub-Area 1. Clockwise from upper left: commercial buildings at the intersection of E. Napa Street and 1st Street E.; historic cottage adjacent to Mission San Francisco Solano; low scale buildings and open views near Sonoma Plaza along E. Spain Street; historic commercial building at 1st Street W.

### Sub-Area 2: Outside Historic District and Landmark Boundary, Inside Historic Overlay Zone

The boundary for Sub-Area 2 within the Downtown Planning District is defined by the western boundaries of the Sonoma Plaza Historic District and NHL and the southern boundary of the Historic Overlay Zone. This sub-area is the largest of the three areas and contains the largest mix of historic and non-historic properties and of residential, commercial, and mixed uses building types.

#### Characteristics of Sub-Area 2

##### Boundaries

- Comprises the northern and western-most portions of the Downtown Planning District, as well as a small portion of Broadway south of the Sonoma Plaza Historic District.
- Western boundary is 3rd Street West.

##### Streetscape

- Includes a mixture of contemporary commercial development to the south and historic, post-war, and contemporary

residential buildings to the north.

- There are several surface parking areas that front properties along the street.
- Includes half of the Sonoma Marketplace Shopping Center with its surface parking, parking lot trees, and street trees.
- Residences feature landscaped front yards with lawns, mature trees, and other shrubs.
- Sparse) street trees line the sidewalk.
- Sidewalks are paved and of average width.
- Parking is typically parallel to the sidewalk or off-street parking in surface lots or driveways.

##### Buildings

- Contains a mixture of single-family and multi-unit residential buildings, as well as commercial buildings.
- W. Napa Street contains both historic and contemporary commercial buildings.
- Contemporary, higher-density housing is found at the north and southern areas of the sub-area. Historic residencies are

concentrated in the northwestern portion of the sub-area.

- Buildings are mostly one to two stories in height, with a few three-story buildings.
- Many of the historic residential buildings have been converted to commercial use.
- Setbacks range from immediately adjacent to the street to approximately 20 feet.
- Driveways lead to garages and other outbuildings, typically found at the rear of residential properties.
- Styles include but are not limited to Monterey Colonial, Mission Revival, Folk Victorian, Ranch, Craftsman, and Contemporary.
- Dominant materials include horizontal wood siding and stucco cladding, wood sash windows, and wood doors.
- Roofs are primarily gable and hipped on residences and flat, gable, and hipped roof forms on commercial buildings.
- Residences typically feature front porches and occasionally have balconies at a second story.



Character images of Sub-Area 2. Clockwise from upper left: office buildings; residence and secondary building constructed on the rear portion of the lot; Sonoma Marketplace Shopping Center at 2nd Street W.; central lawn at Firehouse Village at 2nd Street W.;

### Sub-Area 3: Outside Historic Overlay Zone

The boundary for Sub-Area 3 within the Downtown Planning District is defined to the north by the boundary of the Historic Overlay Zone. This sub-area is the smallest of the three sub-areas and contains a low-density mixture of commercial, institutional, and residential buildings.

#### Characteristics of Sub-Area 3

##### Boundaries

- Comprises the southernmost portion of the Downtown Planning District, south of the Historic Overlay Zone boundary.

##### Streetscape

- Surface parking lots front most commercial and institutional buildings, with additional parking behind the buildings.
- Sub-Area 3 includes one undeveloped lot at 2nd Street West and Perkins Street, as well as many under-developed lots with expanses of paved surface parking.
- Residential properties feature landscaped

front yards with mature trees, and other shrubs.

- Small scale street trees line Andrieux Street while mature trees line 1st Street West.
- Sidewalks are paved and of average width.

##### Buildings

- Sub-Area 3 contains a mixture of residential, commercial, and institutional buildings.
- Visually-dominant buildings are primarily found on 2nd Street West and Andrieux Street, and include the Lighthouse Christian Church at 2nd Street West and Andrieux Street, the Golden Living Center – London House Sonoma, a senior assisted living center at 678 2nd Street West, the Medical Plaza at 181 Andrieux Street, and the southern half of the Sonoma Marketplace Shopping Center.
- Residential buildings are generally concentrated along Perkins Street, Andrieux Street, and 1st Street West. Two multi-unit residential groups are located along the west side of 1st Street West.

- Buildings are one to three stories in height.
- Roof forms vary greatly and include flat, gable, hip, and shed roofs.
- Materials found in Sub-Area 3 include wood (vertical and horizontal siding), stucco, masonry (brick and stone) veneer, rounded clay roof tile, and ceramic tile.
- Styles include but are not limited to Contemporary, Mission Revival, Craftsman, and Mid-Century Modern.



Character images of Sub-Area 3. Clockwise from upper left: contemporary office building; multi-family apartment building; two residences constructed on one lot; Lighthouse Church building at Andrieux Street.

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# Downtown Preservation Design Guidelines



## 4. Downtown Preservation Design Guidelines

The Downtown Sonoma Preservation Design Guidelines convey general policies regarding the maintenance, repair, and rehabilitation of existing structures (historic and non-historic), additions to existing buildings, and new infill construction. The guidelines provide appropriate responses to anticipated development projects and design issues in downtown Sonoma. The design guidelines in this document build upon national-wide, established preservation standards and existing local policies, and are intended to be used in conjunction with these other sources.

### *The Secretary of the Interior's Standards*

The National Park Service has developed a body of guidance—the *Secretary of the Interior's Standards for the Treatment of Historic Properties*—to help property owners, architects, municipalities, and others who are interested in retaining the historic character of buildings, districts, and landscapes. This guidance is meant to inform a range of proposed projects of the most appropriate approaches for accomplishing desired objectives while also retaining those distinctive features and forms that define the historic character of a property (often referred to as character-defining features).

The Standards have been tailored to fit four particular treatments of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. The four distinct treatments are defined as follows:

**Preservation:** The Standards for Preservation “require retention of the greatest amount of historic fabric, along with the building’s historic form, features, and detailing as they have evolved over time.”

**Rehabilitation:** The Standards for Rehabilitation “acknowledge the need to alter or add to a historic building to meet continuing new uses while retaining the building’s historic character.”

**Restoration:** The Standards for Restoration “allow for the depiction of a building at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.”

**Reconstruction:** The Standards for Reconstruction “establish a limited framework for re-creating a vanished or non-surviving building with new materials, primarily for interpretive purposes.”

Each of the treatments listed above has its own series of associated standards. The design guidelines in this document are inspired by the Standards for Rehabilitation and provide specific guidance for individual projects within the context of Sonoma. It is possible that certain projects may have a more conservative treatment scope that would be defined as preservation or restoration. The Standards for Rehabilitation (and hence these design guidelines) are still instructive, as they overlap with these other two treatments with respect to repairing and replacing historic features. Project applicants interested in preservation or restoration, however, can reference the separate Standards that have been developed for these two treatments.<sup>1</sup>

### *Secretary of the Interior's Standards for Rehabilitation*

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* (The Standards)

provide guidance for working with historic properties. The Standards are used as an analytic tool by federal agencies and local government bodies across the country to evaluate proposed rehabilitative work on historic properties. There are four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. The Standards for Rehabilitation allow for the most flexibility, and are most commonly applied:

- A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other

historic properties, will not be undertaken.

- Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- Archaeological resources will be protected and preserved in place. If such resources

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<sup>1</sup> The separate sets of *Standards* are available on the website of the National Park Service, <http://www.nps.gov/tps/standards.htm>.

must be disturbed, mitigation measures will be undertaken.

- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Local Guidelines for Preservation and Adaptive Reuse

Further general guidance for the treatment of historic properties is provided in the City of Sonoma Municipal Code. The Downtown Sonoma

Preservation Design Guidelines are designed to be used in conjunction with the guidelines provided in the Sonoma Municipal Code, which convey a similar message as The Standards. Their general rehabilitation recommendation is as follows:

**Preservation and Rehabilitation of Existing Structures:** In general, preservation and rehabilitation efforts should aim toward protecting the essential architectural features of a structure that help to identify its individual style and thereby further its contribution to the historic character of the surrounding neighborhood.

### 1. General Rehabilitation Principles.

- Historic structures should be recognized for their own time and style. Rehabilitation should not try to create a preconceived concept of history, but should reuse existing or appropriate features.
- Rehabilitation of historic structures should try to retain and restore original elements first. If damage or deterioration is too severe, the element should be recreated using original materials to match the color,

design, texture, and any other important design features.

- When replacement is necessary and original material cannot be obtained, substitution material should incorporate the color, design, and texture that conveys the visual appearance of the original material.<sup>2</sup>

## Sub-Area Specific Guidance

As described above, the Downtown Planning District has been divided into three sub-areas, defined both by their physical characteristics and the boundaries of the National Register Historic District, National Historic Landmark, and Historic Overlay Zone. The following section describes approaches and design objectives that are appropriate for each sub-area. In general, the sub-areas are categorized hierarchically – guidelines in Sub-Area 1 will be applied the most strictly, while some flexibility will be allowed in

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<sup>2</sup> The full text of applicable chapters of the Municipal Code are appended to this document.

Sub-Area 2, and the greatest amount of flexibility applies to Sub-Area 3. However, the intent of the guidelines remains consistent throughout all sub-areas and applicable guidelines will be dependent upon the type of project and the historic status of the building or its adjacencies. The treatment of historic buildings remains consistent throughout the sub-areas, while more freedom for non-historic buildings and new design is possible in Sub-Areas 2 and 3. Each sub-area contributes to the larger Downtown Planning District of Sonoma, and thoughtful design throughout all areas will enhance the built environment of this historic city.

### **Sub-Area 1: Within National Register Historic District and National Historic Landmark**

Generally, the streetscape surrounding the Sonoma Plaza should be activated between the commercial development and pedestrian. Diversity of use is encouraged, though an overall visual unity achieved through compatible scale and materials—one- to three-story buildings with brick, horizontal wood, or stucco cladding— as well as a visual connection to Sonoma Plaza is sought. The character and

rhythm of downtown Sonoma established by the Plaza and commercial core should be reinforced and enhanced by maintenance and restoration of existing buildings, compatible additions, and sensitive new construction that is subservient to the adjacent historic buildings.

### **Sub-Area 2: Outside Historic District and Landmark Boundary, Inside Historic Overlay Zone**

The streetscapes located in this area should serve as seamless transition zones into the most historic core of Sonoma. A mix of residential and commercial uses should remain. Commercial activity should concentrate along West Napa Street, a busy roadway leading into the historic plaza area. Existing concentrations of residences in the northwestern portion and along the western border of the plan area should be retained. Additional surface parking lots are discouraged. The walkability and pedestrian experience of this sub-area, particularly where immediately adjacent to Sub-Area 1, should be enhanced. Changes in Sub-Area 2 should be considered based on their specific location and proximity to historic resources

in order to reinforce the historic character and support a context-sensitive sub-area. Particular attention should be paid to 1st Street West, West Napa Street, and West Spain Street, as they are primary approaches to Sub-Area 1.

### **Sub-Area 3: Outside Historic Overlay Zone**

This sub-area is currently outside of the historic districts and the Historic Overlay Zone, and therefore it has the most potential for new development. The design objective for this sub-area is to unify the commercial and housing opportunities with the rest of downtown Sonoma in order to provide a more cohesive urban character. Much of this area serves as a transition zone into the more concentrated historic parts of Sonoma. With appropriate scale and massing, and sensitive and innovative design for new development, this sub-area has the potential to enhance and unify the Downtown Planning District, which is primarily a commercial district. Sub-Area 3 contains many opportunities to increase Sonoma's housing stock, especially multi-family housing.

# Guidelines for Repairing and Altering Existing Buildings



## 5. Guidelines for Repairing and Altering Existing Buildings

This chapter addresses recommendations for projects that involve repairs and alterations to existing historic and non-historic buildings. The historic status of the building and the condition of the existing fabric will inform the scope and approach of the proposed project. The first portion of this chapter focuses on maintenance and rehabilitation guidelines for historic and potentially historic buildings located within the Downtown Planning District. Historic buildings in Sonoma represent a range of architectural styles and illustrate the city's development over time. Sonoma's most historic buildings – significant at the local, state, and national levels – are concentrated around Sonoma Plaza and within the downtown area. Maintaining Sonoma's historic resources is crucial to preserving the historic charm and character of the city.

The second portion of this chapter provides broad guidance regarding alterations of non-historic buildings, particularly with respect to the surrounding historic environment.

Additional resources listed throughout the chapter should be consulted for details on specific technical approaches that residents can use to follow the guidelines.

### 5.1 Repairs and Alterations to Historic Buildings

The maintenance and repair guidelines included in this section are intended to help downtown Sonoma property owners identify and retain the materials and craftsmanship that convey the historic character of their buildings and neighborhood. Historic exterior materials, whether used for cladding or decorative purposes, are critical components of a building's architectural style and finely grained visual character. As downtown Sonoma's early buildings are recognized for the quality of their materials and design, it is important that property owners follow a sensitive and informed approach while dealing with the historic fabric of their buildings. With these guidelines, projects can be developed in accordance with the general principle that historic materials should be replaced *only where necessary*.

## Exterior Wall Materials

### 5.1.1 Maintain and repair original exterior wall materials whenever possible, and if deteriorated they should be replaced in-kind.

The materials of Sonoma's historic properties contribute both visually and functionally to the Downtown Planning District's overall feel. Repairing the existing materials is always the first approach that should be explored before a project is undertaken. If repair is not possible, in-kind materials should match the old as closely as possible in order to retain the broad visual impression of a historic building. Common materials found in Sonoma are brick, horizontal siding, shingles, stone, stucco, and wood. Retention of original materials preserves the visual character within downtown Sonoma.

- Clean cladding materials using the gentlest means possible. Sandblasting and other abrasive measures are never appropriate.
- Attempt to repair damaged areas prior

to replacement. Replace areas of wood shingle, clapboard siding, or stucco only where they are deteriorated. Avoid removing a greater number of shingles or boards than is required.

- Avoid covering character-defining cladding with vinyl, aluminum, or other synthetic siding materials. If these materials have already been installed, their removal is encouraged in order to restore the historic character of the building.
- Replacement materials should be chosen to match existing materials and be compatible with the architectural style. Use high-quality materials that match existing conditions and will reflect the historic nature of the property. Consider dimensions (height, width, and depth) and surface profile when selecting new material.
- When replacing shingles or boards that are varied in width, replicate this pattern.
- If historic wood cladding was manufactured using an identifiable and visually distinctive species of tree—such as redwood—it is recommended that the same species be used for the replacement cladding.
- Replace distinctively shaped wood shingles—such as sawtooth and octagonal shingles—using shingles with the same dimensions, profiles, and arrangements (i.e., fishscale pattern) as the original.
- Retain contrasting cladding materials—such as clapboard at the first story and shingles at the second story—if such a pattern is historic.
- If stucco cladding is to be patched, consult with a professional craftsman to match the proper composition and surface texture of new stucco. A poor match may lead to unsightly visual effects or further damage to surrounding stucco in the future.
- Where deteriorated brick masonry is found, replace damaged brick with new

that matches the original's color, size, and surface texture. Additional characteristics that should be replicated include the bonding and decorative patterns of the brick.

- If brick repointing is required, use a compatible mortar composition in order to avoid a disjointed appearance and future damage to the brick.

### 5.1.2 Preserve and retain original ornamentation whenever possible.

Original decoration and trim on a building lends character and often associates the building with its particular architectural style. The richness and variety of ornamentation in downtown Sonoma add texture and interest to the city.

- Avoid placing new stylistic elements on a building that is based on conjecture. All

reconstruction of window and door trim, cornices, or other ornamentation should be based on documentary evidence such as photographs, architectural drawings, or specifications.

- Repair damaged ornamentation and trim in lieu of replacement.
- Avoid obscuring ornamentation and trim with signs, awnings, lighting, or other minor façade additions.
- Consider removing alterations which obscure original detailing or which are not consistent with original designs.

### 5.1.3 When painting, consider original colors or color schemes of surrounding structures in order to maintain compatibility.

- Use historic photographs or available historic information if the original color is not extant.
- Sharp contrast with nearby building colors is not encouraged.

For additional information on treating exterior materials, see Preservation Briefs: “Cleaning and Water-Repellent Treatments for Historic Masonry Buildings” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm> “Dangers of Abrasive Cleaning to Historic Buildings” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm> “The Preservation and Repair of Historic Stucco” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/22-stucco.htm> “Maintaining the Exterior of Small and Medium Size Historic Buildings” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/47-maintaining-exteriors.htm> “The Use of Substitute Materials on Historic Building Exteriors” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm> “Repointing Mortar Joints in Historic Masonry Buildings” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

- Avoid covering natural or previously unpainted surfaces such as brick, stone, tile, or terra cotta.
- Avoid any surface treatment that will damage original materials, such as sandblasting brick surfaces in an attempt to remove old paint. Sandblasting can damage the natural fired surface of the brick and cause it to lose its water repellent qualities. Use the gentlest means possible to remove paint if necessary.

For additional information on painting, see Preservation Brief “Exterior Paint Problems on Historic Woodwork” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

## Windows and Doors

### 5.1.4 Maintain original windows wherever possible. The original window type, including shape, size, and material, should be retained.

Original windows and doors are very important characteristics of historic buildings. The shape, size, and style of windows and doors are distinguishable features of most architectural styles. Windows and doors on primary street facades are especially important to retain. Alterations to windows and doors are highly noticeable and can easily detract from a building’s historic character.

- Always consider repairing original windows before replacing. If replacement is necessary, replacing in-kind and matching the original window is the preferred treatment.
- Replace deteriorated window trim and other treatments to match the size and profile of the original.
- Use high-quality materials and detailing for new and replacement windows. Maintain

sash and frame thickness and window depths similar to those of original windows.

- Where one component of a window is deteriorated or broken (such as a muntin or a lite), repair or replace the individual element rather than replacing the entire window unit.
- If a full window must be replaced due to deterioration, match the new window to the original in dimensions, operability (such as hung, fixed, or casement), and configuration of muntins.
- Where non-standard window types—for instance, windows with arched shapes or diamond muntin patterns—are deteriorated and cannot be repaired, make every attempt to have new windows manufactured to match the appearance of the original.



The center window has been replaced with an inappropriate window. The glazing pattern, operability, and materials do not match the original windows.

- Avoid installing aluminum or vinyl-sash windows. Use traditional materials such as wood instead. Older structures had wood framed windows that were either casement, double hung, or fixed. Synthetic materials often do not resemble original materials, have a shorter lifespan, use less sustainable materials, and detract from a building's historic character.

### 5.1.5 Maintain the historic pattern of window openings, especially on primary facades.

- Avoid inserting new windows or blocking existing windows at primary facades. The position, number, and arrangement of windows defines the rhythm of a façade and can often be a character-defining feature of an architectural style or type of building use.
- Preserve the ratio of window openings to solid wall. Increasing or reducing openings can impact the proportions of a façade and could look out of place within the larger streetscape.
- If additional window openings are necessary for an adaptive reuse project, consider locating openings on side or rear facades.

For additional information on windows, see: "Saving Windows, Saving Money,"

(Preservation Green Lab of the National Trust for Historic Preservation), <http://www.preservationnation.org/information-center/sustainable-communities/green-lab/saving-windows-saving-money/>;

Preservation Brief "The Repair of Historic Wooden Windows," (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>;

Preservation Brief "The Repair and Thermal Upgrading of Historic Steel Windows" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/13-steel-windows.htm>

### 5.1.6 Retain historic doors in place whenever feasible. The appearance, proportion, and location of historic doors should be maintained.

- Repair historic wood doors whenever feasible, rather than replace them. Hardware and glazing patterns also contribute to the historic character of a door.
- When replacement is necessary, the replacement door should match the original design and materials as closely as possible. If the original door is missing, appropriate design and materials should be selected by studying the doors of similar structures in the surrounding neighborhood or consulting books on architectural styles.
- Avoid creating new openings where no doors were located historically. If additional door openings are necessary for an adaptive reuse project, consider locating openings on side or rear facades.
- Maintain the original proportions of historic doors, especially on primary facades.

### Commercial Storefronts

The original storefronts of commercial buildings in downtown Sonoma contribute to the historic character of the area and create a pedestrian-oriented streetscape. Preservation of primary facades maintains interest at the street level, creates a visually cohesive appearance, and establishes the form, rhythm, and character of the street.

### 5.1.7 Preserve the existing features of the historic ground floor storefront and primary facade.

- Where possible, do not remove, destroy, or obscure the typical storefront features outlined in the character-defining features section of this document. The retention and repetition of these features, as well as the dominant scale and massing of buildings, should guide alterations occurring within Sub-Area 1.
- Retain ground floor features such as bulkhead panels, kick plates, configuration of display windows, and recessed entryways.
- Consider removing non-historic alterations that are not consistent with the original design of the storefront and overall architectural style. Consult available information such as historic photographs to inform the restoration of a façade in Sub-Area 1.
- Consider retaining any elements of the historic façade that may be uncovered during the course of a project.
- Where a historic storefront is no longer extant, an alternative design that is a contemporary interpretation of the historic storefront may be considered. Consider referencing the surrounding context and related architectural style of the building with regards to proportion, placement, and scale.
- Avoid extensive signage and canopies on buildings that are characterized as Spanish Colonial or Mission Revival, where such features are not historically compatible.

### 5.1.8 Retain storefront transom windows.

**Transom windows, the upper portion of traditional storefronts, contribute to visual unity across a block face and allow more daylight to the interior.**

- Transom windows should not be removed, covered, or enclosed.
- Retain historic glass or pattern of lites within the transoms. For example, a grid of prism glass should not be replaced with a single, undivided pane.
- Consider replacing transom windows if the original windows are no longer extant. Reference historic photographs or other available resources, if possible, when designing or replacing transom windows. Where possible, retain the dimensions of the historic transoms.

For additional information on storefronts, see Preservation Brief “Rehabilitating Historic Storefronts,” <https://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>



Signage and awnings obscure some features of the historic commercial building and are incompatible with the architectural style.



Original transom windows contribute to the historic character of the commercial building and should be retained.

## Roofs

Historic roof shapes and materials should be maintained as best as possible. Roof forms are important character-defining features of architectural styles and roofs contribute to a neighborhood's rhythm and sense of scale. Roofs are also functionally important and should be maintained for the sake of the overall durability of a building.

### 5.1.9 Preserve and maintain historic roof pitch, orientation, proportions, and form.

- Avoid the alteration of roof forms, especially when a roof profile is highly visible from the public right-of-way.
- Preserve the original eave depth of a roof, as well as features at the eaves like exposed rafter tails, paneled soffits, or fascia.

### 5.1.10 Maintain historic roofing materials and repair in place whenever feasible.

- Inspect and repair roofing systems regularly. Water infiltration through the roof can ultimately damage historic features throughout a building.
- Avoid removing historic roofing material that is in good condition.
- Preserve original decorative roof elements including finials, crests, and chimneys.

Maintain wood shingle and clay tile roofing materials when feasible. These materials are often a character-defining feature of the building's architectural style.

- Where clay tile roofs need to be replaced, choose new tiles that replicate the color, shape, and size of the originals.
- Install new asphalt composition shingles only on homes that already have this roof material. Property owners are encouraged to research the original roofing of their homes and to consider new materials that match the original, if adequate evidence exists.

- When repairs are necessary, use high-quality and durable materials that are compatible with the original style of the building.
- Due to modern fire safety requirements, reroofing a structure in an original material may not be feasible. Replacement materials should match the color, size, and shape of the originals as closely as possible.

For additional information on roofs, see Preservation Briefs:

"Roofing for Historic Buildings" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>;

"The Repair and Replacement of Historic Wooden Shingle Roofs" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/19-wooden-shingle-roofs.htm>;

"The Preservation and Repair of Historic Clay Tile Roofs" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/30-clay-tile-roofs.htm>

### Porches and Stairs

Porches and stairs are often a dominant feature that is highly visible from the public right-of-way. They are common among Queen Anne and vernacular style residences in downtown Sonoma, and create visual interest at street. The proportions of porches and stairs influence the perceived scale of a building, and therefore should be preserved as best as possible.

### 5.1.11 Maintain original porches wherever feasible.

- Avoid removing historic porches, stairs, or porch ornamentation.
- Preserve the existing locations, shape, detailing, and supports of the porch.
- Re-open previously open porches if historic sources indicate that this was the original state.
- Replace missing elements such as railings or posts with new pieces faithful to the original design and materials. Designs should be based on surviving examples, historic photographs, or original architectural drawings.

- Avoid enclosing front porches with walls or glass.

**5.1.12 If a porch has been removed, consider reconstructing the porch according to its original design or a compatible design.**

- If the original design is unknown, a new porch in a simple yet compatible design may be considered appropriate.
- Scale the porch appropriately to the overall scale of the building.
- Scale porch supports to complement the entry and existing building. Wood supports are preferred but masonry supports may be appropriate for some architectural styles.

**5.1.13 Use appropriate historic materials for porch replacements or repairs.**

- Wood decking, stairs, balustrades, and porch supports were most commonly used in downtown Sonoma. Avoid replacing wood decking and stairs with concrete unless historic evidence exists.

For more information on historic porches, see Preservation Brief “Preserving Historic Wood Porches” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

## 5.2 Repairs and Alterations to Non-Historic Properties

The purpose of this section is to guide changes to non-historic properties while minimizing the impact of these buildings on the overall character of the Downtown Planning District. Either these properties have not reached the 50-year age-eligibility threshold or they have been previously evaluated and found not to be historic resources or district contributors. While these buildings are not considered historic in and of themselves, they must be considered within their surrounding context. The highest priority is focused on buildings within Sub-Area 1 due to the high concentration of historic buildings located there. Non-historic properties are mostly found within Sub-Areas 2 and 3. The goal is to guide changes to non-historic properties while minimizing the impact to nearby historic buildings

and the overall character of the Downtown Planning District.

Alterations to non-historic buildings may allow more design flexibility than alterations to historic buildings. It is appropriate to maintain non-historic buildings as they exist when they contribute to the scale and character of the streetscape. Some of the younger buildings may become historic resources when they become age-eligible. Also, some existing non-historic properties could be altered to better contribute to the character of the Planning District. Alterations to these properties should respect and enhance their surroundings and neighborhood character.

For proposed work on non-historic properties, the relative impact on the character of the three sub-areas must be considered. Non-historic buildings within Sub-Area 1 are still located within a nationally-recognized historic district and NHL and must be respectful of the historic resources around them. Non-historic buildings within Sub-Area 2 are more abundant, but there is still a priority to establish good contextual design and create a seamless

transition into Sub-Area 1. In Sub-Area 3, more leeway can be provided to approving alterations and additions that enhance good community design rather than a strict preservation-oriented context.

### 5.2.1 Alterations to existing materials and features should be designed so as not to detract from the overall aesthetic patterns of their surroundings.

- Retain existing scale and massing, site setbacks, door and window shapes, exterior wall materials, and roof pitch and style that relate to the materials and textures found on historic buildings in downtown Sonoma.
- When replacing materials, avoid introducing new types of wall cladding or roofing that are not already present in downtown Sonoma. Common materials found in Sonoma are brick, horizontal siding, shingles, stone, stucco, wood, and clay tile.
- Use high quality wall cladding materials such as wood, brick, quality stucco, and stone.

- Avoid applying veneers such as brick or stone that appear as thin elements. Avoid using synthetic cladding materials, such as vinyl and aluminum, when possible.
- New windows can have materials other than wood if the alternate material does not conflict with existing windows on the building or adjacent buildings in the surrounding neighborhood.
- Porches can be enclosed if done in a sensitive manner, using compatible or transparent materials to avoid distracting from the historic physical context.

### 5.2.2 Avoid creating a sense of false historicism in alterations to non-historic properties.

- Refrain from adding historicist decorative features to non-historic buildings simply because they are characteristic of the early properties within the neighborhood.



Non-historic residences should respect the established patterns of the streetscape and any nearby historic buildings.



Alterations to non-historic buildings should continue to reflect the architectural styles and materials already found within Sonoma.

**Guidelines for Additions to  
Existing Buildings**



## 6. Guidelines for Additions to Existing Buildings

Some projects proposed for buildings in downtown Sonoma will likely involve the construction of additions and other large interventions. This chapter outlines guidelines that should be consulted when planning an addition to an existing building. The first section includes recommendations for additions to historic buildings, followed by recommendations for non-historic buildings. It is recommended that additions be planned sensitively in order to have a minimal impact on the historic character of the Downtown Planning District. The guidelines in this section are intended to give property owners and architects a set of principles that, when followed, would accommodate change—yet would also help safeguard a building’s distinctive form, visual character, and relationship to its neighbors.

### 6.1 Additions to Historic Buildings

An addition to a historic property should be carefully considered. The impact to the individual building features and to the public view of the building will be important factors in approving proposed designs. Properties within Sub-Area 1 are particularly sensitive to the impacts of additions and alterations.

For additional information on general guidance for additions to historic buildings, see Preservation Brief: “New Exterior Additions to Historic Buildings: Preservation Concerns” (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

#### 6.1.1 Respect the massing and scale of the main building when designing an addition.

- Let the existing height and width of the main building dictate the size of the addition. Appropriate scale and massing are important considerations to ensure that an addition does not overwhelm the primary building. Additions should be subordinate to the main building.

- Avoid creating additions that exceed the height and/or width of the main building. Additions that exceed the height of the main building can be set back, often by construction of a “hyphen” or connecting piece. Ideally, from the street, the roofline of the addition should not be visible above the roofline of the original building.
- Consider adjacent properties when sizing an addition. Side additions should not encroach on neighboring side yards and the overall rhythm and spacing of the neighborhood.



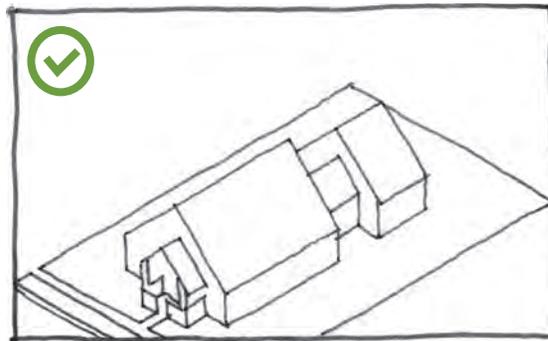
This residence features a rear addition that is barely visible from the street and subordinate to the main building.



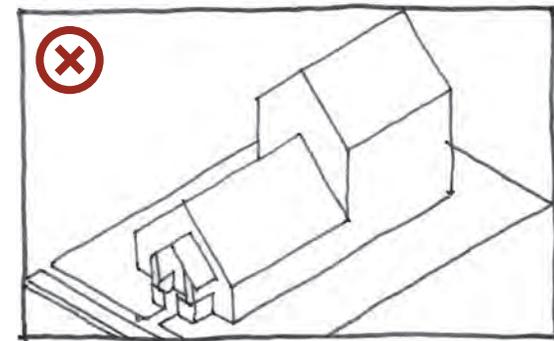
The rear addition is inappropriately large and overwhelms the main building.

**6.1.2 Locate additions where they will be least visible from the public right-of-way and do not distract from the main building.**

- Avoid obscuring or removing character-defining features when creating an addition.
- Construct additions at the rear of a historic building whenever possible. This strategy maintains the historic visual impression



Addition connected to main house with an unobtrusive hyphen.



Addition is too large and exceeds the height and massing of the main building.

of the building as seen from its front, as well as the overall streetscape pattern as experienced in the public realm.

- Set back side additions clearly from the primary façade so as to distinguish the original building and minimize impacts to the streetscape. Side additions should not project forward of the primary façade.
- Avoid making additions to primary facades. Additions to primary facades of historic buildings are not considered appropriate because they obstruct the building's appearance from the street and diminish the building's integrity.

### **6.1.3 The design of an addition should be compatible with the original building and respect its primacy.**

- The architectural style of the addition should aim to be compatible yet differentiated from the historic building. This can be achieved

through sensitive scale and massing, as well as simplified references to character-defining features or ornamentation of the original building.

- Reference the distinctive architectural features of original structures and use similar forms and materials to achieve compatibility, including: door and window shapes, size, and type; exterior materials; finished floor height; roof pitch, style, and material; trim and decoration.
- When an addition has decorative features that are similar to those found on the original building, design these features to be slightly different in size and/or spacing, so as to be distinguished from the building's historic features.
- Avoid matching the addition too closely to the historic building and creating a false impression that the addition is an original feature.

- Avoid designing an addition in a style, scale, and material palette that contrasts significantly with the historic building, simply for the sake of differentiation.

- Maintain roof forms that complement the existing building and the identified architectural style. Typically, the shape and pitch of the addition roof should echo that of the main building.

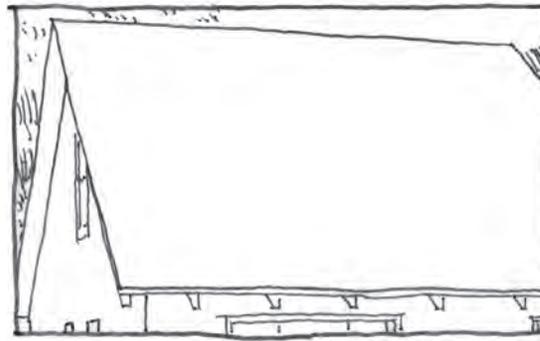
If an addition is clad in clapboard or wood shingle, choose new siding that has a subtly different profile or dimension than that of the original building. This would allow the addition to read as a later change upon close inspection.

- Materials used for additions should be similar to those found on the main building. High-quality and durable materials are encouraged.

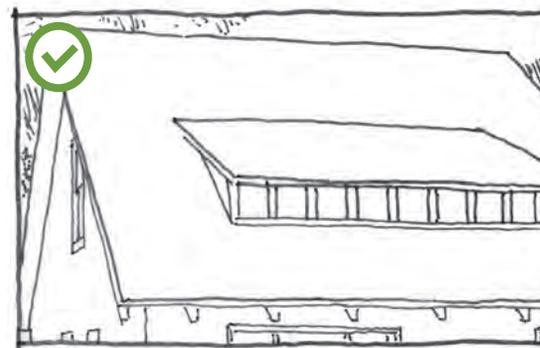
#### 6.1.4 New dormers and upper-story additions should be designed to be compatible with the character of the historic building.

- Scale new dormers appropriately so as to retain the predominance of the original roof form. Dormers and additions should not overwhelm the historic roof. New dormers would be inappropriately large if they span from end to end of the original roof or if they reach from eave to ridge.
- Substantial setbacks from the main facade are recommended for roof additions to reduce the impact of the addition on street views and light access. Rooftop additions are ideal if not visible from the street.

#### 6.1.5 The window pattern of an addition should generally match the historic building.



Prominent side gable roof before the addition of a dormer window.



The dormer window addition is of an appropriate scale and has a compatible roof form.

## 6.2 Additions to Non-Historic Buildings

Additions to non-historic buildings should be sensitively designed to be compatible with the individual building as well as the surrounding historic environment. In most cases, additions should be most subservient when they are located adjacent to or in areas where historic buildings are concentrated.

### 6.2.1 Design additions with an architectural vocabulary that is both appropriate to the main building and relates to surrounding historic properties.

- The roof form of an addition should resemble the roof form of the original non-historic building.
- Cladding and roofing materials should be similar to those of the original building, but can be differentiated slightly in size or profile. While differentiation may be less important of a concern for non-historic buildings than for historic buildings, this strategy is typically encouraged—

particularly in Sub-Areas 1 and 2— so that the addition blends in with the non-historic property and does not detract from the surrounding historic environment.

- Windows on an addition may be of a different size or material as windows on the main building, but they should not be out of scale or spaced irregularly in a way that contrasts with the character of historic buildings nearby.

**6.2.2 Additions to non-historic buildings should have as minimal an impact as possible and should respect neighboring properties.**

- Design an addition that is of an appropriate scale and height to the main building. The addition should not overwhelm the original form of the building or adjacent properties.
- Additions should be sited and scaled to be as unobtrusive as possible.
- Avoid adding elements at the primary façade that will interrupt the established setbacks and streetscape character.

**6.2.3 A second-story addition will likely be visible from the street and would change the appearance of a residence. Such an addition should be carefully designed to enhance the historic qualities of the neighborhood.**

- Design a second-story addition with the goal of minimizing its visual bulk.
- Add to the rear of the property when possible, rather than encroaching on side or front yards.

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# Guidelines for Designing and Constructing New Buildings



## 7. Guidelines for Designing and Constructing New Buildings

This section provides design guidelines for new construction within the Downtown Planning District. When opportunities arise for new development, the new buildings should be harmonious with the existing buildings in terms of site placement, massing and height, architectural style, and exterior materials. Approaches to new design within each sub-area vary. Sub-Area 1 is the historic heart of Sonoma and infill opportunities there need to be well-planned and respect the important historic core. Infill construction in Sub-Areas 2 and 3 have the opportunity to enhance the established aesthetic of the whole district and create a smooth transition into Sub-Area 1 through sensitive and thoughtful design.

With the exception of established open space and parks, there is potential for infill on underdeveloped lots and large parking areas in all sub-areas. Demolition of existing structures

should be limited to non-historic properties and is not encouraged when appropriate vacant sites are available. Infill in Sub-Area 1 should be commercial or institutional in use and maintain the existing streetscape and neighborhood scale. Infill within Sub-Areas 2 and 3 can be residential, commercial, or mixed-use, and should support the aesthetic characteristics of the surrounding neighborhood.

### 7.1 Architectural Design

The architectural style of new construction brings together the various aspects of its visual character including roof form, materials, and decorative features. Variation in architectural styles is characteristic of downtown Sonoma and has been a common pattern of the city's development throughout its history. However, the local vocabulary of materials and decorative elements found in historic buildings in the Downtown Planning District

should guide future construction so that new buildings are human-scaled and have a visual texture that is appropriate for the neighborhood. The purpose of these guidelines is not to mandate that certain styles be used; rather, cohesion and compatibility are the goals. As with new additions to historic buildings, "compatible yet differentiated" is an important principle that should guide the architectural design of new buildings.

Greater design flexibility is allowed for locations where proposed new development is not visible from the public right-of-way. However, the spirit of compatible design and appropriate scale should be followed even in these cases. More flexibility regarding contextualism and contemporary design may be allowed in Sub-Area 3, where there is a low concentration of historic resources, while infill construction in Sub-Area 1 must be respectful of the high concentration of historic resources.

**7.1.1 New residences should respect historic architectural influences already found in the neighborhood, but avoid exact imitations of historic styles.**

- New construction should reflect the time of its construction while honoring the key features of its surrounding context. The distinctive characteristics of a neighborhood can help to inspire appropriate massing, compatible scale, and architectural features.
- Avoid developing a strictly modernist building design that purposefully eschews the neighborhood's aesthetic patterns and existing residential forms.
- Employ design strategies that differentiate new development from historic buildings. Exact copies of historical styles are not preferred, as they can create a false sense of history.



The new construction does not reflect the architectural style or characteristics of the neighborhood.



The new construction is designed in a compatible style for a neighborhood. The design features a porch, echoing an dominant pattern of the streetscape.



New commercial building respects the residential scale and takes inspiration from historic forms found in Sonoma.



This new multi-family residence has highly visible primary and side facades and employs an architectural design and materials already common in Sonoma.

## 7.2 Scale And Massing

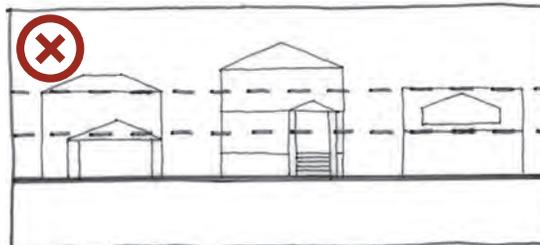
Compatible scale and massing is one of the most important considerations of new development. Infill construction in all sub-areas should be sensitive to its immediate surrounding context. While it is recognized that most new development will likely be larger than one or two stories, every effort should be made to integrate new construction with the surrounding neighborhood and to enhance the aesthetic appeal of the entire neighborhood.

### 7.2.1 Honor the scale and massing of surrounding buildings and of the overall neighborhood.

- Avoid scaling new construction larger than the immediate context. This is particularly important in Sub-Areas 1 and 2 where there is a predominance of one- and two-story historic buildings.
- Façade heights and widths of new buildings should fall within the established range and rhythm of the block and respect the general proportions of existing buildings.



This new construction does not respect the scale of the existing nearby residences.



The new construction at center interrupts the established rhythm of the block. The floor heights, entry porch, and roof are not in line with the surrounding context.

### 7.2.2 Balance building elements to produce an appropriately-scaled building.

- Avoid over-scaled openings (i.e. windows, doors, and arches) unless appropriate to the architectural style and compatible with the surrounding context.
- Include human-scaled fenestration and entry systems, especially for new commercial buildings.
- Divide a large building mass by using setbacks and smaller modules to reduce perceived mass and height.

### 7.2.3 Consider including porches or balconies to break up large facades and introduce human scale to new buildings.

Porches and balconies are welcoming, and they allow an understandable progression from the public realm of the neighborhood into the private space of the building.

- Where new development includes porches and balconies, it should reference those features on nearby historic properties for scale and massing.
- Front porches or balconies should not upset established setbacks.

## 7.3 Exterior Materials And Treatment

The proper use of building materials can enhance desired neighborhood qualities such as compatibility and continuity. Common materials are brick, horizontal siding, shingles, stone, stucco, and wood. The color schemes for infill structures are critical for integrating new buildings with the

existing surrounding context and help to unify the streetscape. Sensitive use of color is extremely important in Sub-Area 1, but is also a relevant consideration for Sub-Areas 2 and 3.

### 7.3.1 Incorporate an appropriate mix of predominant materials from the surrounding neighborhood whenever possible in new design.

- Use high-quality materials such as wood, brick, quality stucco, and stone that are durable and enhance the overall quality of the neighborhood and streetscape.
- Choose appropriate materials that correspond to downtown Sonoma's character and complement the building's architectural style. Natural materials commonly used in the existing built environment in downtown Sonoma are preferred over synthetic materials such as vinyl or aluminum siding.
- Avoid applying veneers such as brick or stone that read as veneers.

### 7.3.2 Reference the color schemes of existing structures in the surrounding neighborhood in order to maintain compatibility and harmony.

- Avoid sharp contrasts with the colors of existing buildings.

### 7.3.3 Window and door types and arrangements on new construction should complement traditional patterns within downtown Sonoma.

- Arrange windows on a new building so that the building has a surface-to-void ratio similar to that of historic residences or commercial buildings (depending on the use of the new construction) in the neighborhood.
- Design the window opening pattern so that there is a rational hierarchy of window types from the base of the building to the top. Avoid window types, sizes, and locations that appear randomly assigned.
- Avoid oversized windows and doors that are out of character with the building

and the openings of other buildings (particularly nearby historic properties) in the neighborhood.

- When feasible, select wood-sash windows with lite configurations that match windows found elsewhere in downtown Sonoma.

## **7.4 Accessory Structures And Secondary Buildings**

Construction of accessory structures and secondary buildings in Sonoma includes new detached garages and residences or offices on the rear portion of an existing lot. This type of development requires careful consideration of the relationship between the main building on the lot and the surrounding buildings. Construction of accessory structures is preferred on non-historic building parcels, where they are less likely to impact historic settings.

### **7.4.1 Locate accessory structures and secondary buildings at the rear of the lot and preserve the primacy of the main building.**

- Set new secondary buildings far back from the main building to make the separation clear.

### **7.4.2 Secondary buildings on the rear portion of a lot should have a compatible scale and should not overwhelm the existing building.**

- Rear development should not be taller than the existing building and/or should not be visible above the existing building from the street.
- Scale new parking structures to be subordinate to the main building.

### **7.4.3 Accessory structures and secondary buildings should be compatible with the main building's design.**

- The architectural style does not have to match the existing building, but the design should be compatible and be subordinate to the main building. This can be accomplished through a modest scale and more restrained use of architectural style and features.
- Incorporate the distinctive architectural features, such as color, materials, roof pitch and style, of the main building into the design for accessory structures.
- Decorative features should be applied with less detail on the accessory structure so that it does not compete with the main building and is clearly subordinate to it.

**7.4.4 Parking areas to accommodate new accessory structures and secondary buildings should not detract from the existing building**

- Consider alternatives to full paving in the area between the main building and the new construction.
- Enhance parking areas with the addition of landscaping whenever possible.



The accessory structure is clearly separate and subordinate to the main building in architectural design and location on the lot.

# Guidelines for Site Design and Alterations



## 8. Guidelines for Site Design and Alterations

The guidelines in this chapter address overall landscape patterns found within the Downtown Planning District. These guidelines outline appropriate design responses for new and altered building setbacks, front yards, landscaping, and parking. The Downtown Planning District contains a varied streetscape and landscape that ranges from the dense commercial square centered on Sonoma Plaza to more spacious residential streets. The Downtown Planning District has a flat topography and wide streets that are conducive to both pedestrian and automobile traffic. Sensitive site design will enhance the experience of both residents and visitors in Sonoma.

### 8.1 Setbacks

Building setbacks determine the overall rhythm and visual continuity of a street. Commercial buildings, primarily in Sub-Area 1, create a strong street wall because they are mostly built to the front lot line. A deeper setback characterizes properties in Sub-Areas 2 and 3. New construction should support the broader visual character of the neighborhood. This can be accomplished by siting new buildings on their lots to reflect the historic development pattern and general streetscape. New buildings should not interrupt the overall cadence of the block.

#### 8.1.1 Maintain a consistent block face and avoid altering building setbacks from the street.

- Most commercial buildings in downtown Sonoma, particularly in Sub-Area 1, are aligned at the sidewalk edge. In order to



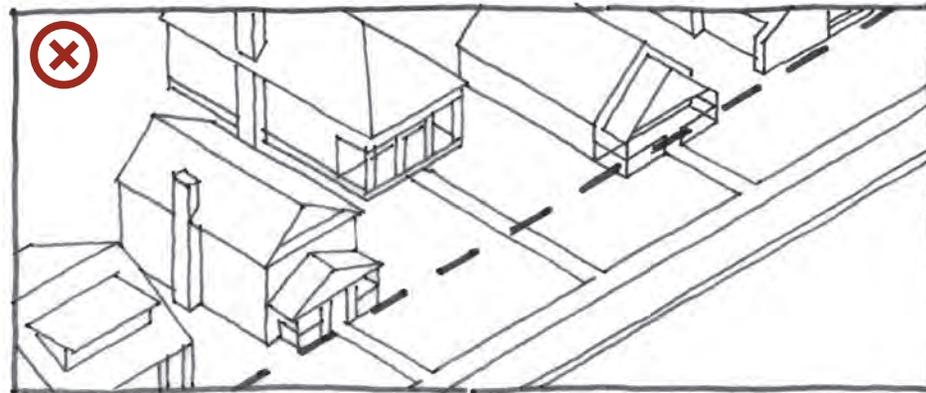
A consistent setback on this residential street maintains the visual quality of the neighborhood.

preserve a pedestrian-friendly environment, avoid altering setbacks from the lot line.

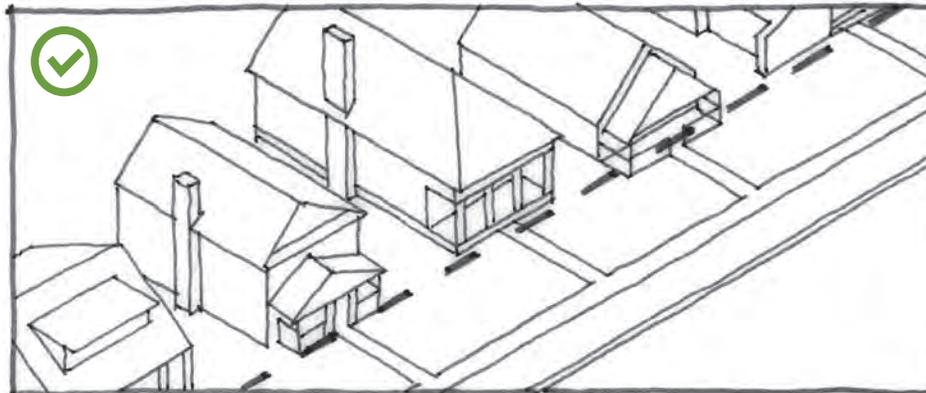
- Residential properties within Sub-Areas 2 and 3 are generally setback from the street. The established pattern of the block face should determine the appropriate setback.

**8.1.2 New buildings should respect and maintain the established setbacks of neighboring residences for both residential and commercial infill.**

- Reference the surrounding properties to determine an appropriate setback. Consistent setbacks create a pleasant and unified block face. In Sub-Area 1, no setback is often appropriate and most buildings are located at the front of the lots. In Sub-Areas 2 and 3, more blocks feature a setback from the street, usually enhanced with front yard landscaping.
- Within Sub-Area 1, the historic pattern of setbacks is preferred. Within Sub-Areas 2 and 3, new development can average the setbacks of the existing buildings on either side of the new property or average the front setbacks of both sides of street around the project.
- New residential buildings should not be built at the front lot line. Utilize landscaping and a front yard to transition from the street to private space.



The new building is set too far back from the established set back of the block, interrupting the visual unity of the street.



New construction is set back according to the established pattern of the block.

## 8.2 Landscape Design and Front Yards

Street landscaping is an important feature that ties together the built environment in the Downtown Planning District. The treatment of front yards also impacts the character of most residential development in downtown Sonoma. Front yards create the public-private transition between the street and residences and provide opportunities for landscape to soften the transition and provide shade and green space.

### 8.2.1 Maintain or create a front yard for residential development to reinforce a consistent setback along the street.

- The width and depth of the yards differ from block to block, but should be consistent along any given block face.
- Avoid fully paving front yard areas. Consider alternative options that include semi-permeable materials or arrangements, which provide environmental and aesthetic benefits.
- Consider the use of drought-resistant

plantings that convey a lush character. An expanse of gravel or mulch should not be a noticeable feature of a yard.

- Attempt to maintain mature trees where they occur in private yards, unless proven to be unhealthy, as they contribute to downtown Sonoma's overall tree canopy.

### 8.2.2 Avoid impacting views and streetscapes with landscape features that are overly large or out of scale with the neighborhood.

### 8.2.3 Consider new landscape features to screen inappropriate or out-of-scale conditions when existing buildings cannot be altered.

## 8.3 Off-Street Parking

Parking is often required through zoning regulations and is a necessary element of the downtown area to allow for visitor and customer access. Parking requirements should not impact the historic character of the area, particularly in Sub-Area 1, or a consistent pedestrian-oriented streetscape. Paving is often viewed as a functional circulation feature, but it may affect a property's landscape character and relationship between building and street. Parking can be accommodated in surface parking lots as well as separate, accessory structures. The following guidelines apply to both residential and commercial buildings. Commercial properties in Sonoma tend to utilize surface lots while detached garages are more commonly, though not exclusively, found at residential properties.

**8.3.1 Off-street parking areas should not visually overwhelm the existing building or adjacent buildings.**

- Avoid placing off-street parking areas at the front of a building. When parking is required on the lot, locate parking at the rear of the building.
- If site conditions or siting of the original building prevents necessary parking from being placed at the rear of the lot, parking may be located at the side of the building. In these cases, install vegetative screening to maintain a consistent visual streetscape.
- If site conditions or siting of the original building necessitate the placement of parking in the front of the lot, minimize the number of parking spaces, use screening methods, or consider decorative paving treatments.



Off-street parking should not be placed at the front of the lot. Prioritize the building and streetscape over parking areas.

**8.3.2 The location, size, and materials of a driveway should be carefully selected in order to preserve the broader visual patterns of the neighborhood.**

- Driveways that provide access to rear parking should be as narrow as possible. It is important that both the driveway and the parking area are subordinate in scale to the main building and its site area.
- Consider driveway materials and configurations that respect the residential scale of the neighborhood, decrease surface runoff and minimize visual impact. Ribbon driveways (two strips of paving), permeable brick paving patterns, and turf blocks are all effective options.

### 8.3.3 Avoid prioritizing the parking entrance over the primary entrance to the residence.

- Parking should be accommodated at the rear of a building, ideally within a detached garage or covered structure that is designed to be compatible with the main building. Attached garages should be located where there is minimal visual impact to the building's primary facade.
- Certain site conditions may result in limited options for constructing a detached parking structure on a lot. In such cases, the design and placement of the garage should aim to minimize the visual impact from the street as much as possible.
- Avoid designing garages or parking structures flush with or forward of the primary facade of a building.



The garage is forward of the main building and the primary entrance. The garage interrupts the established setbacks and distracts from the main building.



The detached garage is set back from the street and semi-permeable materials coordinate with the streetscape and landscaping.



## Special Considerations



## 9. Special Considerations

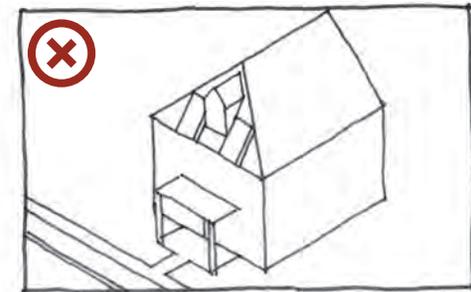
The following section addresses types of development and projects that are commonly found in Sonoma's Downtown Planning District. These types of projects can involve historic buildings, non-historic buildings, and new construction, and therefore the appropriate guidelines from the above sections are also applicable.

### 9.1 Solar Technology and Energy Efficiency Tools

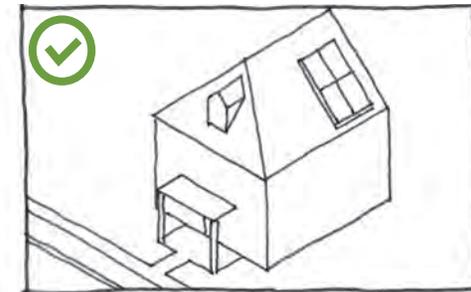
Preserving and repairing buildings rather than replacing them is a sound environmental policy. The retention, maintenance, and repair of historic fabric is commonly the most efficient, cost-effective, and sustainable approach. The City of Sonoma allows the installation of solar panels on all buildings. New methods of increasing energy efficiency can be incorporated without compromising the historic nature of a property or the aesthetics of a neighborhood.

#### 9.1.1 Minimize the visual impacts of energy devices on the character of the property and neighborhood.

- Locate solar panels on rear or side roofs wherever possible. Reduce visibility of solar panels and equipment from the public right-of-way.
- Attach solar panels or other equipment in the least invasive and reversible manner feasible.
- Include all sustainable construction features such as solar panels in the design of any new construction to integrate them as seamlessly as possible with the building.
- Design new construction or additions to take advantage of energy saving and generating opportunities. This can be accomplished by designing windows to maximize daylighting and using shading



Highly visible solar panels are not preferred.



Less visible location for solar panels towards the rear of the building is preferred.

that is appropriate in scale, design, and materials, while maintaining compatibility with surrounding properties.

### 9.1.2 Enhance the energy efficiency of existing buildings with minimal and responsible changes to original features.

- Retain original doors and windows when possible. Repairing historic windows and doors conserves the energy already embedded in the materials and eliminates the need to manufacture new products. Repaired windows have been shown to achieve performance levels comparable to replacement windows.
- Choose weather-stripping or storm windows over the replacement of glazing or a full window. Storm windows can be installed on the interior in order to minimize the visual impact.
- Maintain operable windows, especially transom windows, that have inherent energy-efficient advantages of air circulation.

For additional information on energy efficiency tools, see Preservation Briefs and Technical Bulletins:

"Improving Energy Efficiency in Historic Buildings" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/3-improve-energy-efficiency.htm>

"The Repair and Thermal Upgrading of Historic Steel Windows" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/13-steel-windows.htm>

For additional information regarding wood windows: "The Repair of Historic Wooden Windows" (NPS), <https://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

For additional information on weatherization: "Repair and Upgrade Windows and Doors" (NPS), <https://www.nps.gov/tps/sustainability/energy-efficiency/weatherization/windows-doors.htm>

## 9.2 Converting Residential Buildings to Commercial Use

The conversion of residences to office or commercial use is a common practice in downtown Sonoma. This practice is most commonly seen in Sub-Area 2. The adaptive reuse and retention of structures that illustrate the historic development of downtown Sonoma is encouraged; however, the new use should not detract from or obscure the building's history.

### 9.2.1 Maintain the residential character of a property if its use is adapted to commercial or office use.

- Maintain historic windows and openings, original entrance, siding materials, roof forms, porches, etc. See the above chapter "Guidelines for Maintaining, Repairing, Altering or Adding to Historic Properties" if the building is considered a historic property.

- Maintain street alignment and context, especially within neighborhoods which are still primarily residential. A front yard is particularly important to retain if the building is in line with a row of other residential buildings.
- Avoid paving the front yard of a former residence in order to provide parking for the business. Locate off-street parking behind the building.
- Keep signage to a minimum and avoid signage applied directly to the building.



This commercial building retains its former residential character. Signage is separate from the building and unobtrusive.

## 9.3 Natural Disaster Preparedness

Earthquakes, flooding, and other natural disasters are possible threats to the built environment in Sonoma. This section outlines general guidelines for residents and the City to prepare buildings for natural disasters. In the face of a natural disaster, preparedness and coordination can make an enormous difference in the speed and effectiveness of post-disaster response. Informational infrastructure such as Geographic Information Systems (GIS) can help to set priority areas for rehabilitation efficiently after a disaster. Design guidelines for repair and construction aid post-disaster efforts for recovery and rebuilding.

### 9.3.1 Inspect parapets and other unreinforced masonry elements to ensure adequate bracing and stabilization.

- Ensure that applied ornament on exterior facades and roofing tiles are properly secured.

### 9.3.2 Regularly inspect and repair deteriorating roofing or structural systems.

- Preventative repairs and maintenance of roofing systems or structural framing will help prevent expensive and potentially extensive damage in the event of a disaster.

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## Appendices



# 10. Appendices

## Appendix A – Glossary of Terms

**Asphalt composition shingles:** Shingles made from roofing felt coated with asphalt and mineral granules.

**Bay window:** The common term for a minor projection containing a window that extends beyond the surrounding façade plane.

**Casement window:** A window with the sash hinged on the jamb (vertical side member).

**Clapboard siding:** A siding material consisting of narrow wood boards applied horizontally, with the lower edge overlapping the board below.

**Cornice:** The common name for the decorative projecting element at the top of a façade; commonly bracketed and located above a frieze.

**Dormer:** A minor projection on a pitched roof, usually bearing a window on its front face. Dormers can have a variety of roof forms.

**Eave:** The lower edge of a roof slope that intersects with the exterior wall.

**Façade:** An exterior building face.

**Façade plane:** The predominant plane at which the physical features of a façade are arranged.

**Fenestration:** The physical arrangement of windows on a building's exterior walls.

**Fixed window:** A window sash that does not move or open.

**Gable:** The upper area of an exterior wall that is located between the roof slopes.

**Hipped roof:** A roof form where all sides slope between the roof ridge and eaves.

**Historicist architecture:** Architecture that is heavily influenced by past movements, sometimes freely interpreted.

**Hung sash window:** A window in which one or more sashes move vertically.

**Hyphen:** A minor volume that connects two larger volumes.

**Infill:** New construction located within an existing, historic setting.

**Landscape:** The physical and aesthetic setting of a place, typically defined by natural features but also incorporating spatial relationships, views, furnishings, and circulation routes.

**Lite:** A piece of glass located within a window.

**Massing:** The distribution of a building's volume through space.

**Muntin:** A narrow member that separates the lites within a window sash.

**Parapet:** The area of a building's exterior walls where they extend above a roof; it can be flat or stepped/shaped.

**Porch:** A component of a building that shelters a building entrance and contains occupiable space.  
**Rafter tail:** The exterior expression of a roof structure below the eaves. Rafter tails are sometimes applied decorative elements and commonly have shaped or scrolled ends.

**Setback:** The distance between a property line and a building, especially at the front of a lot.

**Shed roof:** A roof form characterized by a single slope.

**Streetscape:** The visual character of a roadway's setting, including paving, plant life, and adjacent buildings and structures.

**Stucco:** An exterior finish composed of some combination of portland cement, lime and sand, which are mixed with water and applied to a wall in a wet coating and allowed to dry.

**Surface-to-void ratio:** The proportional relationship between solid wall areas and window/door openings.

**Window sash:** The overall frame that contains the glazing and possibly muntins of a window.

## Appendix B – Technical Briefs and Additional Information

The National Park Service Preservation Briefs and other relevant publications provide additional guidance and technical recommendations that may supplement the information provided in these design guidelines. The following links are assets for additional information to inform project planning.

National Park Service Preservation Briefs

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

National Park Service Preservation Tech Notes

<http://www.nps.gov/tps/how-to-preserve/tech-notes.htm>

National Park Service Technical Preservation Services – Sustainability

<https://www.nps.gov/tps/sustainability.htm>

Preservation Green Lab of the National Trust for Historic Preservation

“Saving Windows, Saving Money”

<http://www.preservationnation.org/information-center/sustainable-communities/green-lab/saving-windows-saving-money/>

## Appendix C –Municipal Code, chapter 19.42: Historic Preservation and infill in the Historic zone

Sections:

19.42.020 Designation of a local historic resource or district.

19.42.030 Adaptive reuse.

19.42.040 Guidelines for preservation and adaptive reuse.

19.42.050 Guidelines for infill development.

### 19.42.010 Purpose

This chapter is intended to safeguard the historic character of Sonoma by recognizing and preserving significant historic and cultural resources by providing incentives for the preservation and rehabilitation of historically and culturally significant resources, and by ensuring that new development in the historic overlay zone is architecturally compatible.

A. Officially Designated Historic Structures. This chapter establishes incentives, minimum standards, and guidelines for the preservation

and adaptive reuse of officially designated historic structures to the greatest extent feasible, as well as a process for listing districts, sites, structures and other resources possessing local historic significance.

B. Potentially Historic Structures. This chapter establishes guidelines for the preservation of historic structures within the city, using the League for Historic Preservation's inventory of historic structures as a guide for determining whether these provisions should be applied.

C. Infill Development. This chapter establishes guidelines to be used in review of infill development within the historic overlay zone for which a discretionary permit is required. (Ord. 06-2013 § 2(A) (Exh. B), 2013; Ord. 2003-02 § 3, 2003).

### 19.42.020 Designation of a local historic resource or district

A. Purpose. In order to recognize and promote the preservation of sites, structures, and areas that are important to the history of Sonoma, this section provides for the nomination and designation of locally significant historic resources and districts.

B. Designation Process – Local Historic Resources. Local historic resources shall be designated by the design review and historic preservation commission in the following manner:

1. Initiation of Designation. Designation of an historical resource may be initiated by the design review and historic preservation commission or by the owner of the property that is proposed for designation. Applications for designation originating from outside the commission must be accompanied by such historical and architectural information as is required by the commission to make an informed recommendation concerning the application, together with the fee set by the city council.
2. Review, Notice and Hearing. The design review and historic preservation commission shall conduct a public hearing on a nomination for local historic resource designation. Notice of the public hearing shall be provided, and the hearing shall be conducted in

compliance with Chapter 19.88 SMC (Public Hearings), including mailed notice to the owners of any property proposed for such designation.

3. Findings, Decision. Following a public hearing, the design review and historic preservation commission may approve or disapprove a nomination for designation as a local historic resource. The commission shall record the decision and the findings upon which the decision is based. The design review and historic preservation commission may approve such designation only if it finds that the resource meets at least one of the following criteria:
  - a. It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
  - b. It is associated with the lives of persons important in Sonoma's past; or
  - c. It embodies the distinctive characteristics of a type, period,

region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

- d. It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history.

C. Designation Process – Local Historic Districts. Local historic districts shall be designated by the city council upon the recommendation of the design review and historic preservation commission in the following manner:

1. Initiation of Designation. The designation of a local historic district may be initiated by the city council or the design review and historic preservation commission.
2. Requirements for Designation. The designation of a local historic district is subject to finding by the review authority that all of the following requirements are met:
  - a. The proposed district is a geographically definable area.
  - b. The proposed district possesses

either a significant concentration or continuity of buildings unified by past events or aesthetically by plan or physical development.

- c. Considered as a whole, a sufficient concentration of buildings within the proposed district demonstrates integrity of design, setting, materials, workmanship and association.
  - d. The collective historic value of the buildings and structures in the proposed district is greater than the historic value of each individual building or structure.
  - e. The designation of the area as a historic district is reasonable, appropriate and necessary to protect, promote and further the goals and purposes of this chapter and is not inconsistent with other goals and policies of the city.
3. Design Review and Historic Preservation Commission Hearing and Recommendation. The design review and historic preservation commission shall

conduct a public hearing on a nomination for local historic resource district. Notice of the public hearing shall be provided, and the hearing shall be conducted in compliance with Chapter 19.88 SMC (Public Hearings), including mailed notice to the owners of any property proposed for such designation. Following the public hearing, the commission shall recommend approval in whole or in part or disapproval of the application for designation in writing to the city council, setting forth the reasons for the decision. The design review and historic preservation commission may approve a recommendation for a local historic district only if it makes the findings set forth in subsection (B) of this section.

4. City Council Hearing and Decision. The city council shall conduct a public hearing on a nomination for local historic district. Notice of the public hearing shall be provided, and the hearing shall be conducted in compliance with Chapter 19.88 SMC (Public

Hearings), including mailed notice to the owners of any property proposed for such designation. Following the public hearing, the city council shall by resolution approve the recommendations in whole or in part, or shall by motion disapprove them in their entirety. The city council may approve a designation as a local historic district only if it makes the findings set forth in subsection (B) of this section. If the city council approves a local historic district, notice of the decision shall be sent to property owners within the district.

- D. Amendment or Rescission. The design review and historic preservation commission and the city council may amend or rescind any designation of an historical resource or historic district in the same manner and procedure as are followed for designation.
- E. Previously Designated Historic Resources. The sites and structures previously designated by the city council as having local historic significance through the adoption of Resolution 18-2006 are hereby

designated as local historic resources as defined in this chapter.

- F. Register. The design review and historic preservation commission shall maintain a register of designated local historic resources and districts. (Ord. 06-2013 §§ 2(A) (Exh. B), 3, 2013).

**19.42.030 Adaptive reuse**

The adaptive reuse of historic structures within the historic overlay district, involving uses not otherwise allowed through the base zone, may be allowed subject to the approval of a conditional use permit, in compliance with SMC 19.54.040 and as set forth below.

- A. Eligible Structures. The following types of structures are eligible for adaptive reuse:
  - 1. Officially Designated Structures. Those structures of officially designated historical significance as indicated by (a) listing with the State Office of Historic Preservation, or (b) listing as a locally significant historic resource, regardless of whether they are located within the

historic overlay zone.

2. Structures with Potential Historical Value. In addition to officially designated structures, there are other structures that may have historical value because of their age (usually more than 50 years old), and their contribution to the overall historic character of the community due to their unique architectural scale and style, use of design details, form, materials, or proportion, as may be documented through listing on the Sonoma League for Historic Preservation's inventory of historic structures. Such structures shall only be eligible for adaptive reuse if located within the historic overlay zone.

- B. Allowable Use. The following uses may be considered in an application for the adaptive reuse of a historic structure:
  1. Residential Uses and Densities. Allowable Residential Uses. Single- and multifamily dwellings and residential condominiums.
    - a. Allowable Residential Densities. The allowable residential density

within the historic overlay district may exceed the normally allowable density under the subject general plan designation and zoning district, subject to the approval of the planning commission.

2. Nonresidential Uses.
  - a. Bed and breakfast inns;
  - b. Hotels;
  - c. Limited retail;
  - d. Mixed use (residential over commercial) developments;
  - e. Professional and service-oriented offices;
  - f. Restaurants (with or without outdoor dining facilities); and
  - g. Wine tasting facilities.

- C. Retention of Residential Character, Scale, and Style. Adaptive reuse projects shall retain a residential character, scale, and style (e.g., off-street parking areas would be prohibited in the front and street side setbacks, new construction would have a residential appearance, signs would be limited, etc.). The guidelines set forth in

SMC 19.42.040 shall be considered by the planning commission in applications for adaptive reuse.

- D. Compliance with Parking Standards. The above-listed uses shall be provided with suitable parking, in compliance with Chapter 19.48 SMC (Parking and Loading Standards).
- E. Findings and Decision. The planning commission shall approve, with or without conditions, the adaptive reuse of an historic structure only if all of the following findings can be made, in addition to those identified in SMC 19.54.040 (Use permits). The alteration or adaptive reuse would:
  - a. Enhance, perpetuate, preserve, protect, and restore those historic districts, neighborhoods, sites, structures, and zoning districts which contribute to the aesthetic and cultural benefit of the city;
  - b. Stabilize and improve the economic value of historic districts, neighborhoods, sites, structures, and zoning districts;

- c. Preserve diverse architectural design reflecting phases of the city's history, and encourage design styles and construction methods and materials that are compatible with the surrounding neighborhood(s);
- d. Promote and encourage continued private ownership and utilization of structures now so owned and used; and
- e. Substantially comply with the applicable Secretary of the Interior Standards and Guidelines for the Treatment of Historic Properties as well as the applicable requirements and guidelines of this chapter. (Ord. 06-2013 § 2(A) (Exh. B), 2013; Ord. 06-2009 §§ 1 – 3, 2009; Ord. 2003-02 § 3, 2003. Formerly 19.42.020).

**19.42.040 Guidelines for preservation and adaptive reuse**

- A. Purpose. The purpose of these guidelines is to implement general plan policies related to the preservation and adaptive reuse

of officially designated historic structures throughout the city and of structures having potential historical value within the city's historic overlay zone.

- B. Applicability. These guidelines are to be utilized during the development/design review process as criteria against which to review new construction within the historic overlay district requiring discretionary approval and adaptive reuse projects.
- C. Preservation and Rehabilitation of Existing Structures. In general, preservation and rehabilitation efforts should aim toward protecting the essential architectural features of a structure that help to identify its individual style and thereby further its contribution to the historic character of the surrounding neighborhood.
  - 1. General Rehabilitation Principles.
    - a. Historic structures should be recognized for their own time and style. Rehabilitation should not try to create a preconceived concept of history, but should reuse existing or appropriate features.

- b. Rehabilitation of historic structures should try to retain and restore original elements first. If damage or deterioration is too severe, the element should be recreated using original materials to match the color, design, texture, and any other important design features.

- c. When replacement is necessary and original material cannot be obtained, substitution material should incorporate the color, design, and texture that conveys the visual appearance of the original material.

2. Doors.

- a. Older structures almost always had solid wood doors that fit the particular style of the structure. The front door of the structure was the most ornate with secondary doors usually more utilitarian in appearance. The shape, size, and style of doors are an important feature of all historical architectural styles and the original design/type should be maintained.

- b. Original doors should be repaired in place whenever possible. When replacement is necessary, the replacement door should match the original design and materials as close as possible.
  - c. If the original door is missing, appropriate design and materials should be selected by studying the doors of similar structures in the surrounding neighborhood or consulting books on architectural styles. Many older style panel doors are still available from material suppliers and may match the original doors very closely.
3. Exterior Materials.
- a. The original exterior building materials should be retained whenever possible. It is not desirable to use mismatched materials of different finishes, shapes, sizes, or textures.
  - b. Structures with original wood siding should not be stuccoed in an attempt to modernize their appearance. Likewise, plastic shingles should not be used to replace wood siding or shingles.
  - c. Replacing wood siding with aluminum siding of the same shape and size as the original siding can be an alternative, but care shall be taken to use siding of the appropriate size.
  - d. Brick surfaces should not be sandblasted in an attempt to remove old paint. Sandblasting would damage the natural fired surface of the brick, and cause it to lose its water repellent qualities. Also, mechanical grinders should not be used to remove mortar as this can damage the brick surrounding the joint.
4. Ornamentation and Trim.
- a. Most often it is the authentic decoration and trim on a structure that lends character and identifies the structure with its particular architectural style. Original ornamentation should be preserved whenever feasible.
  - b. If the material needs to be removed to be repaired or copied, determine how the piece is attached and carefully plan the work to be sensitive to the material. Any prying action should be slow and careful, with a minimal amount of force.
  - c. If the ornamentation or trim is comprised of several layers of materials, it is helpful to sketch the components as they come apart to ensure proper reassembly. If the pieces are beyond repair, a skilled finish carpenter should duplicate the original work.
5. Porches and Stairs.
- a. During rehabilitation efforts, the design integrity of the front porch should not be compromised. Front porches should not be enclosed with walls or windows.
  - b. If enclosing the porch is the only

viable means of adding needed space, care should be taken to use decoration(s), doors, siding materials, trim details, and windows that match the facade of the structure surrounding the porch.

6. Roofs.

- a. Roofs are important both functionally and aesthetically. Great care should be taken to ensure that roofs are watertight and that roofing materials are compatible with the original style of the structure. Oftentimes roofs only need repairs, but when replacement is necessary roofing materials should be selected that are appropriate to the structure's architectural style.
- b. It should be recognized that fire safety requirements may preclude reroofing a structure in its original material. The determination of what material to use for the replacement of wood shingles or shakes in historic structures should be based

on compatibility with the colors and materials used elsewhere on the structure.

7. Windows.

- a. Most older/historic structures had wood framed windows that were either casement, double hung, or fixed. The shape, size, and style of windows are an important feature of most architectural styles and the original type window should be maintained.
- b. When window replacement is necessary, it is preferred that the new window be an exact match of the original.
- c. An alternative to special milling may be the use of an "off-the-shelf" standard window that closely matches the original.
- d. Aluminum or plastic frame windows should not be used as replacements on any part of a historically valuable structure without justification. The use of such materials is highly

visible and the contrast of materials and styles can permanently affect the architectural integrity of the structure. The use of traditional materials is preferred.

- D. Additions to Existing Structures. Additions to historically valuable structures may be necessary to ensure their continued use. Modifications (e.g., additions, new entrances and exits, parking facilities, handicap facilities, and seismic strengthening) should be made with care so as not to compromise a structure's historically valuable features, finishes, or materials.
  - 1. Site Plan Considerations. Additions should be carefully placed to minimize changes in the appearance of the structure from the public right-of-way. Whenever possible, additions should be placed to the side or rear of the structure and should not obstruct the appearance of the structure from the public right-of-way.
  - 2. Architectural Compatibility.
    - a. Additions to historically valuable

structures should incorporate the distinctive architectural features of the original structures including:

- i. Door and window shape, size, and type;
  - ii. Exterior materials;
  - iii. Finished floor height;
  - iv. Roof material, pitch, and style; and
  - v. Trim and decoration.
- b. Refer to the rehabilitation guidelines, subsection (C) of this section, Preservation and Rehabilitation of Existing Structures, for discussion of appropriate exterior doors, porches, wall materials, windows, etc.
3. Roof Pitch and Style.
- a. The roof of a structure, especially its pitch and style, is an important architectural element that should be taken into consideration when planning an addition.
  - b. Whenever possible, the pitch and style on the addition should match the original.

c. Roof materials should also match as close as possible.

4. Second-Story Additions.

- a. Because adding an additional story to an existing structure will always change the structure's proportions, such additions should be carefully designed to follow similar two-story examples of the particular style that may be found in the surrounding neighborhood.
- b. Integrating the new second-story addition into the original design of the structure may be easier if the addition is set back from the front facade so that it is less noticeable from the public right-of-way. (Ord. 06-2013 § 2(A) (Exh. B), 2013; Ord. 2003-02 § 3, 2003. Formerly 19.42.030).

**19.42.050 Guidelines for infill development**

- A. Purpose. These guidelines are intended to encourage new infill development in the historic overlay district to be compatible

in scale and treatment with the existing, older development and to maintain the overall historic character and integrity of the community. At the same time, these guidelines are intended to promote the visual variety that is characteristic of Sonoma, to allow for contemporary architectural designs, and to provide reasonable flexibility in accommodating the tastes, preferences and creativity of applicants proposing new development, especially individual single-family homes. As stated in the 2020 General Plan: Sonoma should continue to be characterized by variety in terms of land uses, building types, and housing, and this diversity should be consistent with preserving the town's small-scale and historic character.

- B. Guidelines for Compatibility. The single most important issue of new infill development is one of compatibility, especially when considering larger structures. When new structures are developed adjacent to older single-family residences, there are concerns that the bulk and height of the infill structures

may have a negative impact on the adjoining smaller-scale structures. The following considerations are intended to address this concern:

1. Site Plan Considerations.
  - a. New development should continue the functional, on-site relationships of the surrounding neighborhood. For example, common patterns that should be continued are entries facing the public right-of-way, front porches, and garages/parking areas located at the rear of the parcel.
  - b. Front setbacks for new infill development should follow either of the following criteria:
    - i. Equal to the average front setback of all residences on both sides of the street within 100 feet of the property lines of the new project; or
    - ii. Equal to the average front setback of the two immediately adjoining structures on each side of the new project.
  - c. In cases where averaging between two adjoining existing structures is chosen, the new structure may be averaged in a stepping pattern. This method can work especially well where it is desirable to provide a large front porch along a portion of the front facade.
2. Architectural Considerations.
  - a. New infill structures should support the distinctive architectural characteristics of development in the surrounding neighborhood, including building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style.
  - b. Because new infill structures are likely to be taller than one story, their bulk and height can impose on smaller-scale adjoining structures. The height of new structures should be considered within the context of their surroundings. Structures with greater height should consider providing greater setbacks at the second-story level, to reduce impacts (e.g., blocking or screening of air and light, privacy, etc.) on adjoining single-story structures.
  - c. The incorporation of balconies and porches is encouraged for both practical and aesthetic reasons. These elements should be integrated to break up large front facades and add human scale to the structures.
  - d. The proper use of building materials can enhance desired neighborhood qualities (e.g., compatibility, continuity, harmony, etc.). The design of infill structures should incorporate an appropriate mixture of the predominant materials in the surrounding neighborhood whenever possible. Common materials are brick, horizontal siding, shingles, stone, stucco, and wood.

- e. Color schemes for infill structures should consider the color schemes of existing structures in the surrounding neighborhood in order to maintain compatibility and harmony. Avoid sharp contrasts with existing building colors.
3. Single-Family Residences.
- a. The design of an individual single-family residence is typically of great significance to the homeowner. Changes required through the design review process should be the minimum necessary to achieve compatibility with the overall character of the historic overlay district.
  - b. Historic architectural styles (e.g., craftsman, Victorian, bungalow, etc.) are not mandated. However, contemporary architectural treatments proposed for new residences should complement and not detract from the qualities of the historic overlay district and the neighborhood setting of the proposed development.
- c. To the extent that a proposed residence is not readily visible from a public street, other public vantage point, or a significant historic resource, greater design flexibility should be allowed.
4. Sustainable Construction Techniques.
- a. Building forms that reduce energy use may be radically different than traditional architectural types. Careful and sensitive design is required in order to produce a contrast that is pleasing rather than jarring. The use of appropriate colors and textures on exterior materials is one method of linking a contemporary building design to a traditional neighborhood context.
  - b. Roof gardens, solar panels, and other sustainable construction features should be fully integrated into the design of new construction, rather than applied at the conclusion of the design process.
5. Accessory Structures.
- a. New accessory structures (e.g., garages, second units, sheds, etc.) that are visible from the public right-of-way should incorporate the distinctive architectural features (e.g., color, materials, roof pitch and style, etc.) of the main structure.
  - b. Design features should be applied with less detail on the accessory structure so that it does not compete with the main structure and is clearly subordinate to it. (Ord. 06-2013 § 2(A) (Exh. B), 2013; Ord. 07-2007 § 1 (Exh. B), 2007; Ord. 2003-02 § 3, 2003. Formerly 19.42.040).

## Appendix D- Municipal code, Chapter 2.60: Design review and historic preservation commission

Sections:

2.60.010 Purpose.

2.60.020 Composition.

2.60.030 Duties and responsibilities.

2.60.040 City council review.

### 2.60.010 Purpose

The purpose of the design review and historic preservation commission shall be to protect the architectural heritage of Sonoma, identify and preserve significant historic resources, enhance the visual character of the built environment, and promote excellence in town design and architecture through its review of projects in accordance with this chapter and other applicable provisions of the Sonoma Municipal Code. (Ord. 06-2013 §§ 1 (Exh. A), 3, 2013; amended during June 2011 supplement; Ord. 96-2 § 1, 1996).

### 2.60.020 Composition

The design review and historic preservation commission shall consist of five members, appointed in accordance with SMC 2.40.100. At least four members shall be qualified electors of the city. The members of the commission shall include persons who have demonstrated special interest, competence, experience or knowledge in the following areas: historic preservation, cultural geography, or other historic preservation-related discipline; architecture and architectural history; prehistoric and historic archaeology; urban planning; landscape architecture; or related disciplines, to the extent such persons are available in the community. All members must have demonstrated interest in and knowledge of the cultural heritage of the city. (Ord. 06-2013 §§ 1 (Exh. A), 3, 2013; amended during June 2011 supplement; Ord. 2001-3 § 1, 2001; Ord. 96-2 § 1, 1996).

### 2.60.030 Duties and responsibilities

The design review and historic preservation commission shall have the following responsibilities:

A. Exercise the authority set forth in this chapter

and as otherwise provided in the municipal code.

- B. Recommend to the city council policies and programs in support of historic preservation including but not limited to goals and policies for the general plan and other regulatory plans as well as programs for historic preservation incentives.
- C. Review and make recommendation to the State Office of Historic Preservation regarding nominations of property located within the city to the National Register of Historic Places.
- D. Perform the duties pursuant to the certified local government provisions of the National Historic Preservation Act of 1966. This shall include undertaking review and comment upon those projects on which the city as a certified local government has an obligation or opportunity to provide review and comment under the National Historic Preservation Act including but not limited to private and public projects undertaken within the Sonoma Plaza National Landmark District, in accordance with the applicable

- provisions of the municipal code.
- E. Administer the nomination, designation, and registry of local historic resources and districts as set forth in SMC 19.42.020.
- F. Develop and administer historic preservation plans, historic resource inventories, context statements, design guidelines and other information, plans and procedures related to historic preservation.
- G. Implement the applicable provisions of the California Environmental Quality Act pertaining to historic and cultural resources, consistent with its authority under the provisions of Chapter 19.54 SMC.
- H. Conduct the review of applications for the demolition or relocation of buildings and structures within the historic overlay zone and of potentially historic buildings and structures located outside of the historic overlay zone, in accordance with SMC 19.54.090 (Demolition permit).
- I. Conduct architectural review, in accordance with SMC 19.54.080 (Site design and architectural review).
- J. Conduct sign review in accordance with the provisions of SMC Title 18.
- K. Conduct landscaping review in accordance with the provisions of Chapter 14.32 SMC.
- L. Consult with, advise, and report to the city council on a regular basis in connection with the exercise of the commission's duties and functions.
- M. The above-listed duties and functions shall be performed in compliance with SMC 19.52.020 (Authority for land use and zoning decisions), Table 5-1 (Review Authority for Planning Permits), and the California Environmental Quality Act (CEQA), as applicable. (Ord. 06-2013 §§ 1 (Exh. A), 3, 2013; amended during June 2011 supplement; Ord. 96-2 § 1, 1996).

#### **2.60.040 City council review**

The city council shall review the duties, responsibilities and effectiveness of the design review and historic preservation commission on an annual basis commencing one year from the effective date of this section. (Ord. 06-2013 §§ 1 (Exh. A), 3, 2013; amended during June 2011 supplement; Ord. 96-2 § 1, 1996).

## Appendix E- Maps

### Mapping Methodology

The maps created in April 2016 for this document utilize GIS data provided by the City of Sonoma between October 2015 and April 2016. The aerial background is Environmental Systems Research Institute's (Esri's) World Imagery and Transportation ArcGIS Map Service last updated in March 2016.

The map depicting age-eligible properties is based on year built information from the Sonoma Assessor Table Microsoft Access Database. The information was joined to the parcel shapefile using the APN, and some of the parcels were minimally altered so as to provide a better representation and to avoid confusion and duplication (for example, the duplicated, circular parcels were removed). If there were multiple buildings with the same parcel number and had varying built dates, the oldest built date was used. Some parcels did not have associated built dates, and thus age eligibility was determined by the building's physical evidence. If the built date was 1966 or earlier, the property was marked as "Age-Eligible." If the built date was 1967

or later, the property was marked as "Not Age-Eligible." Due to the 50-year threshold as described in the National Register of Historic Places, this map is static and only provides age-eligible information relevant to 2016.





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