



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Meeting of March 18, 2014 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: **No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM**, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Leslie Tippell, Chair

Commissioners: Tom Anderson
Kelso Barnett
Robert McDonald
Micaelia Randolph
Christopher Johnson (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of February 18, 2014 and February 25, 2014.

CORRESPONDENCE

ITEM #1 – Discussion Item

ISSUE:

Review of the changes related to Certified Local Government and recent Municipal Code revisions.

Staff: Wendy Atkins

RECOMMENDED ACTION:

Receive and provide feedback.

CEQA Status:

Categorically Exempt

ITEM #2 – Discussion Item

ISSUE:

Review possible policy changes with regard to historic evaluations.

Staff: Wendy Atkins

RECOMMENDED ACTION:

Receive and provide feedback.

CEQA Status:

Categorically Exempt

<p>ITEM #3 – Continued Design and Sign Review</p>	<p><u>Project Location:</u> 500 West Napa Street, Suites 502-510</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p>
<p><u>REQUEST:</u> Consideration of external building modifications and a modification to a sign program for a commercial business (Pet Food Express).</p>	<p><u>General Plan Designation:</u> Commercial (C)</p>	<p><u>CEQA Status:</u> Categorically Exempt</p>
<p><u>Applicant:</u> McCall Design Group</p>	<p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor</p>	
<p>Staff: Wendy Atkins</p>	<p><u>Base:</u> Commercial (C) <u>Overlay:</u> None</p>	
<p>ITEM #4 – Continued Design Review</p>	<p><u>Project Location:</u> 830 Broadway</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p>
<p><u>REQUEST:</u> Consideration of design review for three residential units on a mixed-use property.</p>	<p><u>General Plan Designation:</u> Mixed Use (MU)</p>	<p><u>CEQA Status:</u> Categorically Exempt</p>
<p><u>Applicant:</u> Victor Conforti, Architect</p>	<p><u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor <u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)</p>	
<p>Staff: David Goodison</p>		
<p>ITEM #5 – Sign Review</p>	<p><u>Project Location:</u> 599 Broadway</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p>
<p><u>REQUEST:</u> Consideration of a temporary sign for a mixed-use building (Williams Sonoma)</p>	<p><u>General Plan Designation:</u> Commercial (C)</p>	<p><u>CEQA Status:</u> Categorically Exempt</p>
<p><u>Applicant:</u> Cindy Treichler/Williams-Sonoma, Inc.</p>	<p><u>Zoning:</u> <u>Planning Area:</u> Downtown District <u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	
<p>Staff: Wendy Atkins</p>		
<p>ITEM #6 – Sign Review</p>	<p><u>Project Location:</u> 1051 Broadway</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p>
<p><u>REQUEST:</u> Consideration of a new monument sign and a wall sign for a commercial building (Flahive Building).</p>	<p><u>General Plan Designation:</u> Mixed Use (MU)</p>	<p><u>CEQA Status:</u> Categorically Exempt</p>
<p><u>Applicant:</u> Robert Sanders</p>	<p><u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	
<p>Staff: Wendy Atkins</p>		

<p>ITEM #7 – Design Review</p> <p>REQUEST: Consideration of external building modifications for a bakery (Scandia Bakery).</p> <p>Applicant: Michael Palmer</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 500 West Napa Street, Suite 542</p> <p>General Plan Designation: Commercial (C)</p> <p>Zoning: Planning Area: West Napa/Sonoma Corridor</p> <p>Base: Commercial (C) Overlay: None</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>
<p>ITEM #8 – Design Review</p> <p>REQUEST: Design review of a proposed addition to the residence.</p> <p>Applicant: Suzanne Clark</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 757 Second Street East</p> <p>General Plan Designation: Low Density Residential (LR)</p> <p>Zoning: Planning Area: Central-East Area</p> <p>Base: Low Density Residential (R-L) Overlay: Historic (/H)</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>
<p>ITEM #9 – Demolition Review</p> <p>REQUEST: Demolition of the rear portion of a structure on a commercial property.</p> <p>Applicant: Michael Marino</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 170 West Napa Street</p> <p>General Plan Designation: Commercial (C)</p> <p>Zoning: Planning Area: Downtown District</p> <p>Base: Commercial (C) Overlay: Historic (/H)</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on March 14, 2014.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

MEMO

To: Design Review and Historic Preservation Commission

From: Associate Planner Atkins

Subject: Project Review Changes Related to Certified Local Government and Recent Municipal Code Revisions

Background

In recent meetings of Commission, the question has come as to how and whether the City's recently-achieved status as a certified local government affects the design review of projects involving historic resources (or potential historic resources). In light of these questions, staff has prepared this review, which addresses recent changes to the Municipal Code with respect to historic preservation, current practices in the review of projects involving historic resources, and possible future projects.

Recently Adopted Code Amendments

By way of background, on November 4, 2013, the City Council amended the Municipal Code with respect to historic preservation (see attached Agenda Item Summary). As the Commission is aware, with the adoption of these amendments, Sonoma now qualifies as a certified local government with respect to historic preservation. The three main changes resulting from these amendments are as follows:

1. The name of the Design Review Commission was changed from the Design Review Commission to the Design Review and Historic Preservation Commission (DRHPC). The responsibilities of the Commission were updated and clarified to reflect its role in historic preservation.
2. A process was created to designate a locally-significant historic resource and districts.
3. The following findings for approval were added to Architectural Review project applications involving historically significant resources:

Projects Involving Historically Significant Resources. In addition to the basic findings set forth in paragraph 1, above, the review authority must make the following additional findings for any project on which site is located a resource that is listed or eligible for listing on the State Register of Historic Resources or that has been designated as a local historic resource pursuant to section 19.42.020:

- a. *The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.*
- b. *The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and Infill in the Historic Zone).*
- c. *The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.*

How will the above-mentioned Municipal Code amendments change the method in which projects are reviewed by the DRHPC? The biggest immediate change is the additional findings for the DRHPC to make related to projects involving historically significant resources, whether locally-designated or otherwise.

As noted above, the amendments also create a process to designate local-significant historic resources or districts. After a local historic resource or district is designated, any future projects that involve the local historic resource or district will need to comply with the Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Current Practices

Even before any of these zoning amendments were adopted, staff and the Commission had implemented requirements for the analysis of historic resources as part of the design review process, including the following:

- For properties on which a potentially significant historic resource is located, a cultural resource evaluation prepared by a qualified professional is routinely required. Staff issues standard guidance in this regard, including a referral to the CHRIS list of qualified consultants and an advisory that the consultant who prepares the report is expected to attend the DRHPC (or Planning Commission) meeting at which the report will be presented.
- In instances where a resource has been determined to be significant, the analysis is expanded to include an evaluation of any proposed changes to the structure for compliance with the Secretary of Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.
- Staff has developed a hand-out that summarizes issues and requirements that may apply to projects involving historic resources (attached).
- Staff reports identify the historic status of structures under review and provide an analysis of the applicable guidelines.

- With respect to projects that involve historic resources (whether on or off-site), staff routinely refers applicants and consultants to the League for Historic Preservation and the Historical Society.

As discussed below, it is possible that updated design guidelines may be developed pursuant to the City's Preservation Plan that could alter the review process or provide additional guidance in terms of project evaluation, but this would be a future project.

Potential Future Projects

In addition to the changes to the Municipal Code, the City Council also adopted a historic preservation plan (previously reviewed by the Design Review Commission). The plan includes an implementation section (attached) that is intended to guide future efforts to improve Sonoma's historic preservation programs. As noted above, these measures include the concept of developing additional design guidelines. Another possible project that recently emerged through the appeal of the "Grandma Linda" paint colors was that of a pre-approved palette or some other sort of guidelines addressing building colors in the downtown area. The DRHCP has also expressed interest in developing an ordinance that would establish maintenance requirements for historic structures. However, the actual implementation of those measures or any of the other proposals identified in the Preservation Plan will typically require both staff time and funding at a level that occurs in the annual budget process.

Because the Preservation Plan was adopted last November, almost six months after the passage of the municipal budget, the only program for which funding is currently allocated is staff and Commission training. (As the Commission is aware, staff routinely informs Commissioners of training opportunities with respect to historic preservation.) The preparation of the 2014-15 Budget has not yet started, but as part of that process the DRHCP will be asked to review the Preservation Plan and make recommendations to the Council for funding measures identifies as a priority.

Attachments:

1. City Council Agenda Item Summary (11/04/13)
2. Handout
3. Historic Preservation Plan: Implementation Measures

cc: Mary Martinez
P.O. Box 534
Sonoma, CA 95476

George McKale, via email

Patricia Cullinan, via email

Yvonne Bowers, via email



City of Sonoma
City Council
Agenda Item Summary

City Council Agenda Item: 5J

Meeting Date: 11/04/13

Department

Planning

Staff Contact

David Goodison, Planning Director

Agenda Item Title

Adoption of an ordinance amending the Municipal Code with respect to historic preservation, including a finding of categorical exemption.

Summary

The Certified Local Government program, administered by the State Office of Historic Preservation (OHP) in partnership with the National Park Service, provides a broad structure for local governments to identify, evaluate, register, and preserve historic properties within their jurisdiction. Required components to qualify for certification include a system to survey and inventory historic resources, a historic preservation review commission, a local preservation ordinance consistent with National Historic Preservation Act, and a local preservation plan. In order to achieve certification, a local government must file an application with the OHP, which reviews the proposal for compliance. In November of 2012, the City Council adopted a preservation plan and staff forwarded an application for CLG status shortly thereafter. Along with the preservation plan, this application also included draft amendments to the Municipal Code addressing various requirements of the CLG program, which the Council reviewed in conjunction with the Preservation Plan.

The State Office of Historic Preservation recently completed its review of the proposed amendments and found that through their adoption, the City would achieve compliance with CLG standards (see attached correspondence). They did recommend that the name of the Design Review Commission be changed, but they did not identify this as a requirement for certification. (Note: When the Design Review Commission discussed this issue, it was preference of the DRC to retain its existing name.) After receiving the letter of conditional approval from the State Office of Historic Preservation, staff scheduled a final review of the Development Code amendment for the meeting of September 12, 2013. After holding a public hearing on the matter, the Planning Commission voted unanimously to forward the amendments to the City Council for approval. The Planning Commission took no position on the recommendation to change the name of the Design Review Commission, leaving that issue for the City Council to decide.

At its meeting of October 21, 2013, the City Council voted 5-0 to introduce this ordinance, while amending it to change the name of the Design Review Commission to the "Design Review and Historic Preservation Commission".

Recommended Council Action

Adopt the ordinance.

Alternative Actions

N.A.

Financial Impact

The City already implements programs and policies related to historic preservation. The designation of the City as a Certified Local Government would involve some expansion of these programs, but in the near-term this would be accommodated within the normal workflow of planning staff and the DRC. In the long-term, implementation measures identified in the Preservation Plan could require the allocation of significant funding and/or staff time, but the decision to implement any of those measures would be made as part of the normal budget process. Achieving CLG status would enable the City to apply for grant funding to help support some of the implementation programs, but staff has no estimate of what this might amount to and obtaining grant funding cannot be relied upon.

Environmental Review

Status

Environmental Impact Report

Approved/Certified (through draft ordinance)

- Negative Declaration
- Exempt
- Not Applicable

- No Action Required
- Action Requested

Alignment with Council Goals:

Achieving CLG status relates to the "Policy and Leadership" goal, as it responds to the requirements of State legislation while emphasizing local control through the planning process.

Attachments:

1. Ordinance

cc: League for Historic Preservation
Patricia Cullinan

CITY OF SONOMA

ORDINANCE NO. XX – 2013

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SONOMA
AMENDING THE SONOMA MUNICIPAL CODE BY CLARIFYING THE RESPONSIBILITIES
OF THE DESIGN REVIEW COMMISSION AND MODIFYING REGULATIONS PERTAINING
TO HISTORIC RESOURCES IN ORDER TO ACHIEVE COMPLIANCE WITH THE
REQUIREMENTS OF THE CERTIFIED LOCAL GOVERNMENT PROGRAM FOR HISTORIC
PRESERVATION

The City Council of the City of Sonoma does ordain as follows:

Section 1. Amendments to “Design Review Commission” (Title 2, Chapter 2.60) of the Sonoma Municipal Code.

Chapter 2.60 is hereby amended as set forth in Exhibit A.

Section 2. Amendments to “Integrated Development Regulations and Guidelines” (Title 19) of the Sonoma Municipal Code.

A. Article 19.42 of Division IV is hereby amended as set forth in Exhibit B.

B. Section 19.54.080.G of Article 19.54 of Division V is hereby amended as set forth in Exhibit C.

Section 3. Renaming the Design Review Commission.

The Design Review Commission shall henceforth be known as the “Design Review and Historic Preservation Commission”.

Section 4. Exemption from Environmental Review.

The amendments to the Municipal Code effected by this ordinance are exempt from environmental review pursuant to Section (b)(3) of title 14 of the California Code of Regulations, as it can be determined with certainty that there is no possibility that establishing additional protections for historic resources, as defined, may have a significant effect on the environment.

Section 5. Effective Date.

This ordinance shall become effective thirty (30) days from and after the date of its passage.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Sonoma this 4th day of November 2013.

Ken Brown, Mayor

ATTEST:

Gay Johann, City Clerk

2.60—Design Review Commission

Sections:

- 2.60.010 Purpose.
- 2.60.020 Composition.
- 2.60.030 Duties and responsibilities.
- 2.60.040 City Council review.

2.60.010 Purpose.

The purpose of the Design Review Commission shall be to protect the architectural heritage of Sonoma, ~~identify and preserve significant historic resources~~, enhance the visual character of the built environment, and promote excellence in town design and architecture through its review of projects in accordance with this Chapter and other applicable provisions of the Sonoma Municipal Code.

2.60.020 Composition.

The Design Review Commission shall consist of five members, appointed in accordance with SMC 2.40.100. ~~At least four members shall be qualified electors of the city. The city council may choose to appoint qualified applicants who also have a professional expertise in one or more of the following areas: architecture, landscape architecture, urban design, historic preservation, arboriculture, or a related field; however, no more than two seats on the commission may be held at any one time by persons having such expertise.~~ The members of the commission shall include persons who have demonstrated special interest, competence, experience or knowledge in the following areas: historic preservation, cultural geography, or other historic preservation-related discipline; architecture and architectural history; prehistoric and historic archaeology; urban planning; landscape architecture; or related disciplines, to the extent such persons are available in the community. All members must have demonstrated interest in and knowledge of the cultural heritage of the city.

2.60.030 Duties and Responsibilities.

The Design Review Commission shall have the following responsibilities:

- A. Exercise the authority set forth in this chapter and as otherwise provided in the Municipal Code.
- B. Recommend to the city council policies and programs in support of historic preservation including but not limited to goals and policies for the General Plan and other regulatory plans as well as programs for historic preservation incentives.
- C. Review and make recommendation to the State Office of Historic Preservation regarding nominations of property located within the city to the National Register of Historic Places.
- D. Perform the duties pursuant to the certified local government provisions of the National Historic Preservation Act of 1966. This shall include undertaking review and comment upon those projects on which the city as a certified local government has an obligation or opportunity to provide review and comment under the National Historic Preservation Act including but not limited to private and public projects undertaken within the Sonoma Plaza National Landmark District, in accordance with the applicable provisions of the Municipal Code.
- E. Administer the nomination, designation, and registry of local historic resources and districts as set forth in Section 19.42.020.

- D. Develop and administer historic preservation plans, historic resource inventories, context statements, design guidelines and other information, plans and procedures related to historic preservation.
- E. Implement the applicable provisions of the California Environmental Quality Act pertaining to historic and cultural resources, consistent with its authority under the provisions of Chapter 19.54.
- F. Conduct the review of applications for the demolition or relocation of buildings and structures within the Historic Overlay zone and of potentially historic buildings and structures located outside of the Historic Overlay zone, in accordance with Section 19.54.090 (Demolition Permit);
- G. Conduct architectural review, in accordance with Section 19.54.080 (Site Design and Architectural Review);
- H. Conduct sign review in accordance with the provisions of SMC Title 18;
- I. Conduct landscaping review in accordance with the provisions of Chapter 14.32;
- J. Consult with, advise, and report to the city council on a regular basis in connection with the exercise of the Commission's duties and functions.

The above listed duties and functions shall be performed in compliance with Section 19.52.020 (Authority for Land Use and Zoning Decisions), Table 5-1 (Review Authority for Planning Permits), and the California Environmental Quality Act (CEQA), as applicable.

2.60.030 City Council Review.

The city council shall review the duties, responsibilities and effectiveness of the Design Review Commission on an annual basis commencing one year from the effective date of this section.

19.42—Historic Preservation and Infill in the Historic Zone

Sections:

19.42.010—Purpose

19.42.020—Designation of a Local Historic Resource or District

19.42.030—Adaptive Reuse

19.42.040—Guidelines for Preservation and Adaptive Reuse

19.42.050—Guidelines for Infill Development

19.42.010 Purpose.

This Chapter is intended to safeguard the historic character of Sonoma by recognizing and preserving significant historic and cultural resources buildings, by providing incentives for the preservation and rehabilitation of historically and culturally significant resources, and by ensuring that new development in the Historic Overlay zone is architecturally compatible.

A. *Officially designated historic structures.* This Chapter establishes incentives, minimum standards, and guidelines for the preservation and adaptive reuse of officially designated historic structures to the greatest extent feasible, as well as a process for listing districts, sites, structures and other resources possessing local historic significance.

B. *Potentially historic structures.* This Chapter establishes guidelines for the preservation of historic structures within the City, using the League for Historic Preservation's inventory of historic structures as a guide for determining whether these provisions should be applied.

C. *Infill development.* This Chapter establishes guidelines to be used in review of infill development within the Historic Overlay zone for which a discretionary permit is required.

19.42.020 Designation of a Local Historic Resource or District

A. *Purpose.* In order to recognize and promote the preservation of sites, structures, and areas that are important to the history of Sonoma, this section provides for the nomination and designation of locally significant historic resources and districts.

B. *Designation Process—Local Historic Resources.* Local historic resources shall be designated by the Design Review Commission in the following manner:

1. *Initiation of Designation.* Designation of a historical resource may be initiated by the Design Review Commission or by the owner of the property that is proposed for designation. Applications for designation originating from outside the commission must be accompanied by such historical and architectural information as is required by the commission to make an informed recommendation concerning the application, together with the fee set by the City Council.
2. *Review, Notice and Hearing.* The Design Review Commission shall conduct a public hearing on a nomination for local historic resource designation. Notice of the public hearing shall be provided, and the hearing shall be conducted in

compliance with Chapter 19.88 (Public Hearings), including mailed notice to the owners of any property proposed for such designation.

3. Findings, Decision. Following a public hearing, the Design Review Commission may approve or disapprove a nomination for designation as a local historic resource. The Commission shall record the decision and the findings upon which the decision is based. The Design Review Commission may approve such designation only if it findings that the resource meets at least one of the following criteria:
 - a. It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
 - b. It is associated with the lives of persons important in Sonoma's past; or
 - c. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - d. It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history.

C. Designation Process—Local Historic Districts. Local historic districts shall be designated by the City Council upon the recommendation of the Design Review Commission in the following manner:

1. Initiation of Designation. The designation of a local historic district may be initiated by the City Council or the Design Review Commission.
2. Requirements for Designation. The designation of a local historic district is subject to finding by the review authority that all of the following requirements are met:
 - a. The proposed district is a geographically definable area.
 - b. The proposed district possesses either a significant concentration or continuity of buildings unified by past events or aesthetically by plan or physical development.
 - c. Considered as a whole, a sufficient concentration of buildings within the proposed district demonstrate integrity of design, setting, materials workmanship and association.
 - d. The collective historic value of the buildings and structures in the proposed district is greater than the historic value of each individual building or structure
 - e. The designation of the area as a historic district is reasonable, appropriate and necessary to protect promote and further the goals and purposes of this chapter and is not inconsistent with other goals and policies of the city.
3. Design Review Commission Hearing and Recommendation. The Design Review Commission shall conduct a public hearing on a nomination for local historic resource district. Notice of the public hearing shall be provided, and the hearing shall be conducted in compliance with Chapter 19.88 (Public Hearings), including mailed notice to the owners of any property proposed for such designation. Following the public hearing, the commission shall recommend approval in whole or in part or disapproval of the application for designation in writing to the city council, setting forth the reasons for the decision. The Design Review Commission may approve a recommendation for a local historic district only if it makes the findings set forth in section 19.42.020.B.
4. City Council Hearing and Decision. The City Council shall conduct a public hearing on a nomination for local historic district. Notice of the public hearing shall be provided, and the hearing shall be conducted in compliance with

Chapter 19.88 (Public Hearings), including mailed notice to the owners of any property proposed for such designation. Following the public hearing, the City Council shall by resolution approve the recommendations in whole or in part, or shall by motion disapprove them in their entirety. The City Council may approve a designation as a local historic district only if it makes the findings set forth in section 19.42.020.B. If the City Council approves a local historic district, notice of the decision shall be sent to property owners within the district.

D. Amendment or Rescission. The Design Review Commission and the City Council may amend or rescind any designation of an historical resource or historic district in the same manner and procedure as are followed for designation.

E. Previously Designated Historic Resources. The sites and structures previously designated by the City Council as having local historic significance through the adoption of Resolution 18-2006 are hereby designated as local historic resources as defined in this Chapter.

F. Register. The Design Review Commission shall maintain a register of designated local historic resources and districts.

19.42.030 Adaptive Reuse

The adaptive reuse of historic structures within the Historic Overlay District, involving uses not otherwise allowed through the base zone, may be allowed subject to the approval of a Conditional Use Permit, in compliance with Section 19.54.040 and as set forth below.

- A. *Eligible Structures.* The following types of structures are eligible for adaptive reuse:
1. Officially designated structures. Those structures of officially designated historical significance as indicated by 1) listing with the State Office of Historic Preservation, or 2) listing as a locally-significant historic resource, regardless of whether they are located within the Historic Overlay zone.
 2. Structures with potential historical value. In addition to officially designated structures, there are other structures that may have historical value because of their age (usually more than 50 years old), and their contribution to the overall historic character of the community due to their unique architectural scale and style, use of design details, form, materials, proportion, as may be documented through listing on the Sonoma League for Historic Preservation's inventory of historic structures. Such structures shall only be eligible for adaptive reuse if located within the Historic Overlay zone.
- B. *Allowable Use.* The following uses may be considered in an application for the adaptive reuse of a historic structure:
1. Residential uses and densities:
 - a. Allowable residential uses. Single- and multi-family dwellings and residential condominiums.
 - b. Allowable residential densities. The allowable residential density within the Historic Overlay District may exceed the normally allowable density under the subject General Plan designation and zoning district, subject to the approval of the Planning Commission.
 2. Nonresidential uses:
 - a. Bed and breakfast inns;

- b. Hotels;
- c. Limited retail;
- d. Mixed-use (residential over commercial) developments;
- e. Professional and service-oriented offices;
- f. Restaurants (with or without outdoor dining facilities); and
- g. Wine tasting facilities.

- C. *Retention of residential character, scale, and style.* Adaptive reuse projects shall retain a residential character, scale, and style (e.g., off-street parking areas would be prohibited in the front and street side setbacks, new construction would have a residential appearance, signs would be limited, etc.). The guidelines set forth in Section 19.42.030, below, shall be considered by the Planning Commission in applications for adaptive reuse.
- D. *Compliance with parking standards.* The above listed uses shall be provided with suitable parking, in compliance with Chapter 19.48 (Parking and Loading Standards).
- E. *Findings and Decision.* The Planning Commission shall approve, with or without conditions, the ~~alteration~~ or adaptive reuse of an historic structure, only if all of the following findings can be made, in addition to those identified in Section 19.54.040 (Use Permits). The alteration or adaptive reuse would:
1. Enhance, perpetuate, preserve, protect, and restore those historic districts, neighborhoods, sites, structures, and zoning districts which contribute to the aesthetic and cultural benefit of the City;
 2. Stabilize and improve the economic value of historic districts, neighborhoods, sites, structures, and zoning districts;
 3. Preserve diverse architectural design reflecting phases of the City's history, and encourage design styles and construction methods and materials that are compatible with the surrounding neighborhood(s); and
 4. Promote and encourage continued private ownership and utilization of structures now so owned and used;
 5. Substantially comply with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties as well as the applicable requirements and guidelines of this Chapter.

19.54.080—Site Design and Architectural Review

A. Purpose. This section establishes the review procedures necessary to ensure that all applicable development projects comply with the required standards, design guidelines and ordinances of the City; minimize potential adverse effects on surrounding properties and the environment; implement General Plan policies regarding community design; and promote the general health, safety, welfare, and economy of the residents of the City. Therefore, it is the purpose of this section to:

1. Protect and enhance historic buildings and the City's historic character;
2. Encourage the orderly and harmonious appearance of structures and property within the City along with associated facilities, landscaping, parking areas, and streets;
3. Recognize the interdependence of land values and aesthetics and provide a method by which the City may implement this interdependence; and
4. Ensure that new developments, including residential, institutional, commercial, and industrial developments built on the City's character and do not have an adverse aesthetic impact upon existing adjoining properties, the natural environment, or the City in general.

B. Applicability. The review of project site planning and architectural design is an integral part of the development approval process. Therefore, each project that requires approval of a Building Permit, unless exempted as set forth below, shall require review and approval by the Planning Commission and/or the Design Review Committee (DRC), as applicable, prior to the issuance of a Building Permit or the commencement of any work on a new structure, or improvements to alter, enlarge, remodel, repair, or otherwise change the exterior of an existing structure.

1. **Residential development.** Design review shall be required for new residential development, the alteration and enlargement of existing residential structures, and residential accessory structures, as set forth in the following table.

Design Review Requirements for Residential Development		
Development Type/Condition	Design Review Requirement	
	Inside Historic Zone	Outside Historic Zone
1. New Development		
Single-family development, fewer than five units, and associated accessory structures.	Yes	No
Single-family development, five or more units.	Yes	Yes
Duplex, and associated accessory structures.	Yes	No
Triplex, PUD, or other multi-family, and associated accessory structures.	Yes	Yes
2. Existing Development		
Maintenance, repainting, in-kind replacement of exterior materials.	No	No

Re-roofing.	No	No
Interior remodeling.	No	No
Exterior alterations for which no building permit is required.	No	No
3. Existing Residential Development, Constructed Prior to 1945		
Alterations to existing structures that increase floor area by 10% or 200 square-feet, whichever is greater.	Yes	No
Alterations to existing structures requiring a Building Permit that result in substantive changes to a primary or street-side building elevation.	Yes	No
Other exterior alterations or additions for which a building permit is required.	No	No
Building relocation.	Yes	Yes
Change in roof design (e.g., alterations in pitch and height).	Yes	No
4. SFD/Duplexes, Constructed in 1945 or Later		
Additions.	No	No
Exterior alterations (including change in roof design).	No	No
Relocation.	No	No
5. Multi-family, Constructed in 1945 or Later(Including Planned Unit Developments)		
Alterations to existing structures that do not increase floor area by more than 10% or result in substantive changes to a primary or street-side building elevation.	No	No
Other exterior alterations or additions that require a Building Permit.	Yes	Yes
Change in roof design (e.g., alterations in pitch and height).	Yes	Yes
6. Other		
Detached residential accessory structures developed in conjunction with an existing primary residence.	No	No
Landscape modifications, existing single-family residences and duplexes.	No	No
Significant alterations to approved landscaping plan, existing multi-family development/PUDs (private yard areas excepted).	Yes	Yes

2. **Commercial and mixed-use development.** Design review shall be required for new commercial and mixed-use development (including public and quasi-public facilities) and the alternation and enlargement of existing structures, as set forth in the following table.

Design Review Requirements for Commercial Uses and Mixed Uses	
Development Type/Condition	Design Review Requirement

New construction and building additions	Yes
Maintenance and in-kind replacement of exterior materials.	No
Exterior building modifications for which a building permit is required.	Yes
Repainting, except when the existing color scheme is substantially retained.	Yes
Improvements to existing parking facilities with 10 or less spaces.	No
Improvements to existing parking facilities with 10 or more parking spaces.	Yes
Lighting of parking areas.	Yes
Landscaping for a new development or significant alteration to an approved landscape plan (excluding private yards).	Yes
Accessory structures not in public view.	No

3. Demolitions. Demolitions shall be regulated as provided for under Section 19.54.090 (Demolition Permit).

4. Signs. Signs shall be regulated as provided for under Title 18 of the Sonoma Municipal Code.

5. Use Permits. Notwithstanding the exemptions identified in subsection 1 and 2, above, the Planning Commission may impose design review as a condition of use permit approval.

C. Application requirements. Any person proposing to construct, alter, enlarge, remodel, or otherwise change a new or existing structure subject to Site Design and Architectural Review in compliance with this Chapter, shall make application for project review prior to the application for a Building Permit in compliance with Section 19.52.040 (Application Preparation and Filing). It is the responsibility of the applicant to provide evidence in support of the findings required by subsection G. (Findings, decision), following.

D. Review responsibility. Certain types of projects are subject to review by both the Planning Commission and the Design Review Commission, while other types of projects are subject to review by only one commission. The responsibilities of the two commissions with regard to Site Design and Architectural Review are as follows:

1. **Non-discretionary Projects.** Projects subject to Site Design and Architectural Review, as set forth in Subsection B., but which are not otherwise subject to discretionary review by the Planning Commission (e.g., Use Permit review), shall be reviewed by the Design Review Commission only.
2. **Discretionary projects.** For projects subject to discretionary review by the Planning Commission, the Planning Commission shall be responsible for reviewing and acting upon the project site plan, building massing and elevation concepts to the extent it deems necessary. Subsequent review by the Design Review Commission shall be limited to elevation details, colors and materials, landscaping (including fences and walls), lighting, site details (such as the placement of bike racks and trash enclosures), and any issues specifically referred to the DRC by the Planning Commission.

3. Single-family development of five or more units. For new single-family development of five or more units, except in conjunction with a Planned Development Permit, the Planning Commission shall be responsible for reviewing and approving design guidelines to ensure an appropriate variety of unit types and styles. Design guidelines may include building heights and mix of stories, setbacks, architectural concepts, elevation details, building materials, and landscaping. The topics and level of detail required for the review of a particular project shall be as deemed appropriate by the Planning Commission. Review by the Design Review Commission shall not be required, except as referred to the Design Review Commission by the Planning Commission.

E. Review Procedures. Each application for Site Design and Architectural Review shall be reviewed by the City Planner to ensure that the application is consistent with the purpose and intent of this Section and with applicable requirements of this Development Code. The review authority shall hold a public meeting, and may approve, approve with conditions, or disapprove the application for Site Design and Architectural Review in compliance with this Section.

F. Factors to be considered. In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
2. Environmental features on or adjacent to the site;
3. The context of uses and architecture established by adjacent development;
4. The location, design, site plan configuration, and effect of the proposed development.

These factors shall be considered in relation to the development standards and design guidelines of this Development Code, other applicable ordinances of the City, and applicable General Plan policies.

G. Findings, decision. The review authority may approve, approve subject to conditions, or disapprove an application for Site Design and Architectural Review. The review authority may approve an application, with or without conditions, only if it first makes the findings set forth below.

1. Basic findings. In order to approve any application for Site Design and Architectural Review, the review authority must make the following findings:
 - a. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
 - b. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
 - c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
2. Projects within the Historic Overlay District or a Local Historic District. In addition to the basic findings set forth in paragraph 1, above, the review authority must make

the following additional findings for any project located within the Historic Overlay District:

- a. The project will not impair the historic character of its surroundings; and
- b. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
- c. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and Infill in the Historic Zone).
- d. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.

These findings shall not apply to demolitions associated with a project which have been approved under Section 19.54.090 (Demolition Permit).

3. Projects Involving Historically Significant Resources. In addition to the basic findings set forth in paragraph 1, above, the review authority must make the following additional findings for any project on which site is located a resource that is listed or eligible for listing on the State Register of Historic Resources or that has been designated as a local historic resource pursuant to section 19.42.020:

- a. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
- b. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and Infill in the Historic Zone).
- c. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

These findings shall not apply to demolitions associated with a project which have been approved under Section 19.54.090 (Demolition Permit).

- H. *Expiration.*** If a Building Permit has not been applied for and issued within one year of Site Design and Architectural Review approval, the approval shall become void, unless an extension is approved in compliance with Chapter 19.56 (Permit Implementation, Time Limits, Extensions).

City of Sonoma Historic Preservation Plan

I. Purpose

Sonoma's Historic Preservation Plan provides background information and context on Sonoma's cultural and historic resources, describes the City's current policies and programs with respect to historic preservation, identifies other community preservation resources, and sets forth a series of implementation measures. The purpose of the plan is to ensure that local policies and programs with respect to historic preservation are comprehensive, consistent with best practices, and in compliance with state and federal law.

II. Background

Pre-History. Good soils, temperate climate, and abundant food and water attracted indigenous peoples to the Sonoma Valley for at least 12,000 years before Spanish missionaries settled in the early 19th century. As many as 5,000 Native Americans lived in what is now Sonoma County at any one time. Present day Sonoma County was occupied at the time of historic contact by native peoples representing four language groups: Southern Pomo, Southwestern Pomo, Wappo, and Coast Miwok. Each group was comprised of autonomous village communities, each holding specific tracts of land, speaking a distinct dialect, and organized under one or more headmen. It is believed that the Sonoma Valley was occupied by the Coast Miwok people, a language group that also occupied present day Marin County and the Petaluma River Basin. The Coast Miwoks are thought to have emerged in the area around 500 B.C., while other tribal groups in the North Bay Area are thought to have emerged between 2,000 and 1,000 B.C. The Coast Miwok economy reflected an early focus on marsh resources, though it was combined with hunting and gathering in the foothills of the North Coast Ranges. A typical Coast Miwok group inhabited a semi-permanent village from which they made trips to temporary, seasonal camps to obtain locally available resources.

History. The founding of the City of Sonoma came about as a result of the Mexican government's attempt to build upon the colonization efforts of Spain in what is now northern California. The first significant Spanish entry into the area occurred in 1775, when the Spanish sailor Bodega y Quadra entered Tomales Bay (confusion as to the location of the docking site attached his name to a small inlet a few miles to the north). In 1812, ignoring Spanish territorial claims upon the northern portion of present day Sonoma County, the Russians ventured south from Alaska by leasing land from the Pomos and establishing the first European settlement in the area at Fort Ross.

In response to the Russian presence, the Mexican Government (newly independent from Spain and possessing title to California since 1821) sent Jose Altimira to the Sonoma Valley in 1823 to establish a mission and to assume control of the potentially rich valleys between the Sacramento River and the Pacific Coast. The newest and northernmost of the 21 California missions was constructed in 1824, and was named San Francisco de Solano. The mission became the center of the new town of Sonoma in 1835, and became the headquarters of Commandant Mariano Vallejo

who had already begun to build an adobe villa on his Rancho to the west, near present day Petaluma. The Mission and other buildings constructed in that era were built using conscripted Native American labor and the establishment of the Mission began a period of sustained contact between Native Americans and colonizing settlers that resulted in the dispersal of local tribes and substantial declines in their population due to military action and disease.

Mexican attempts in 1833 and 1834 to colonize the Santa Rosa plain failed, and the Sonoma settlement became increasingly important to the control of an area threatened by Russian encroachment and native resistance. These threats decreased when a smallpox epidemic reduced the local tribes and the declining fortunes of the Russians resulted in the selling of Fort Ross to the Swiss adventurer Johann Sutter.

The village at Sonoma grew as more people moved into the valley to farm large ranchos granted to them by Commandant Vallejo and the Mexican government. By the mid-1840's Americans were present in substantial numbers. In June 1846, a month after the start of the Mexican-American War, a group of Americans declared their independence from Mexico as the Bear Flag Republic. The republic had no official government and was dissolved when the United States Navy took charge of Sonoma in July of 1846. The war ended in 1847, and as a result of the Treaty of Guadalupe Hidalgo, California was added to the territories of the United States. California became a state in 1850 and the various counties were established in 1851.

With the breakup of the ranchos after the Mexican War came the establishment of towns. The Sonoma town square originally laid out by Vallejo under his military rule, was the site of great activity in the 1840's. However, the town was virtually abandoned during the gold rush of the 1850's. When California gained statehood and Sonoma County was established, the city of Santa Rosa was selected over Sonoma as the county seat. Subsequent growth and development in the Sonoma area were stimulated by agriculture, although lumbering, tanning, and quarrying also played important roles in the early economy of the valley.

Cultural and Historic Resources. The city of Sonoma and its Sphere of Influence contain a substantial number of archaeological and historical resources. A total of 19 archaeological sites and two isolated finds have been officially recorded within the city's Planning Area by the California Historic Research File System (at Sonoma State University). Nine additional archaeological sites have also been reported. The creeks that pass through Sonoma Valley provide a favorable environment for discovery of additional prehistoric cultural deposits.

Sonoma hosts a unique concentration of historic structures and sites associated with the mission period, the Bear Flag Republic, and the historical development of Sonoma Valley. The most notable of these are the Sonoma Plaza National Historic Landmark and surrounding historic structures (e.g., the Sonoma barracks, the Sonoma Mission, etc.), and the Vallejo Home State Park. The city has also established a Historic Overlay zone, which encompasses the Plaza and a substantial portion of the northern portion of the city generally bounded by the Mountain Cemetery, Fifth Street East, Patten Street, and Fourth Street West, plus a corridor along both sides of Broadway from the Plaza to southern city limits.

A complete listing of historic properties in the Sonoma community, as documented by the National Register of Historic Places and the State Office of Historic Preservation, is provided in Attachment 1.

III. State and Federal Historic Designations and Resources

Sonoma Plaza National Historic Landmark. Sonoma Plaza is one of the earliest designated National Historic Landmarks. Survey work for Sonoma Plaza is recorded as early as 1958, which preceded the National Historic Preservation Act of 1966. In 1961, the City applied for Registered National Historic Landmark status. The Sonoma Plaza was granted Landmark status by the Department of the Interior and was dedicated in December of 1961. In 1966, with the passage of the National Historic Preservation Act, landmarks which had already been determined to have national significance were automatically included in the newly created National Register of Historic Places. In 1974, the Sonoma Plaza National Historic Landmark boundary was redefined with respect to its "period of significance." Through this process, the focus was placed on the Bear Flag Revolt and the history of California in relation to the Mexican War and the period of significance therefore encompassed a relatively limited period of time: 1821-1848.

Sonoma Plaza National Register Historic District. In 1992, Michael Crowe of the Western Regional Office of the National Park Service realized that the Sonoma Plaza National Historic Landmark status did not address local historic significance. Accordingly, he prepared and submitted a nomination for Sonoma Plaza to become a National Register Historic District based on an evaluation that connected downtown buildings to Sonoma's own history. The Sonoma Plaza National Register District, which was established in 1992, includes 82 contributing buildings and 56 non-contributing buildings, five sites (of which three are contributing), one contributing structure, and two contributing objects. The Period of Significance for the district is 1835-1944. The nomination describes the bucolic character of the Plaza, characterizes the architecture of the significant and contributing commercial buildings, and describes the residential structures adjoining the commercial district. "The overall integrity of the district both physically and architecturally remains very high," according to the nomination, with changes largely limited to low-rise new construction and window replacement. The nomination finds that contributing buildings retain architectural integrity to their construction date; have integrity of location, and have the ability to convey a sense of the history of change and the district's development during its period of significance.

Sonoma State Park. The Sonoma State Historic Park encompasses a series of key historic attractions in several locations within and downtown Sonoma. The park is comprised of the following elements:

- The Mission San Francisco Solano de Sonoma, established by Father Jose Altamira in 1823. Although partially reconstructed, it is the oldest building in Sonoma.
- The Blue Wing Inn. A two-story adobe, located east of the Mission on East Spain Street. Its construction date is unknown.
- The Sonoma Barracks, the Toscano Hotel, and La Casa Grande. A complex of structures, across from the Sonoma Plaza on the north, constructed over the period of 1830-1860.

- The Vallejo Home (Lachryma Montis), the home of General Mariano Guadalupe Vallejo. The Gothic-styled Victorian residence is actually a pre-fabricated structure installed in the 1850's. This portion of the Sonoma State Park includes 60 acres of open space.

While these properties are, of course, not subject to local regulation, they are key elements of the historic setting and contain many of Sonoma's most significant resources.

IV. Overview of Local Preservation Policies and Programs

City Council Vision Statement. The Vision Statement serves as a broad summation of the Council's values and objectives. As amended by the Council in the course of the 2020 General Plan update, the Vision Statement addresses historic resources as follows: *"In 2020, Sonoma will be a place where . . . The community's history and its role as a cultural center are enhanced through public art, special events, and the careful preservation of historic resources."*

General Plan. In the City of Sonoma's 2020 General Plan, issues related to historic preservation are found mainly in the Community Development Element. Key references in the General Plan include the following:

- Community Directions (among a list of four points): "Sonoma should continue to be characterized by variety in terms of land uses, building types, and housing, and this diversity should be consistent with preserving the town's small-scale and historic character."
- Goal CDE-5: Reinforce the historic, small-town characteristics that give Sonoma its unique sense of place.
- Policy 5.1: Preserve and enhance the scale and heritage of the community without imposing rigid stylistic restrictions. (Note: this policy is implemented through the Development Code.)

Development Code. The City's Development Code is the primary mechanism for implementing requirements pertaining to historic preservation. The major provisions in this regard are as follows:

- A. **Design Review Commission.** The Design Review Commission (DRC) is a five-member panel whose representatives are appointed by the City Council. The DRC is responsible for administrating the majority of key reviews associated with historic preservation regulations. (See SMC 2.60.)
- B. **Historic Overlay Zone.** The Historic Overlay zone was first established by the City in 1974. Its boundaries have changed over the years, with the most recent amendment adopted in 2007 in order to better reflect the concentrations of historic structures and resources within the community. The purpose of the Historic overlay zone is to define an area within which special zoning regulations are applied (e.g., expanded requirements for design review) as a means of protecting historic resources. (See SMC 19.10.030.C.2.)

- C. *Demolition Review Requirements.* The demolition of any structure fifty years old or older is subject to the review and approval of the Design Review Commission (SMC 19.54.090). This review includes findings designed to prevent the demolition of historically significant structures.
- D. *Residential Review Requirements.* Within the Historic Overlay zone, the following review requirements apply to residential development:
1. Alterations to residences constructed prior to 1945 and for which a building permit is required that increases floor area by 10% or 200 square feet (whichever is greater) are subject to design review.
 2. Alterations to residences constructed prior to 1945 for which a building permit is required that result in changes to the primary elevation or a street-side elevation are subject to design review.
 3. Alterations to residences constructed prior to 1945 for which a building permit is required that result in a change in the roof structure (pitch or height) are subject to design review.
 4. The development of a new single-family residence is subject to design review.

(See Sections 19.10.030.C.2 and 19.54.080.)

- E. *Commercial, Mixed Use and Multi-Family Review Requirements.* All new commercial, mixed, use and multi-family development is subject to design review, whether inside or outside of the Historic Overlay Zone. In addition, exterior changes to commercial or mixed-use structures that entail the issuance of a building permit are subject to design review.
- F. *Adaptive Reuse.* The Development Code provides for the adaptive reuse of historic structures, subject to the review and approval of the Planning Commission. Within the Historic Overlay zone, adaptive reuse is an option for potentially historic structures, as well as structures having an official designation. Outside of the Overlay zone, adaptive reuse is only an option for structures having an official designation as documented by the State Office of Historic Preservation. Adaptive reuse options include increased density allowances and specified commercial uses, including bed and breakfast inns, hotels, limited retail, professional offices, and restaurants. (See SMC 19.42.020.)
- G. *Design Guidelines.* The guidelines that the Design Review Commission uses in conducting design reviews associated with the alternations to historic structures and infill development within the Historic Overlay zone are set forth in Chapter 19.42 of the Development Code (Historic Preservation and Infill in the Historic Zone).

- H. *Adopted Inventory of Historic Structures.* As required to achieve CLG certification, the City Council adopted a local inventory historic structures in 2006. The inventory consists of sites and structures within the City already identified by the State as possessing historic significance (Resolution 18-2006).
- I. *City Historian.* The office of the City Historian was established by City Council resolution in 2008. The position is filled by Council appointment and the duties of the City Historian include the following: coordinating of the identification, maintenance and inventory of historical records and artifacts owned by the City of Sonoma; updating the City Council on the status, care and maintenance of historical artifacts in the City's possession; assisting with research by the public, City staff, and organizations engaged in historic preservation activities; coordinating City activities which are of historical interest; making recommendations to the City Manager and City Council regarding the preservation of historical resources. Currently, the City is very fortunate to have George McKale as its City Historian. Mr. McKale is a highly qualified professional with a B.A. in anthropology and an M.A. in Cultural Resources Management. He has been extremely active in identifying and coordinating educational opportunities such as the 100-year anniversary celebration of the construction of City Hall and in providing expert advice to staff and the DRC with respect to the review and processing of applications involving cultural and historic resources.

Unreinforced Masonry Building Program. In 1990, in response to a State mandate, the City adopted an Unreinforced Masonry Building (URM) Ordinance that established a program requiring URM buildings to be seismically upgraded. Because of their age, historic buildings around the Plaza are typically of URM construction and are quite vulnerable to earthquake damage, especially those of adobe construction. Of the 56 buildings requiring improvement, 51 have been fully upgraded and four are in process.

Public Involvement. The City of Sonoma strives to ensure public awareness and involvement in every aspect of its historic preservation programs:

- A. *Formal Notice Requirements.* The following types of design review applications are subject to a 20-day public notice requirement that includes mailings to property owners within 500 feet of the site, the placement of notice posters in the vicinity, and two notices in the local newspaper: 1) Demolition applications for buildings 50 years old or older; 2) additions or exterior alternations to residential structures built prior to 1945 that are located within the Historic Overlay zone; the development of a new residence within the Historic Overlay zone. Other types of design review applications simply require placement on the Design Review Commission meeting agenda with posting at least 72 hours prior to the meeting.
- B. *Tribal Consultation.* The City has established a consultation process with local Native American groups (the Federated Indians of Graton Rancheria) with respect to projects having potential impacts on cultural resources.
- C. *Consultation with Local Experts.* City staff notifies and consults with the Sonoma League for Historic Preservation regarding projects that involve historic resources. Staff encourages applicants whose proposals involve significant or potentially significant historic

resources to consult with the League for Historic Preservation to learn more about the history of the resource and about best design practices for retaining historic integrity.

- D. *Community Outreach.* In the development of every significant revision to its Development Code involving the regulation of historically significant resources, the City has invited the participation of a broad range of community groups, including local advocacy organizations, such as the League for Historic Preservation and the Chamber of Commerce, members of the real estate and development community, and potentially affected property owners. As one example, the development and adoption of expanded design review requirements for single-family residences in the Historic Overlay zone included more than ten hearings and study sessions before the Design Review Commission, the Planning Commission and the City Council.

Historic Plaque Program. To promote education and awareness, a program for the placement of local markers on historically significant buildings was established in 2004, through a partnership with the City of Sonoma, the Sonoma Valley Chamber of Commerce and the Sonoma Valley Rotary Club. Since its inception the program has resulted in the placement of 13 bronze plaques highlighting historically significant buildings.

V. Resources and Stakeholders

State Office of Historic Preservation. The mission of the Office of Historic Preservation (OHP) is as follows: “... to preserve and enhance California's irreplaceable historic heritage as a matter of public interest so that its vital legacy of cultural, educational, recreational, aesthetic, economic, social, and environmental benefits will be maintained and enriched for present and future generations.” As part of its duties, the OHP provides a variety of technical assistance to California City's and Counties, including the Certified Local Government (CLG) Program. The CLG program is designed to encourage the direct participation of a local government in the identification, registration, and preservation of historic properties located within the jurisdiction of the local government. A local government may become a CLG by developing and implementing a comprehensive local historic preservation program based on federal and state standards.

Sonoma League for Historic Preservation. The Sonoma League for Historic Preservation has been devoted to the stewardship of Sonoma's architectural heritage for 40 years and has guarded the historic integrity of buildings and neighborhoods through its many programs designed to maintain Sonoma's distinct visual character. The goals of The League are:

- To increase awareness of the unique nature and history of the region.
- To promote interest in preserving and enhancing the historic resources of the Sonoma Plaza and surrounding areas.

For 40 years, The Sonoma League for Historic Preservation has been active in maintaining the look and feel of Sonoma. Activities include building restoration, docent staffing of historical points of interest, maintenance of an historic resources library, development of a growing collection of historical photos, protection of historic landmarks, a spring cottage and garden tour,

and an annual awards program honoring Valley properties. More than 20,000 guests participate in League activities and events each year.

Historic Resources Inventory. Completed by the League for Historic Preservation in 1979 with the assistance of grant funding from the National Trust for Historic Preservation, this inventory identifies more than one hundred potentially significant structures in and around Sonoma. While this inventory has proven invaluable in providing background information on designated and potential historic resources, it cannot be formally adopted as a local inventory of historic structures because not all of the information was compiled by qualified professionals.

Sonoma Valley Historic Society. In January 1937 a small group of Sonomans formed the Sonoma Valley Historical Society to honor pioneer families and to collect, preserve and disseminate the historical heritage of the Valley of the Moon. Exhibits were placed in the City Hall and the Community Center. The Society, a non-profit organization, has operated continuously ever since that time. The Society holds monthly meetings featuring speakers on local and California history, arranges member visits to historic sites and other museums and provides other interesting activities for members. The SVHS also encourages and assists the appreciation of history by school children. The Society also publishes a newsletter for members with news about activities and stories on Sonoma's colorful past. Members have published several books about local history. As discussed below, the major Society program is operating the Depot Park Museum.

Depot Museum. In 1975 the City of Sonoma acquired the old Northwestern Pacific Railroad depot and adjacent land, to prevent the loss of the historic site. Unfortunately, a fire destroyed the building in 1976. The Sonoma Valley Historical Society proposed a rebuilding project, and the City granted the insurance proceeds and permission to develop the site as a museum. A major fund-raising drive by the Society, along with a grant from the County Board of Supervisors, raised enough funds to build a replica of the depot as a community museum and the City developed the adjacent land as Depot Park. The Depot Park Museum was dedicated in 1978 and opened in 1979. Since then, Society volunteers have developed and operated the museum and its historically significant collections. In addition to displays and exhibits, the Museum has a book/gift shop and an archival library of historical documents and maps, books on local history, and thousands of photographs.

Owners. Within Sonoma city limits there are as many as 500 properties under private ownership that have potential historic significance. The owners of these properties are, in effect stewards of historic structures and resources. In order for Sonoma's efforts to preserve this legacy, these property owners need to be engaged in historic preservation and education efforts and involved in any proposals to modify or extend local preservation regulations.

VI. Implementation Measures

These measures are in addition to existing policies and programs addressing historic preservation. The timing for accomplishing these measures will be based on the allocation of available resources by the City Council in the context of its overall consideration of budgetary and policy priorities.

1. Apply to the State Office of Historic Preservation for designation as a Certified Local Government and implement the ongoing requirements associated with that designation.
2. Develop guidelines to be used by staff and the Design Review Commission to determine under what circumstances professional cultural and historic resource evaluations will be required in the review of applications involving known or potentially significant historic resources.
3. Develop updated guidelines for use by staff and the Design Review Commission to evaluate additions and other modifications to historic structures based on Secretary of Interior standards.
4. Establish a mechanism for regularly updating the City-adopted inventory of historic structures. Consider establishing a category and criteria for designating resources having local historic significance.
5. Draft a Mills Act program for consideration by the Design Review Commission and the City Council.
6. Update the Development Code with respect to the responsibilities of the Design Review Commission to fully reflect CLG requirements.
7. Maintain and strengthen the consultative relationship with the Federated Indians of Graton Rancheria on matters pertaining to cultural resources.
8. Update the City's GIS to better integrate SHPO data on historic and cultural resources.
9. Continue to pursue training and education opportunities with respect to historic preservation for both the Design Review Commission and staff.
10. Establish a process for commenting on nominations to the National Register, consistent with the requirements of the National Historic Preservation Act.
11. Consider incorporating a Historic Resources Element in the next comprehensive update of the General Plan.
12. Establish a new section on the City's website, highlighting local resources and regulations pertaining to historic preservation.
13. Develop and maintain a database of the owners of historic sites and structures and other stakeholders to facilitate education and outreach with respect to historic preservation efforts.
14. Work with the League for Historic Preservation, the Sonoma Valley Historical Society and other interested experts and organizations to provide educational materials for the owners and prospective owners of historic structures.

15. Investigate the costs and benefits of requiring design review for changes to interior character-defining features of historically significant special purpose buildings.

Attachments

1. City Council Resolution Establishing Local Inventory of Historic Resources

March 18, 2014
Agenda Item #2

MEMO

To: Design Review and Historic Preservation Commission
From: Associate Planner Atkins
Subject: Discussion on Policy Regarding Historic Evaluations

The following guidance is given to applicants as part of the application requirements for Design Review applications that involve structures having an age of 50 years or older:

If the proposed project is subject to the California Environmental Quality Act (CEQA), an evaluation may be required. It is recommended that projects involving structures built over 50 years ago be formally evaluated to determine the following: 1) whether the project meets CEQA's definition of a historical resource as defined in section 15064.5; and, 2) will the proposed project significantly impact or affect the historical resource? The website for searching the Consultants List is located at www.Chrisinfo.org. The discipline that should be selected is "architectural history" or "historical architect."

The current City of Sonoma policy is to require a historic evaluation only on the structure that is part of the application and not on any other structures on the property or structures on adjacent properties. Staff would like feedback from the DRHPC on the current policy to find out if it should be changed. It is important to be consistent in the policy approach so it can be applied to projects on an equal basis throughout the City. For example, if the DRHPC is considering the design review of a structure, which is over 50 years old, and there are other structures on the property, which are over 50 years old and not part of the application, does the DRHPC want a historic evaluation on the structures that are not part of the application? In addition, if the DRHPC is considering the design review of a structure, which is over 50 years old, and there are structures on adjoining properties, which are over 50 years old, would the DRHPC want a historic evaluation completed for the structures on the adjoining parcels? Note, sometimes there is more than one property that adjoins the subject property, which could lead to multiple historic evaluations.

In staff's view, requiring an evaluation of potentially significant structures on the same parcel is justifiable as in most cases the parcel represents the setting of a historic resource. However, requiring evaluations of potentially-significant structures on adjoining properties is neither practical nor necessary with respect to design review applications involving single-family residences. From time-to-time, there will be commercial development proposal that will necessitate reviews of historically-significant structures on adjoining properties, but this will be addressed as part of the environment review process for such applications, so in staff's view, a new policy addressing that circumstance is unnecessary.

Attachments:

Submittal Requirements for Architectural (Design) Review Applications.

cc: Mary Martinez
P.O. Box 534
Sonoma, CA 95476

George McKale, via email

Patricia Cullinan, via email

Yvonne Bowers, via email



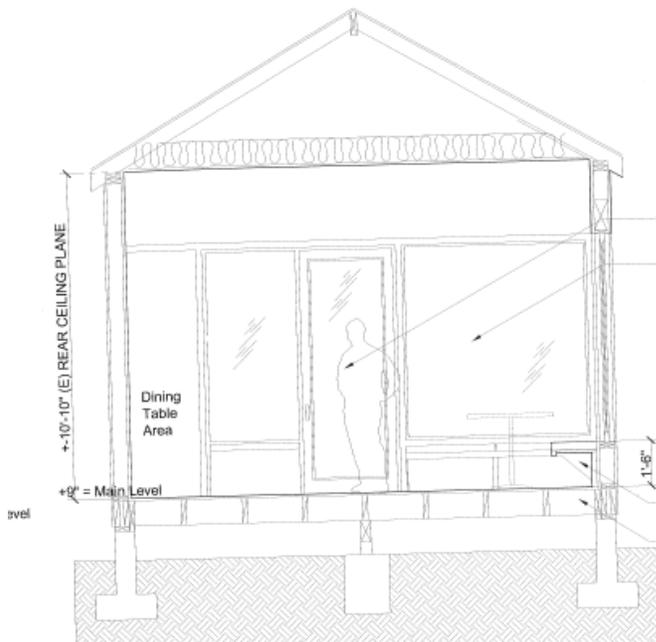
Design Review and Historic Preservation Commission (DRHPC) Submittal Information for Architectural (Design) Review Applications and Next Steps

General

- A project narrative shall be submitted with the application. The project narrative should describe the project in a way that gives the DRHPC a visual picture of what the project will look like when complete. If the applicant is proposing a particular color because of a reference to the business branding, that information should be included in the project narrative.
- The applicant should consider submitting options and alternatives, which help reduce the chances of the project being continued to a future meeting.
- The applicant should be prepared to make a brief presentation to the DRHPC at the meeting. The purpose of the presentation is to summarize the information written in the project narrative and to essentially “sell” the proposal to the DRHPC. In addition, it is helpful to indicate to the DRHPC the reason why certain choices were made, how the proposal will be compatible with the surrounding area, and be a benefit to the community.

Exterior Building Modifications

- Elevations (including sign drawings) should be scaled and include a human scale as shown below.



- Color submittals: Submit ten (10) copies each of the manufactures color samples indicating the manufacture’s name and color name (i.e. Benjamin Moore million dollar red 2003-10) placed on 8.5 by 11 inch heavy stock paper.
- Submit ten (10) black and white or color copies on heavy stock paper of an elevation drawing or a picture of the building indicating the exact location of all proposed colors.
- “Brush outs” (two coats) samples are encouraged on buildings around the Plaza. If “brush outs” are not completed prior to the DRHPC meeting, the project may be continued to a future meeting. A two to three square-foot brush out area is appropriate.
- The applicant shall bring a two to three square-foot color and material sample board to the DRHPC meeting. The board shall include a sample of the following materials: roof, flashing, siding, and exterior stone. The colors on the board shall be proportionate to the scale of the colors on the building. (If an architect is involved with the project, the presentation shall be presented in a professional manner.) The applicant shall provide a printed picture of the approved color and material board to the Planning Department.

Projects in the Historic Overlay zone and Potential Historic Structures (structures built over 50 years ago)

- If the proposed project is subject to the California Environmental Quality Act (CEQA), an evaluation may be required. It is recommended that projects involving structures built over 50 years ago be formally evaluated to determine the following: 1) whether the project meets CEQA’s definition of a historical resource as defined in section 15064.5; and, 2) will the proposed project significantly impact or affect the historical resource? The website for searching the Consultants List is located at www.Chrisinfo.org. The discipline that should be selected is “architectural history” or “historical architect.”
- In order to approve a project in the Historic Overlay Zone, the DRHPC must make the following findings:
 - a. The project will not impair the historic character of its surroundings;
 - b. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site;
 - c. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC, Historic Preservation and Infill in the Historic Zone; and,
 - d. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
- Projects Involving Historically Significant Resources. In addition to the basic findings set forth above, the DRHPC must make the following additional findings for any project on which site is located a resource that is listed or eligible for listing on the State Register of Historic Resources or that has been designated as a local historic resource pursuant to section 19.42.020:
 - a. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
 - b. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and Infill in the Historic Zone).
 - c. The project substantially complies with the applicable Secretary of Interior’s Standards and Guidelines for the Treatment of Historic Properties.

Next Steps

Subsequent to the review and approval by staff or the DRHPC for an application for commercial building painting, new signs, or an awning, the following are the next steps in the process:

1. Apply for a building permit for sign or awning installation. Plan check can typically take up to two weeks.
2. Apply for an encroachment permit if painting a building or installing signage or an awning where work will take place over/on the public right-of-way (sidewalk). The encroachment permit application and insurance requirements are available on the City's website at www.sonomacity.org. An encroachment permit will not be issued until the correct insurance certificates and endorsements from the contractor are submitted and approved.



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 3

Meeting Date: 03/18/14

Applicant

McCall Design Group

Project Location

500 West Napa Street, Suites 502-510

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1959
-

Request

Continued consideration of a modification to an approved sign program and external building modifications for a commercial business (Pet Food Express) located at 500 West Napa Street, Suites 502-510.

Summary

Background: On June 19, 2012, the Design Review Commission approved a new sign program for a shopping center (Sonoma Valley Center). On January 21, 2013, the DRHPC approved entry modifications for the Redwood Credit Bank in the form of a window and door aluminum finish bronze in color. On February 25, 2014, the DRHPC continued the design review of external building modifications for Pet Food Express and requested the applicant come back to the DRHPC at a future meeting with a revised proposal (see attached email to Ken Moy).

Design Review: At this time the applicant is proposing to combine four retail suites (suite 502, 504, 508, and 51) into one suite for a new retail business (Pet Food Express). All of the existing windows and doors will be removed and new windows and a new sliding entrance door will be installed. The new windows will take the form of United States Aluminum Series 451 and IT451 center glaze (see attached specification sheet) and include a dark bronze aluminum finish with clear glazing.

Findings for Project Approval: In order to approve any application for site design and architectural review, the DRHPC must make the following findings:

- a. The project complies with applicable policies and regulations, as set forth in this development code (except for approved variances and exceptions), other city ordinances, and the general plan;
- b. On balance, the project is consistent with the intent of applicable design guidelines set forth in this development code; and
- c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

Sign Review: At this time the applicant is requesting approval of four signs for the business. The proposed signs include the following: 1 each (one-sided) 56 square foot illuminated wall sign; 1 each (two-sided) 4 square foot projecting sign (arcade); and, 2 each (one-sided) 20 square foot illuminated roof signs (tenant). Illumination for the wall sign and roof signs is proposed in the form of integrated goose-neck style LED spot lights. The fixtures will be power-coated dark bronze to match the existing fixtures. In addition, the applicant is proposing two vertical wood siding areas for mounting of Pet Food Express events and a community board. Detail on the size and material of the display boards has not been provided as of the writing of the staff report.

The following signs have previously been approved by the DRC and are part of the signs included in the sign program for the shopping center:

- ◆ 1 each (one-sided) 114 square foot freestanding sign (monument);
- ◆ 1 each (two-sided) 25 square foot freestanding sign (rear entrance) (although approved this sign has not been displayed);
- ◆ 11 each (one-sided) 20 square foot roof signs (tenant);
- ◆ 17 each (two-sided) 4 square foot projecting signs (arcade);

- ◆ 1 each (one-sided) 20 square foot wall sign (welcome sign-rear parking lot)
- ◆ 16 each (two-sided) 16 square foot banner signs (banner program)
- ◆ 1 each (one-sided) 56 square foot wall sign (Sonoma Market front);
- ◆ 1 each (one-sided) 20 square foot wall sign (Sonoma Market rear);
- ◆ 1 each pergola, which features six signs for tenants in the rear arcade of the property. Each sign would have an area of 1.53 square feet in area (22 inches wide by 10 inches tall).

Aggregate Sign Area: Based on the site's primary frontage on West Napa Street (± 260 feet) and secondary frontage on Fifth Street West and West Spain Street (± 272 feet), the property has an allowable aggregate sign area of 164 square feet. The total aggregate sign area for the property would be ± 871.18 square feet, including the two freestanding signs (139 square feet), 13 roof signs (260 square feet); 18 projecting signs (55 square feet), 4 wall sign (152 square feet), 16 banner signs (256 square feet), and 6 wall signs on the pergola (9.18 square feet).

Shopping Center Signage Regulations: In addition and notwithstanding the number and sizes listed under SMC 18.16.010 and 18.16.020, one additional identification sign may be permitted for a shopping center. The total area of the additional sign shall not exceed 60 square feet, with no single face of a double or multisided sign larger than 40 square feet. Illuminated shopping center signage shall conform to the sizes under the illuminated sign section (SMC 18.20.130), unless granted a variance by the DRHPC.

A shopping center may develop a sign program for all tenants within the center which, after approval by the DRHPC, may be administered by the shopping center administration. Signs not in conformance with the approved program must be reviewed by the planning director or his or her designee or the DRC (*§18.20.180*):

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Email to Ken Moy dated February 27, 2014*
2. *Sign drawings*
3. *Window and door specification sheets*
4. *Site plan and elevations*

cc: Michael Palmer
141 Stoney Circle # 225
Santa Rosa, CA 95401

Sonoma Valley Center LLC
P.O. Box 2745
Antioch, CA 94531-2745

Wendy Atkins

From: Wendy Atkins
Sent: Thursday, February 27, 2014 2:35 PM
To: ken@mccalldesign.com (ken@mccalldesign.com)
Subject: FW: Petfood Express Design Review Notes

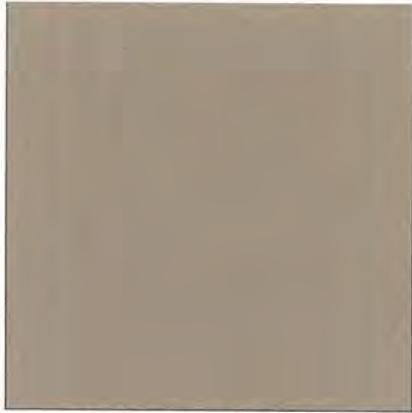
Hi Ken,

I thought I'd send you an email with my notes from the meeting last night. I've also copied Ken who is working on the sign proposal. You both should coordinate on the revised proposal as the DRHPC requested to see both the design changes and sign review in the same renderings. We can get you on the March 18th meeting but I will need a complete revised proposal no later than March 7th. I will be out of the office from March 4th through March 7th. If you are unable to meet the March 7th deadline then March 18th is the deadline for the April 15th DRHPC meeting.

The following is a list of comments from the DRHPC Meeting on February 25, 2014:

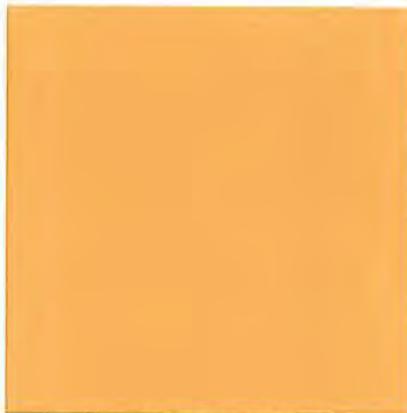
- Take a look at how Staples and Whole Foods were designed in Sonoma. Both of these stores went into existing buildings.
- The DRHPC wants to review the revised proposal with at the same time as the sign review application.
- Provide a color rendering of storefront façade changes. You may want to consider a Photomontage. You really want to give the DRHPC a clear picture of what the finished storefront will look like. Include both the façade changes and signs in the color rendering. You may want to bring a large sized display to the meeting.
- Consider revising the sliding door element to a swinging door. A sliding door element is probably not necessary in Sonoma and would not be consistent with preserving the existing character.
- 6,119 square feet of retail space is large for Sonoma. Expansiveness of window wall is difficult. Modify the window wall to incorporate wood, bricks, adobe slump bricks, painted concrete panels, and single opening doors in the design that lend itself to a smaller scale village-style shopping experience. Soften the storefront and break it up so it's no one big sheet of open glass and attempt to mimic the other retail spaces in the shopping center. Don't want it to appear as one large use.
- Include the tenant improvement plan in the revised submittal. The tenant improvement plan should outline the layout of the different retail signs, sales racks, and layout of registers. The DRHPC wants to make sure that shelves will not be placed inside the store (in front of the window) that block or obscure the visibility into the store. The DRHPC does not want to see backs of displays in the windows.
- All signs including window signs must be reviewed with the sign permit application.
- Consider including a community board that displays community information (similar to the one at Whole Foods in Sonoma).
- Don't strip the façade of its original characteristics, integrity, and sense of charm.
- Don't want to see a large Petfood Express roof sign.
- Show garbage cans and landscaping in revised renderings.
- Celebrate the uniqueness of the small town village-style shopping center.
- Indicated the type of glass proposed. Don't want to see reflective or blackened glass.
- Keep the window similar as they are now.
- Maintain village character and break expansiveness up.

Wendy Atkins
Associate Planner
City of Sonoma
No. 1 The Plaza
Sonoma, CA 95476



EXISTING SLUMPSTONE
EXISTING POSTS & BEAMS

KELLY-MOORE
KM-3958-3 GREYSWOOD



EXISTING GUTTERS & TRIM

KELLY-MOORE
KM-3998-3 SHEER EXPOSURE

EXISTING TRIM
KELLY-MOORE
36 NAVAJO WHITE

EXTERIOR PLASTER
WOOD SIDING
KELLY-MOORE
HLS-4202 FRANK LLOYD WHITE



ROOF TILE
GLADDING MCBEAN
CORDOVA - PRESIDIO BLEND



MAR 07 2014

PET FOOD EXPRESS
502 - 510 WEST NAPA STREET
SONOMA, CA 95476

FILE NUMBER:
213070

DATE	ISSUE
02.05.14	DRC SUBMITTAL 1
03.07.14	DRC SUBMITTAL 2

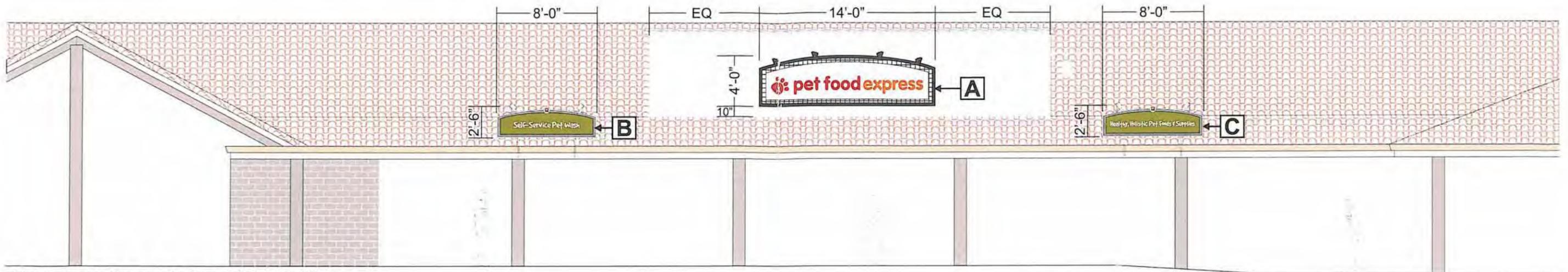
SEAL/SIGNATURE

03/31/15

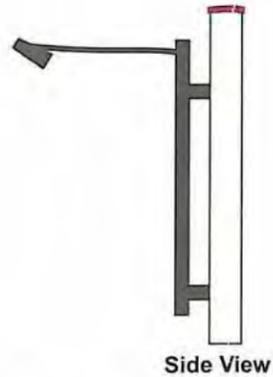
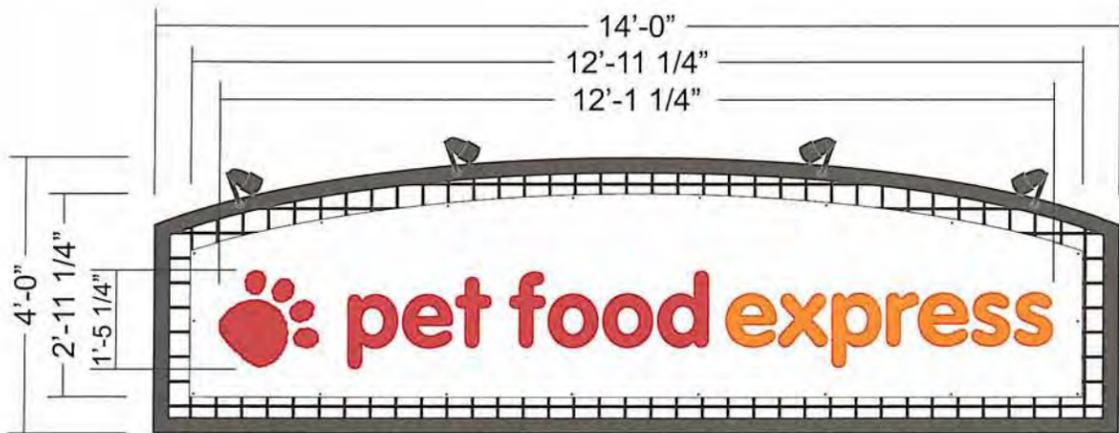
DRAWING DESCRIPTION
COLOR BOARD

SCALE

1



West Elevation - Scale: 1/8" = 1'-0"



Side View

A Wall Sign Scale: 3/8" = 1'-0"

Manufacture and install one (1) set of externally-illuminated F.C.O. letters on new sign panel to match existing.

Description	Specification/Material	Finish	Color
Frame	Alum. sq. tube	ptd. - satin	Dark Bronze (match existing)
Mesh	Wire mesh	ptd. - satin	Dark Bronze (match existing)
Panel	1/8" Aluminum	ptd. - satin	White
Letters	1/4" Acrylic F.C.O.	ptd. - satin	logo/"pet food" = PMS 1805 C "express" = PMS 144 C
Illumination	Eternal lamps (x4)	Match existing	Dark Bronze (match existing)

NOTE:
*Fixtures welded to sign frame.
*Surface brightness less than 100 ft. lamberts



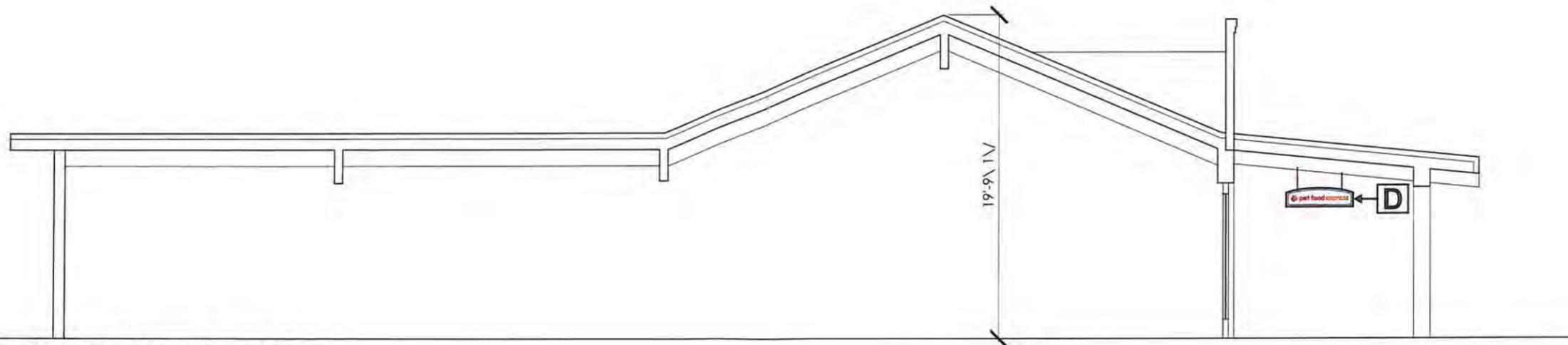
B Tenant Signs Scale: 1/2" = 1'-0"

C Manufacture and install two (2) sets of non-illuminated F.C.O. letters for two (2) existing single faced tenant signs.

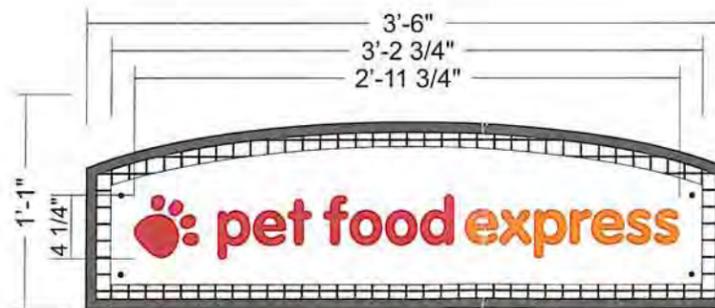
Description	Specification/Material	Finish	Color
Panel	1/8" Aluminum	ptd. - satin	Spring Fancy KM 3424-5
Copy	1/2" White acrylic	ptd. - satin	White
Structure & light fixtures	Existing to remain		

NOTE: Existing signs to be relocated as necessary.

FEB 05 2014



Building section - Scale: 1/8" = 1'-0"

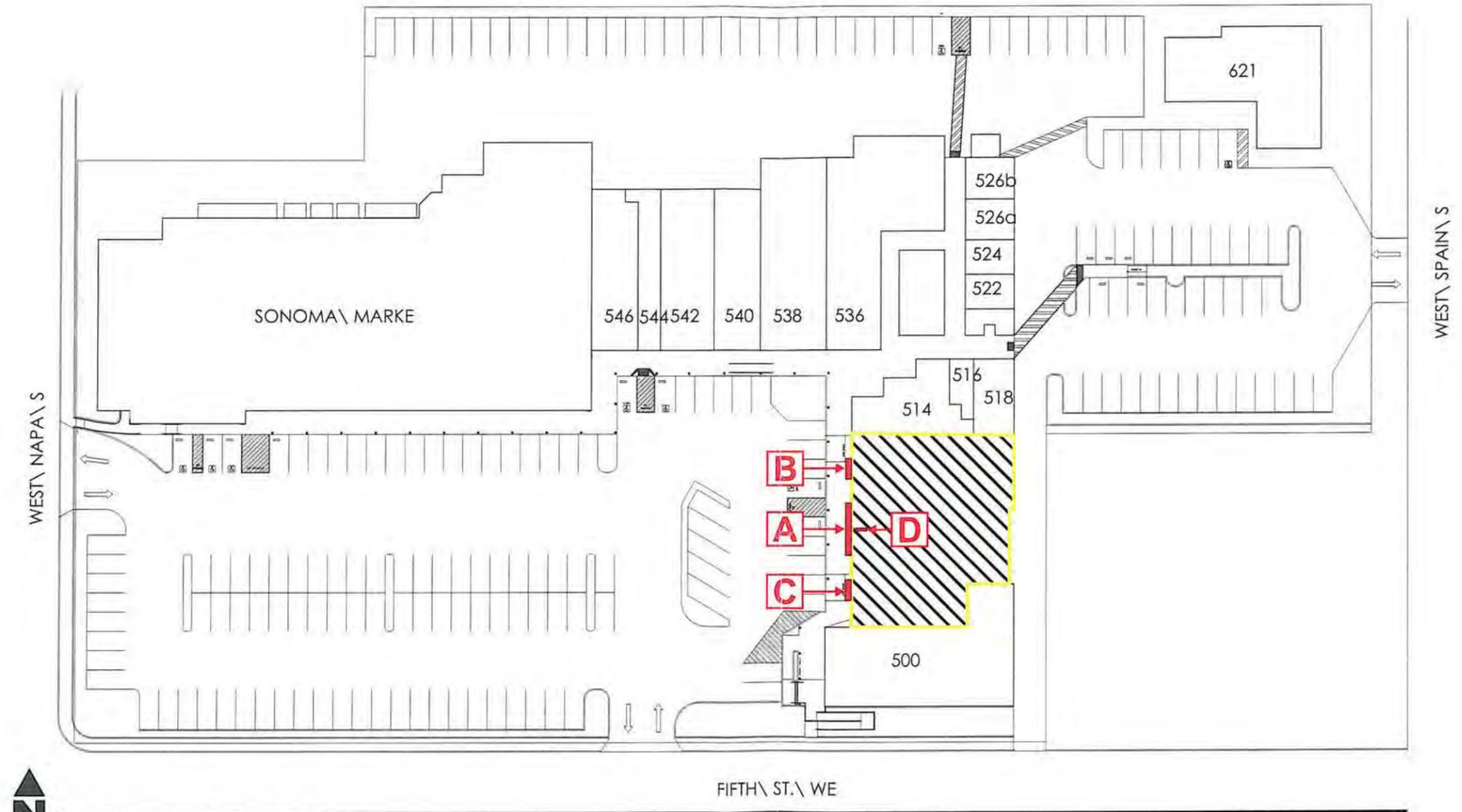


D Arcade Sign Scale: 1" = 1'-0"

Manufacture and install two (2) sets of non-illuminated F.C.O. letters for one (1) existing double face arcade under canopy sign.

Description	Specification/Material	Finish	Color
Panel	1/8" Aluminum	ptd. - satin	White
Copy & logo	1/4" White acrylic	ptd. - satin	logo/"pet food" = PMS 1805 C "express" = PMS 144 C
Structure	Existing to remain		

NOTE: Existing signs to be relocated as necessary.



N
 Site Plan - Scale: NTS



SECTION 08 42 29.23 [08460]
SLIDING AUTOMATIC ENTRANCES

Specifier Note: This specification document shall serve as a guide specification for typical projects where the Stanley Access Technologies Dura-Glide 2000/3000 All Glass Series sliding automatic entrance will be the basis of design. Specification must be reviewed for applicability on a per project basis. Specification is not appropriate for projects where a wind force and/or impact rating are required. The specifier is directed to select appropriate options included herein. Consult with the Stanley Security Solutions SpecCentre, or the local Access Technologies Territory Manager, when options, not specified, are required. See last page of this document for a summary of unspecified options.

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following types of automatic entrances:
1. Exterior and interior, single slide and bi-parting, sliding automatic entrances.
 2. Sliding and fixed panels shall be all glass with top and bottom rail.
- B. Related Sections:
1. Division 7 Sections for caulking to the extent not specified in this section.
 2. Division 8 Section "Aluminum-Framed Entrances and Storefronts" for entrances furnished and installed separately in Division 8 Section.
 3. Division 8 Section "Door Hardware" for hardware to the extent not specified in this Section.
 4. Division 26 Sections for electrical connections provided separately in Division 26 including conduit and wiring for power to sliding automatic entrances.

1.3 REFERENCES

- A. General: Standards listed by reference, including revisions by issuing authority, form a part of this specification section to extent indicated. Standards listed are identified by issuing authority, authority abbreviation, designation number, title or other designation established by issuing authority. Standards subsequently referenced herein are referred to by issuing authority abbreviation and standard designation.
- B. Underwriters Laboratories (UL):
1. UL 325 – Standard for Door, Drapery, Gate, Louver, and Window Operators and Systems.
- C. American National Standards Institute (ANSI) / Builders' Hardware Manufacturers Association (BHMA):
1. ANSI/BHMA A156.10: Standard for Power Operated Pedestrian Doors.
 2. ANSI/BHMA A156.5: Standard for Auxiliary Locks and Associated Products
 3. ANSI Z97.1: Standard for Safety Glazing Materials Used In Buildings - Safety Performance Specifications And Methods Of Test.
- D. Consumer Product Safety Commission (CPSC):

FILE COPY



1. CPSC 16 CFR 1201: Safety Standard for Architectural Glazing Materials
- E. American Society for Testing and Materials (ASTM):
 1. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes.
 2. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate
- F. American Association of Automatic Door Manufacturers (AAADM):
- G. National Fire Protection Association (NFPA):
 1. NFPA 101 – Life Safety Code.
 2. NFPA 70 – National Electric Code.
- H. International Code Council (ICC):
 1. IBC: International Building Code
- I. Building Officials and Code Administrators International (BOCA), 1999:
- J. International Organization for Standardization (ISO):
 1. ISO 9001 - Quality Management Systems
- K. National Association of Architectural Metal Manufacturers (NAAMM):
 1. Metal Finishes Manual for Architectural and Metal Products.

Specifier Note: Modify paragraph below to suit project requirements.

- **Select appropriate standard finish from options below.**
- **Make multiple selections as required; schedule accordingly.**
- **See last page of this document for a summary of unspecified finish options.**
- **Coordinate with other sections.**

- L. American Architectural Manufacturers Association (AAMA):
 1. **[AAMA 606.1 – Integral Color Anodic Finishes for Architectural Aluminum.]**
 2. **[AAMA 607.1 - Clear Anodic Finishes for Architectural Aluminum.]**
 3. AAMA 611 Voluntary Specification for Anodized Architectural Aluminum.
 4. AAMA 701 Voluntary Specification for Pile Weatherstripping and Replaceable Fenestration Weatherseals.

1.4 DEFINITIONS

- A. Activation Device: Device that, when actuated, sends an electrical signal to the door operator to open the door.
- B. Safety Device: Device that prevents a door from opening or closing, as appropriate.

1.5 PERFORMANCE REQUIREMENTS

- A. General: Provide automatic entrance door assemblies capable of withstanding loads and thermal movements based on testing manufacturer's standard units in assemblies similar to those indicated for this Project.
- B. Thermal Movements: Provide automatic entrances that allow for thermal movements resulting from the following maximum change (range) in ambient and surface temperatures by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

connections, and other detrimental effects. Base engineering calculation on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.

1. Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

- C. Operating Range: Minus 30 deg F (Minus 34 deg C) to 130 deg F (54 deg C).
- D. Opening-Force Requirements for Egress Doors: Not more than 50 lbf (222 N) required to manually set door in motion if power fails, and not more than 15 lbf (67 N) required to open door to minimum required width.
- E. Closing-Force Requirements: Not more than 30 lbf (133 N) required to prevent door from closing.

1.6 SUBMITTALS

- A. General: Submit the following in accordance with Conditions of the Contract and Division 1 Specification Sections.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware mounting heights, and attachments to other work.
- C. Color Samples for selection of factory-applied color finishes.
- D. Closeout Submittals:
 - 1. Owner's Manual.
 - 2. Warranties.

1.7 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized representative, with certificate issued by AAADM, who is trained for installation and maintenance of units required for this Project.
- B. Manufacturer Qualifications: A qualified manufacturer with a manufacturing facility certified under ISO 9001.
- C. Manufacturer shall have in place a national service dispatch center providing 24 hours a day, 7 days a week, emergency call back service.
- D. Certifications: Automatic sliding door systems shall be certified by the manufacturer to meet performance design criteria in accordance with the following standards:
 - 1. ANSI/BHMA A156.10.
 - 2. NFPA 101.
 - 3. UL 325 listed.
 - 4. IBC 2009
 - 5. BOCA
- E. Source Limitations: Obtain automatic entrance door assemblies through one source from a single manufacturer.
- F. Product Options: Drawings indicate sizes, profiles, and dimensional requirements of automatic entrance door assemblies and are based on the specific system indicated. Refer to Division 1 Section "Product Requirements."



- G. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.
- H. Emergency-Exit Door Requirements: Comply with requirements of authorities having jurisdiction for automatic entrances serving as a required means of egress.

1.8 PROJECT CONDITIONS

- A. Field Measurements: General Contractor shall verify openings to receive automatic entrance door assemblies by field measurements before fabrication and indicate measurements on Shop Drawings.
- B. Mounting Surfaces: General Contractor shall verify all surfaces to be plumb, straight and secure; substrates to be of proper dimension and material.
- C. Other trades: General Contractor shall advise of any inadequate conditions or equipment.

1.9 COORDINATION

- A. Templates: Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing automatic entrances to comply with indicated requirements.
- B. Electrical System Roughing-in: Coordinate layout and installation of automatic entrance door assemblies with connections to power supplies.

1.10 WARRANTY

- A. Automatic Entrances shall be free of defects in material and workmanship for a period of one (1) year from the date of substantial completion.
- B. During the warranty period the Owner shall engage a factory-trained technician to perform service and affect repairs. A safety inspection shall be performed after each adjustment or repair and a completed inspection form shall be submitted to the Owner.
- C. During the warranty period all warranty work, including but not limited to emergency service, shall be performed during normal working hours.

PART 2 - PRODUCTS

2.1 AUTOMATIC ENTRANCES

Specifier Note: Modify paragraph below to suit project requirements.

- **Select 2000 Series for fixed sidelight entrances.**
- **Select 3000 Series for full breakout entrances**

- A. Manufacturer: Stanley Access Technologies; Dura-Glide™ [2000] [3000] All Glass Series sliding automatic entrances.

2.2 MATERIALS

- A. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 1. Headers, stiles, rails, and frames: 6063-T6.



2. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221.
3. Sheet and Plate: ASTM B 209.

B. Sealants and Joint Fillers: Performed under Division 7 Section "Joint Sealants".

2.3 AUTOMATIC ENTRANCE DOOR ASSEMBLIES

A. General: Provide manufacturer's standard automatic entrance door assemblies including doors, sidelights, framing, headers, carrier assemblies, roller tracks, door operators, activation and safety devices, and accessories required for a complete installation.

Specifier Note: Modify paragraph below to suit project requirements.

- Select "sliding leaf only" for fixed sidelight applications; Series 2000.
- Select "sliding leaves and sidelights" for full breakout applications; Series 3000.

Coordinate with selections above.

B. Sliding Automatic Entrances:

1. Single Slide Entrances:

- a. Configuration: One sliding leaf and one full sidelight.
- b. Traffic Pattern: Two-way.
- c. Emergency Breakaway Capability: **[Sliding leaf only] [Sliding leaf and sidelight]**.
- d. Mounting: Between jambs.

2. Bi-Parting Entrances:

- a. Configuration: Two sliding leaves and two full sidelights.
- b. Traffic Pattern: Two-way.
- c. Emergency Breakaway Capability: **[Sliding leaves only] [Sliding leaves and sidelights]**.
- d. Mounting: Between jambs.

2.4 COMPONENTS

Specifier Note: Modify paragraph below to suit project requirements.

- Select frame size; 4 1/2 inch depth is standard.

A. Framing Members: Manufacturer's standard extruded aluminum reinforced as required to support imposed loads.

1. Nominal Size: **[1 3/4 inch by 4 1/2 inch (45 by 115 mm)] [1 3/4 inch by 6 inch (45 by 152 mm)]**.
2. Concealed Fastening: Framing shall incorporate a concealed fastening pocket, and continuous flush insert cover, extending full length of each framing member.

Specifier Note: Modify paragraph below to suit project requirements.

- Select "Bottom Rail Design"; 4 inch for Series 2000 entrances.
- Select "Bottom Rail Design"; 6 1/8 inch for Series 3000 entrances.

B. Glass Panels and Rails: Manufacturer's standard 1 3/4 inch (45 mm) thick extruded-aluminum tubular rail members. Rail members to be specifically designed by automatic entrance manufacturer for use with glass panel automatic entrance systems. Fasten rails to glass panels by mechanical clamp; adhesive systems not acceptable.

1. Top Rail: 6 1/8 inch (156 mm) nominal height.
2. Bottom Rail: **[4 inch (102 mm)] [6 1/8 inch (156 mm)]** nominal height.
3. Glazing: Provide glazing for sliding automatic entrances as follows:

- a. Provide safety glass complying with ANSI Z97.1 and CPSC 16 CFR 1201 for Category II materials.
 - b. Safety Glass: 1/2 inch (12 mm) clear, fully tempered, with polished edges, in all panels.
- C. Headers: Fabricated from extruded aluminum and extending full width of automatic entrance door units to conceal door operators, carrier assemblies, and roller tracks. Provide hinged or removable access panels for service and adjustment of door operators and controls. Secure panels to prevent unauthorized access.
1. Mounting: Concealed, with one side of header flush with framing.
 2. Capacity: Capable of supporting up to 220 lb (100 kg) per panel, up to four panels, over spans up to 14 feet (4.3 m) without intermediate supports.
- D. Carrier Assemblies and Overhead Roller Tracks: Manufacturer's standard carrier assembly that allows vertical adjustment of at least 1/8 inch (3 mm); consisting of urethane with precision steel lubricated ball-bearing wheels, operating on a continuous roller track. Support panels from carrier assembly by load wheels and anti-riser wheels with factory adjusted cantilever and pivot assembly. Minimum two ball-bearing load wheels and two anti-rise rollers for each active leaf. Minimum load wheel diameter shall be 2 1/2 inch (64 mm); minimum anti-rise roller diameter shall be 2 inch (51 mm).

Specifier Note: Modify paragraph below to suit project requirements.

- **Select appropriate thresholds for applications.**
- **Make multiple selections as required; schedule accordingly.**
- **"No threshold" option for 2000 Series only.**

- E. Thresholds: Manufacturer's standard thresholds as indicated below:
1. **[Continuous standard tapered extrusion square by bevel, with bevel to exterior.]**
 2. **[Continuous standard tapered extrusion square by bevel, with bevel to interior.]**
 3. **[Continuous standard tapered extrusion double bevel.]**
 4. **[Continuous standard square extrusion, for recessed installation.]**
 5. **[Standard square extrusion track under sidelights, for recessed installation; no threshold under sliding opening.]**
 6. **[Standard tapered extrusion, double bevel, under sidelights; no threshold under sliding opening.]**
 7. **[No threshold.]**
 8. Continuous standard tapered extrusion double bevel.
 9. All thresholds to conform to details and requirements for code compliance.
- F. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, non-staining, non-bleeding fasteners and accessories compatible with adjacent materials.
- G. Signage: Provide signage in accordance with ANSI/BHMA A156.10.
- ## 2.5 DOOR OPERATORS
- A. General: Provide door operators of size recommended by manufacturer for door size, weight, and movement; for condition of exposure; and for long-term, operation under normal traffic load for type of occupancy indicated.
- B. Electromechanical Operators: Self-contained overhead unit powered by a minimum of 1/4 horsepower, permanent-magnet DC motor with gear reduction drive, microprocessor controller; and encoder.
1. Operation: Power opening and power closing.



2. Features:
 - a. Adjustable opening and closing speeds.
 - b. Adjustable back-check and latching.
 - c. Adjustable braking.
 - d. Adjustable hold-open time between 0 and 30 seconds.
 - e. Obstruction recycle.
 - f. On/Off switch to control electric power to operator.
 - g. Energy conservation switch that reduces door-opening width.
 - h. Closed loop speed control with active braking and acceleration.
 - i. Variable obstruction recycle time delay.
 - j. Self adjusting stop position.
 - k. Self adjusting closing compression force.
 - l. Optional Switch to open/Switch to close operation.
3. Mounting: Concealed.
4. Drive System: Synchronous belt type.

- C. Electrical service to door operators shall be provided under Division 16 Electrical. Minimum service to be 120 VAC, 5 amps.

2.6 ELECTRICAL CONTROLS

- A. Electrical Control System: Electrical control system shall include a microprocessor controller and position encoder. The encoder shall monitor revolutions of the operator shaft and send signals to microprocessor controller to define door position and speed. Systems utilizing external magnets and magnetic switches are not acceptable.
- B. Life Cycle Data Counter: The electrical control system shall incorporate a non-re-settable counter to track door operation cycles.
- C. Controller Protection: The microprocessor controller shall incorporate the following features to ensure trouble free operation:
 1. Automatic Reset Upon Power Up.
 2. Main Fuse Protection.
 3. Electronic Surge Protection.
 4. Internal Power Supply Protection.
 5. Resettable sensor supply fuse protection.
 6. Motor Protection, over-current protection.
- D. Soft Start/Stop: A "soft-start" "soft-stop" motor driving circuit shall be provided for smooth normal opening and recycling.
- E. Obstruction Recycle: Provide system to recycle the sliding panels when an obstruction is encountered during the closing cycle. If an obstruction is detected, the system shall search for that object on the next closing cycle by reducing door closing speed prior to the previously encountered obstruction location, and will continue to close in check speed until doors are fully closed, at which time the doors will reset to normal speed. If obstruction is encountered again, the door will come to a full stop. The doors shall remain stopped until obstruction is removed and operate signal is given, resetting the door to normal operation.
- F. Programmable Controller: Microprocessor controller shall be programmable and shall be designed for connection to a local configuration tool. Local configuration tool shall be a software driven handheld interface. The following parameters may be adjusted via the configuration tool.
 1. Operating speeds and forces as required to meet ANSI/BHMA A156.10.
 2. Adjustable and variable features as specified in 2.5, B., 2.



3. Reduced opening position.
4. Fail Safe/Secure control.
5. Firmware update.
6. Trouble Shooting
 - a. I/O Status.
 - b. Electrical component monitoring including parameter summary.
7. Software for local configuration tool shall be available as a free download from the sliding automatic entrance manufacturer's internet site. Software shall be compatible with the following operating system platforms: Palm®, Android®, and Windows Mobile®.

2.7 ACTIVATION AND SAFETY DEVICES

- A. Motion Sensors: Motion sensors shall be mounted on each side of door header to detect pedestrians in the activating zone, and to provide a signal to open doors in accordance with ANSI/BHMA A156.10. Units shall be programmable for bi-directional or uni-directional operation and shall incorporate K-band microwave frequency to detect all motion in both directions.
- B. Presence Sensors: Presence sensors shall be provided to sense people or objects in the threshold safety zone in accordance with ANSI/BHMA A156.10. Units shall be self-contained, fully adjustable, and shall function accordingly with motion sensors provided. The sensor shall be enabled simultaneously with the door-opening signal and shall emit an elliptical shaped infrared presence zone, centered on the doorway threshold line. Presence sensors shall be capable of selectively retuning to adjust for objects which may enter the safety zone; tuning out, or disregarding, the presence of small nuisance objects and not tuning out large objects regardless of the time the object is present in the safety zone. The door shall close only after all sensors detect a clear surveillance field.
- C. Photoelectric Beams: In addition to the threshold sensor include a minimum of two (2) doorway holding beams. Photoelectric beams shall be pulsed infrared type, including sender receiver assemblies for recessed mounting.

2.8 HARDWARE

- A. General: Provide units in sizes and types recommended by automatic entrance door and hardware manufacturers for entrances and uses indicated.
- B. Emergency Breakaway Feature: Provide release hardware that allows panel(s) to swing out in direction of egress to full 90 degrees from any position in sliding mode. Maximum force to open panel shall be 50 lbf (222 N) according to ANSI/BHMA A156.10. Interrupt powered operation of panel operator while in breakaway mode.
 1. Emergency breakaway feature shall include at least one adjustable detent device mounted in the top of each breakaway panel to control panel breakaway force.

Specifier Note: Retain paragraph 3 when bi-parting entrances are specified.

- C. Deadlocks: Manufacturer's standard deadbolt operated by exterior cylinder and interior thumb turn; with minimum 1 inch (25 mm) long throw bolt; ANSI/BHMA A156.5, Grade 1.
 1. Cylinders: Provide lock cylinders by BEST Access Systems, with core and key.
 2. Locking: Provide independent locks incorporated into the bottom rails of the sliding panel that, when engaged, automatically extend flush bolts into the threshold.
 3. **Provide two locks for bi-parting entrances.**

- D. Control Switch: Provide manufacturer's standard header mounted rocker switches and door position switch to allow for full control of the automatic entrance door. Controls to include, but are not limited to:
 - 1. One-way traffic
 - 2. Reduced Opening
 - 3. Open/Closed/Automatic
- E. Power Switch: Sliding automatic entrances shall be equipped with a two position On/Off rocker switch to control power to the door.
- F. Sliding Weather Stripping: Manufacturer's standard replaceable components complying with AAMA 701; made of flexible PVC.
- G. Weather Sweeps: Manufacturer's standard adjustable nylon brush sweep mounted to underside of panel bottom.

2.9 FABRICATION

- A. General: Factory fabricates automatic entrance door assembly components to designs, sizes, and thickness indicated and to comply with indicated standards.
 - 1. Form aluminum shapes before finishing.
 - 2. Use concealed fasteners to greatest extent possible.
 - a. Where fasteners are subject to loosening or turning out from thermal and structural movements, wind loads, or vibration, use self-locking devices.
 - b. Reinforce members as required to receive fastener threads.
- B. Framing: Provide automatic entrances as prefabricated assemblies.
 - 1. Fabricate tubular and channel frame assemblies with manufacturer's standard mechanical or welded joints. Provide sub-frames and reinforcement as required for a complete system to support required loads.
 - 2. Perform fabrication operations in manner that prevents damage to exposed finish surfaces.
 - 3. Form profiles that are sharp, straight, and free of defects or deformations.
 - 4. Prepare components to receive concealed fasteners and anchor and connection devices.
 - 5. Fabricate components with accurately fitted joints with ends coped or mitered to produce hairline joints free of burrs and distortion.
- C. Doors: Factory fabricated and assembled in profiles indicated. Reinforce as required to support imposed loads and for installing hardware.
- D. Door Operators: Factory fabricated and installed in headers, including adjusting and testing.
- E. Glazing: Fabricate framing with minimum glazing edge clearances for thickness and type of glazing indicated.
- F. Hardware: Factory install hardware to the greatest extent possible; remove only as required for final finishing operation and for delivery to and installation at Project site.

2.10 ALUMINUM FINISHES

- A. General: Comply with NAAMM Metal Finishes Manual for Architectural and Metal Products for recommendations for applying and designing finishes. Finish designations prefixed by AA comply with system established by Aluminum Association for designing finishes.



Specifier Note: Modify paragraph below to suit project requirements.

- Select appropriate standard finish from options below.
- Make multiple selections as required; schedule accordingly.
- See last page of this document for a summary of unspecified finish options.

- B. [Class II, Clear Anodic Finish: AA-M12C22A31 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class II, clear coating 0.40 mils minimum complying with AAMA 611-98, and the following:
1. AAMA 607.1
 2. Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.]
- C. [Class I, Color Anodic Finish: AA-M12C22A42/A44 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, integrally colored or electrolytically deposited color coating 0.70 mils minimum complying with AAMA 611-98, and the following:
1. Color: Dark Bronze.
 2. AAMA 606.1
 3. Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.]

PART 3 - EXECUTION

3.1 INSPECTION

- A. Examine conditions for compliance with requirements for installation tolerances, header support, and other conditions affecting performance of automatic entrances. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Do not install damaged components. Fit frame joints to produce joints free of burrs and distortion. Rigidly secure non-movement joints.
- B. Entrances: Install automatic entrances plumb and true in alignment with established lines and grades without warp or rack of framing members and doors. Anchor securely in place.
1. Install surface-mounted hardware using concealed fasteners to greatest extent possible.
 2. Set headers, carrier assemblies, tracks, operating brackets, and guides level and true to location with anchorage for permanent support.
- C. Door Operators: Connect door operators to electrical power distribution system as specified in Division 16 Sections.
- D. Glazing: Performed under Division 8 Section "Glazing" in accordance with sliding automatic entrance manufacturer's instructions.
- E. Sealants: Comply with requirements specified in Division 7 Section "Joint Sealants" to provide weather tight installation.

3.3 FIELD QUALITY CONTROL

- A. Testing Services: Factory Trained Installer shall test and inspect each automatic entrance door to determine compliance of installed systems with applicable ANSI standards.



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

3.4 ADJUSTING

- A. Adjust door operators, controls, and hardware for smooth and safe operation, for tight closure, and complying with requirements in ANSI/BHMA A156.10.

3.5 CLEANING AND PROTECTION

- A. Clean glass and aluminum surfaces promptly after installation. Remove excess glazing and sealant compounds, dirt, and other substances. Repair damaged finish to match original finish. Comply with requirements in Division 8 Section "Glazing", for cleaning and maintaining glass.

END OF SECTION 08 42 29.23 [08460]

Available options not specified in this document are summarized as follows:

1. Integral transoms, with optional number and placement of verticals.
2. Finish options (Standard Options Specified):
 - a. Color anodizing options; "Champagne" to "Black"
 - b. Multi-coat Fluoropolymer painted finishes.
 - c. Cladding.
3. Locking options (Standard Options Specified):
 - a. Electric Solenoid Lock (Fail Safe/Fail Secure)
4. Activation and safety options.
5. Control switch options including rotary and keyed rotary control switch.
6. Alarm Contacts option, allows for remote monitoring of panel status.
7. Emergency Power Options.
 - a. Uninterruptible Power Supply (UPS); extended operation.
 - b. Fly Open Box; One time operation.

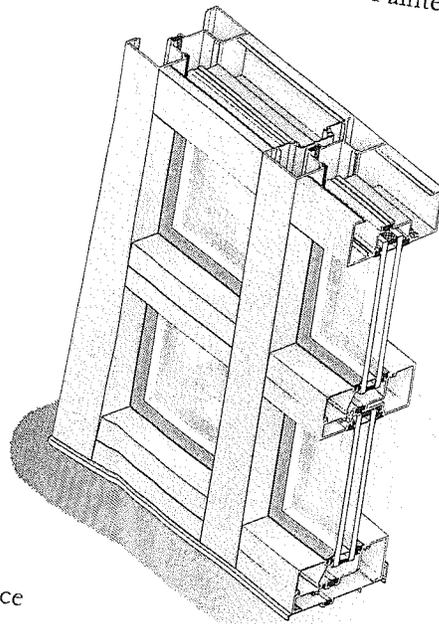
Contact SpecCentre services or your local Stanley Access Technologies representative for more information on specifying the right sliding automatic entrance for your project.

STANLEY**SpecCentre[®]**

STOREFRONT SYSTEMS

SERIES 451 & IT451 CENTER GLAZE

- Series 451 - 2" x 4-1/2" (50.8 x 114.3 mm) Non-Thermal
- Series IT451 - 2" x 4-1/2" (50.8 x 114.3 mm) Thermal
- 1" (25 mm) Glazing Infills
- Injection Molded Water Deflectors
- Screw Spline Assembly
- Shear Block Assembly
- Stacking Installation Option
- Full Range of Accessory Components
- Available in Anodized or Painted Finishes

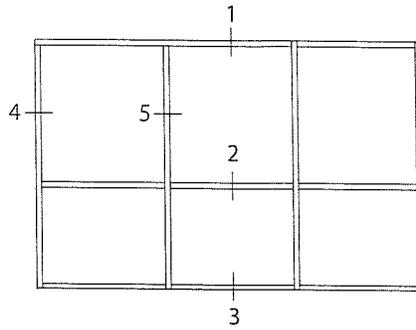


Series IT451 offers improved thermal performance using the Poly-Aluminizer™ and Struct-Link™ Thermal Break Technology. Series 451 and IT451 may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with all United States Aluminum Entrance Doors.

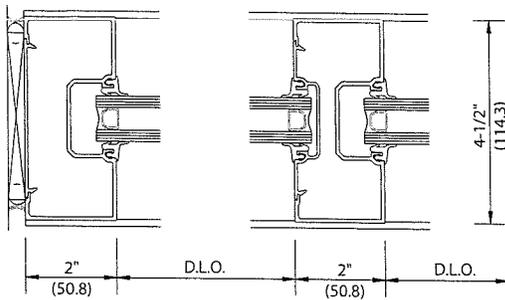
FILE COPY

SERIES 451 & IT451 STOREFRONTS TYPICAL DETAILS

For Specifications, Details, and Testing Data go to usalum.com.

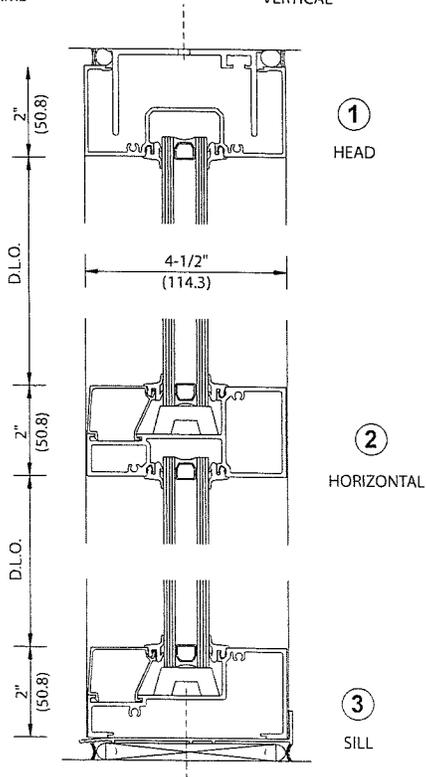


Series 451



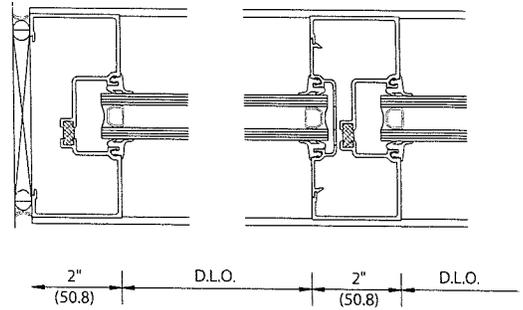
④
JAMB

⑤
VERTICAL



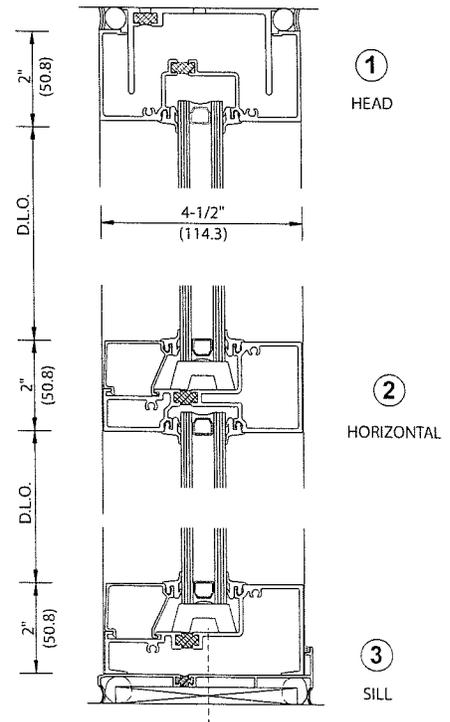
NOT TO SCALE

Series IT451



④
JAMB

⑤
VERTICAL



STANLEY

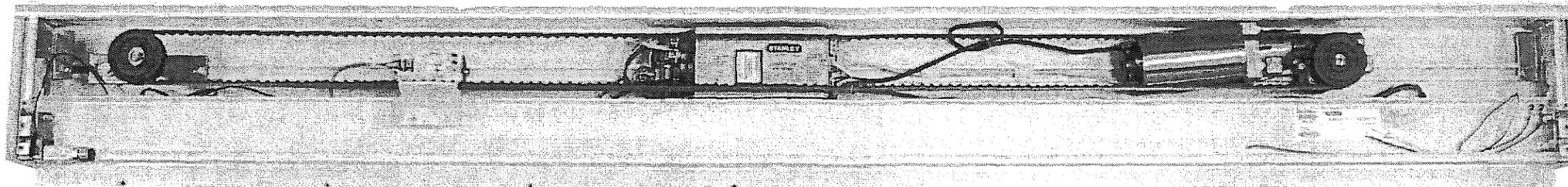
**TECHNOLOGY,
ENGINEERING &
PERFORMANCE**

Dura-Glide 2000 and 3000 sliding door systems combine state-of-the-art microprocessor technology with advanced engineering to provide the safest, most dependable and highest-performance door-systems in the industry today.

The Dura-Glide 2000 and 3000 Series are the industry standard for smooth, reliable operation in every application from high-traffic retail locations to upscale professional and institutional settings.

Dura-Glide 2000 and 3000 are certified for Class 1 & 10 Clean Room applications.

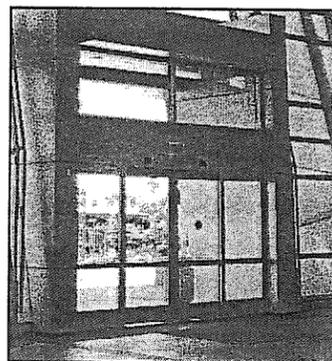
All components are fully tested and preassembled at the factory prior to shipping. Preassembled header components mean fast, trouble-free, installation at the job site.



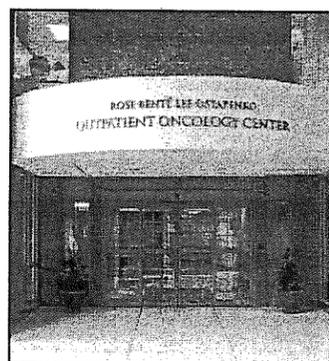
Dura-Glide™ 2000 & 3000 Series Doors:

- Microprocessor controller continually monitors door position.
- Proven reliability with long-lasting cast urethane load-bearing wheels provides smooth, trouble-free operation.
- Adjustable anti-riser wheels locks each door in its track.
- Fiberglass reinforced toothed drive belt prevents slippage and uneven closing.
- Advanced motion sensors, Stan-Guard® threshold sensor, and doorway holding beam or Stan-Vision™ video sensors, provide complete protection at all times.
- Weather Wise™ switch reduces opening widths on larger door systems to save energy in cold or hot weather.
- Power-operated automatic sliding doors may be used as emergency egress doors because they "break-out" in the direction of egress.

The Dura-Glide 2000 and 3000 Series meets the demands for use in Airports, Hotels, Hospitals, Supermarkets, Retail, Office Buildings, Public Buildings, Schools, Universities and more!



AIRPORTS & HOTELS



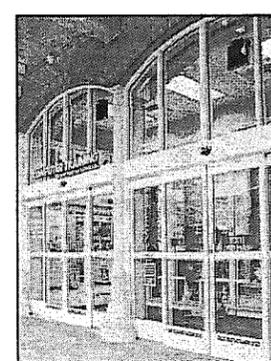
HEALTHCARE



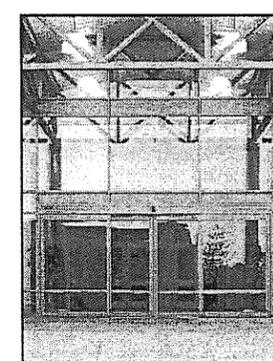
SUPERMARKETS



OFFICE & PUBLIC BUILDINGS



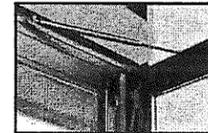
RETAIL



SCHOOLS & UNIVERSITIES

OPTIONAL FEATURES

- Class 1 and 10 Clean Room rating for clean rooms and computer centers.
- Wind Resistant Damper improves safety and reduces repair costs by



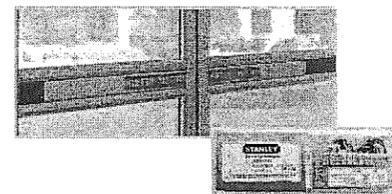
withstanding wind gusts up to twice that of a standard door package.

- Transom Packages.
- All-Glass Doors and

Sidelights provide added elegance and beauty for upscale architecture.

RECESSED PANIC HARDWARE

Optimum security & easy access in emergency situations. Flush mounted panic hardware extends a minimum of half the door width. Non-handed, single size push bar accommodates door panel widths from 16" to 54" and integrates into a 4 1/4" muntin bar.



UNINTERRUPTED POWER SUPPLY (UPS)

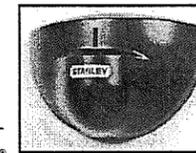
Backup power supply provides an unmatched level of emergency egress in retail, healthcare & commercial environments. Allows easy access for pedestrians in emergency situations and reduces potential door package damage. Continued operation of automatic doors for up to 1.5 hours in the event of power outages or main power failure.

STANLEY SU-100 MOTION SENSORS

Stanley offers the SU-100 as a standard activation system. The uni-directional function only detects approaching traffic to reduce the length of time the door stays open, providing savings on loss of heat and air conditioning.

SAFETY SYSTEM

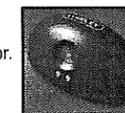
The Stan-Guard® threshold sensor and a doorway holding beam. The Stan-Guard® and doorway holding beam detect people or objects in the door area and holds the doors open until the threshold area is clear.



STAN-VISION™ DIGITAL SURVEILLANCE

CAMERA THAT AUTOMATES DOORS (option)

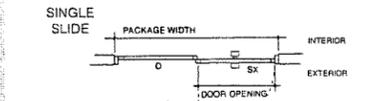
- Safety & motion detection in one sensor.
- Continues to detect motion when door is inactive.



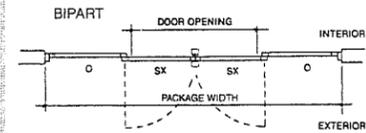
- Computer configurable sensor zones.
- Redundant safety zone coverage.
- Built-in diagnostics.
- Ignores parallel traffic.
- IP64 waterproof rating.
- Self-adjusts to environmental changes.
- Fail safe operation if camera is obstructed.
- Operates in temperatures ranging from -30° to 130° F.
- Continuous safety coverage even while door is in motion.



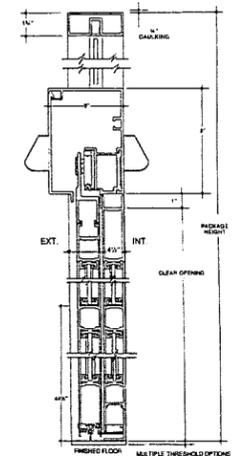
DURA-GLIDE™ 2000 SERIES



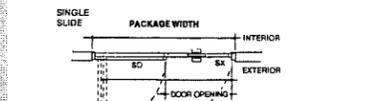
NOTE: Emergency Breakout On Sliding Door Panels Only



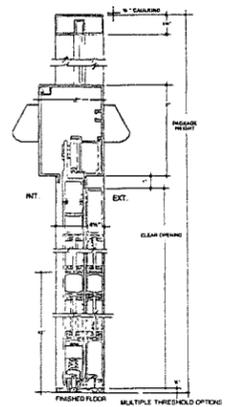
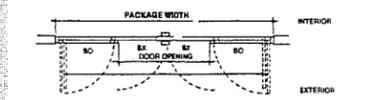
NOTE: Emergency Breakout On Sliding Door Panels Only



DURA-GLIDE™ 3000 SERIES



NOTE: Emergency Breakout On Both Swing Out Panel and Sliding Door Panel.



NOTE: Transom Package Available for both 2000 & 3000 Series



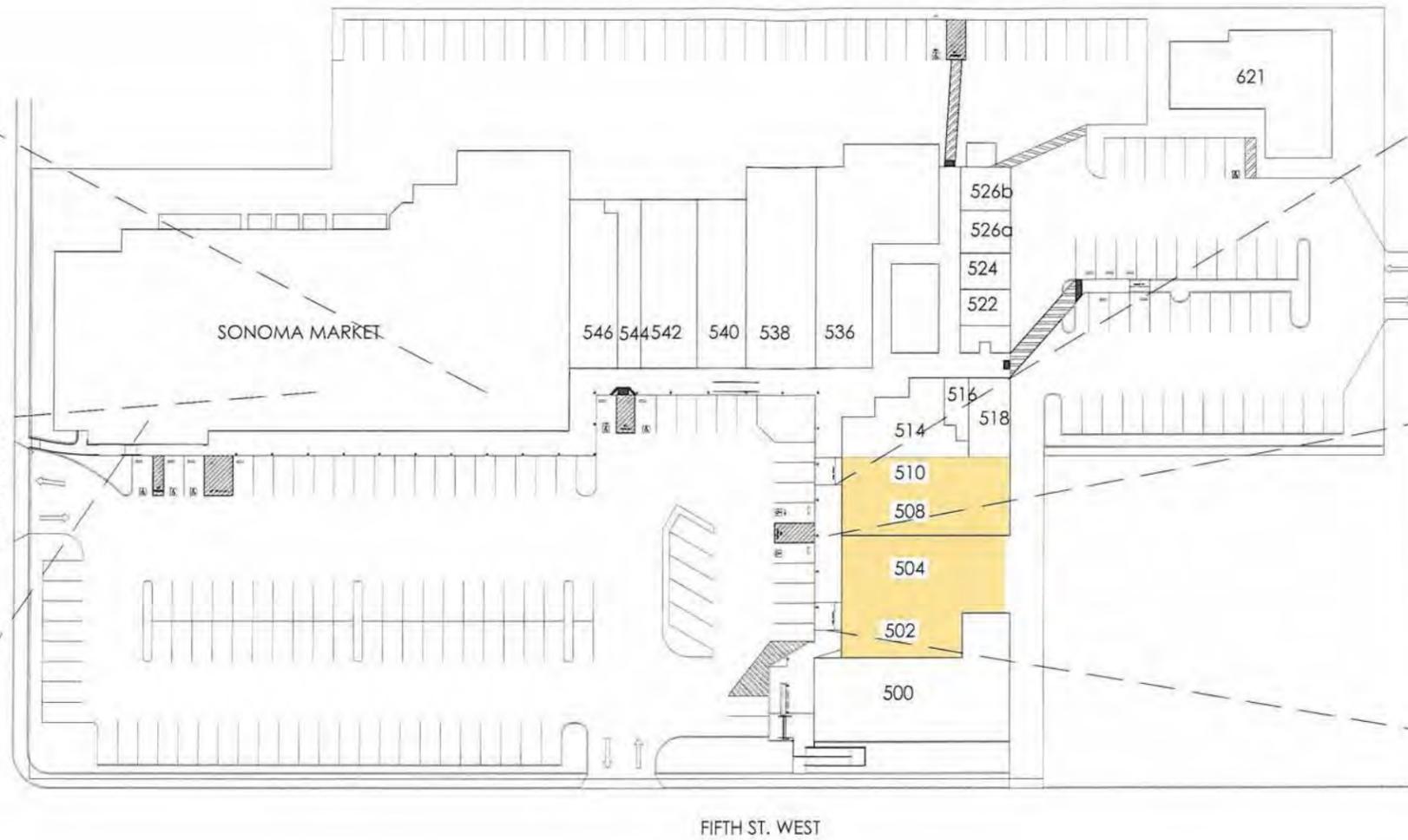
SONOMA MARKET



SONOMA MARKET



SONOMA MARKET



SPACE 508 / 510



SPACE 504 / 508



SPACE 502 / 504

PROJECT NARRATIVE:

DESCRIPTION OF PROPOSAL

TO CREATE PRESENCE FOR A MID SIZED TENANT COMBINING FOUR EXISTING LEASE SPACES AT THE SONOMA VALLEY CENTER. THE PROPOSED ARCHITECTURAL ELEMENTS WILL DRAW FROM THE EXISTING SONOMA MARKET ARCHITECTURE, CREATING A UNIFIED APPEARANCE FOR THE CENTER.

WE ARE PROPOSING TO ADD A NEW FASCIA TO SPAN THE WIDTH OF SEVERAL SMALLER LEASE SPACES. THIS FASCIA WILL ALLOW FOR THE MOUNTING OF A NEW TENANT SIGN. THE NEW MAIN SIGN WILL BE THE SAME SIZE AND FINISH AS THE EXISTING SONOMA MARKET WALL SIGN.

THE NEW PLASTER FASCIA WILL ADHERE TO THE COLOR PALETTE PREVIOUSLY APPROVED FOR THE CENTER.

PROJECT NARRATIVE:

PRIMARY GOALS

- INCREASE THE VISIBILITY OF A LARGE TENANT
- PROMOTE THE IDENTITY AND BRAND OF THE LARGE TENANT
- HIGHLIGHT THE CHARACTER AND ARCHITECTURAL ELEMENTS OF THE CENTER
- REINFORCE THE IDENTIFY AND BRAND OF THE SONOMA VALLEY CENTER

Plot Date: Mar 04, 2014 - 9:12am Plotted by: ken Filename: sobp.dwg



PET FOOD EXPRESS
502 - 510 WEST NAPA STREET
SONOMA, CA 95476

FILE NUMBER:
213070

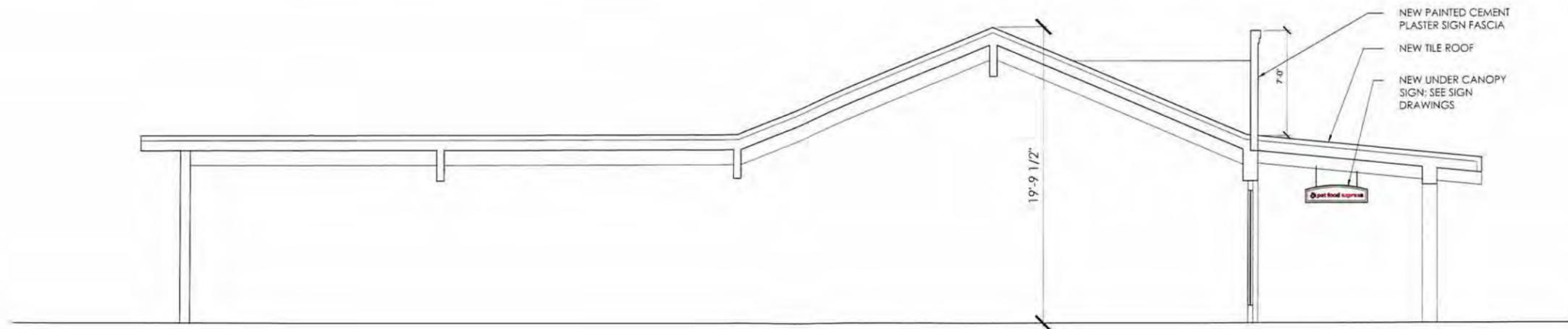
DATE	ISSUE
02.01.14	DRC SUBMITTAL 1
03.07.14	DRC SUBMITTAL 2

SEAL/SIGNATURE

03/31/15

DRAWING DESCRIPTION
SITE PLAN

SCALE

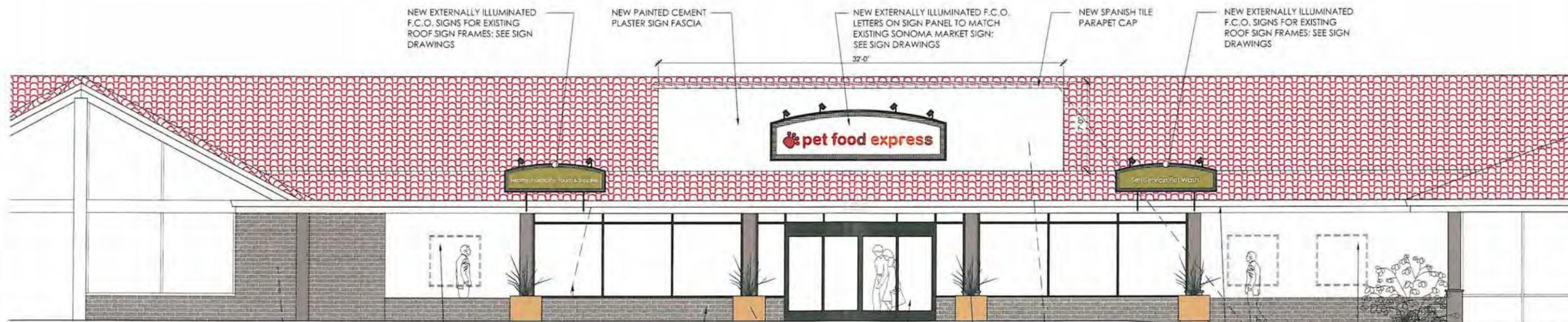


NEW PAINTED CEMENT
PLASTER SIGN FASCIA
NEW TILE ROOF
NEW UNDER CANOPY
SIGN: SEE SIGN
DRAWINGS

BUILDING SECTION

1/4"=1'-0"

2



NEW EXTERNALLY ILLUMINATED
F.C.O. SIGNS FOR EXISTING
ROOF SIGN FRAMES: SEE SIGN
DRAWINGS

NEW PAINTED CEMENT
PLASTER SIGN FASCIA

NEW EXTERNALLY ILLUMINATED F.C.O.
LETTERS ON SIGN PANEL TO MATCH
EXISTING SONOMA MARKET SIGN:
SEE SIGN DRAWINGS

NEW SPANISH TILE
PARAPET CAP

NEW EXTERNALLY ILLUMINATED
F.C.O. SIGNS FOR EXISTING
ROOF SIGN FRAMES: SEE SIGN
DRAWINGS

VERTICAL WOOD SIDING
FOR MOUNTING PET
FOOD EXPRESS EVENTS

NEW ALUMINUM
STOREFRONT SYSTEM:
DARK BRONZE FINISH

NEW SLUMPSTONE
BASE TO MATCH
EXISTING SLUMPSTONE

NEW POWERED
SLIDING DOORS,
DARK BRONZE FINISH

EXISTING COLUMNS
AND PLANTER BOXES

EXISTING GUTTER

VERTICAL WOOD SIDING
FOR MOUNTING
COMMUNITY BOARD

EXISTING PLANTING



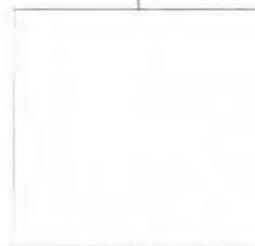
EXISTING SLUMPSTONE
EXISTING POSTS & BEAMS
KELLY-MOORE
KM-3958-3 GREYSWOOD



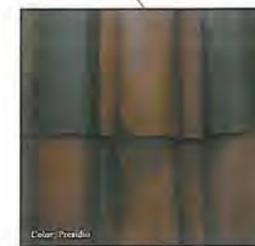
EXISTING TRIM
KELLY-MOORE
36 NAVAJO WHITE



EXISTING PLANTERS
KELLY-MOORE
KM-3998-3 SHEER EXPOSURE



EXTERIOR PLASTER
WOOD SIDING
KELLY-MOORE
HLS-4202 FRANK LLOYD WHITE



ROOF TILE
GLADDING MCBEAN
CORDOVA - PRESIDIO BLEND

ELEVATION FROM PARKING

1/4"=1'-0"

1

McCall Design Group
550 Kearny Street, Suite 500
San Francisco, CA 94108
T-415-288-8150
F-415-288-8181
www.mccalldesign.com



PET FOOD EXPRESS
502 - 510 WEST NAPA STREET
SONOMA, CA 95476

FILE NUMBER:
213070

DATE	ISSUE
02.01.14	DRG SUBMITTAL 1
03.07.14	DRG SUBMITTAL 2

SEAL/SIGNATURE

03/31/15

DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

SCALE

Plot Date: Mar 04, 2014 - 9:48am Plotted by: ken Filename: sobp.dwg

MAR 07 2014



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 4

Meeting Date: 02/18/14

Applicant

Victor Conforti, Architect

Project Location

830 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)*
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built: 1936

*Note: A subsequent analysis performed by a qualified consultant found that the Caltrans study that initially identified this building as significant was in error because the building was actually constructed outside of the period of significance used on the Caltrans study. It should also be noted that no changes are currently proposed to the existing building in conjunction with this project.

Request

Continued discussion of an application for design review for three residential units on a mixed-use property.

Background

On January 9, 2014, the Planning Commission considered and approved a Use Permit to construct three residential units on the property. The following are conditions of approval related to the DRHPC review:

- The project shall be subject to architectural review by the DRHPC, encompassing elevation details, exterior colors and materials, any rehabilitation activities proposed for the existing residence, and site details, including bicycle parking.
- Solid wood fencing with a minimum height of 6 feet shall be installed along the north and south property lines, except within the required front yard setback and creek setback areas in compliance with Development Code §19.40.100 (Screening and Buffering) and §19.46 (Fences, Hedges, and Walls). The fencing shall be subject to the review and approval of the DRHPC as part of the landscape plan, and shall be required along the specific project boundaries noted above except where the DRHPC determines existing fencing is adequate or may be repaired.
- A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the DRHPC. The plan shall address site landscaping (including replacement tree plantings), hardscape improvements, and fencing. Street trees proposed along the Broadway frontage shall be consistent with the City's Tree Planting Program, including the District Tree List. Landscaping within the creek setback zone shall focus on native riparian plantings, and the removal of exotic/non-native species within the creek setback zone and shall be considered subject to the appropriate permitting. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.40.100 (Screening and Buffering), 19.46 (Fences, Hedges, and Walls), 19.40.070 (Open Space for Multi-Family Residential Projects), 19.48.090 (Landscaping of parking Facilities), and 19.40.060 (Landscape Standards).
- Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the DRHPC. All proposed exterior lighting for the buildings and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Light standards shall not exceed a maximum of 15 feet.

Project Summary and Modifications Based on DRHPC Direction

The architect is proposing to construct three additional residential units on the property. The new units will take the form of a duplex (townhouse units) toward the east side of the property adjacent to the creek setback area plus a unit over a carport in the middle of the site. The existing residence located on the Broadway frontage will remain (the existing accessory structure will be removed). The DRHPC first reviewed this application at its meeting of February 18, 2014. After hearing public testimony and discussing the item, the Commission voted to continue the item with suggestions from individual Commissioners to the applicant as follows:

- Comm. McDonald requested that the unit over the carport be redesigned to be more compatible with the existing and surrounding structures that were designed with high standards. The long vertical area of the unit above the carport should be broken up because it is highly visible from the north and south properties. He prefers a wood railing system—not metal. The sliding window rhythm is out of place and he would like to see two double hung windows instead. He requested that the applicant return with samples of the siding and a cut of the vinyl window. It is his preference not to see vinyl windows employed with the project. He would like to see the fascia over the carport broken up and he asked that open space areas be noted on the landscape plan. Include design of the trash enclosure area on site plan and elevations. He would like to see cantilevered decks on the back of the carport structure.
- Comm. Tippell requested that the applicant choose a deeper body color for Units 1 and 2. She suggested eliminating the body band and the trim color. She requested wood railings on the unit over the carport and would prefer to see the stucco removed and have the buildings employ siding instead.
- Comm. Barnett would like to see the architecture of the building consistent with the historic area, including the use of high-quality materials. He does not like stucco and would like to see all the buildings designed with siding.

Building Elevations & Exterior Materials: The design of the new residential units is intended to be compatible with the existing residence on the site. Proposed exterior materials have been revised to call for horizontal siding throughout. The use of stucco siding on the lower floor elements has been eliminated. In addition, the building design includes hip roof forms in order to reduce the building height at the exterior wall lines and a central gable has been added to the unit 3. A composite is now proposed for the railing system (detail is attached). The window designs have been modified per the Commission’s direction. Although the windows would be trimmed with wood, they would still include vinyl elements.

A revised color proposal has been developed for Units 1 and 2 that calls for “Sand Pebble” as the body color, with Navajo White trim and “Sequoia Redwood” doors. The roof would consist of Timberline Cool Series shingles, “Barkwood” in color, as originally proposed.

Specification sheets for all of these features are attached, along with color chips.

Bicycle Rack: One round pipe style bicycle rack is proposed for the site, which would accommodate up to seven bicycles. The bicycle rack would be located on the site in between the duplex units and the unit above the carport structure.

Outdoor Lighting: Outdoor lighting will consist of two each Sea Gull lighting dark sky wall-mount 1 light outdoor white fixtures near the front entrance of the duplex units, and five Illumine 1-light outdoor painted rust lantern with satin white glass panel fixtures (four on the east facing façade of the duplex, and one at the front entrance of the unit over the carport).

Required Findings: As set forth in §19.54.080.G of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.

The applicant will return to the DRHPC with a landscape plan (including detail on proposed fencing and trash enclosure).

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to construction.

Commission Discussion

Design Review and Historic Preservation Commission Action

- Approved - Disapproved - Referred to: _____ - Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Historic Resources Inventory.
2. Material and color selections for carport and apartment.
3. Material and color selections for duplex.
4. Bicycle rack drawing and specification sheet.
5. Door window and lighting specification sheets.
7. Site plan, floor plans, elevations, second floor unit plans

cc: Victor Conforti, Architect
755 Broadway
Sonoma, CA 95476

Rich Merlo
19125 Seventh Street East
Sonoma, CA 95476

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

DRC NARRATIVE

Three Unit Residential Rental Project

830 BROADWAY
Sonoma, CA 95476
February 25, 2014

This is an application for Design Review for three new residential rental units behind an existing home located at the front of the property. The parcel is in the Historic Overlay Zone. The existing home will be remodeled under a separate permit.

The site is deep and narrow and backs up to Nathanson Creek on the east. Two 2-story attached townhouse style units are planned at the rear where they are separated from adjacent buildings, and to take advantage of and overlook the tree covered riparian area. The third unit and private deck area is located over a 6-car carport, which provides required parking.

Guidelines for Infill Development in the Historic Zone:

Site Plan Considerations: The Emergency Vehicle Access turning area is provided behind the existing house to maximize the separation between the existing home and the new development. Parking is screened inside the carport and set back towards the rear of the property. Except for the first 20' required to be a hard surface, the driveways will be compacted gravel base with a topping of crushed fines to provide a permeable surface. The appearance from Broadway will remain essentially the same, given that the existing house and narrow driveway will screen the new development to the rear.

Architectural Considerations: The proposed buildings massing, scale and proportions, as well as door and window details, building materials, roof pitch and style relate to the buildings to the north and south. These neighboring buildings have similar massing and scale, with one story building elements at the front and two story elements towards the rear. The building design includes hip roof forms in order to reduce the building height at the exterior wall lines, and meet height limitations at the side yard setbacks. One-story entry and front porch elements, vinyl windows, rear porch and balconies add additional features consistent with the character of the neighborhood, and to add human scale to the structures.

Colors selected are warm tones to relate to the adjacent buildings (which are dark red painted siding to the south, and dark brown wood shingles to the north) with off-white trim elements and dark accent colors for entry doors.

Horizontal siding will be used on both stories separated by a belly band and composite railings will be used on all rear decks.

Exterior lighting will be shielded fixtures at the rear creek-side patio and deck areas to prevent glare to the east, low-level CFL bracket fixtures at entry areas, and concealed fluorescent fixtures tucked up behind the beam at the carport ceiling.

Each unit will have its own trash bins located in their side yards. Bicycle parking is located in the open space area to the east.

We feel the project design will fit into the neighborhood well, respecting the existing home as well as the traditional building forms and materials along Broadway.

Thanks you for your consideration.

Victor Conforti - Architect





0

Ultra™ Series In-Swing French Fiberglass Doors

☆☆☆☆ 2 / 5 Read 1 review

Recommend Tweet



A new version of our traditional In-Swing French door that features a larger frame and a multi-point locking system. Operable sidelites and two transom styles beautifully complement Milgard's new fiberglass In-Swing patio door.

Every window and door purchase is different. Get pricing information and estimates on your project.

REQUEST A QUOTE

Choose A Different Window Style For More Information:



Details for Ultra™ Series In-Swing French Fiberglass Doors:

Benefits	Hardware	Frame Color	Glass	More Options	Specs	Pricing	Reviews
		<ul style="list-style-type: none"> Enjoy real peace of mind with our industry-leading <u>Full Lifetime Warranty</u> with Glass Breakage. Enhance energy performance with the Triple Glazed option. See superior energy savings and protection against fabric fading with Milgard's <u>SunCoat® Low-E glass</u>. Create an even sightline with panel-glazed transoms above. Or keep frame thickness to a minimum and bring in the light with direct-glazed transoms above. Low profile 1/2" sill is appropriate for ADA-compliant applications. Have custom made to your home's exact specifications with no extended lead time. Fear no weather. Milgard's durable, low-maintenance fiberglass produces a door that is impervious to water, insects, salt air and ultraviolet rays. Will not crack, peel, bend, warp or stick due to expansion and contraction. Get a larger, stronger, stiffer frame with a fiberglass sill. Feel safer with the increased security and performance of our multi-point stainless steel locking system. Operable sidelites feature secure locking with easy thumb-turn operation. Achieve the exact look you want. Order in any of our factory-painted colors (guaranteed not to peel or eggshell) or in a custom color applied at the factory. You can also paint the door yourself. Choose a designer lever handle, available in multiple colors. 					

- Milgard Home
- Doors
- Frame Materials
- Milgard® Product Series
- Operating Styles
- Architectural Styles

Request a Quote
 Discover how affordable new Milgard windows can be.
[Get Started >](#)

Expert Consultation
 Getting the right advice makes all the difference. Schedule your free expert consultation.
[Get Started >](#)

- Shopping Tools**
- Help Me Choose
 - Window Selection Guide
 - Download Brochure
 - Request a Quote
 - Help Me Budget
 - Free Expert Consultation
 - Consumer Financing
 - Free Visualization Tool

Where To Buy

ZIP Code

[Find >](#)

[Advanced Search](#)



Montecito® Series Standard Sliding Vinyl Doors

★★★★★ 5 / 5 Read 1 review

[Recommend](#)
[Tweet](#)



Sliding patio doors are traditional in appearance, and are constructed with innovations and advancements that bring years of carefree enjoyment. Durable vinyl frames won't absorb moisture, eliminates the need to paint and feature the innovative [SmartTouch® door handle](#).

Every window and door purchase is different. Get pricing information and estimates on your project.



[← Milgard Home](#)
[← Doors](#)

- ▶ [Frame Materials](#)
- ▶ [Milgard® Product Series](#)
- ▶ [Operating Styles](#)
- ▶ [Architectural Styles](#)

Request a Quote

Discover how affordable new Milgard windows can be. [Get Started >](#)

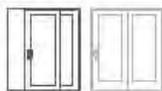


Expert Consultation

Getting the right advice makes all the difference. Schedule your free expert consultation. [Get Started >](#)



Choose A Different Window Style For More Information:



Shopping Tools

- ▶ [Help Me Choose](#)
- ▶ [Window Selection Guide](#)
- ▶ [Download Brochure](#)
- ▶ [Request a Quote](#)
- ▶ [Help Me Budget](#)
- ▶ [Free Expert Consultation](#)
- ▶ [Consumer Financing](#)
- ▶ [Free Visualization Tool](#)

Where To Buy

ZIP Code

[Find >](#)

[Advanced Search](#)

Details for Montecito® Series Standard Sliding Vinyl Doors:

Benefits	Hardware	Frame Color	Glass	More Options	Specs	Pricing	Reviews
 <ul style="list-style-type: none"> • Upgrade to a premium screen. Milgard's PureView® window screens install and remove in a snap, plus provide a crisp and clear view with their smaller yarns and finer mesh. • See superior energy savings and protection against fabric fading with Milgard's SunCoat® Low-E glass. • Operate and unlock the door with minimal effort using the SmartTouch® (patent-pending) door handle's one-touch motion. • Relax with virtually maintenance-free vinyl frames that won't rot, peel or require paint. • Enjoy effortless operation and easy-to-adjust door panels with Milgard's state-of-the-art door rollers. • Feel secure with our steel reinforcement beam. Its performance meets California forced-entry codes, some of the toughest in the nation. • Feel safe. Steel reinforced lock stiles around the mortise lock increase security and strength. • Get quality. Meets light commercial ratings and structural integrity and reliable performance criteria established by the American Architectural Manufacturers Association (AAMA). • Have custom made to your home's exact specifications with no extended lead time. • Enjoy real peace of mind with our industry-leading Full Lifetime Warranty. 							

Masonite 9 Lite Painted Steel Entry Door with Brickmold

Model # 26790 Internet # 202896669 Store SO SKU# 449891

★★★★★ Write the First Review +

\$418.00 / each

Item cannot be shipped to the following state(s): AK, GU, HI, PR, VI

Free shipping is not available for this item

Buy Online, Ship to Store

Door Width x Height

36 x 80 in ▾

Door Handing

Left-Hand/Inswing ▾



Quantity:

Ship to Home
Est. Arrival Date:
FEB 18 - FEB 25

Ship to Store
Free

Available for Pick Up:
FEB 17 - FEB 20
at W Milpitas...
[\(Change Pick Up Store\)](#)

[+ ADD TO CART](#)

[ADD TO LIST](#)

CUSTOMERS WHO VIEWED THIS ITEM PURCHASED...



\$418.00

Masonite
9 Lite Painted Steel Entry
Door with Brickmold

NOT YET RATED

[+ ADD TO CART](#)



\$418.64

9-Lite Painted Steel Entry
Door with Brickmold

NOT YET RATED

[+ ADD TO CART](#)



\$362.00

Masonite
15 Lite Primed Steel
Entry Door with
Brickmold

★★★★★ (1)

[+ ADD TO CART](#)



\$243.00

JELD-WEN
Premium 12-Lite Primed
Steel Entry Door with
Brickmold

★★★★★ (2)

[Product Overview ▾](#) | [Specifications ▾](#) | [Customer Reviews ▾](#) | [Shipping Options ▾](#)

ACCESSORIES (3)



\$19.96

Schlage 8 in. x 34 in. Bright
Brass Kickplate



\$138.00

Schlage Plymouth Single-
Cylinder Bright...



\$10.97

Heath Zenith Wired White Oval
Push Button

PRODUCT OVERVIEW

Enjoy the strength of steel and the elegance of decorative glass with the (Masonite 36 in. x 80 in. 9 Lite Steel Entry Door). The glass design enhances both the appearance and value of your home without compromising security or privacy. High-definition panels closely replicate the appearance of a high-end wood door with excellent shadow lines for added architectural interest. Masonite colors complement Behr paints color palette to easily coordinate your door with shutters, trim and more. Upgrade to a maintenance-free white vinyl door frame that never requires painting. Includes vinyl Brickmold integrated into frame for added architectural interest.

California residents: see [Proposition 65 information](#)

- High-quality steel provides strength and security
- Steel door features an energy saving polyurethane door core with rot-resistant bottom rail made of high-performance composite materials
- High-definition panels create the look of a high-end wood door and steel security plate on the frame helps to resist forced entry
- Decorative glass inserts feature a 1 in. triple pane tempered glass insulated assembly
- Masonite colors complement Behr paints color palette to easily coordinate your door with shutters, trim and more
- Energy Star Compliant door eligible for tax credit
- MFG Brand Name: Masonite

Info & Guides

- Warranty**
- Instructions / Assembly**
- Installation Guide**
- Specification**
- Use and Care Manual**

You will need Adobe® Acrobat® Reader to view PDF documents. [Download](#) a free copy from the Adobe Web site.



Clearly the best.™

Double Hung Montecito® Series Vinyl Wi

★★★★★ 5 / 5 Read all 3 reviews

Recommend Tweet



MON

Print
 Gmail
 StumbleUpon
 Favorites
 Tumblr
 Pinterest
 Google
 More... (292)
 AddThis Privacy

- Milgard Home
- Windows
- Frame Materials
- Milgard® Product Series
- Operating Styles
- Architectural Styles

Request a Quote
 Discover how affordable new Milgard windows can be.
 Get Started >



Expert Consultation
 Getting the right advice makes all the difference. Schedule your free expert consultation.
 Get Started >



Milgard's vinyl double hung window offers traditional look and performance. Both top and bottom sashes open—use only top sash for extra safety with children or pets. Sashes tilt inward for easy cleaning; making it perfect for upper floors where cleaning is more difficult.

Every window and door purchase is different. Get pricing information and estimates on your project.

REQUEST A QUOTE >

Choose A Different Window Style For More Information:



- Shopping Tools**
- Help Me Choose
 - Window Selection Guide
 - Download Brochure
 - Request a Quote
 - Help Me Budget
 - Free Expert Consultation
 - Consumer Financing
 - Free Visualization Tool

Where To Buy

ZIP Code

Find >

[Advanced Search](#)

Details for Double Hung Montecito® Series Vinyl Windows:

Benefits	Hardware	Frame Color	Glass	More Options	Specs	Pricing	Reviews
 <ul style="list-style-type: none"> Live worry-free with Milgard's custom vinyl recipe. Our virtually maintenance-free vinyl frames won't rot, peel or require paint. Improve efficiency with our 3D® and 3D MAX® energy packages custom tailored to your geographic location. Reduce energy consumption with our standard SunCoat® Low-E insulating glass or the SunCoatMAX® option, which provides additional protection against fabric fading. Includes Milgard's award-winning SmartTouch® lock with the simple one-touch operation so easy to operate it received a commendation from the Arthritis Foundation. Upgrade to a premium screen. Milgard's PureView® window screens install and remove in a snap, plus provide a crisp and clear view with their smaller yarns and finer mesh. Have custom made to your home's exact specifications with no extra charge or extended lead time. Choose from three decorative trim options to visually enhance homes with brick, stucco or lap siding exteriors. Enjoy real peace of mind with our industry-leading Full Lifetime Warranty. 							



Horizontal Slider Montecito® Series Vinyl Windows



3.8 / 5 Read all 6 reviews

Recommend

Tweet

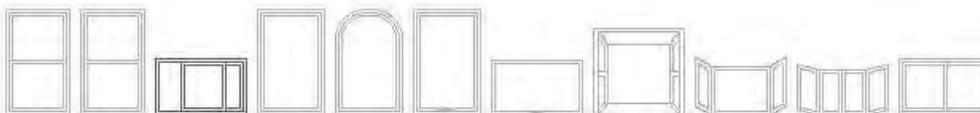


Milgard's vinyl horizontal sliding window is popular for satisfying bedroom egress requirements, as an easy-opening window over kitchen counters and sinks, and for providing a contemporary look. Opens without using any exterior or interior space.

Every window and door purchase is different. Get pricing information and estimates on your project.



Choose A Different Window Style For More Information:



[Milgard Home](#)
[Windows](#)

- Frame Materials
- Milgard® Product Series
- Operating Styles
- Architectural Styles

Request a Quote

Discover how affordable new Milgard windows can be.

[Get Started >](#)

Expert Consultation

Getting the right advice makes all the difference. Schedule your free expert consultation.

[Get Started >](#)

Shopping Tools

- [Help Me Choose](#)
- [Window Selection Guide](#)
- [Download Brochure](#)
- [Request a Quote](#)
- [Help Me Budget](#)
- [Free Expert Consultation](#)
- [Consumer Financing](#)
- [Free Visualization Tool](#)

Where To Buy

ZIP Code:

[Find >](#)

[Advanced Search](#)

Details for Horizontal Slider Montecito® Series Vinyl Windows:

Benefits	Hardware	Frame Color	Glass	More Options	Specs	Pricing	Reviews
 <ul style="list-style-type: none"> Live worry-free with Milgard's custom vinyl recipe. Our virtually maintenance-free vinyl frames won't rot, peel or require paint. Improve efficiency with our 3D® and 3D MAX® energy packages custom tailored to your geographic location. Reduce energy consumption with our standard SunCoat® Low-E insulating glass or the SunCoatMAX® option, which provides additional protection against fabric fading. Includes Milgard's award-winning SmartTouch® lock with the simple one-touch operation so easy to operate it received a commendation from the Arthritis Foundation. Upgrade to a premium screen. Milgard's PureView® window screens install and remove in a snap, plus provide a crisp and clear view with their smaller yarns and finer mesh. Have custom made to your home's exact specifications with no extra charge or extended lead time. Order as a unit with a radius (arch) window. (Milgard is one of a few manufacturers who can offer you this option.) Choose from three decorative trim options to visually enhance homes with brick, stucco or lap siding exteriors. Enjoy real peace of mind with our industry-leading Full Lifetime Warranty. 							



More saving.
More doing.

Your Store:
W Milpitas #1041 [\(Change\)](#)

[PRO Site](#) | [Tool & Truck Rental](#) | [Installation Services and Repair](#) | [Gift Cards](#) | [Help](#) | [Cart](#)

[Store Finder](#) | [Local Ad](#) | [Credit Center](#) | [Savings Center](#)

Shop By
Department ▾

Search All ▾ *What can we help you find?*



Project: How-To ▾

[Sign In](#) or [Register Your Account](#) ▾

[Home](#) > [Lighting & Fans](#) > [Outdoor Lighting](#) > [Outdoor Wall Mounted Lighting](#) > [Lanterns](#) > [Fluorescent](#)

[Share](#) [Pin it](#) [Email](#) [Print](#)



Illumine 1-Light Outdoor Painted Rust Lantern with Satin White Glass Panels

Model # CLI-FRT17003-01-28 Internet # 203089944

★★★★★ [Write the First Review](#) + [Ask a Question](#) +

\$49.99 / each

Item cannot be shipped to the following state(s): GU,PR,VI

Free Shipping

Buy Online, Ship to Store

Fixture Color/Finish

Painted Rust Finish ▾

Quantity:

Ship to Home
Free

Est. Arrival Date:
JAN 23 - JAN 27

Ship to Store
Free

Available for Pick Up:
JAN 24 - JAN 29
at W Milpitas...
[\(Change Pick Up Store\)](#)

+ ADD TO CART

ADD TO LIST

Shop By Department

Search All *What can we help you find?*

Project: How-To

Sign In or Register Your Account

Home > Lighting & Fans > Outdoor Lighting > Dark Sky > Fluorescent

Share | Pin it | Email | Print



Sea Gull Lighting Dark Sky Wall-Mount 1-Light Outdoor White Fixture

Model # 8938DBLE-15 Internet # 204148920

Write the First Review

\$90.00 / each

Item cannot be shipped to the following state(s): AK, GU, HI, PR, VI

Free Shipping

Buy Online, Ship to Store

Quantity: 1

Out of Stock Online

ADD TO LIST

CUSTOMERS WHO VIEWED THIS ITEM PURCHASED...



\$105.93

Progress Lighting 2-Light Outdoor White Wall Lantern

★★★★★ (1)

ADD TO CART



\$79.38

World Imports Dark Sky Essen Collection 3 in. Wall Mount 1-Light

★★★★☆ (4)

ADD TO CART



\$113.00

Wall-Mount 1-Light Outdoor Architectural Bronze Lantern

NOT YET RATED

ADD TO CART



\$82.00

Acclaim Lighting Dark Skies Collection Wall-Mount 1-Light Outdoor Textured

NOT YET RATED

ADD TO CART



Product Overview | Specifications | Customer Reviews | Shipping Options

PRODUCT OVERVIEW

The Sea Gull Lighting Dark Sky one light outdoor wall fixture in white is an ENERGY STAR qualified lighting fixture that uses fluorescent bulbs to save you both time and money. Light is directed downward to keep illumination from lighting the night sky and disturbing your neighbors. These well crafted fixtures are designed to coordinate with any home design.

- Featured in the decorative Dark Sky collection
- Uses oneseft ballasted PLS13 GU24 13 watt light bulb
- Fixture is supplied with 1-light bulb
- ENERGY STAR qualified
- Dark sky friendly, designed to emit no light above the 90° horizontal plane and photometry unavailable
- Offers energy saving fluorescent lighting
- Meets Title 24 energy efficiency standards
- Safety listed for use in wet locations
- A great choice for your do-it-yourself project
- Decorative white finish to accent and brighten your room
- The preferred brand choice of builders and electricians

Info & Guides

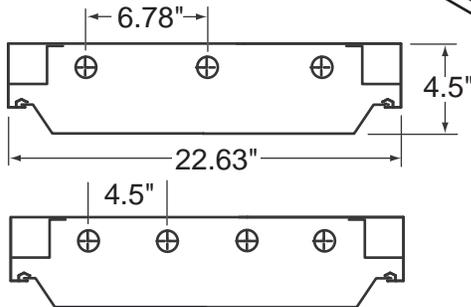
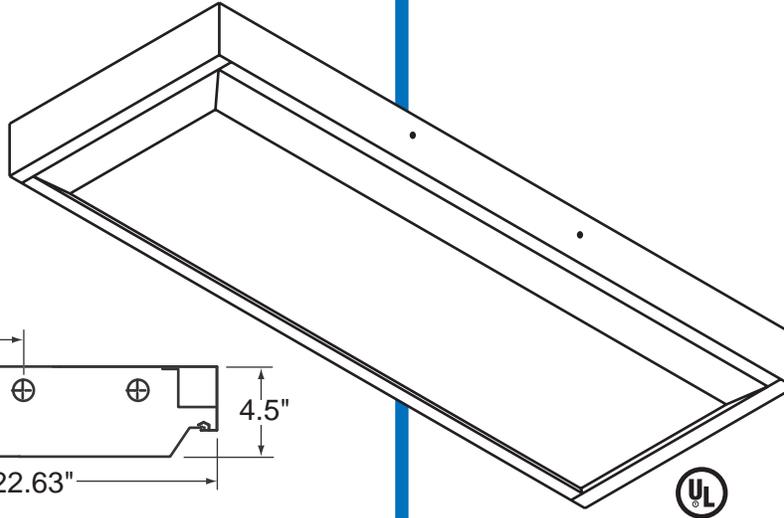
- Installation Guide
- MSDS

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Return To Top

SPECIFICATIONS

Assembled Depth (in.)	8.5 in	Assembled Height (in.)	8.75 in
Assembled Width (in.)	8.25 in	Bulb Type	Fluorescent
Certifications and Listings	1-UL Listed	Dusk to Dawn	No
ENERGY STAR Certified	Yes	Exterior Lighting Product Type	Flush Mounted
Glass/Lens Type	No glass/lens	Light Bulb Base Code	Twist Lock
Light Source	Fluorescent	Manufacturer Warranty	3-Year Warranty
Motion Sensor	No	Number of Bulbs Required	1
Outdoor Lighting Features	Dark Sky, Weather Resistant	Product Height (in.)	7.0
Product Length (in.)	5.0	Product Weight (lb.)	1.6125
Product Width (in.)	5.0	Returnable	90-Day
Solar Powered	No	Style	Classic
Wattage (watts)	13 W	Weather Resistant	Yes



FEATURES:

- T5 TECHNOLOGY MAINTAINS A HIGHER PERCENT OF RATED LUMENS
- DROP DIFFUSER PROVIDES EVEN LIGHT DISTRIBUTION
- DESIGNED TO REPLACE HID SURFACE MOUNTED FIXTURES
- SUPERIOR PHOTOMETRIC DESIGN MAXIMIZES LIGHT OUTPUT IN BOTH 3 & 4 LAMP CONFIGURATIONS
- CONTRACTOR FRIENDLY DESIGN REDUCES LABOR WITH SINGLE PERSON INSTALLATION
- GASKETED DOOR FRAME TO REDUCE INSECT INFILTRATION
- POST PAINTED HIGH REFLECTANCE POWDER COAT FINISH

UNION MADE IN THE USA.

ORDERING:

NOMINAL SIZE	LAMPS	CATALOG NUMBER
22" X 46"	3-FP54	575-PK-S81*-348T5-HO
22" X 46"	4-FP54	575-PK-S81*-448T5-HO

INSERT VOLTAGE AT END OF CATALOG NUMBER

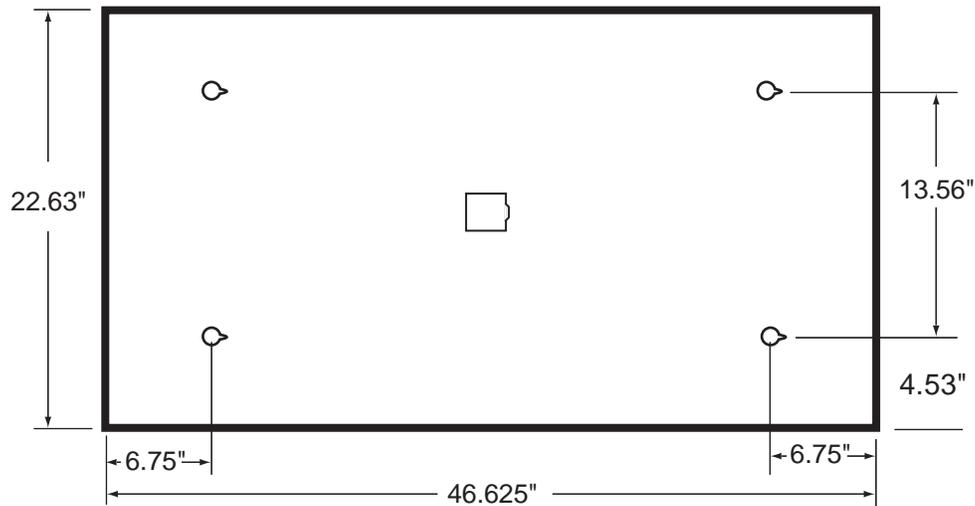
NOTES:

1. * S81 DENOTES AN ACRYLIC WHITE FORMED PANEL 1 1/2" DEEP, 15° DRAFT WITH .080 THICKNESS (STANDARD)
2. * P12 DENOTES A PRISMATIC FORMED PANEL 1 1/2" DEEP, 15° DRAFT WITH .125 THICKNESS (OPTIONAL)
3. AVAILABLE IN POWDER COAT FINISH ONLY

MANUFACTURING
1715 KIBBY ROAD - MERCED - CALIFORNIA - 95340
(209) 723-9120 - FAX: (209) 723-9131

SALES OFFICE
14722 WICKS BLVD. - SAN LEANDRO - CALIFORNIA - 94577-6718
(510) 667-6950 - FAX: (510) 667-6959

BACK DETAIL



ACCESSORIES

DOOR FRAME W/ PRISMATIC 12A FORMED LENS

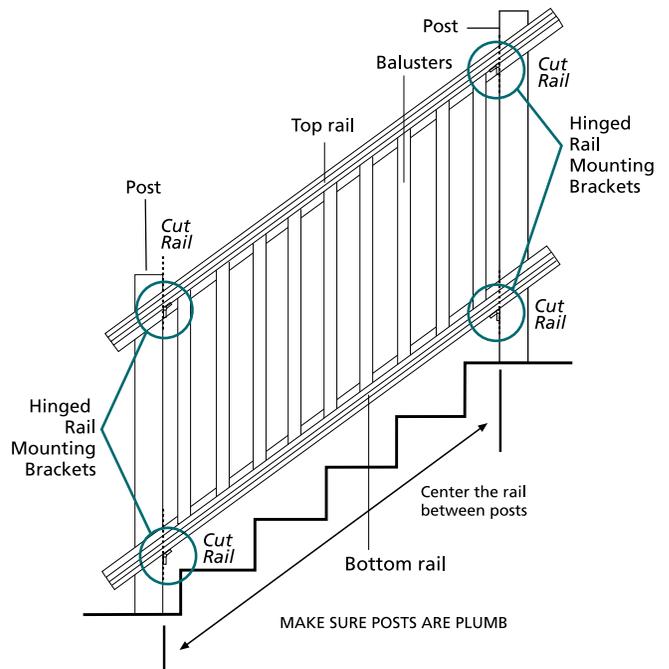
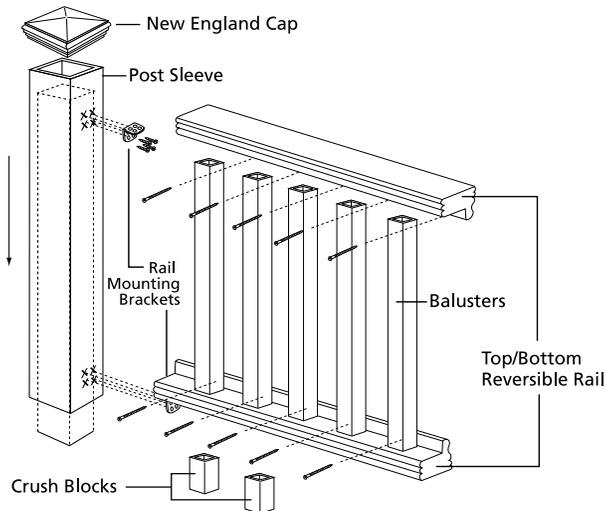
NOTE

All fixtures must be installed, wired and grounded in accordance with the National Electric Code and all other applicable codes.

!!! WARNING !!!

RISK OF FIRE OR ELECTRICAL SHOCK. ELECTRICAL PARTS MAY BE DAMAGED WHEN DRILLING OR USING "TEK" SCREWS FOR INSTALLATION OF MOUNTING HARDWARE. CHECK ENCLOSED WIRING AND COMPONENTS. USE CAUTION WHEN DRILLING "TEK" SCREWS INTO A BLIND AREA. TO PREVENT WIRING DAMAGE DO NOT EXPOSE WIRING TO SHARP EDGES.





Line Section Installation

Stair Section Installation

1. Install 4x4 posts in the pre-determined locations, cover the posts with posts sleeves and verify spacing.
2. Identify all hardware components:
 - a. Four (4) In-Line Brackets
 - b. Seventeen (17) 1-3/8" long Phillip's head screws
 - c. Seventeen (17) 2" long Phillip's head screws
 - d. Forty-two (42) 1-3/4" long Phillip's head screws
 - e. One (1) Phillip's head driver
3. Measure the distance between installed posts. Trim the top and bottom rail to fit. Cuts should be square to insure a good fit with the post. The 3" decorative surface can be installed either facing toward or away from the deck surface.
4. Determine the spacing for balusters, 4.5" on center between the balusters and equal spacing at the ends. Allow a minimum of 2-1/2" from the first baluster to the end of the rail (to allow room for the in-line brackets).
5. Mark the location for each baluster for both top and bottom rails.
6. Center hanging bracket on underside of bottom rail. Inset bracket 1/16" from rail's end.
7. Using hanging bracket as a template, mark the four hole locations on bottom rail and pre-drill using a 1/8" drill bit.
8. Attach the bracket to the bottom rail using four – 1-3/8" screws.
Do NOT Over Tighten Screws
9. Repeat steps 6-8 for the other end of the bottom guardrail.
10. Repeat steps 6-9 for the top rail, placing the bracket on the flat inside portion of the top railing. See Diagram
11. Position the bottom rail between the posts. Check building code requirements for maximum spacing between the walking surface and the bottom rail, typically it is 4 inches.
12. Cut two crush blocks from an extra baluster to desired height; a tight fit is desired. Place the crush blocks under the bottom rail, spaced equidistant from the posts, to support the rail during installation.
13. Mark the screw location on the post using the bracket as a template.
14. Drill Holes using a 3/16" drill bit at marked screw locations.
15. Attach the bracket to the post with 4 – 2" long screws on one side of guardrail.
16. Level guardrail and attach the other side using 4 – 2" long screws, following steps 13-15.
17. Trim all balusters to 32-1/4" length using a cut off table saw. Note: use a fixture to insure consistent lengths (+/- 1/16").
18. Drill holes in all balusters approximately 3/4" from each end using a 13/64" drill bit (both ends).
19. Drill 1/8" blind holes 3/4" deep into top and bottom rails to accommodate screws.
20. Attach balusters to bottom rail by inserting 1-3/4" long screws through drilled holes in the baluster and securing baluster using 1-3/4" long screws except for the last two balusters on each end.
Do NOT Over Tighten Screws
21. Position top rail onto balusters.
22. Position the top guardrail between posts and check level.
23. Center the top rail on the post.
24. Attach the top guardrail to the posts using 4 – 2" long screws on both ends by following steps 13-16. Check level of the guardrail before securing.
Do NOT Over Tighten Screws
25. Attach the four end balusters to bottom rail by inserting 1-3/4" long screws through drilled holes in the baluster and securing the baluster.
Do NOT Over Tighten Screws
26. Attach the four end balusters to top rail by inserting 1-3/4" long screws through drilled holes in the baluster and securing the baluster.
Do NOT Over Tighten Screws
27. Glue crush block to bottom rail.

1. Install posts in the pre-determined locations, cover the posts with posts sleeves and verify spacing.
2. Identify hardware components:
 - a. Four (4) Brackets
 - b. Seventeen (17) 1-3/8" long Phillip's head screws
 - c. Forty-two (42) 1-3/4" long Phillip's head screws
 - d. Seventeen (17) 2" long Phillip's head screws
 - e. One (1) Phillip's head driver
3. Measure the distance between installed posts at various points. Insure that all distances are within 1/16".
4. Lay bottom rail on stairs. Mark angles on rail. Angle needs to be approximately 32°.
5. Cut the bottom rail to length. Make sure the cut is square and check fit at both ends.
6. Mark and cut top rail to length. Make sure the cut is square and check fit at both ends.
7. Cut both bottom and top rails with the same angle.
8. Locate and mark locations for balusters, 4.5" on center between balusters and equal spacing at rail ends. Allow a minimum of 2-1/2" from the first baluster to the end of the rail (to allow room for the hinged brackets).
9. Center hinged bracket on underside of bottom rail. Inset bracket 1/16" from rail's end.
10. Using hinged bracket as a template, mark the four hole locations on bottom rail and pre-drill using a 1/8" drill bit.
11. Attach the bracket to the bottom rail using 4 – 1-3/8" screws. Repeat on opposite end.
Do NOT Over Tighten Screws
12. Repeat steps 9-11 for flat, inside portion of the top rail. All brackets should be attached to the guardrails.
13. Center bottom rail on posts sleeve and swing lower hinge onto posts sleeve. Check building code requirements for maximum spacing on a staircase, typically it is a 6" sphere.
14. Mark the four hole locations on posts sleeve using the hinged bracket as a template and pre-drill using a 3/16" drill bit.
15. Secure bottom rail to post with 4 – 2" long screws. Repeat for the other end.
Do NOT Over Tighten Screws
16. Determine the required height for the balusters, making sure the balusters are plumb.
17. Cut the desired angle for the balusters to provide a good fit for both top and bottom guardrails.
18. Determine the desired height of the top guardrail and repeat steps 13-15.
19. Drill holes in the balusters 3/4" from each baluster end using a 13/64" drill bit (both ends).
20. Drill 1/8" blind holes 3/4" deep into top and bottom rails to accommodate screws.
21. Attach balusters to the bottom rail by inserting the 1-3/4" long screws through the drilled holes in the balusters and securing the baluster using the 1-3/4" long screws.
Do NOT Over Tighten Screws
22. Attach balusters to the top rail by inserting the 1-3/4" long screws through the drilled holes in the balusters and securing the baluster using the 1-3/4" long screws.
Do NOT Over Tighten Screws



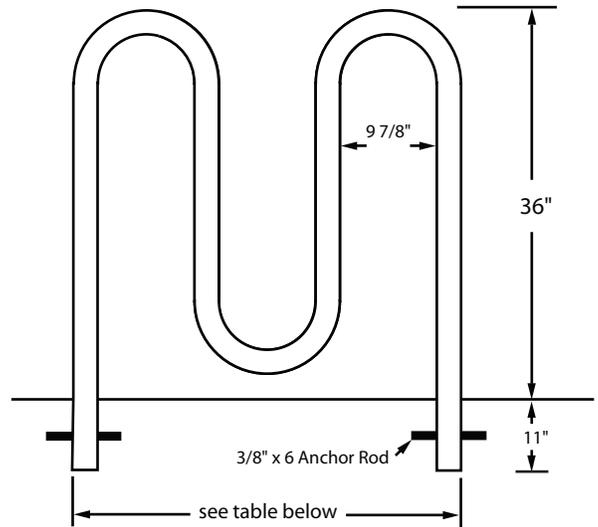
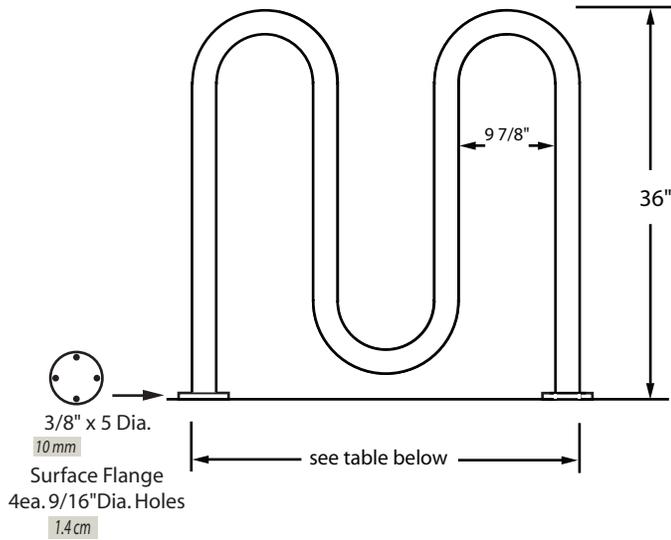
FIBER COMPOSITES, L.L.C.

181 Random Drive,
New London, NC 28127
Phone: (704) 463-7120 Fax: (704) 463-0405



Surface Flange

Inground



WELLE™ MULTI BEND ROUND PIPE RACKS

Mount :	Item	# of Bends	Bike Capacity	Common		Wide Loop		Model
				Length	Weight	Length	Weight	
-SF (Surface Flange)	H3605	3	5	38"	60 lbs	59"	65 lbs	
-IG (Inground)				96 cm	27 kg	150 cm	29 kg	
Finish :	H3607	5	7	62"	80 lbs	97"	90 lbs	
-G (Galvanized)				157 cm	36 kg	246 cm	41 kg	
-P (Powder Coated)	H3609	7	9	86"	120 lbs	135"	130 lbs	
-SS (Stainless Steel)				218 cm	54 kg	343 cm	59 kg	
Material :	H3611	9	11	110"	135 lbs	173"	150 lbs	
2 3/8" O.D. Pipe 6.03 cm				279 cm	61 kg	439 cm	68 kg	
ASTM A53 Schedule 40 Pipe .154" Wall Thickness Mandrel - Bent	H3613	11	13	134"	155 lbs	211"	180 lbs	
				340 cm	70 kg	536 cm	81 kg	
Optional :	H3615	13	15	158"	180 lbs	249"	215 lbs	
Stainless 304 Alloy Available				401 cm	81 kg	632 cm	97 kg	
	H3617	15	17	182"	205 lbs	287"	245 lbs	
				462 cm	92 kg	729 cm	110 kg	

MATERIAL AND COLOR SELECTIONS

830 Broadway, Sonoma CA

TOWNHOUSE UNITS #1 & #2

1st Story Hardie Shake Siding & 2nd Story Hardie Horizontal Siding:

Kelly Moore: #196 Villita low sheen



Railings, columns, beams, window trim, door trim, fascia, belly band, gutter, corner trim & downspouts:

Kelly Moore: #49 Antique White

Front Entry Doors:

Kelly Moore: #307 Brierwood Green
Masonite steel door with 9 lites (see spec sheet)



Windows:

Milgard Montecito series white vinyl windows (see spec sheet)

Sliding Patio Doors:

Milgard Montecito series white vinyl sliding doors (see spec sheet)

Roofing:

GAF Timberline Cool Roof series Barkwood composition shingles (see photocopy)

MATERIAL AND COLOR SELECTIONS

830 Broadway, Sonoma CA

CARPORT & APARTMENT UNIT #3

1st Story Carport Hardie Shake Siding & 2nd Story Hardie Horizontal Siding:

Kelly Moore: #171 Sand Pebble low sheen



Railings, columns, beams, window trim, door trim, fascia, belly band, gutter, corner trim & downspouts:

Kelly Moore: #36 Navajo White



Apartment Entry Doors:

Kelly Moore: #159 Sequoia Redwood

Milgard Ultra series fiberglass french doors (see spec sheet)

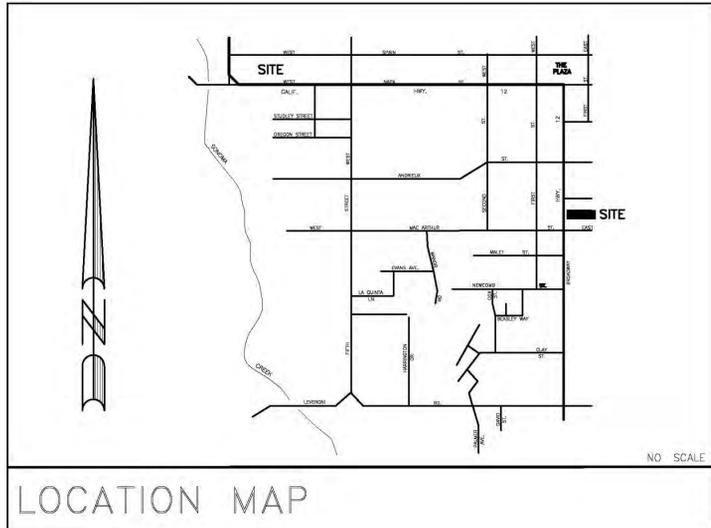


Windows:

Milgard Montecito series white vinyl windows (see spec sheet)

Roofing:

GAF Timberline Cool Roof series Barkwood composition shingles (see photocopy)



LOCATION MAP

NO SCALE

ZONING: RESIDENTIAL R-M
 TOTAL LOT SIZE: 16,448 SF
 TOTAL ACREAGE: 0.377 ACRES
 DENSITY: 10.6 UNITS/ACRE (MAXIMUM 20 UNITS/ACRE)

TOTAL BLDG AREA = EXISTING RESIDENCE & GARAGE = 1,167 SF
 1420 X 2 TWO STORY UNITS = 2,840 SF
 CARPORT UNIT = 1,080 SF
 CARPORT FOOTPRINT = 1,240 SF
 TOTAL: 6,327 SF TOTAL F.A.R. = 0.38 (MAX. F.A.R. ALLOWED 1.0)

PROPOSED BUILDING AREA: (E) RESIDENCE & GARAGE = 1,167 SF
 COVERAGE = 24 % (MAX. COVERAGE ALLOWED 60%) 740 SF X 2 BDLGS = 1,480 SF
 CARPORTS = 1,240 SF
 TOTAL SF = 3,887 SF

PARKING REQUIRED: COVERED 3 UNITS X 1 PER = 3
 UNCOVERED 3 UNITS X 1/2 PER = 1.5
 GUEST 25% X 4.5 = 1
 TOTAL REQUIRED 5.5
 COVERED PROVIDED: 4.5
 GUEST PROVIDED: 1.5
 TOTAL PROVIDED 6

EXISTING RESIDENCE 956 SF
 EXISTING GARAGE 211 SF
 TOTAL 1167 SF

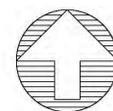
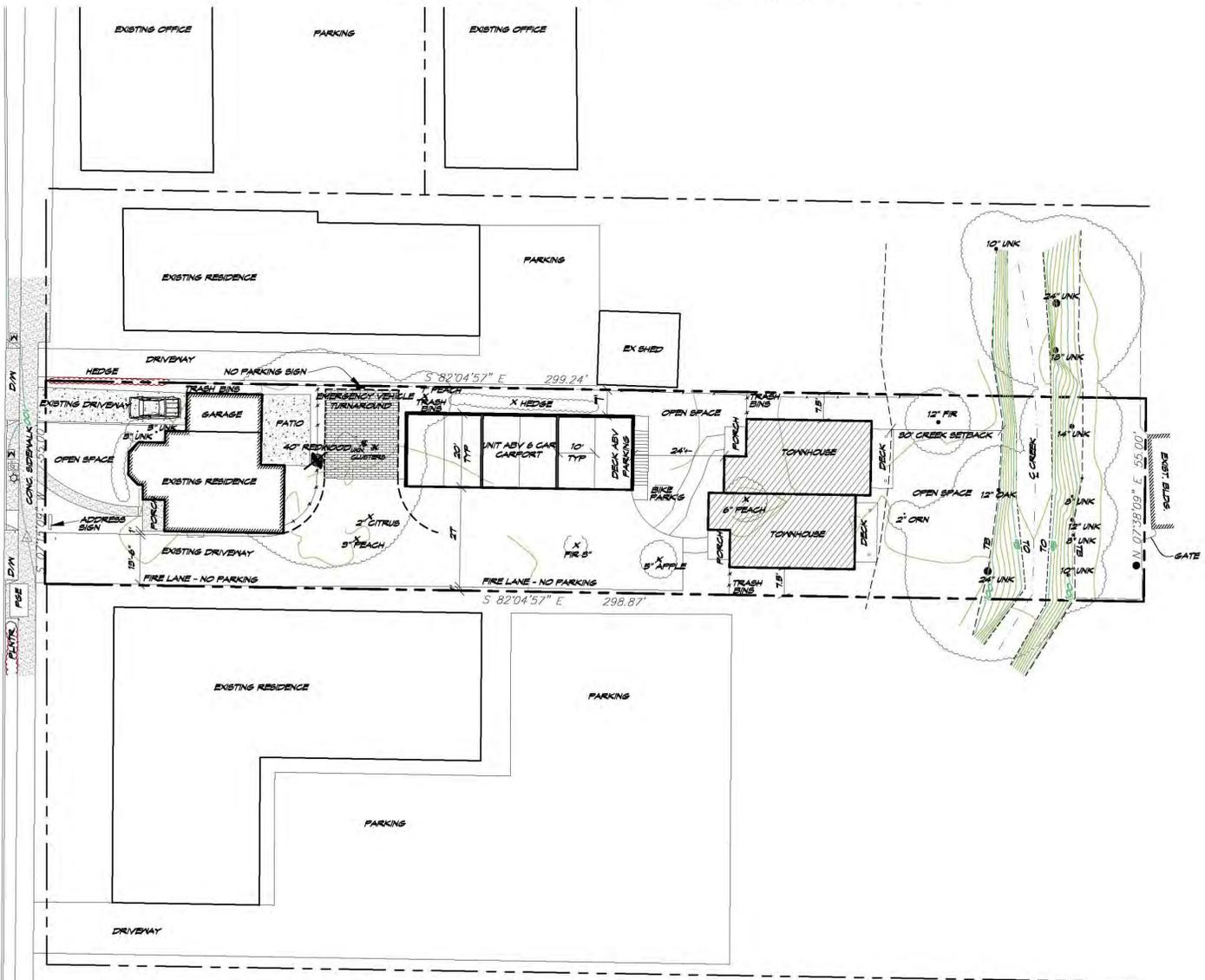
TWO STORY UNITS:
 FIRST FLOOR 740 SF
 SECOND FLOOR 680 SF
 TOTAL 1420 SF

CARPORT UNIT:
 SECOND FLOOR 1080 SF

CARPORTS: 1240 SF

NOTE: All construction on this project shall conform to the 2010 CALIFORNIA BUILDING CODE (TITLE 24), CALIFORNIA ELECTRICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA GREEN BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ENERGY CODE & shall comply with all local codes & ordinances, whether shown on these plans or not.

The arborist's report shall clearly describe in writing all trees on the property. The report shall indicate the genus and species, the shape, the trunk diameter of each tree and the nonintrusion zone around each tree as determined by the table in SMC 12.03.020(H) and shall indicate those trees which are proposed to be altered, removed, or relocated and the reasons therefore. Tree delineations by trunk location and an accurate outline of each tree's nonintrusion zone must be shown on the project site plan or tentative map, and on every page of the development and improvement plans where any work is proposed within the nonintrusion zone of any protected tree. The property owner of the property and the person in control of the proposed development shall protect and preserve each tree situated within the site of the proposed development during the period the application(s) for the proposed development is being considered by the city.



PROPOSED SITE PLAN

SCALE: 1"=20'-0" A.P. No. 018-412-031

EXISTING DIMENSIONS ARE APPROXIMATE
 VERIFY EXISTING DIMENSIONS AND CONDITIONS IN FIELD

REVISIONS	BY

VICTOR CONFORTI - ARCHITECT
 755 BROADWAY, SONOMA, CA 95476 - (707) 996-7923

PROPOSED SITE PLAN



THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF VICTOR CONFORTI - ARCHITECT. IT IS NOT TO BE USED IN WHOLE OR IN PART BY OTHERS OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF VICTOR CONFORTI - ARCHITECT. ALL RIGHTS RESERVED.

MERLO
 830 BROADWAY
 SONOMA CALIFORNIA 95476

Date 1-15-2014
 Scale AS NOTED
 Drawn DVA
 Job
 Sheet A1.1
 Of Sheets

REVISIONS	BY

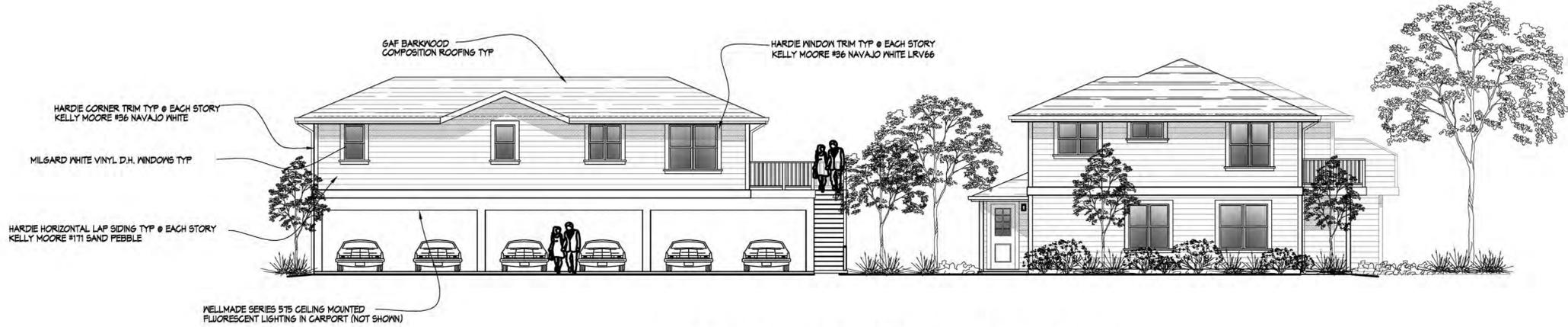
VICTOR CONFORTI - ARCHITECT
 755 BROADWAY, SONOMA, CA 95476 - (707) 996-7923

CARPORTS & APT UNIT #3



THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF VICTOR CONFORTI - ARCHITECT & IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN AUTHORIZATION OF VICTOR CONFORTI - ARCHITECT. ALL RIGHTS RESERVED.

MERLO
 830 BROADWAY
 SONOMA CALIFORNIA 95476
 Date: 2-26-2014
 Scale: AS NOTED
 Drawn: DWA
 Job:
 Sheet:
 A3.2
 Of: Sheets



CARPORTS & APT UNIT #3 SOUTH ELEVATION
 1/8" = 1'-0"



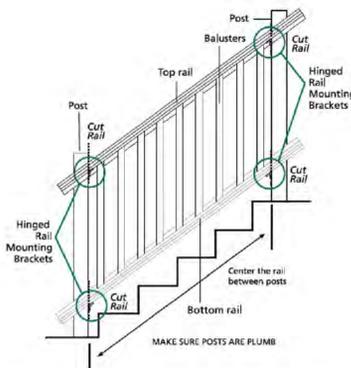
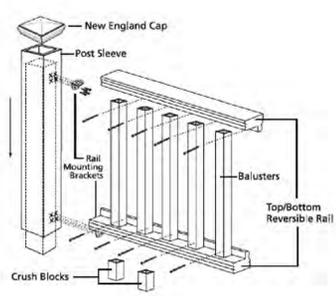
THIRD UNIT EAST ELEVATION
 1/8" = 1'-0"

THIRD UNIT NORTH ELEVATION
 1/8" = 1'-0"

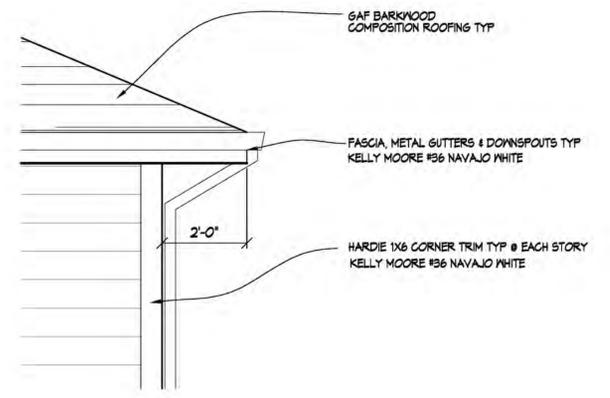
THIRD UNIT WEST ELEVATION
 1/8" = 1'-0"



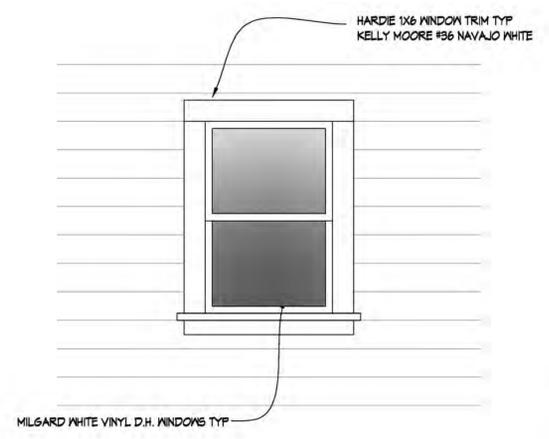
- Always Check Local Building Codes for Spacing Requirements
- Crush Blocks are Required for this System



1" = 1'-0"



1/4" = 1'-0"



N.T.S.

1 GUARD RAILINGS & POSTS @ DECKS

2 TYPICAL EAVE SECTION

3 TYPICAL WINDOW TRIM @ 2ND STORY



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda
Item: 5
Meeting Date: 3/18/14

Applicant

Cindy Treichler/Williams-Sonoma, Inc.

Project Location

599 Broadway

Historical Significance

- Listed or Eligible for Listing on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed or Eligible for Listing on the California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1950

Request

Consideration of a temporary sign for a mixed-use building (Williams-Sonoma) located at 599 Broadway.

Summary

Background: On October 10, 2013, the Planning Commission approved a Use Permit and Parking Exception to establish a cooking school and café with a retail component and industry accommodation residential unit within the existing building located at 599 Broadway (the building has historically been used for general retail, a catering business, and a restaurant). On November 19, 2013, the Design Review Commission approved elevation details, exterior materials and colors, lighting, a trash enclosure, and bicycle rack. On January 21, 2014, the DRHPC approved a new awning, an outdoor fireplace and arbor, a fountain, a fence, and a landscape plan.

At this time, the applicant is requesting approval to display a temporary banner sign during the construction phase of the project. The proposed sign is 33.75 square feet in area (2.5 feet tall by 13.5 feet wide). The sign would consist of a white vinyl background with gold vinyl lettering. The sign would be located on the temporary construction barrier wall facing Broadway. It is estimated that the temporary banner would be displayed from April through October 2014.

Banners: Decorative banners and flags may be used for grand opening or special events for a maximum period of 15 consecutive days, or for holidays for a period of no more than 45 total days per year and may be permanently displayed if first approved by the DRHPC. In no event shall advertising copy be displayed on any banner (§18.20.110).

An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lynne Foster at (707) 933-2205 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

cc: Cindy Treichler
 C/O Williams-Sonoma, Inc.
 3250 Van Ness Avenue
 San Francisco, CA 94109

 Max Crome, Architect
 905 Fourth Street
 San Rafael, CA 94901

Attachments:

1. *Project narrative*
2. *Sign drawings*

February 18, 2014

Design Review Commission
City of Sonoma
1 The Plaza
Sonoma, California 95476

As required for the Design Review Committee submittal for the proposed project at 599 Broadway in Sonoma, please find the following project signage narrative:

Narrative for 599 Broadway Construction Barricade Graphics

The design intent of the construction barricade design is to advertise to the public of the business moving into the space and the date of opening. The colors are typical company colors intended to create an association between the sign and the services to be expected in the space.

Proposed is one sign of text to the north side of the access door, which is centered on the entrance of our new construction. This is within the city's sign ordinance of no more than two signs.

Based on the aggregate sign area for the primary street frontage, we are allowed 28.5 square feet of signage on this barrier (56'-4" frontage = 18 square feet of signage for first 30' of frontage + 10.5 square feet of signage for remaining 26'-4" of frontage). The sign is approximately 17.8 square feet in size. This is below the frontage allowance as calculated above and below the absolute maximum allowance of 48 square feet.

There will be no illumination to the signs and will be applied in a flush condition to the wall, therefore there will be no projections.

Thank you,

Max Crome, Architect
Crome Architecture



Crome Architecture

WILLIAMS-SONOMA

599 BROADWAY - STORE, CULINARY CENTER & CAFE

599 BROADWAY
SONOMA, CA 95476

BARRICADE GRAPHICS DESIGN REVIEW



Project Directory

OWNER:
WILLIAMS-SONOMA, INC.
3250 VAN NESS AVENUE
SAN FRANCISCO, CA 94109
TEL: 415.788.0410
FAX: 415.439.1052
CONTACT: THOMAS THUMAN
EMAIL: TTHUMAN@WSGC.COM

DESIGNER:
WADE DESIGN ARCHITECTS
29 MAGNOLIA AVENUE
SAN ANSELMO, CA 94960
TEL: 415.578.2856
FAX: 415.578.2867
CONTACT: LUKE WADE
EMAIL: LUKE@WADE-DESIGN.COM

ARCHITECT:
CROME ARCHITECTURE
905 FOURTH STREET
SAN RAFAEL, CA 94901
TEL: 415.453.0700
FAX: 415.453.0785
CONTACT: MAX CROME
EMAIL: MAX@CROMEARCHITECTURE.COM

Drawing Index

- T0.0 COVER SHEET
- A1.1 BARRICADE PLAN & ELEVATION
- A2.1 BARRICADE GRAPHIC DETAIL

905 Fourth Street San Rafael California 94901 | 415.453.0700 | 415.453.0785

Crome Architecture

WILLIAMS-SONOMA

STORE, CULINARY CENTER, & CAFE

CONSTRUCTION BARRICADE GRAPHICS DESIGN REVIEW

599 BROADWAY
SONOMA, CA 95476

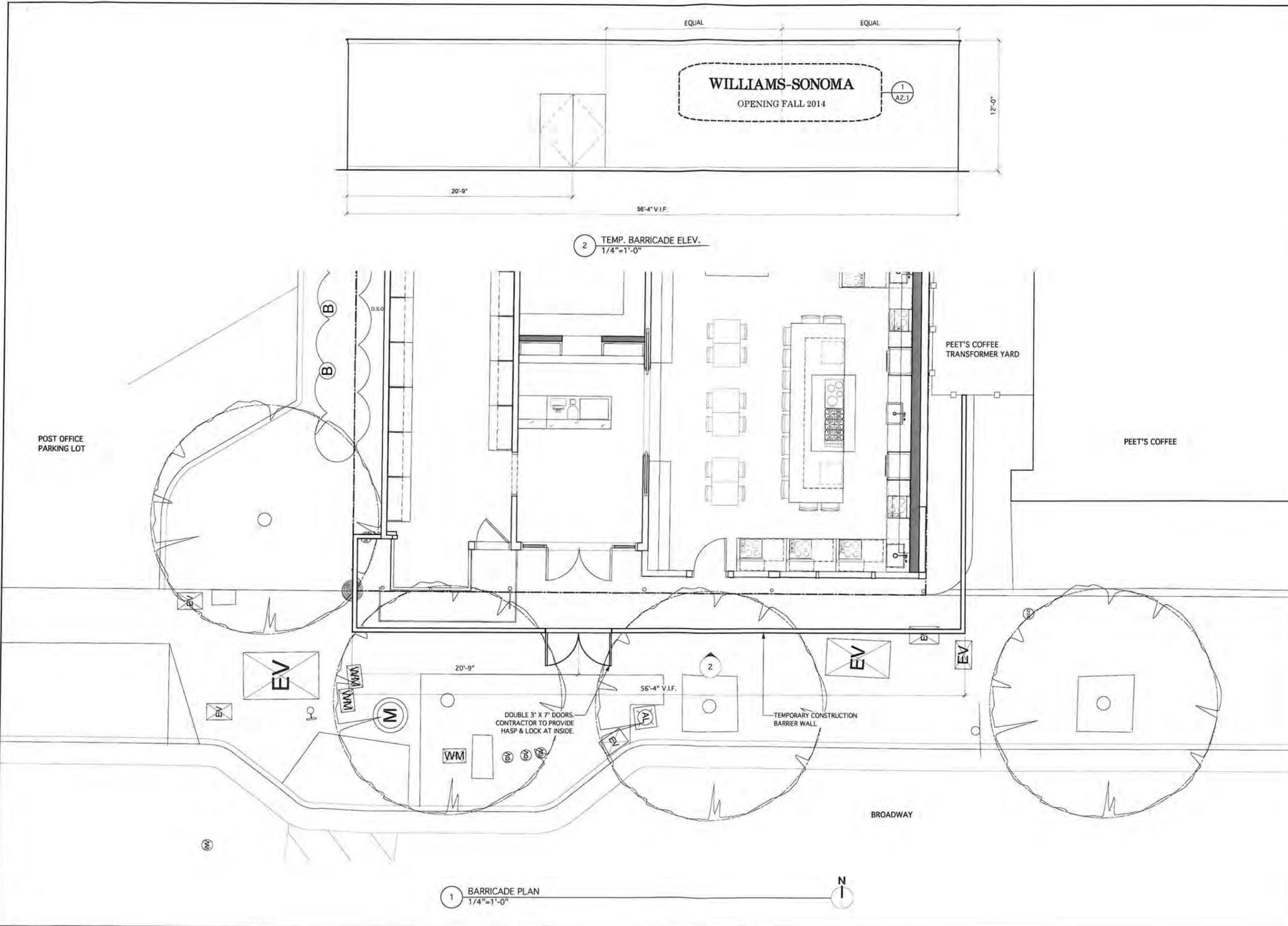
SUBMITTAL
BARRICADE GRAPHICS DRC 02/18/14

COVER SHEET

SHEET NUMBER

T0.0

FEB 18 2014



2 TEMP. BARRICADE ELEV.
1/4"=1'-0"

1 BARRICADE PLAN
1/4"=1'-0"

WILLIAMS-SONOMA

STORE, CULINARY CENTER, & CAFE

CONSTRUCTION BARRICADE GRAPHICS DESIGN REVIEW

599 BROADWAY
SONOMA, CA 95476

SUBMITTAL
BARRICADE GRAPHICS DRC 02/18/14

BARRICADE PLAN

SHEET NUMBER

A1.1

WILLIAMS-SONOMA

STORE, CULINARY CENTER, & CAFE

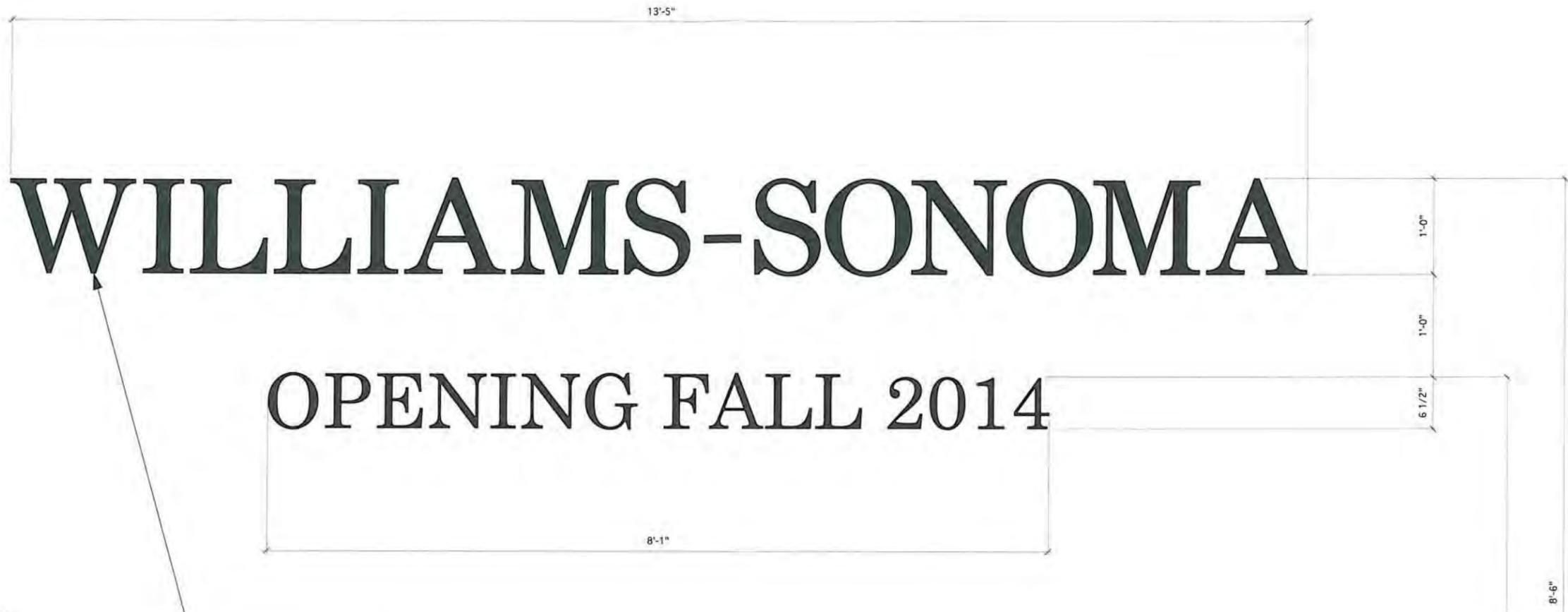
CONSTRUCTION BARRICADE GRAPHICS DESIGN REVIEW

599 BROADWAY
SONOMA, CA 95476

SUBMITTAL
BARRICADE GRAPHICS DRC 02/18/14

LETTERING DETAIL

SHEET NUMBER
A2.1



ALL LETTERING TO BE GOLD VINYL
APPLIED LETTERS & NUMBERS

ALL BARRICADE WALLS & BASE/TRIM TO BE PAINTED
WS EXTERIOR WHITE BY CREATIVE PAINTS -
SEMI-GLOSS SHEEN - TYP.

1 BARRICADE PLAN
1/4"=1'-0"





City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 6

Meeting Date: 03/18/14

Applicant

Robert Sanders

Project Location

1051 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1995
-

Request

Consideration of a new monument sign and a wall sign for a commercial building (Flahive Building) located at 1051 Broadway.

Summary

Monument sign: A new one-sided illuminated monument sign ±35 square feet in area per side (7 feet tall by 5 feet wide) is proposed in front of the building parallel to the sidewalk. The sign posts would consist of two heavy timber posts mounted in 3 feet of concrete, painted brown with decorative elements for support and attachments. The individual sign directory plaques would employ the following: an aluminum background; beveled edges; painted face; with vinyl graphics. As indicated in the attached lighting specification sheet, lighting will consist of a 20 watt accent light. The applicant has indicated that the sign will be illuminated from 6 to 9 p.m. and normal operating hours from the business are from 8 a.m. to 9 p.m.

Wall signs: A one sided wall sign is proposed on the front of the building facing Broadway ±3 square feet in area (6 inches tall by 6 feet wide). The sign would consist of individual aluminum letters brown in color.

Aggregate Sign Area: Based on the property's frontage on Broadway (131 feet), the maximum aggregate sign area allowed for the parcel is 58.4 square feet. The total aggregate sign area for the property would be ±38 square feet, including the proposed monument sign (35 square feet of aggregate sign area) the proposed wall sign (3 square feet of aggregate sign area). The proposal is consistent with this requirement.

Size Limitations: Each face of a one-sided sign shall not exceed 48 square feet in area (§18.16.022). The proposal is consistent with this requirement.

Sign Height: Monument signs are limited to a maximum height of 12 feet (§18.20.120). The proposed freestanding sign would have a maximum height of 7 feet.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with these requirements.

Existing Signs: During the site visit, staff observed two illegal signs displayed on the building consisting of a directory sign (located on the wall) and a window sign. These signs have not been approved and shall be removed.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Site Plan & Sign Layout*

cc: Robert Sanders, via email

Robert Flahive
3281 Napa Road
Sonoma, CA 95476-9520

Vista 5204 Up and Accent Lights 12 Volt Series (20W) - Composite Mini Area Light

Please Select Lens: ▾

Please Select Finish: ▾

Please Select Bulb: ▾

Please Select Mounting: ▾

Please Select Manufacturing: ▾



Click image to view enlarged

Description

Customer Reviews

Send to friend

Vista 5204 Up and Accent Lights 12 Volt Series (20W) - Composite Mini Area Light

Powerful and compact, this low voltage flood light fixture is constructed of injection-molded, fiber-reinforced composite for strength and high UV stability and is warranted for ten years against corrosion. The hinged shroud opens easily for lamp maintenance and is fitted with a silicone gasket to ensure a superior weather-tight seal under harsh conditions. A clear, tempered, shock and heat resistant soda-lime glass lens safeguards the lamp and optics. A super durable polyester powder-coated finish is applied and available in 13 standard colors. The intelligently engineered fully adjustable knuckle is made from injection-molded, fiber-reinforced composite which effectively isolates the fixture from the harmful corrosive soil. The Vista 5204 is shipped with a standard 20W MR16 lamp, unless otherwise specified. Mounting hardware is included – choice of ABS ground stake, mounting canopy, or tree-mount canopy.

Specifications:

Manufacturer: Vista Lighting

Bulb: Tungsten Halogen MR-16 LN-20 BAB Standard (20W)

Max Wattage: 50W Maximum Wattage

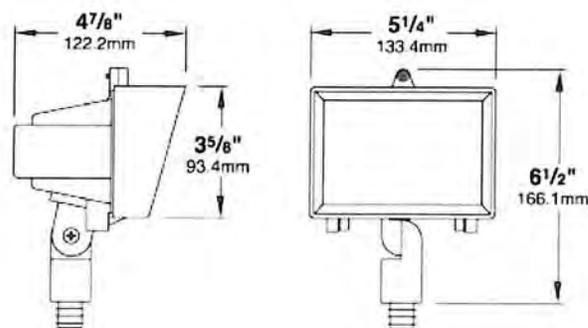
Lead Wire Provided: Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to the supply cable.

Body Material: Injection-molded, fiber reinforced polymer for strength and exceptional UV stability

Optic/Aiming:

Lens Cover: Injection-molded, fiber-reinforced polymer fitted to the housing with a silicone o-ring gasket - providing a superior weather-tight seal.

Lens: Clear, tempered, shock and heat-resistant, soda-lime glass lens. Frosted lens standard with LED fixtures. Optical effect lenses are available below.



2014, at 3:04 PM, Wendy Atkins wrote:

On Mar 12,

Hi Bob,

Wendy Atkins
Associate Planner
City of Sonoma
No. 1 The Plaza
Sonoma, CA 95476
(707) 933-2204
watkins@sonomacity.org

Signage Program for 1051 Broadway Office Building Freestanding Sign for Tenant Directory

Client

Robert Flavhive

1051 Broadway, Sonoma, CA

Project Consultant

Signage Design

Robert Sanders & Co.
signage/design/fabrication
19615 Eighth St., East Sonoma, Ca
Mailing Address: P.O. Box 1356
707-996-3532
fax: 996-2937



PROJECT

Signage Program for 1051 Broadway

DATE

Feb. 17, 2014

robert.sanders&co.

Environmental
Graphic Design
P.O. Box 1356
Sonoma, CA 95476
707. 996.3532
fax 996.2937
email:
info@robertsanders.com

Site Plan/Location of Signs

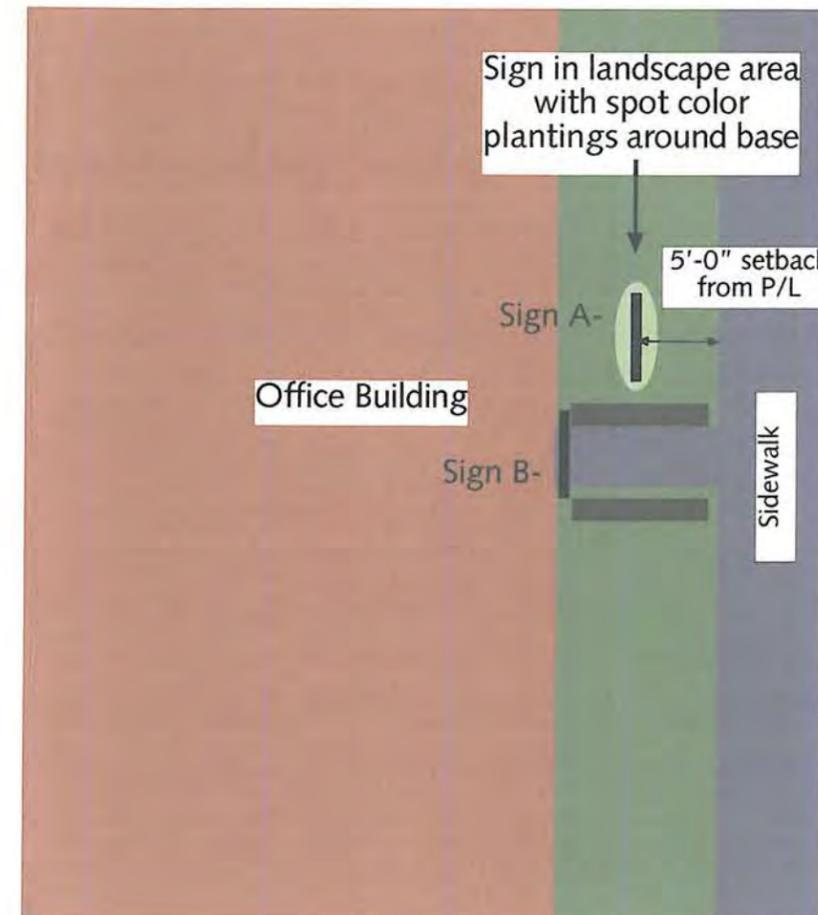
Project Location

Location/Site Plan of Proposed Freestanding Sign



Sign A-
Single-sided freestanding office directory sign located at 1051 Broadway, near corner of Malet St. and Broadway
East side of street

Sign B-
Building name "FLAHIVE BUILDING" individual letters on entrance wall (East Elevation)



PROJECT

Signage Program for 1051 Broadway

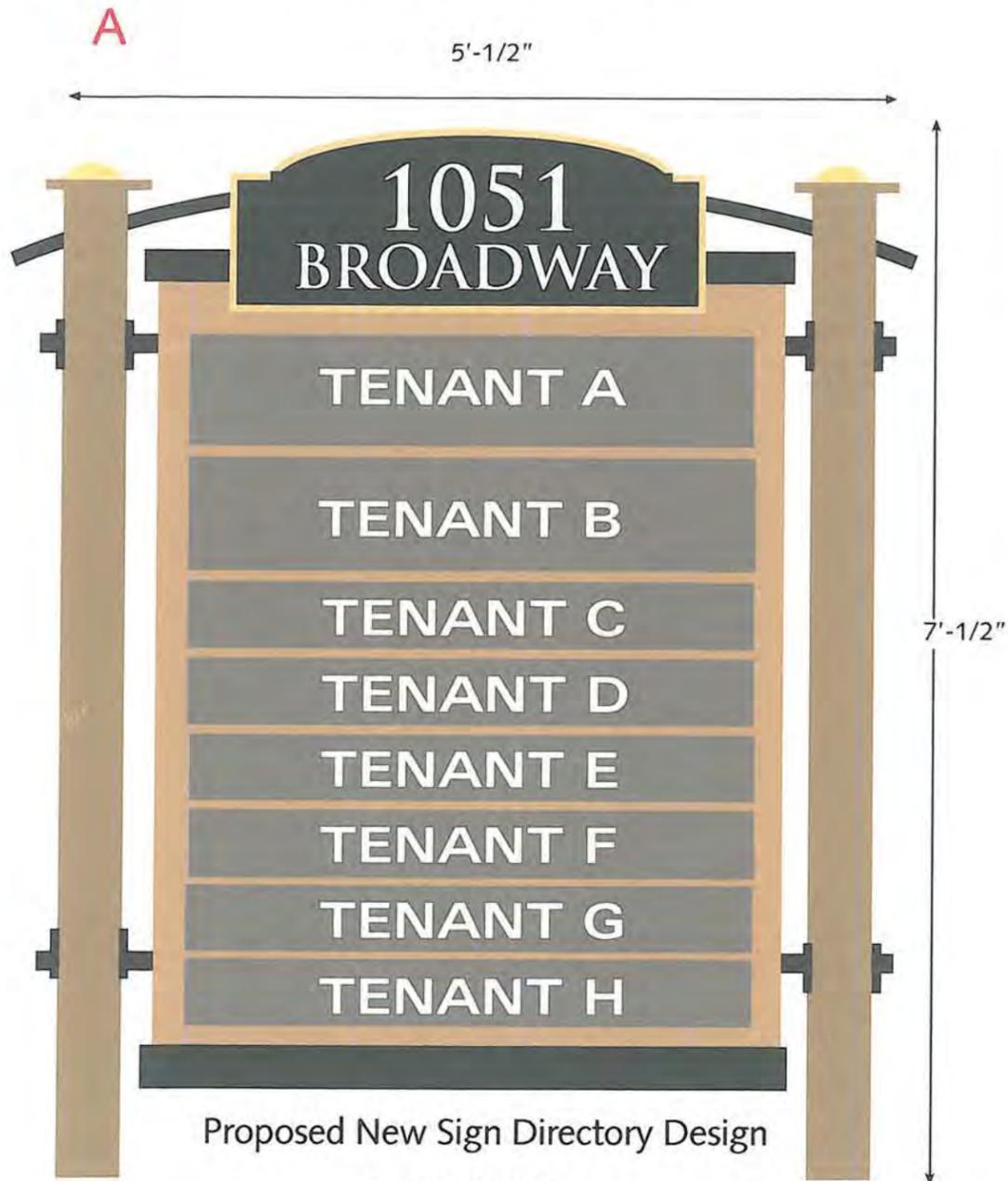
DATE

Feb. 17, 2014

robert sanders & co.

Environmental
Graphic Design
P.O. Box 1356
Sonoma, CA 95476
707. 996.3532
fax 996.2937
email:
info@robertsanderson.com

Exhibit "A" Proposed Signage



Proposed New Sign Directory Design

8 EACH TOTAL

Two larger Directory Name plates -48" x 9"
Six medium Directory Name plates -48" x 9"

Sign Description

- Main sign directory for office tenants (8) made of aluminum background, painted with durable architectural paints
- Individual sign directory plaques for office tenants (8) aluminum background, beveled edges, painted with durable architectural paints with applied vinyl graphics
- Sign supported by 2 posts mounted in 3' deep concrete footings with decorative elements for support and attachment
- Top sign arched element with address and raised No.s/address

B



Sign B- Building name "FLAHIVE BUILDING" individual letters on entrance wall (East Elevation) individual aluminum letters pinned off stucco wall background 6-1/2" high



PROJECT

Signage Program for 1051 Broadway

DATE

Feb. 17, 2014

robert sanders & co.

Environmental Graphic Design
P.O. Box 1356
Sonoma, CA 95476
707. 996.3532
fax 996.2937
email: info@robertsanders.com



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 7

Meeting Date: 03/18/14

Applicant

Michael Palmer

Project Location

500 West Napa Street, Suite 542

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
- Listed on California Register of Historic Resources
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old
Year built: 1959

Request

Consideration of external building modifications for a bakery (Scandia Bakery) located at 500 West Napa Street, Suite 542.

Summary

Scandia Bakery is in the process of relocating from its current location in suite 508 to suite 542 (previous location of Redwood Credit Union).

Facade Improvements: The existing ATM would be replaced with a new window located on the east facing facade (facing the parking area). The window would consist of United States Aluminum storefront systems series 451 and IT451 center glaze (see attached specification sheet) with a combination of painted wood and silver metal with clear tempered glazing.

Findings for Project Approval: In order to approve any application for site design and architectural review, the DRHPC must make the following findings:

- a. The project complies with applicable policies and regulations, as set forth in this development code (except for approved variances and exceptions), other city ordinances, and the general plan;
- b. On balance, the project is consistent with the intent of applicable design guidelines set forth in this development code; and
- c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

Other permits required: In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 933-3681 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Window and door specification sheets*
3. *Site plan and elevations*

cc: Michael Palmer
141 Stoney Circles # 223
Santa Rosa, CA 95401

Sonoma Valley Center LLC
P.O. Box 2745
Antioch, CA 94531-2745

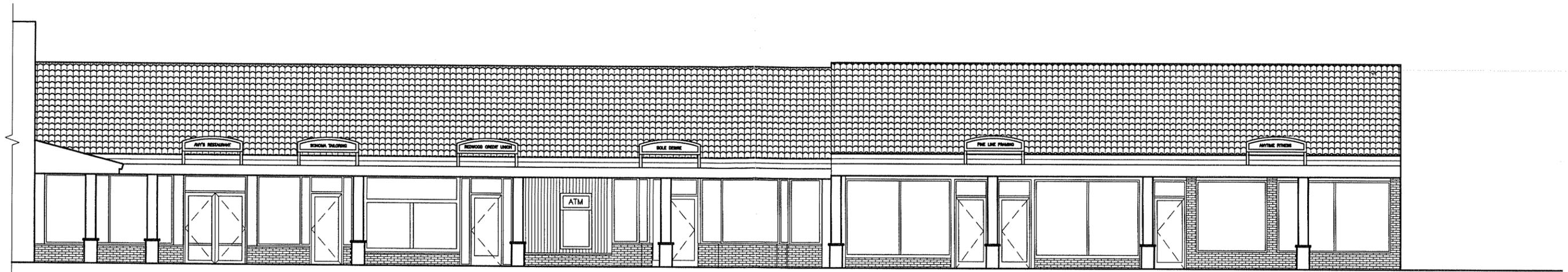
SCANDIA BAKERY

**Sonoma Valley Center
500 West Napa St., Suite 542
Sonoma, CA**

PROJECT NARRATIVE

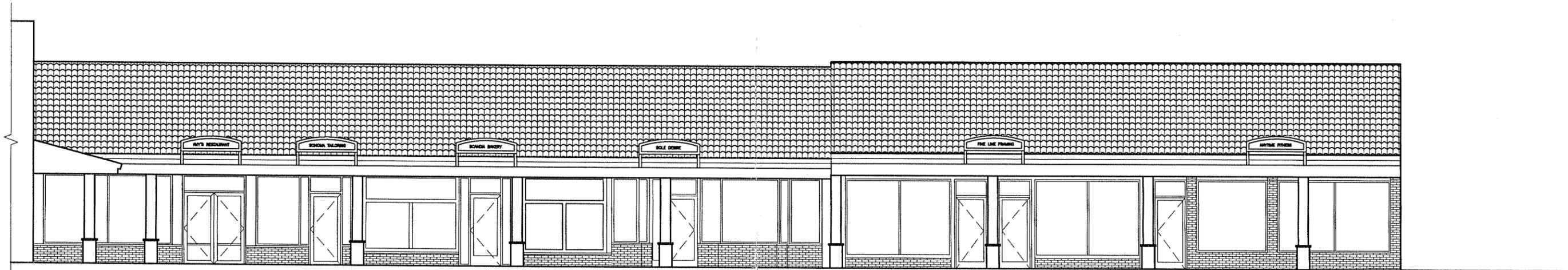
March 4, 2014

The applicant is proposing to remove the existing ATM machine and associated vertical plywood siding and install a new window to match the existing window on the other side of the door. The existing storefront system of Suite 542 is a combination of painted wood and silver metal with clear tempered glazing.



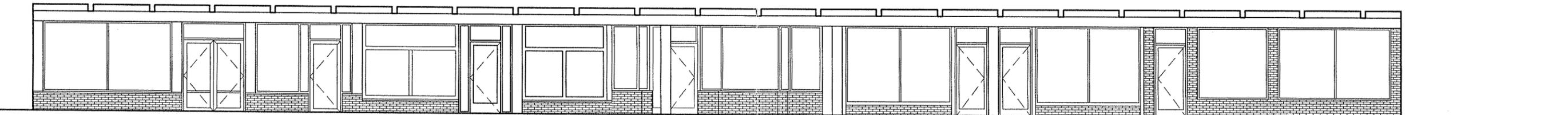
EXISTING EAST ELEVATION

EXISTING PAINTED WOOD & SILVER METAL STOREFRONT



PROPOSED NEW EAST ELEVATION

NEW WINDOW TO MATCH EXISTING



PROPOSED NEW WOOD/ALUMINUM WINDOW

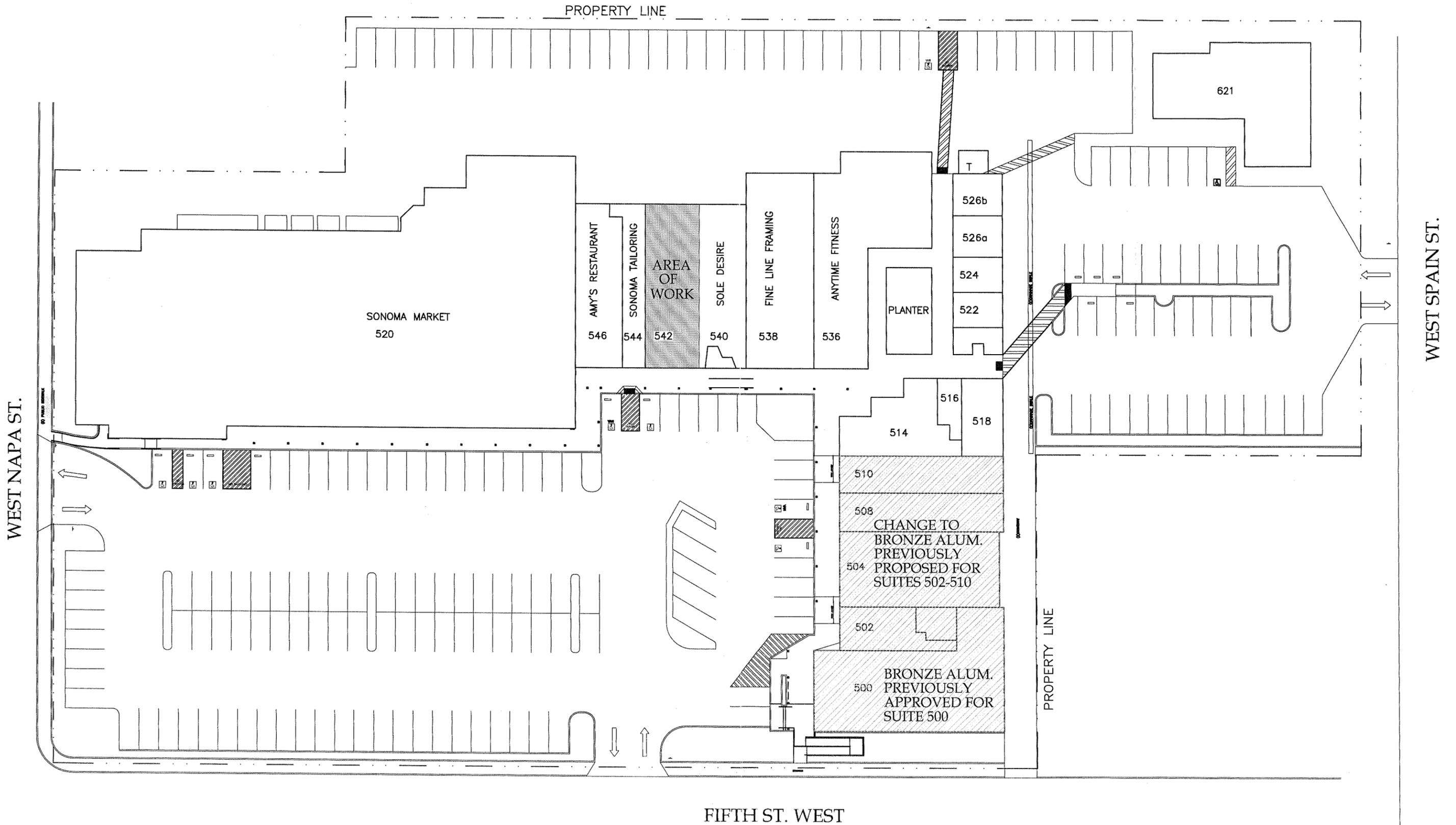
NEW WINDOW TO MATCH EXISTING

SCANDIA BAKERY
 SONOMA VALLEY CENTER
 500 WEST NAPA ST., SUITE 542
 SONOMA CA 95476

REVISED: 3/4/14

MAR 04 2014

SONOMA VALLEY CENTER
500 WEST NAPA STREET
SONOMA, CA 95476

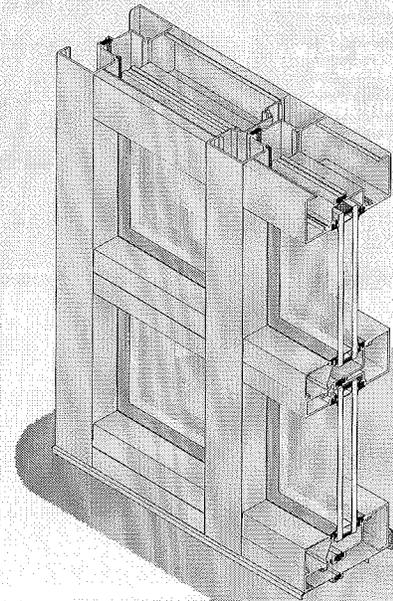


STOREFRONT SYSTEMS

SERIES 451 & IT451 CENTER GLAZE



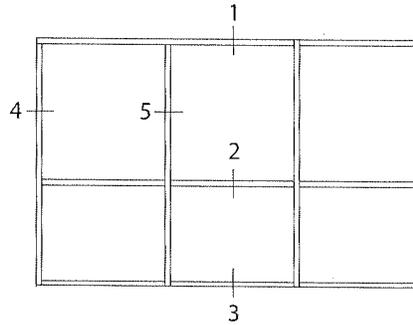
- Series 451 - 2" x 4-1/2"
(50.8 x 114.3 mm) Non-Thermal
- Series IT451 - 2" x 4-1/2"
(50.8 x 114.3 mm) Thermal
- 1" (25 mm) Glazing Infills
- Injection Molded Water Deflectors
- Screw Spline Assembly
- Shear Block Assembly
- Stacking Installation Option
- Full Range of Accessory Components
- Available in Anodized or Painted Finishes



Series IT451 offers improved thermal performance using the Poly-Aluminizer™ and Struct-Link™ Thermal Break Technology. Series 451 and IT451 may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with all United States Aluminum Entrance Doors.

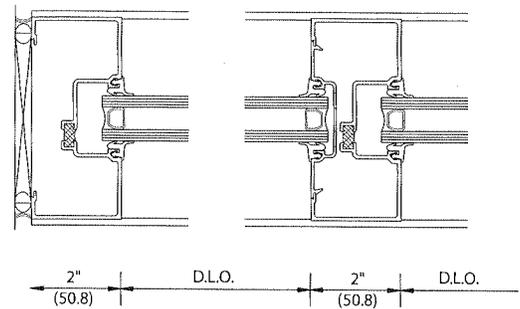
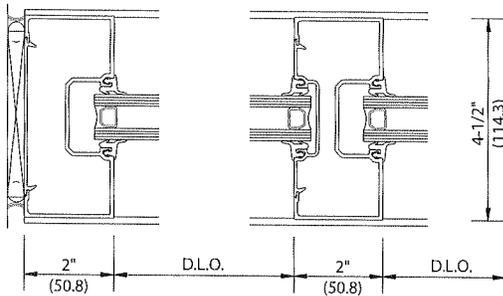
SERIES 451 & IT451 STOREFRONTS TYPICAL DETAILS

For Specifications, Details, and Testing Data go to usalum.com.



Series 451

Series IT451

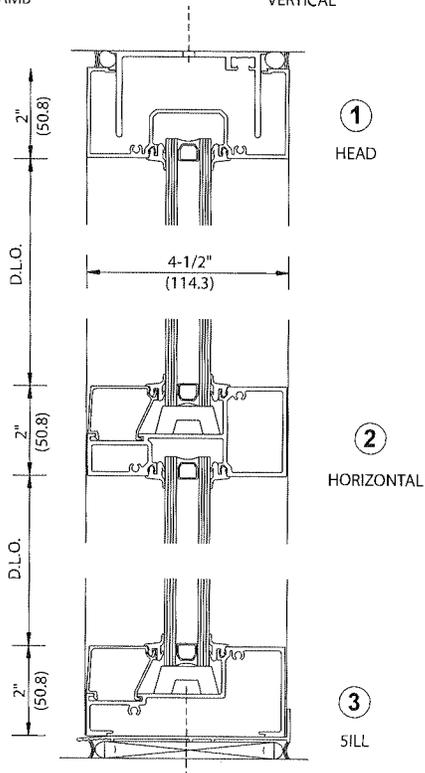


④
JAMB

⑤
VERTICAL

④
JAMB

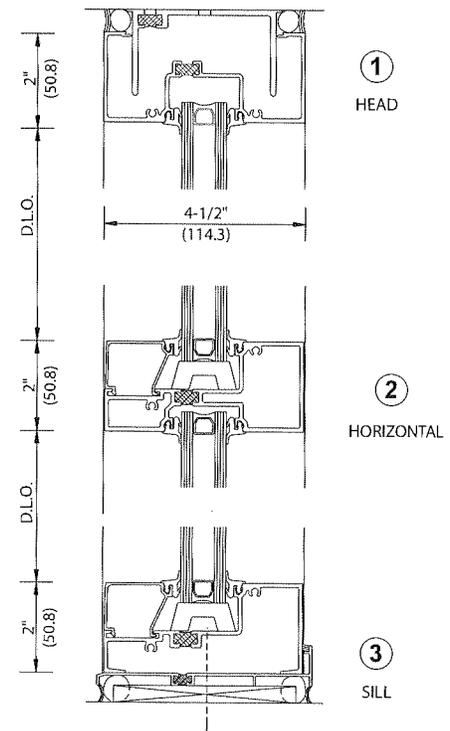
⑤
VERTICAL



①
HEAD

②
HORIZONTAL

③
SILL



①
HEAD

②
HORIZONTAL

③
SILL

NOT TO SCALE



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 8
Item:

Meeting Date: 03/18/14

Applicant

Suzanne Clark

Project Location

757 Second Street East

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: circa 1939
-

Request

Design review of a proposed addition to the residence located at 757 Second Street East.

Summary

The applicant is proposing to add 363 square feet of building area to an existing residence at the rear portion of the house.

Site Description: The subject property is a 7,500-square foot parcel located on the west side of Second Street East located midblock between Chase and France Streets. The property is currently developed with a ±945 square foot residence and a 240 square foot detached garage/studio. The residence was built around 1939 and is eligible for listing on the California Register of Historic Resources (refer to enclosed Survey and Evaluation for 757 2nd Street E., dated January 29, 2014, and Design Review for 757 2nd Street E., dated February 17, 2014). The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Directly adjoining land uses include single-family homes to the north, south, and west.

Project Description: The project involves construction of a ±363 square foot, one-story addition at the rear of the home. The addition would increase the floor area of the residence from ±945 square feet to ±1,308 square feet. In general, the proposed alterations and improvements are consistent with the architectural features of the historic residence in terms of scale, roof heights and pitches, exterior materials, details and color. None of the additions will be visible from the street. The purpose of the project is to provide additional living area for the owner. Further details can be found in the attached project narrative and accompanying materials.

Zoning Requirements: The standards of the Low Density Residential zone applicable to the proposal are as follows:

- **Setbacks:** With the exception of a nine foot long section on the south portion of the residence, which encroaches one foot into the required seven foot setback area, the new addition meets or exceeds the normal setback requirements. The Planning Director has indicated that this exception request can be approved administratively by staff.
- **Coverage:** At 21%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- **Floor Area Ratio:** The project would result in a F.A.R. of 0.21, which is less than the 0.35 maximum allowed.
- **Parking:** One covered parking space is provided in a garage. This meets the requirement.
- **Height:** The one-story residence would have a maximum ridge height of 16 feet, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

Design Review: Alterations to existing structures that increase floor area by 10% or 200 square-feet, whichever is greater located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
A survey and evaluation was completed for the property on January 29, 2014. This evaluation found that the residence and garage/studio are historic resources and are eligible for listing on the California Register of Historic, which means that the residence is an “historical resource” under CEQA.
2. Environmental features on or adjacent to the site;
Staff is not aware of any environmental features on or adjacent to the site.
3. The context of uses and architecture established by adjacent development;
The adjacent properties to the north, south, and west are developed with single family residences.
4. The location, design, site plan configuration, and effect of the proposed development.
A design review report was completed for the property on February 17, 2014. This report determined that the location, design, site plan configuration, and effect of the proposed development are compatible with surrounding uses.

In general, it is staff’s conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above (with the exception of a nine foot long section on the south portion of the residence, which can be administratively approved), the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was not necessary, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a survey and evaluation and design review report of the residence suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an evaluation was conducted to determine whether the proposal is consistent with the Standards [refer to attached Survey and Evaluation for 757 2nd Street E., dated January 29, 2014, and Design Review for 757 2nd Street E., dated February 17, 2014, prepared by Painter Preservation Planning (Reports)]. The conclusion of the Reports determined that the work in the proposed project meets the Secretary of the Interior’s Standards.

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features;
4. The project will not impair the historic character of its surroundings;
5. The project substantially preserves the qualities of any significant historic structures or other significant historic

features on the site;

6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone); and
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design and Historic Preservation Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Window and door specification sheets.
3. Outdoor light specification sheet.
4. Letters of project support.
2. Survey and Evaluation for 757 2nd Street E., dated January 29, 2014.
6. Design Review for 757 2nd Street E., dated February 17, 2014.
3. Historic Resources Inventory.
5. Site plan.
6. Site plan, floor plan, and elevations.

cc: Suzanne Clark
 757 Second Street East
 Sonoma, CA 95476

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

757 Second Street East Expansion Project

Introduction

My name is 'Zanne Clark and I have been the owner of 757 Second Street East for 30th years. Having served on the Board of Directors for the Sonoma League for Historic Preservation and earlier for the San Francisco Architectural Heritage Foundation, I am a proponent of preserving the historic nature of Sonoma.

Description of the Proposed Project

My home, "Carolina Cottage", is celebrating its 75th birthday this year. To honor this special occasion, it is time to do some rejuvenation to this 945 square foot place. I propose to enlarge my kitchen and bedroom to make them more functional. I am also adding a bathroom since I have a relative living with me now. This 363 square foot expansion will be done to the back of the house thereby preserving the front facade in keeping with the example of a minimal traditional house with Colonial Revival elements. Having been raised in South Carolina, I grew up surrounded by Colonial homes and that is the reason I was drawn to 757 Second Street East.

Materials Used

My intention is to create the illusion of a conservatory in the extension of my kitchen area. To do so, I need to bring more natural light into this dark house to the west wall of this room and to the master bedroom. We will use the same five-light casement windows and french doors as those presently existing in the north wall of the kitchen. (See Exhibit A) These windows and doors plus the one in the bathroom will be white wood, energy efficient and of good quality. The french doors will be done by Simpson Door Company. (See Exhibit B)

The roof on the new expansion will match the existing roof. We will use Timberline composition singles, GAF materials in the Antique Slate color.

FEB 21 2014

The exterior walls will be stucco like the originals and will be painted in the same color, Touch of Pink, Benjamin Moore #2008-70 and a white trim, Snowfall White #2143-70.

An outdoor light will be installed to the left of the french doors on the South side wall going out from the kitchen to the deck. This fixture is a dark sky traditional shaped Revere Flemish outdoor wall sconce. See Exhibit C for product detail.

The french windows and doors are very important to me as I want to enjoy my Southern garden in the back that include roses, rhododendrons, azaleas and one stately dogwood tree. In my retirement years. I want to enjoy this view all year long. This garden is an integral part of this home and has been used multiple time for garden tours to raise money for various local non-profits.

Conclusion

I have had two meetings with David Goodison to ensure that my plans comply with the applicable policies and regulations of the development codes, other city ordinances and the general plan.

I also hired architectural historian Ms. Diana Painter to evaluate my property to determine its historic significance. In her 16-page report, she found that my house was a good example of the minimal housing that included some form of an architectural element. In this case, it is the wooden portico on the front of the house built in 1939 which will not be altered in any way because the expansion is in the back of the house.

All of my immediate neighbors are in full support of this expansion

I loved this house and would like to stay here as long as I can. Thank you for your time and consideration in my efforts to prepare this house to be functional for my next thirty years!

Suzanne Clark

February 18, 2014

EXHIBIT A



EXISTING FRENCH WINDOW



EXISTING FRENCH DOOR

EXHIBIT B

Description of the windows made by Posey

FRENCH WINDOWS

Frame Size : 36 X 60

(Outside Casing Size: 36 X 61 1/2)

Custom Push Out Wood Casement, Auralast Pine, French Casement

Primed Exterior,

Primed Interior,

Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch,

4 9/16 Jamb,

Venting,

Classic Push Out Handle, White Hardware,

US National-WDMA PG 35,

Insulated Low-E 366 Annealed Glass, Standard Spacer, Argon Filled,

Traditional Glz Bd,

1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed

Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 5 High

Hinged Pine Screen, Contemporary Screen Stop

Clear Opening:18.72w, 56.438h, 7.336 sf

BATHROOM WINDOWS

Frame Size : 24 X 36

(Outside Casing Size: 24 X 37 1/2)

Custom Push Out Wood Casement, Auralast Pine,

Primed Exterior,

Primed Interior,

Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch,

4 9/16 Jamb,

Hinge Left,

Classic Push Out Handle, White Hardware,

US National-WDMA PG 50,

Insulated Low-E 366 Tempered Glass, Standard Spacer, Argon Filled,

Traditional Glz Bd,

1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed

Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 3 High

Hinged Pine Screen, Contemporary Screen Stop

Clear Opening:13.829w, 32.438h, 3.115 sf

SONOMA DOOR AND SASH

19554 8TH ST EAST
 SONOMA, CA 95476
 Phone: (707) 938-3719



QUOTE BY: KAREN

QUOTE #: JSDS06320

SOLD TO: SONOMA DOOR
 KAREN
 19554 8TH ST EAST
 SONOMA, CA 95476

SHIP TO:

Phone: 7079383719

Fax: 7079388710

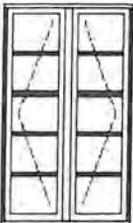
PROJECT NAME: Suzanne Clark

PO#:

REFERENCE: All Wood: Primed

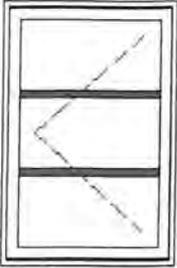
Ship Via: Ground/Next Truck

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line-1	RO Size: 36 3/4 X 61 3/4	CWPOCFR3660 Frame Size : 36 X 60 (Outside Casing Size: 36 X 61 1/2) Custom Push Out Wood Casement, Auralast Pine, French Casement Primed Exterior, Primed Interior, Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch, 4 9/16 Jamb, Venting, Classic Push Out Handle, White Hardware, US National-WDMA PG 35, Insulated Low-E 366 Annealed Glass, Standard Spacer, Argon Filled, Traditional Glz Bd, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 5 High Hinged Pine Screen, Contemporary Screen Stop Clear Opening: 18.72w, 56.438h, 7.336 sf <small>PEV 2014.1.0.868/PDV 5.937 (01/03/14) PW</small>			
			\$2,331.73	6	\$13,990.38



Viewed from Exterior. Scale: 1/4" = 1'

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line-2	RO Size: 24 3/4 X 37 3/4	CWPOC2436 Frame Size : 24 X 36 (Outside Casing Size: 24 X 37 1/2) Custom Push Out Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch, 4 9/16 Jamb, Hinge Left, Classic Push Out Handle, White Hardware, US National-WDMA PG 50, Insulated Low-E 366 Tempered Glass, Standard Spacer, Argon Filled, Traditional Glz Bd, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 3 High Hinged Pine Screen, Contemporary Screen Stop Clear Opening:13.829w, 32.438h, 3.115 sf <small>PEV 2014 1.0.868/PDV 5.937 (01/03/14) PW</small>			
			\$899.84	1	\$899.84



Viewed from Exterior. Scale: 1/2" = 1'

Total: \$14,890.22
Total Units: 7

Your cost
12,388 -
~~1,083.95~~

13,471.95

[Print](#)

[View Single Glazed \(SG\) version](#)

Thermal French (TDL)

7105

Series: [Exterior French & Sash](#)

Type: Exterior French & Sash

Standard Features

[Available in Any Wood Species](#)

Available in Virtually Any Size

[Textured Glass Options](#)

[Try the Glass Taste Test](#)

[Available with UltraBlock® Technology,](#)

[5-year warranty](#)

Privacy Rating: 1

Panels: na

Moulding: na

Glass: 3/4" Insulated Glazing

Caming: na

Customer Service: 1-800-SIMPSON (746-7766)

Email: SimpsonCustomerService@brandner.com

EXHIBIT C

All Products / Exterior / Outdoor Lighting



World Imports Dark Sky Revere Flemish Outdoor Wall Sconce

Choose a Size:

10x12 inches

6x9 inches

9x10 inches

Quantity: 1

Free Shipping!

\$154

Listed Price: ~~\$236.92~~

World Imports 61300-06 Dark Sky 1-Light Outdoor Wall Light in Flemish

- Wattage: 100 W.
- # of Bulbs: 1.
- Socket Type: Medium.
- Installation Required: Yes.
- Weight: 5lbs.

Product Specifications

Manufactured By	World Imports
Sold By	Littman Bros Lighting
Width	6.0"
Depth	9.5"
Height	8.5"
Color	Flemish
Size	6x9 inches
Materials	Metal
Category	Outdoor Lighting
Style	Traditional

Ready to ship to the Continental U.S. in 5 - 7 days.

[View return policy >](#)

[Need more info? Ask a question >](#)

Related Searches:

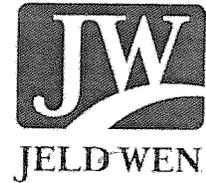
World Imports Wall Sconces Lights · World Imports Wall Sconces · World Imports Lighting Wall Sconce · Dark Sky Wall Sconce · World Imports Lighting Dark Sky · Outdoor Wall Light

People who liked this photo also liked:



FEB 21 2014

SONOMA DOOR AND SASH
 19554 8TH ST EAST
 SONOMA, CA 95476
 Phone: (707) 938-3719



QUOTE BY: KAREN

QUOTE #: JSDS06320

SOLD TO: SONOMA DOOR
 KAREN
 19554 8TH ST EAST
 SONOMA, CA 95476

SHIP TO:

Phone: 7079383719

Fax: 7079388710

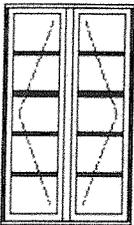
PROJECT NAME: Suzanne Clark

PO#:

REFERENCE: All Wood: Primed

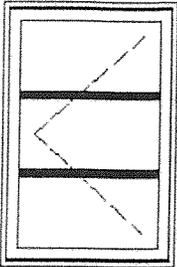
Ship Via: Ground/Next Truck

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line-1	RO Size: 36 3/4 X 61 3/4	CWPOCFR3660 Frame Size : 36 X 60 (Outside Casing Size: 36 X 61 1/2) Custom Push Out Wood Casement, Auralast Pine, French Casement Primed Exterior, Primed Interior, Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch, 4 9/16 Jamb, Venting, Classic Push Out Handle, White Hardware, US National-WDMA PG 35, Insulated Low-E 366 Annealed Glass, Standard Spacer, Argon Filled, Traditional Glz Bd, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 5 High Hinged Pine Screen, Contemporary Screen Stop Clear Opening:18.72w, 56.438h, 7.336 sf PEV 2014.1.0.868/PDV 5.937 (01/03/14) PW			
			\$2,331.73	6	\$13,990.38



Viewed from Exterior. Scale: 1/4" = 1'

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line-2	RO Size: 24 3/4 X 37 3/4	CWPOC2436 Frame Size : 24 X 36 (Outside Casing Size: 24 X 37 1/2) Custom Push Out Wood Casement, Auralast Pine, Primed Exterior, Primed Interior, Subsill Only, Standard Sill Nosing, Extended Sill Horns 6 Inch, 4 9/16 Jamb, Hinge Left, Classic Push Out Handle, White Hardware, US National-WDMA PG 50, Insulated Low-E 366 Tempered Glass, Standard Spacer, Argon Filled, Traditional Glz Bd, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Primed Aluminum SDL, Light Bronze Shadow Bar, Colonial 1 Wide 3 High Hinged Pine Screen, Contemporary Screen Stop Clear Opening: 13.829w, 32.438h, 3.115 sf PEV 2014.1.0.868/PDV 5.937 (01/03/14) PW			
			\$899.84	1	\$899.84



Viewed from Exterior. Scale: 1/2" = 1'

Total: \$14,890.22
Total Units: 7

Your cost
12,388.-
~~1,083.95~~

13,471.95

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

LUCINDA FORD & MYRON LONDON

Name: (Print) _____

Lucinda Ford Myron London

Signature: _____

Address: 754 2ND ST. EAST 754 2ND ST. EAST

Date: Feb. 13, 2014 2/13/14

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) KATHLEEN CARTER

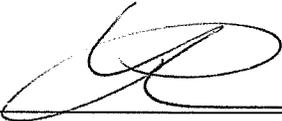
Signature: Kathleen Carter

Address: 777 SECOND ST EAST SENOMA 95776

Date: February 15, 2014

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) RHONDA VON GOBER

Signature: 

Address: 749 2ND ST East

Date: 2/15/14

FEB 18 2014

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) Willard Strid
Warren Bryant

Signature: Warren Bryant . Willard Strid

Address: 787 - 2nd St. E, Sonoma, CA

Date: Feb. 13, 2014.

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) FRED GILBERT

Signature: 

Address: 765 2nd ST. E

Date: FEB 12 2014

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) MARILYN CACCIA

Signature: 

Address: 768-2ND St. East

Date: 2/12/14

I met with Suzanne Clark, the owner of 757 Second Street East and have reviewed the plans for the proposed remodel at the address above and I fully support the proposed project.

Name: (Print) Susan MacMillan

Signature: Susan MacMillan

Address: 741 2nd St. East

Date: 2-12-14



PAINTER
PRESERVATION
PLANNING

HISTORIC PRESERVATION & URBAN DESIGN

January 29, 2014

Ms. Suzanne Clark
757 2nd Street E.
Sonoma, CA 95476

Re: Survey and Evaluation for 757 2nd Street E.

Dear Ms. Clark.

This letter and the attached Department of Parks and Recreation (DPR) 523 forms comprise the survey and evaluation of the property at 757 2nd Street E. The DPR 523B form contains an evaluation or Determination of Historic Significance for the property. Below is a discussion of research and field methods for the survey and findings.

Previous Survey

A survey of the property at 757 2nd Street E. was conducted in 1978 and updated in 1998. In 1978 the house was noted as “the best example in the block of Colonial Style cottage.” The survey further noted that, “It is a support building in the area for style and size to maintain the historical development of the area.” The cottage had essentially the same appearance as it does today. In 1998, when the survey was updated, the surveyor noted the quality of the landscaping and the fact that the name “Carolina Cottage” had been added.

Research and Field Methods

Research for this survey and evaluation was conducted at the Sonoma County Assessor’s Office, the City of Sonoma, the Sonoma League for Historic Preservation, and the History Annex of the Sonoma County Library. Sources of information for the report include Sonoma County Assessor and Recorder records; the City of Sonoma building permit records; newspaper articles; and local directories. The site was recorded and photographed in January 2014.

Findings

The property at 757 2nd Street E., which consists of a residence and garage/studio, was found to be a contributing property to the City of Sonoma Historic Overlay Zone. It is significant under Criteria 1 of the California eligibility criteria for its association with residential neighborhood development in Sonoma, and under Criterion 1 for its architecture, as a good example of a 1939 Minimal Traditional house with Colonial Revival elements. Please see the attached Department of Parks and Recreation 523 forms (DPR forms) for more information.

Evaluator Qualifications

I am an architectural historian whose qualifications meet the Professional Qualifications Standards of the National Park Service in history and architectural history and as outlined in the Code of Federal Regulations, 36 CFR Part 61. I hold a PhD in Architecture and a Masters Degree in Urban Planning and have 30 years of professional experience in historic preservation and urban design. I am listed as an architectural historian on the roster of consultants on file with the State

Mailing address: PO Box 2899 • Salem, OR 97308 • 707.763.6500
California office: 388 Patten Street • Sonoma, CA 95476 • 707.763.6500

FEB 18 2014

Historic Resource Survey
757 2nd Street E.
January 29, 2014
Page 2 of 2

of California Office of Historic Preservation's Eastern Information Center at the University of California at Riverside. Ms. Alison Garcia Kellar holds an MS in Historic Preservation from the University of Pennsylvania, with an emphasis in preservation design and building conservation, and a BA in Design from UC Davis with an emphasis in interior architecture.

Sincerely,

A handwritten signature in cursive script that reads "Diana J. Painter".

Diana J. Painter, PhD, ACIP
Owner/Principal architectural historian

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code

Other Listings
 Review Code

Reviewer

Date

Page 1 of 16

*Resource Name: 757 2nd Street E.

P1. Other Identifier: None

*P2. Location: Not for Publication Unrestricted
 and

*a. County: Sonoma

*b. USGS 7.5' Quad: Sonoma
 c. Address: 757 2nd Street E.
 d. UTM: Zone: 10;
 e. Other Locational Data:
 APN 018-353-014

Date: 1980

T 5N; R5W; ¼ of ¼ of Sec ; Mt. Diablo B.M.
 City: Sonoma Zip: 95476

*P3a. Description:

Summary. The property at 757 2nd Street E. consists of two structures – a residence and garage/studio – and landscaping on a 7,500 square foot urban lot. It is located within the City of Sonoma's east side, approximately three blocks southeast of the Sonoma Plaza, which is part of Sonoma's National Historic Landmark District. Located between France and Chase Streets, the residence faces east, overlooking 2nd Street. The two buildings are considered historic resources and contributors to the city's Historic Overlay Zone.

Residence. This one-story, single-family home is located on Lot 14 (the southern portion of what was formerly Lot 18), at about mid block between France and Chase Streets, on the west side of 2nd Street E. The narrow parcel of land runs east to west from the street and includes a front yard with a brick paver pathway leading to the home with a small studio building to its rear. An attached porch and landscaped yard comprise the remainder of the property. Built in 1939, the home is wood-frame construction, finished in thickly applied stucco with a concrete foundation and composition shingle roof. The building has a slightly irregular footprint; rectangular with a small projection on the northwest corner (a former porch) of the 956 square foot home.

Front Façade. The eastern front façade faces 2nd Street E. and is symmetrical in profile, spanning 34' in length. A central door is flanked by a pair of windows with simple white trim. Each window pair has a set of black wooden shutters. Vinyl inserts have been added into the original wooden casement. The window pairs each feature white decorative planter boxes, added between 1984 and 1998. A gently winding brick paver pathway connects the sidewalk to a raised concrete front porch with two steps, with a 78 square feet rectangular footprint. The centered front porch has a gable roof and an open pediment with a round-arched soffit, which supported. **Continued on sheet 2 of 16**

*P3b. Resource Attributes: HP2 – Single family property; HP4 – Ancillary building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: Front (east) façade, 2013

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both 1939

*P7. Owner and Address:
 Suzanne Clark
 757 2nd Street E.
 Sonoma, CA 95476

*P8. Recorded by:
 Diana J. Painter, PhD/Alison
 Garcia Kellar
 Painter Preservation & Planning
 388 Patten Street
 Sonoma, CA 95476
 (707) 763-6500

*P9. Date Recorded: January 5, 2014

*P10. Survey Type: Intensive for project review

*P11. Report Citation: None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

*Recorded by: Diana Painter/Alison Garcia Kellar

*Date: January 2014 Continuation Update

P3a. Description
Continued from sheet 1 of 16

by two white tapered round columns, both of which are covered in a spiraling decorative vegetation. The columns have little decorative detail at the capital and base. Various low plants and maintained shrubs lie to either side of the concrete porch. A central pendant lamp hangs from the inside of the arched front canopy. "Directly over the door 757" is spelled out in metal signage.

Side Elevation. The north elevation of the building is adjacent to the driveway that leads to the original garage and spans 32'. It is irregular in profile (a gable end with an extended shed roof to the right) and features three one-over-one-light, wood-frame, double-hung windows on the original portion of the home. Two double-leaf, wood-frame casement windows with horizontally oriented lights are located on the west (right) side of this elevation, one straddling the new and older portion of the building and another centered within the newer portion, which represents the enclosed porch. The converted porch area now serves as an extension of the kitchen. The stucco finish of this newer portion differs slightly in texture from the original portion of the home. The metal exhaust piping for the fireplace projects from the roof, to left of the pitch.

Rear Elevation. On the western elevation facing the rear yard, a raised 12' wide wooden deck extends from the enclosed porch in the northwest corner of the building. Five-light double French doors lead from the kitchen to the deck. Five-light sidelights flank the double doors. Two double-hung windows, a standard size window and a smaller one, are located to the right (south) side of this façade, within the original portion of the building, which is 22' wide in this location. This wall is heavily covered in vegetation. The in-ground spa (hot tub), built in 1981, lies in the ground to the south of the deck, covered by plywood.

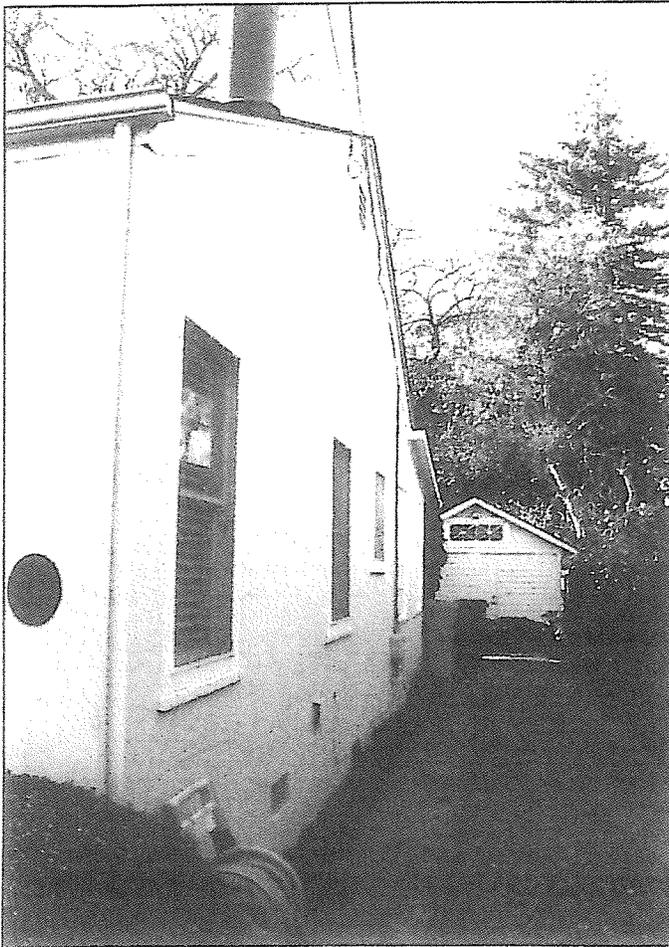
Side Elevation. The 26' wide southern elevation of the building is close to the neighboring fence. Attached to the building in this location is a lean-to wooden shed with corrugated fiberglass roof. A small vent is centered at the uppermost portion of the wall. The three double-hung windows on this façade vary in size and display their original woodwork and surrounds, with vinyl glazing inserts.

Garage/Studio. A concrete driveway on the north side of the property close to the property line extends from 2nd Street alongside the house toward the rear of the property, terminating at the original garage. A high lattice fence with a gate, covered with vegetation, extends from the back deck to this structure (in the northwest corner of the site), which has been converted by the current owner into a studio. Rectangular in footprint, the small structure is wood-frame and clad in v-groove shiplap siding. It has a moderately pitched roof with gable ends facing east and west. The roof is clad with composition shingle, matching that of the home. The south elevation features a centered single French door with ten lights, with flanking two-leaf, single-light casement windows. A similar window is located on the west façade. On the east façade, facing the street, are hinged double doors clad in the same horizontal wood as the main body of the building (these no longer access the interior of the building). Centered above the doors is a two-panel, "union jack" style window. A single exterior electric downlight is centered above this window.

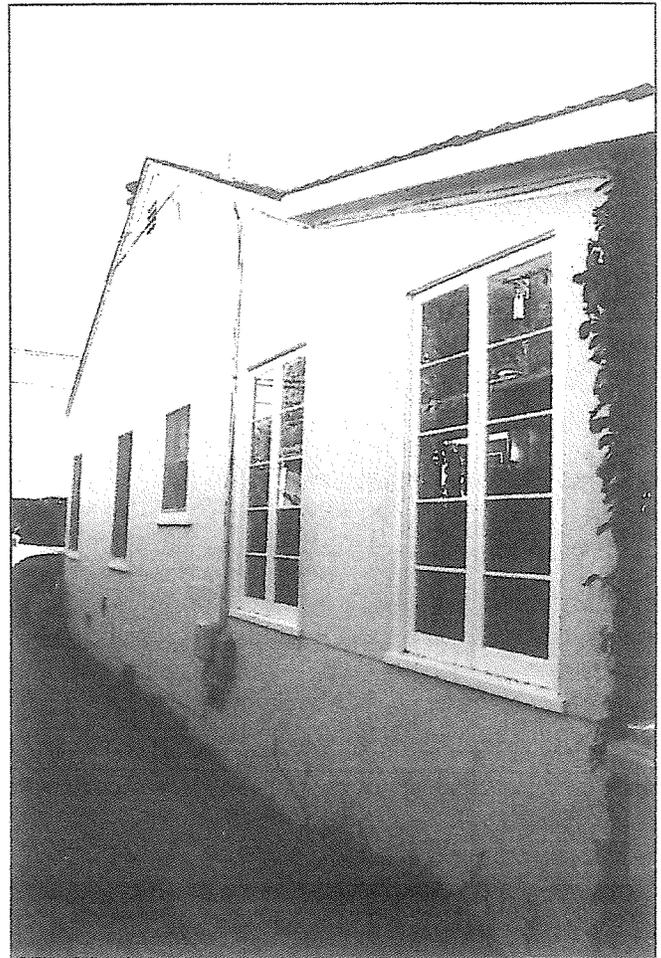
Summary. The property retains good integrity, is in good condition, and is well cared for by the current owner. The treatment and maintenance of the wooden portico are the sole concern in terms of building preservation at this time. The enclosure of the rear porch was done in a sensitive manner with period-appropriate detailing, while maximizing the usable space for the homeowner. The original single car garage has been maintained and repurposed to satisfy a contemporary use, yet maintains its historic appearance as viewed from the street.



State of California ☐ The Resources Agency		Primary #	
DEPARTMENT OF PARKS AND RECREATION		HRI #	
CONTINUATION SHEET		Trinomial	
		NRHP Status Code	
Other		Listings	
Review Code	Reviewer	Date	



Residence, northern elevation and driveway leading to studio facing west



Residence, northern elevation facing southeast

State of California ☐ The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HRI #
CONTINUATION SHEET	Trinomial
	NRHP Status Code
Other	Listings
Review Code	Reviewer
	Date

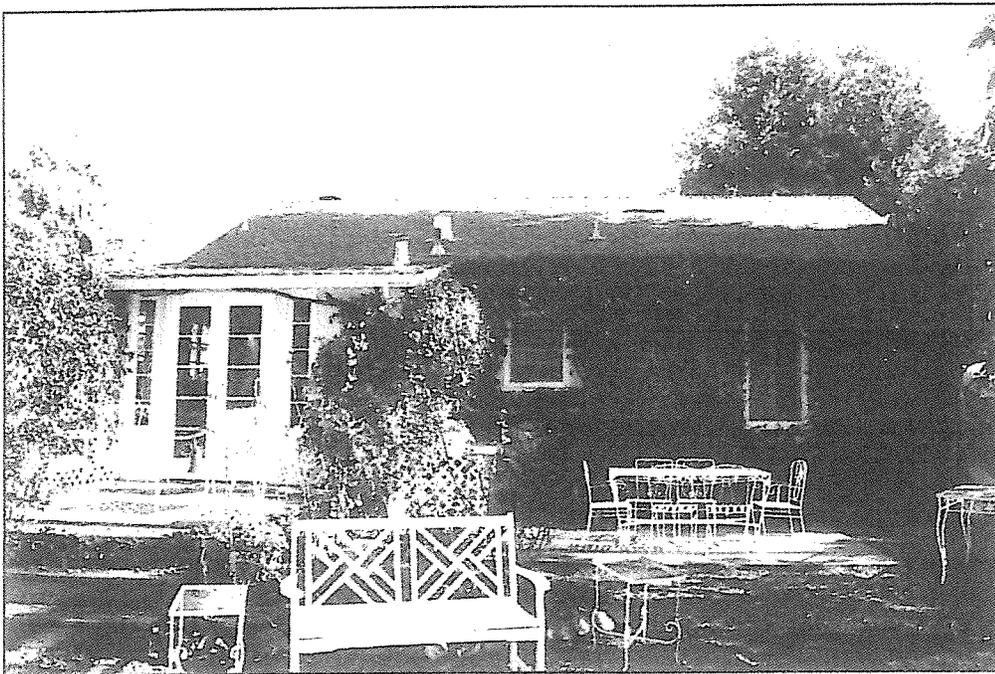
*Resource Name: 757 2nd Street E.



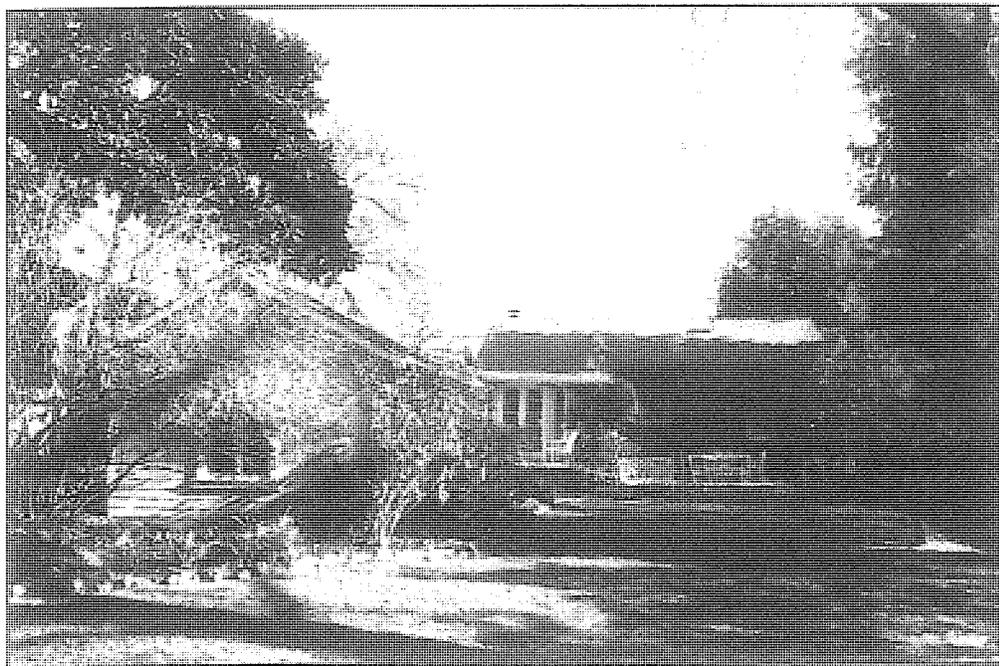
Residence, lean-to shed attached to south elevation

State of California <input type="checkbox"/> The Resources Agency	Primary #	
DEPARTMENT OF PARKS AND RECREATION	HRI #	
CONTINUATION SHEET	Trinomial	
	NRHP Status Code	
Other		Listings
Review Code	Reviewer	Date

*Resource Name: 757 2nd Street E.



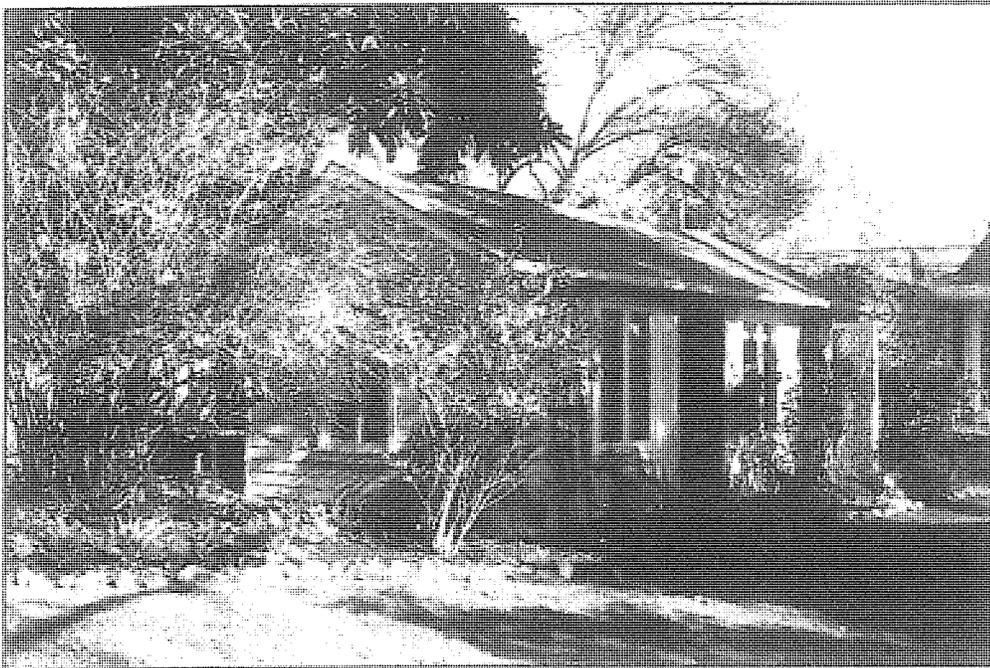
Residence, west facade



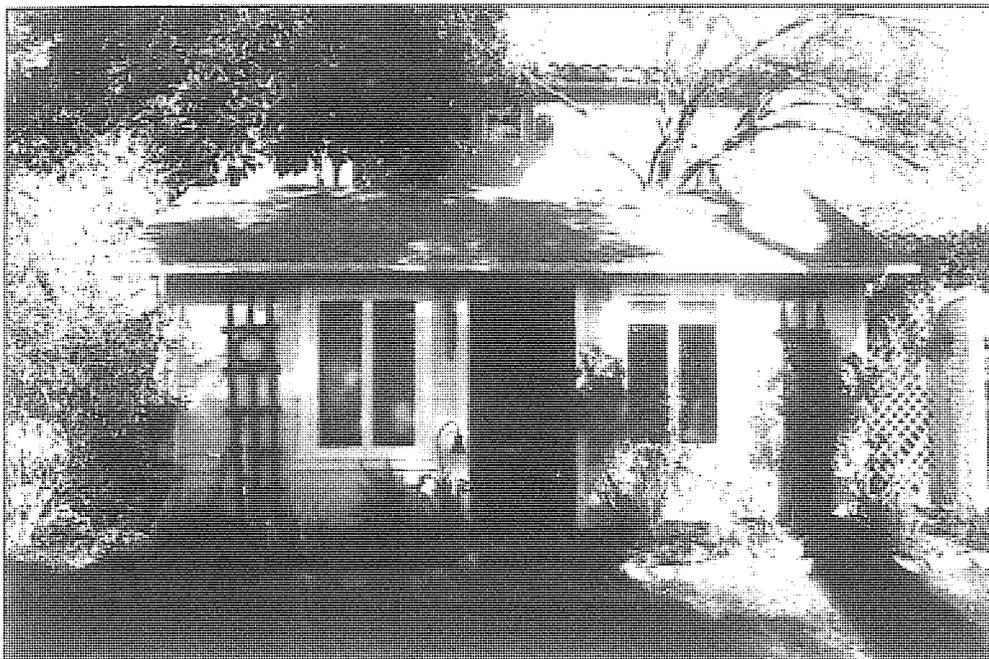
Studio, residence & yard looking east

State of California ☐ The Resources Agency	Primary #	
DEPARTMENT OF PARKS AND RECREATION	HRI #	
CONTINUATION SHEET	Trinomial	
	NRHP Status Code	
Other		Listings
Review Code	Reviewer	Date

*Resource Name: 757 2nd Street E.



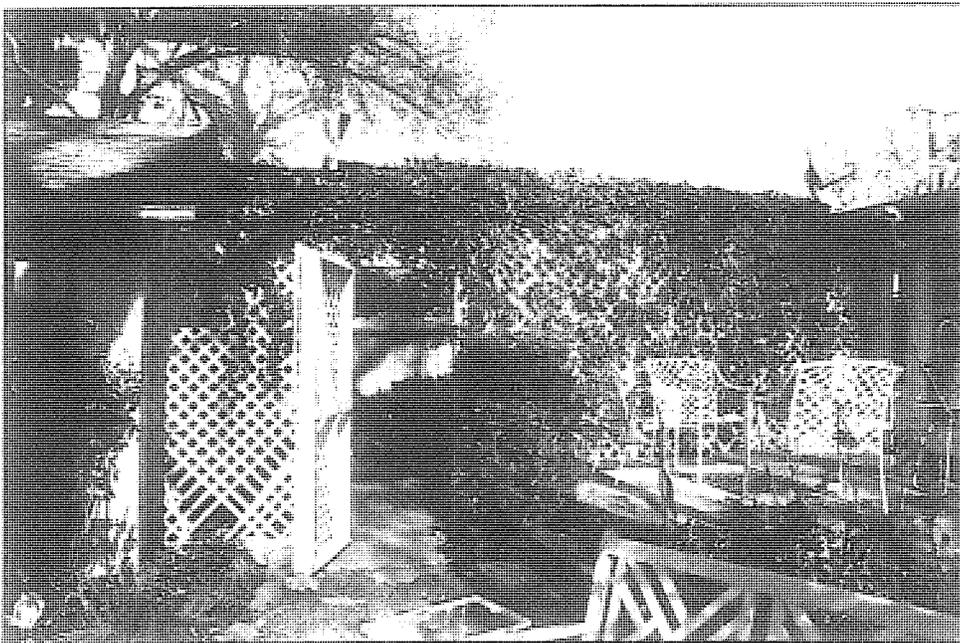
Studio, west & south facades



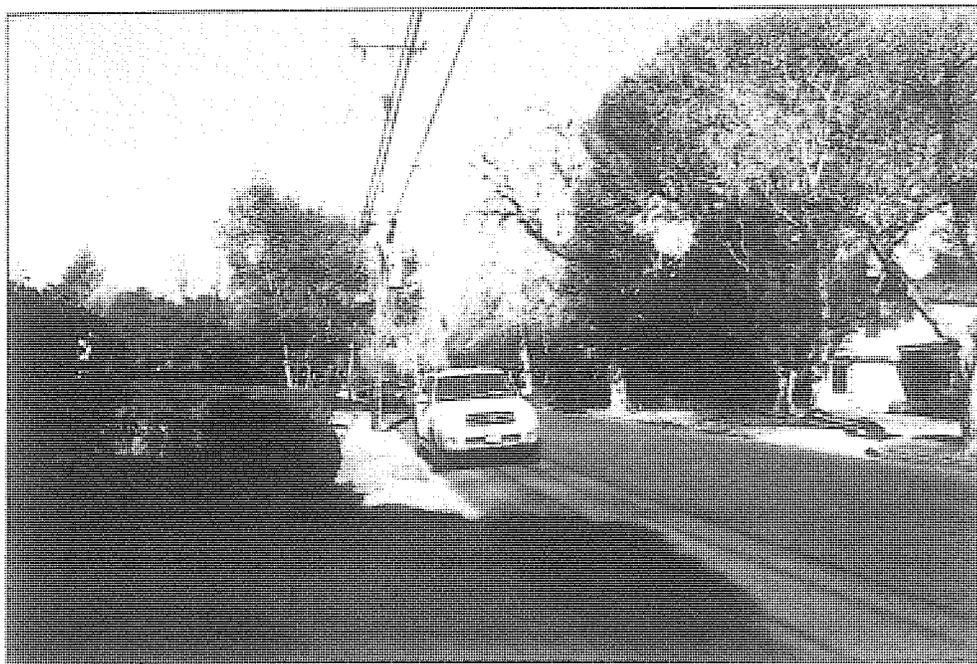
Studio, south façade



Studio/garage, east facade



Deck with gate in backyard
spanning from home to studio.
Facing northeast



Neighborhood looking north on
2nd Street East



Neighborhood looking south on
2nd Street East

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 9 of 16

*NRHP Status Code 5D1: Contributor to a district that is listed or designated locally

*Resource Name: 757 2nd Street E.

B1. Historic Name: None

B2. Common Name:

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History:

The residence and garage were constructed in 1939. The front porch canopy was slightly altered and gutters added in 1982. Also in the early 1980s, an in-ground spa (hot tub) was added to the backyard. Changes made in 1984 include the signage addition to the front of the house; renovation of the rear porch for an extended kitchen area (casement windows and French doors were added at this time); the addition of the rear wood deck; and the renovation of the garage for a studio, which included adding the windows and replacing the door on the south façade. Owner Suzanne Clark's photographs from 1984 show that a simple fence and gate between the home and original garage structure has since been removed and a lattice fence parallel to the driveway added. The original windows have been replaced with vinyl frames in some locations, within the same openings.

*B7. Moved? No Yes Unknown Date:

Original Location:

*B8. Related Features: The garage on the site has been converted to a studio. The site features mature landscaping.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential development

Area: Sonoma

Period of Significance: 1939

Property Type: Domestic

Applicable Criteria: A, C

History of property. Research did not reveal the name of the original owners of the house and garage, or who built the structures. In later years, between 1974 and 1980, it was one of several properties that joint partners Erma M. Mishler and Adelaide S. Deutchen owned together in Sonoma and El Verano. The partners owned at least five other properties with another couple, Bernard and Helen Fernandez in these years. The residence at 757 2nd Street E. appears to have been a rental property when it was owned by Deutchen and Mishler. While the name of the property in the 1978 Sonoma League survey of the area was noted as "Deutchen House," there is no indication and research did not reveal that Mischler or Deutchen ever lived in the house (they lived at 453 York Court in Sonoma in 1978). **Continued on sheet 10 of 16**

B11. Additional Resource Attributes: HP2 – Single family property; HP4 – Ancillary building

*B12. References:

"Adele Deutchen" (obit.). *The Press Democrat*, Santa Rosa, California, 22 December 1980.

Ames, David and McClelland, Linda Flint. "Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places," *National Register Bulletin*, 2002. **Continued on sheet 11 of 16**

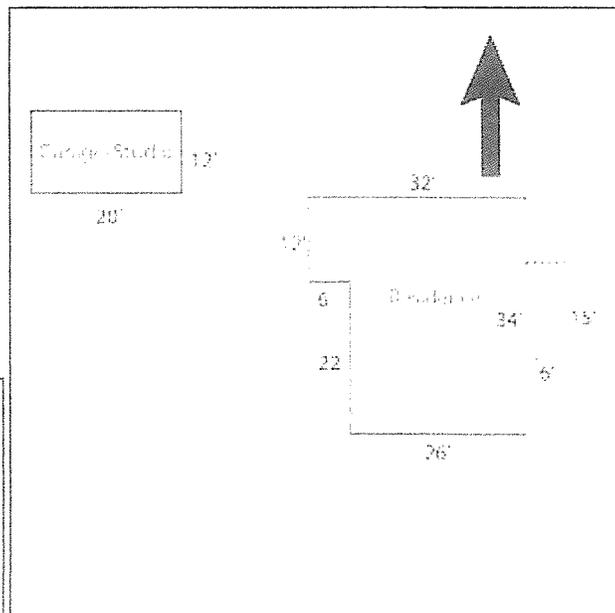
B13. Remarks: None

*B14. Evaluator:

Diana J. Painter, PhD/Alison Garcia Kellar
Painter Preservation & Planning
388 Patten Street
Sonoma, CA 95476
(707) 763-6500

*Date of Evaluation: January 29, 2014

(This space reserved for official comments.)



*Recorded by: Diana Painter/Alison Garcia Kellar *Date: January 5, 2014

Continuation Update

***B10. Significance**
Continued from sheet 9 of 16

Deutschen (1927-1980), from New York, served in the military for 29 years, from 1940 to 1969, retiring as a sergeant (*SSDI: 2014*). Soon after leaving the armed forces, Deutschen moved to Sonoma, where she worked as a real estate broker with Bear Flag Realty. It is probably due to the nature of her work as a realtor that she came to own so many properties in town. She was highly involved in the community as a member of the Sonoma Architectural Review Commission, a member of Sonoma Sorooptimists Club, and director of the Sonoma Valley Chamber of Commerce. Deutschen resided in Sonoma ten years after she retired, until her death in 1980 (*Press Democrat: 1980*).

Mishler (1932-), from Coberg, Oregon, lives in Sonoma. She also served in the military and in 1956, was a sergeant in the Women's Army Corps (*The Anniston Star, 31 May 1956*). In 1984 she sold the property to Suzanne Clark, of South Carolina.

Urban history. The property located at 757 2nd Street E. is within the City of Sonoma's Historic Overlay Zone, within the original Harold Subdivision Plat. The earliest attainable Sanborn Fire Insurance Map in 1923 shows the block bound by France and Chase Streets to the north and south and by (then) Austin Way and 2nd Street E. to the west and east as comprising a single parcel of land. In 1923, an earlier residence at 765 2nd Street E. was the only building present on this block. By the 1947 Sanborn update, the land had been subdivided into at least 13 parcels with 15 single family homes. Today there are 23 parcels on the block, reflecting later infill development, of which the subject property is an example. The block is representative of those found throughout the southeast portion of the Historic District Overlay, displaying a mix of mostly modest single family residences in a wide variety of architectural styles, occurring from the late 19th through the mid-20th century. It is this mix of styles and ages, with a relatively consistent architectural scale, that lends charm to this neighborhood and contributes to its livability.

Architectural context. *Minimal Traditional style.* This residence is designed in the Minimal Traditional style with Colonial Revival influences. This side-gabled-roof house type (also known as a "Cape Cod") was widely published in pattern books and mass-market domestic publications in the 1930s and 1940s. The type is characteristic of residential architecture from the post-World War I era through the Great Depression, extending until just after World War II.

In 1934, the National Housing Act was passed, which provided new standards for residential building, including design, construction, site planning, and financing for economical home construction. From this act, the Federal Housing Administration (FHA) was created, which promoted standardized house plans and construction methods through their groundbreaking bulletin, "*Principles of Planning Small Houses*," first published in 1936. Targeted at contractors, builders and the average working-class American, the bulletin illustrated the most basic variations of Minimal Traditional homes and offered detailed information about the FHA's new loan and financing programs (*McAlester, 2013: 587-9*).

Five house types were included in this publication, each of which were to provide maximum accommodation at minimum cost. "Type A" was very similar to this home. It was the simplest of these houses and featured a side-gabled design, with a centralized door and two flanking windows. It was comprised of a small kitchen, larger living room with a bathroom and two bedrooms adjoined by a small, centralized hallway. "Options" for the house types featured in the FHA publication included small porticoes, porches, fireplaces, and attached or detached garages. These options were typically extra-cost items that could be incorporated into the home by the developer or builder (*Suburban Landscapes: 2001*).

Colonial Revival style. The application of the Colonial Revival style to residential architecture was very popular throughout the 1920s, as new housing for middle-class Americans was in demand and the implications of architecture reminiscent of early America had a mass-appeal. It would continue to be a popular style, often applied to modest cottages, into the Depression years. Common features of the style, as applied to homes such as this, are "classical" entryways, fixed shutters and white painted clapboard (*Walker, 1996: 200*). Architectural symmetry and simplified features including capital and base ornamentation and pediment are characteristic of this architectural style and noticeable at 757 2nd Street East. It is most likely due to the entryway portico's open pediment, which rests on two tapered columns with base and capital, that the 1978 Sonoma League for Historic Preservation Historical Survey noted the property as, "the best example in [sic] the block of [a] Colonial Style cottage" (*Sonoma League, 1978*).

Summary. The Minimal Traditional house is a small, detached, single-family home that was developed to satisfy the demand for low-cost housing during difficult economic times. It was smartly designed, well-built, and affordable. The Colonial Revival elements contributed style to the homes, perhaps recalling the more stately versions of the 1920s. This home is a good example of the type and style and therefore of the era.

CONTINUATION SHEET

Primary #

HRI#

Trinomial

Page 11 of 16

*Resource Name: 757 2nd Street E.

*Recorded by: Diana Painter/Alison Garcia Kellar *Date: January 5, 2014

Continuation Update

Evaluation. The following is an evaluation of the property at 757 2nd Street East, according to the California Register for Historic Places eligibility criteria established for this purpose. Historical significance may be determined by meeting one or more criteria, provided the resource is over 50 years of age and maintains integrity.

1. *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;*

The residence at 757 2nd Street E. is representative of the residential development that occurred in this southeast neighborhood over time. It is an example of a slightly newer infill residence (pre-World War II), which is also representative of the neighborhood. While the ages of the structures and the architectural styles in the neighborhood vary, it continues to be consistent in scale and development patterns. This house is consistent with these patterns.

2. *It is associated with the lives of persons important to local, California, or national history;*

No persons important to local, California, or national history are known to be associated with this resource.

3. *It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;*

The building on this property embodies the distinctive characteristics of a type, period and method of construction. The home's simple appearance as a reinterpretation of an early American vernacular form, the Cape Cod, coupled with the time of its construction, make for a distinctive example of an early FHA-promoted house type. These homes, while relatively common, are significant for their embodiment of a trying period in American history and yet an innovative period in American architectural history.

As architects received very few commissions during the 1930s, they were eager to put their skills to use on these smaller-scaled homes. This is clearly conveyed through the deliberately compact programming, adherence to an economy of building materials, and blend of architectural styles present at 757 2nd Street E. The precise symmetry of the building's façade, its gable roof form, and whimsical interpretation of a classical open pediment are token elements of the Colonial Revival style. The decision to clad the exterior walls in a stucco finish may have been a contemporary nod to Sonoma's historic adobe building tradition. The house also exhibits minimal ornamentation and streamlined details as character-defining features. This 1939 home is a good example of a Minimal Traditional building with Colonial Revival details, the standard "building block" of suburban neighborhoods from this era.

4. *Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation*

This criterion is typically applied to archaeological resources and is not relevant to this evaluation.

B12. References

Continued from sheet 9 of 16

Building permits. On file, City of Sonoma, accessed 2014.

Downey, Lynn. *A Short History of Sonoma*. Reno: University of Nevada Press, 2013.

McAlester, Virginia Savage, *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013 (1984).

Residential Building Record, Miscellaneous Building Record. On file, Sonoma County Assessor, accessed 2014.

Sanborn Fire Insurance maps, 1923, 1923 updated to 1947. Sonoma, California.

Scott, Mel. *The San Francisco Bay Area: A Metropolis in Perspective*, Berkeley: The University of California Press, 1985.

Social Security Death Index (SSDI) entry for Adelaide Deutschen, 1927-1980, accessed online at Ancestry.com, 15 January 2014.

Sonoma League for Historic Preservation Historical Survey. Sonoma, CA: Sonoma League for Historic Preservation. 1978-1998.

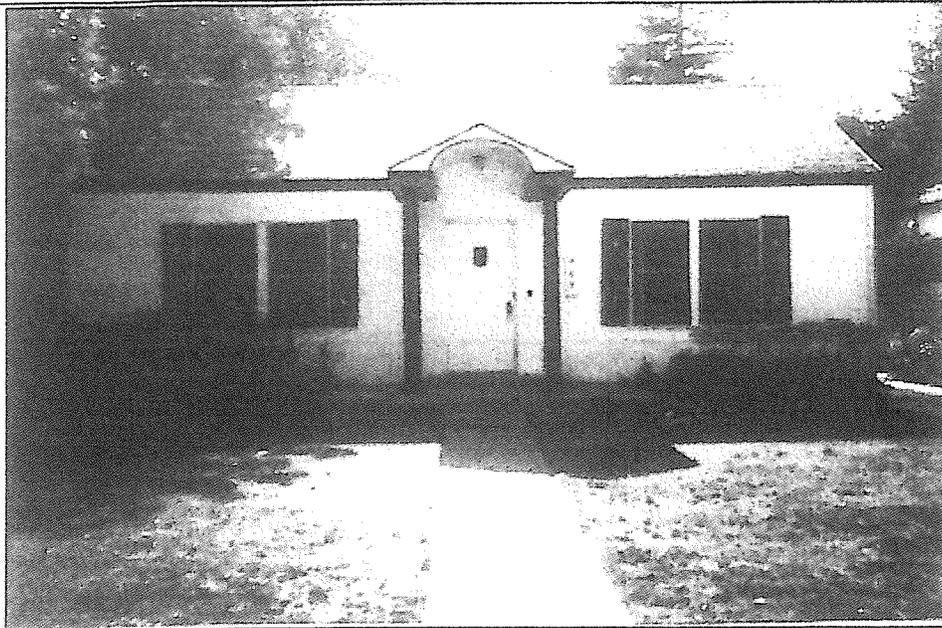
"Suburban Landscapes: The Federal Housing Administration's Principles for Neighborhood Planning and the Design of Small Houses," March 2001. http://www.cr.nps.gov/nr/publications/bulletins/01workshop/sub_landsc.htm. Accessed online, January 2014.

Walker, Les. *American Homes: The Illustrated Encyclopedia*, New York: The Overlook Press, 1996.

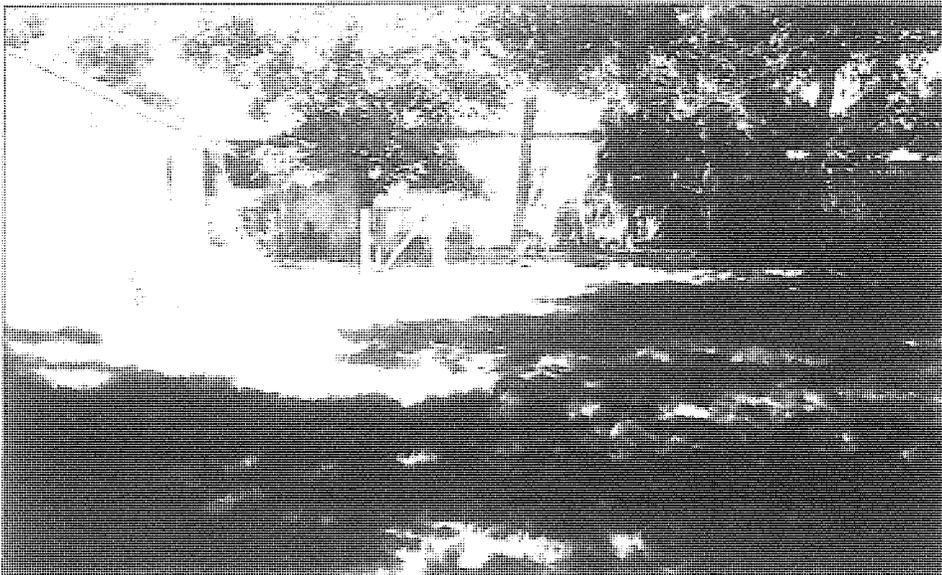
*Recorded by: Diana Painter/Alison Garcia Kellar *Date: January 5, 2014

Continuation

Update



1982 photo, front (east) façade



1982 photo, prior to garage remodel

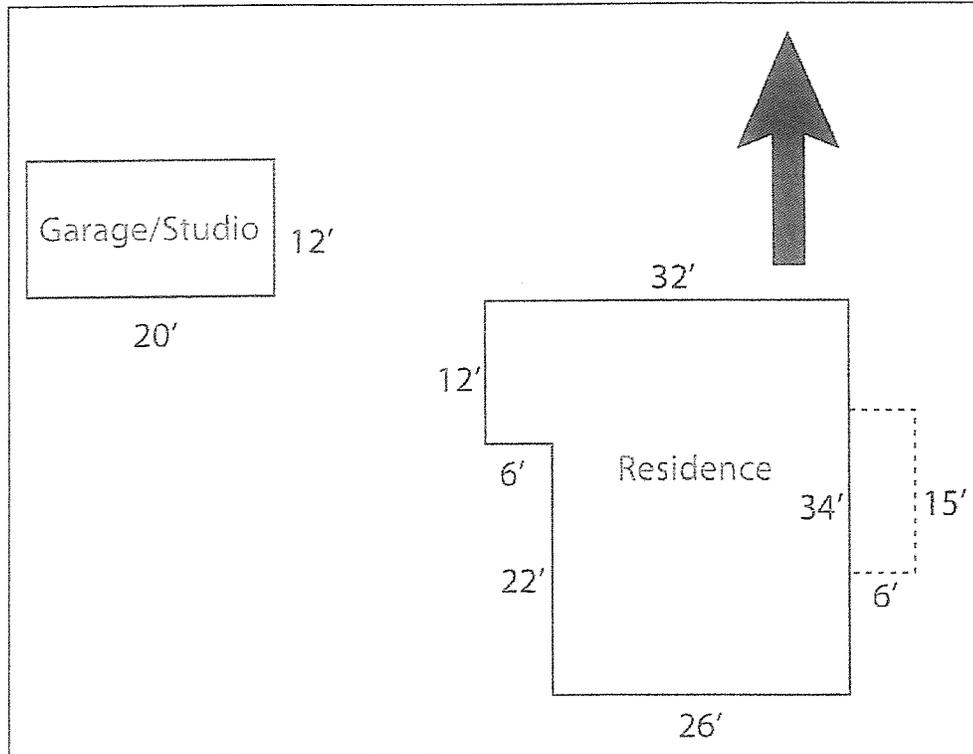


Figure 1: Sketch map (parcel lines not noted)

*Recorded by: Diana Painter/Alison Garcia Kellar

*Date: January 2014 Continuation Update

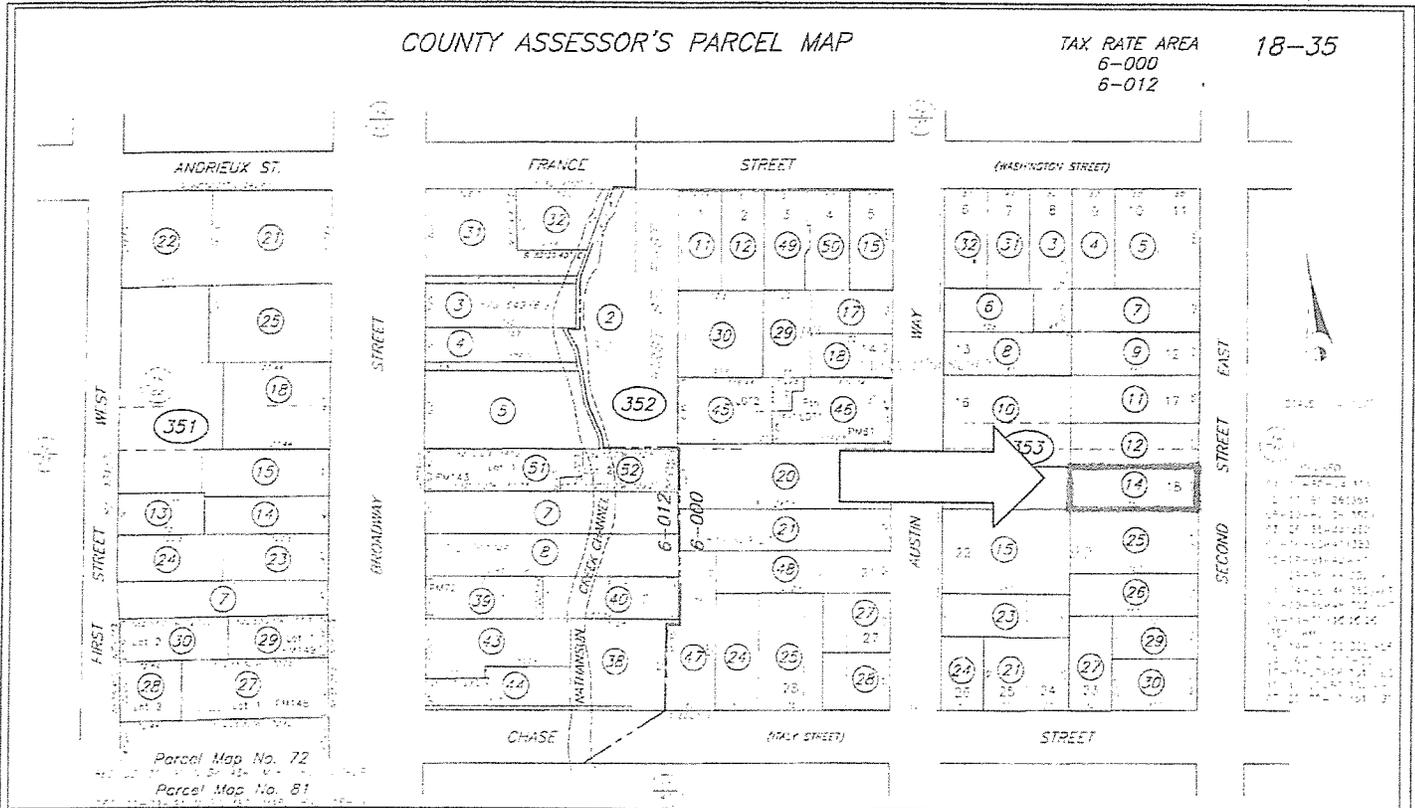


Figure 2: Tax lot map



Figure 3: Aerial view of property



Figure 4: Regional location map



PAINTER
PRESERVATION
PLANNING

HISTORIC PRESERVATION & URBAN DESIGN

February 17, 2014

Ms. Suzanne Clark
757 2nd Street E.
Sonoma, CA 95476

Re: Design Review for 757 2nd Street E.

Dear Ms. Clark,

This letter provides a review of the proposed changes for 757 2nd Street E., which is a historic resource and is located in the City of Sonoma's Historic Overlay Zone. According to the survey conducted in January 2014 the resource (residence and garage) are significant under Criteria 1 of the California eligibility criteria for its association with residential neighborhood development in Sonoma, and under Criterion 1 for its architecture, as a good example of a 1939 Minimal Traditional house with Colonial Revival elements. As such, it is subject to Sonoma's design review standards, codified in Chapter 19.42 of the Sonoma Zoning Code, "Historic Preservation and Infill in the Historic Zone."

Project Description

The following review is based on drawings prepared on 1-31-2014 and amended on 2-13-2014. The proposed project is as follows. Three hundred sixty-three square feet of additional living space in roughly an "L" shape will be added to the back of the house. The rear side gable will be extended, and an additional rear-facing gable will be added in place of the present enclosed porch, which has a slightly pitched shed roof. On the north side elevation, next to the driveway, an existing double casement window with five lights in each leaf will be removed. On the south side of the house two of the three double-hung windows will be removed. The extension of the rear side-gable is visible on this façade, which is close to the neighboring fence. A short, six-light clerestory window will be added toward the rear on the new portion of this façade, placed high under the gable. Also visible on from this view will be the double, multi-light French doors on the north side of new gable extension, which leads out onto a deck. The rear (west) façade displays the majority of the changes on the building. The existing French door with sidelights will be replaced with a bank of three double casement windows with five lights in each leaf, separated by wide mullions. The existing small, double-hung window (in the bathroom) will be replaced with a three-light window (also in the bathroom). A single leaf French door with five lights will be added near the center of this façade. And two, double casement windows with five lights each will be added on the south side of this façade, in place of the existing double-hung window. The existing low deck will be replaced with a new low deck located in the "L" of the rear façade.

Review

The following is a review of the proposed project with respect to the "Guidelines for preservation and adaptive reuse" of the Zoning Code (19.42.040) and "Additions to Existing Structures" (19.42.040 (D)), as well as a review with respect to the Secretary of Interior's Standards.

Mailing address: PO Box 2899 • Salem, OR 97308 • 707.763.6500
California office: 388 Patten Street • Sonoma, CA 95476 • 707.763.6500

FEB 17 2014

1. General Rehabilitation Principles.

a. Historic structures should be recognized for their own time and style. Rehabilitation should not try to create a preconceived concept of history, but should reuse existing or appropriate features.

The new features added to this structure are appropriate to the time frame within which this house was constructed, which was 1939.

b. Rehabilitation of historic structures should try to retain and restore original elements first. If damage or deterioration is too severe, the element should be recreated using original materials to match the color, design, texture, and any other important design features.

This guideline is not applicable, as this project is primarily a new addition to a historic structure.

c. When replacement is necessary and original material cannot be obtained, substitution material should incorporate the color, design, and texture that conveys the visual appearance of the original material.

Not applicable.

2. Doors.

a. Older structures almost always had solid wood doors that fit the particular style of the structure. The front door of the structure was the most ornate with secondary doors usually more utilitarian in appearance. The shape, size, and style of doors are an important feature of all historical architectural styles and the original design/type should be maintained.

The new doors on the rear of the building match the existing doors on the rear of the building, which are multi-light French doors. These are likely not original to the residence, but it is not known what the original rear door looked like. These doors are compatible with earlier changes to the building and the other features on the new addition, which are appropriate to the age and style of the structure.

b. Original doors should be repaired in place whenever possible. When replacement is necessary, the replacement door should match the original design and materials as close as possible.

The original (as far as we know) door on the building will not be affected by this remodel.

c. If the original door is missing, appropriate design and materials should be selected by studying the doors of similar structures in the surrounding neighborhood or consulting books on architectural styles. Many older style panel doors are still available from material suppliers and may match the original doors very closely.

The proposed new door on the rear of the building matches the rear door on the building now. It's possible that the original rear door on the structure was a multi-light French door, but this has not been verified. The planned new door is appropriate to the age and style of the building.

3. Exterior Materials.

a. The original exterior building materials should be retained whenever possible. It is not desirable to use mismatched materials of different finishes, shapes, sizes, or textures.

The finish of the new addition will match the existing building.

b. Structures with original wood siding should not be stuccoed in an attempt to modernize their appearance. Likewise, plastic shingles should not be used to replace wood siding or shingles.

Stucco is the original finish of this building.

c. Replacing wood siding with aluminum siding of the same shape and size as the original siding can be an alternative, but care shall be taken to use siding of the appropriate size.

N/A.

d. Brick surfaces should not be sandblasted in an attempt to remove old paint. Sandblasting would damage the natural fired surface of the brick, and cause it to lose its water repellent qualities. Also, mechanical grinders should not be used to remove mortar as this can damage the brick surrounding the joint.

N/A.

4. Ornamentation and Trim.

a. Most often it is the authentic decoration and trim on a structure that lends character and identifies the structure with its particular architectural style. Original ornamentation should be preserved whenever feasible.

Original ornamentation on the building will not be affected by the remodel. The existing trim is very plain; the new trim will also be plain. A change from the existing is the addition of wide mullions, which are typical of the Tudor Revival style.

b. If the material needs to be removed to be repaired or copied, determine how the piece is attached and carefully plan the work to be sensitive to the material. Any prying action should be slow and careful, with a minimal amount of force.

N/A.

c. If the ornamentation or trim is comprised of several layers of materials, it is helpful to sketch the components as they come apart to ensure proper reassembly. If the pieces are beyond repair, a skilled finish carpenter should duplicate the original work.

N/A.

5. Porches and Stairs.

a. During rehabilitation efforts, the design integrity of the front porch should not be compromised. Front porches should not be enclosed with walls or windows.

The front porch will not be affected by this remodel.

b. If enclosing the porch is the only viable means of adding needed space, care should be taken to use decoration(s), doors, siding materials, trim details, and windows that match the facade of the structure surrounding the porch.

This remodel will remove an existing enclosed porch on the rear of the building. This guideline is not applicable.

6. Roofs.

a. Roofs are important both functionally and aesthetically. Great care should be taken to ensure that roofs are watertight and that roofing materials are compatible with the original style of the structure. Oftentimes roofs only need repairs, but when replacement is necessary roofing materials should be selected that are appropriate to the structure's architectural style.

The new roofing material will match the existing roofing material.

Mailing address: PO Box 2899 • Salem, OR 97308 • 707.763.6500
California office: 388 Patten Street • Sonoma, CA 95476 • 707.763.6500

b. It should be recognized that fire safety requirements may preclude reroofing a structure in its original material. The determination of what material to use for the replacement of wood shingles or shakes in historic structures should be based on compatibility with the colors and materials used elsewhere on the structure.

The new roofing material will match the existing roofing material.

7. Windows.

a. Most older/historic structures had wood framed windows that were either casement, double hung, or fixed. The shape, size, and style of windows are an important feature of most architectural styles and the original type window should be maintained.

The existing historic windows on this house are double-hung. The windows added in a later remodel are multi-light casement windows. The planned new windows are multi-light casement windows, which are appropriate to the age and style of the building.

b. When window replacement is necessary, it is preferred that the new window be an exact match of the original.

N/A. There are no window replacements planned for this remodel. All new windows are in different locations than the existing windows.

c. An alternative to special milling may be the use of an "off-the-shelf" standard window that closely matches the original.

N/A.

d. Aluminum or plastic frame windows should not be used as replacements on any part of an historically valuable structure without justification. The use of such materials is highly visible and the contrast of materials and styles can permanently affect the architectural integrity of the structure. The use of traditional materials is preferred.

The planned new windows have wood frames, which is the same material as the existing historic windows.

D. Additions to Existing Structures. Additions to historically valuable structures may be necessary to ensure their continued use. Modifications (e.g., additions, new entrances and exits, parking facilities, handicap facilities, and seismic strengthening) should be made with care so as not to compromise a structure's historically valuable features, finishes, or materials.

1. Site Plan Considerations. Additions should be carefully placed to minimize changes in the appearance of the structure from the public right-of-way. Whenever possible, additions should be placed to the side or rear of the structure and should not obstruct the appearance of the structure from the public right-of-way.

The planned new addition is on the rear of the building and is virtually not visible from the public right-of-way.

2. Architectural Compatibility.

a. Additions to historically valuable structures should incorporate the distinctive architectural features of the original structures including:

i. Door and window shape, size, and type;

The new doors and windows match those of the earlier remodel.

ii. Exterior materials;

The new exterior materials will match the existing building.

iii. Finished floor height;

The finished floor height will not be changed.

iv. Roof material, pitch, and style; and

The roof material will match the existing. The roof pitch and style will be altered slightly on the back of the building. This change is not visible from the public right-of-way.

v. Trim and decoration.

The trim and decoration matches that of the existing building, with the exception that the new mullions are slightly wider.

b. Refer to the rehabilitation guidelines, subsection (C) of this section, Preservation and Rehabilitation of Existing Structures, for discussion of appropriate exterior doors, porches, wall materials, windows, etc.

3. Roof Pitch and Style.

- a. The roof of a structure, especially its pitch and style, is an important architectural element that should be taken into consideration when planning an addition.

The roof pitch and style will be altered slightly on the back of the building. The side gable portion of the building will be asymmetrical, versus its symmetrical appearance today, and the pitch will be slightly altered to accommodate required floor-to-ceiling height on the interior. This change is not visible from the public right-of-way.

- b. Whenever possible, the pitch and style on the addition should match the original.

The roof pitch and style will be altered slightly on the back of the building. The side gable portion of the building will be asymmetrical, versus its symmetrical appearance today, and the pitch will be slightly altered to accommodate required floor-to-ceiling height on the interior. This change is not visible from the public right-of-way.

- c. Roof materials should also match as close as possible.

The planned roofing materials will match the existing.

4. Second-Story Additions.

- a. Because adding an additional story to an existing structure will always change the structure's proportions, such additions should be carefully designed to follow similar two-story examples of the particular style that may be found in the surrounding neighborhood.

N/A.

- b. Integrating the new second-story addition into the original design of the structure may be easier if the addition is set back from the front facade so that it is less noticeable from the public right-of-way. (Ord. 06-2013 § 2(A) (Exh. B), 2013; Ord. 2003-02 § 3, 2003. Formerly 19.42.030).

N/A.

Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The property will maintain the same use that it has today and had historically.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The historic character of the property will be retained and preserved. The majority of the features on the building that will be changed are changes that occurred in the past. Other features that will be removed are one-over-one-light, double-hung windows on secondary facades. They are not distinctive features. The exterior historic spaces and spatial relationships that characterize the rear of the lot today will be maintained.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The changes proposed for the building, which include the addition of doors and windows on the rear side and rear facades, match those of the existing changes that occurred in the past. These changes – the multi-light doors and windows – were and are appropriate to the age and style of the building.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

N/A. The changes that occurred on the building in the past are approximately 30 years old and have not acquired significance in themselves.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

*All the **distinctive** materials, features, finishes and construction methods on the house will be preserved.*

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

N/A.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

N/A.

8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
N/A.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The new addition and alterations to the rear sides of the building and the rear façade do not, for the most part, destroy historic materials and features or spatial relationships. The materials that will be removed will primarily be the south side of the rear wall and four double-hung windows. While this involves some loss of historic fabric, it is relatively minor. The new windows and doors will contrast with the historic windows and doors by having multiple, horizontally oriented lights. These windows and doors match those of the last remodel, and also provide a contrast between the historic one-over-one-light windows. The design of the original back door is unknown.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It would be possible, in the future, to reinstate the essential form and integrity of the historic building, with some loss of historic fabric, should that become desirable in the future.

Evaluator Qualifications

I am an architectural historian whose qualifications meet the Professional Qualifications Standards of the National Park Service in history and architectural history and as outlined in the Code of Federal Regulations, 36 CFR Part 61. I hold a PhD in Architecture and a Masters Degree in Urban Planning and have 30 years of professional experience in historic preservation and urban design. I am listed as an architectural historian on the roster of consultants on file with the State of California Office of Historic Preservation's Eastern Information Center at the University of California at Riverside.

Sincerely,



Diana J. Painter, PhD, ACIP
Owner/Principal architectural historian

HISTORIC RESOURCES INVENTORY

(State use only) Ser _____ Site _____ Mo. 4 Yr. _____
 UTM _____ Q _____ NR 4 SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

1. Common name: DEUTSCHEN, Adele and Mishler, Erma M.
2. Historic name, if known: _____
3. Street or rural address 757 2nd Street East
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Deutschen & Mishler Address: 453 York Court
 City: Sonoma ZIP: _____ Ownership is: Public Private
5. Present Use: Residence Original Use: Residence
 Other past uses: _____

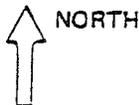
DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Is a one story stucco Colonial revival, broken pediment over doorway. Salt box shaped. There are double windows on the side of the entrance with decorative shutters. Small shrubs in front and large trees in the back. The best example in the block of Colonial style cottage

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

See City Map Area 13.



UTM (SONOMA QUAD)
 10/547,560/4,238,570
 10/548,700/4,238,420
 10/548,420/4,236,210
 10/547,300/4,236,340

8. Approximate property size:
 Lot size (in feet) Frontage 50
 Depth 150;
 or approx. acreage _____

9. Condition: (check one)
 a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)
 a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other _____

12. Threats to site:
 a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other _____

13. Date(s) of enclosed photograph(s): May 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
f. Other _____
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction 1930 This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): _____
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
f. Windmill g. Watertower/tankhouse h. Other Garage i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

Is a good example of the Colonial Revival. It is a support building in this area for style and size to maintain the historical development of the area.

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

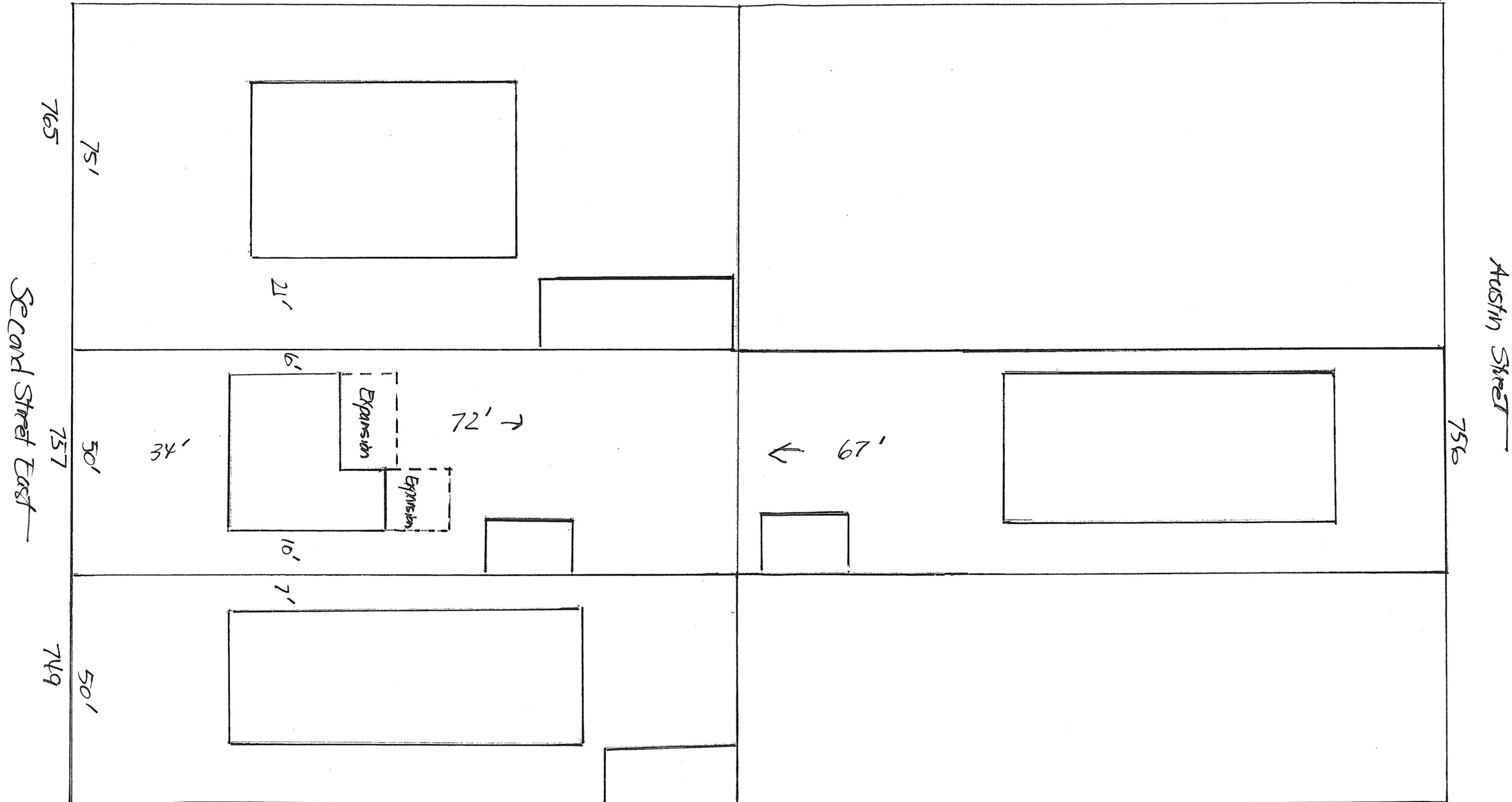
23. Date form prepared: May 31, 1978 By (name): A. Keith/ Carla De Petris
Address: _____ City Sonoma ZIP: 95476
Phone: 938-0510 Organization: Sonoma League for Historic Preservation

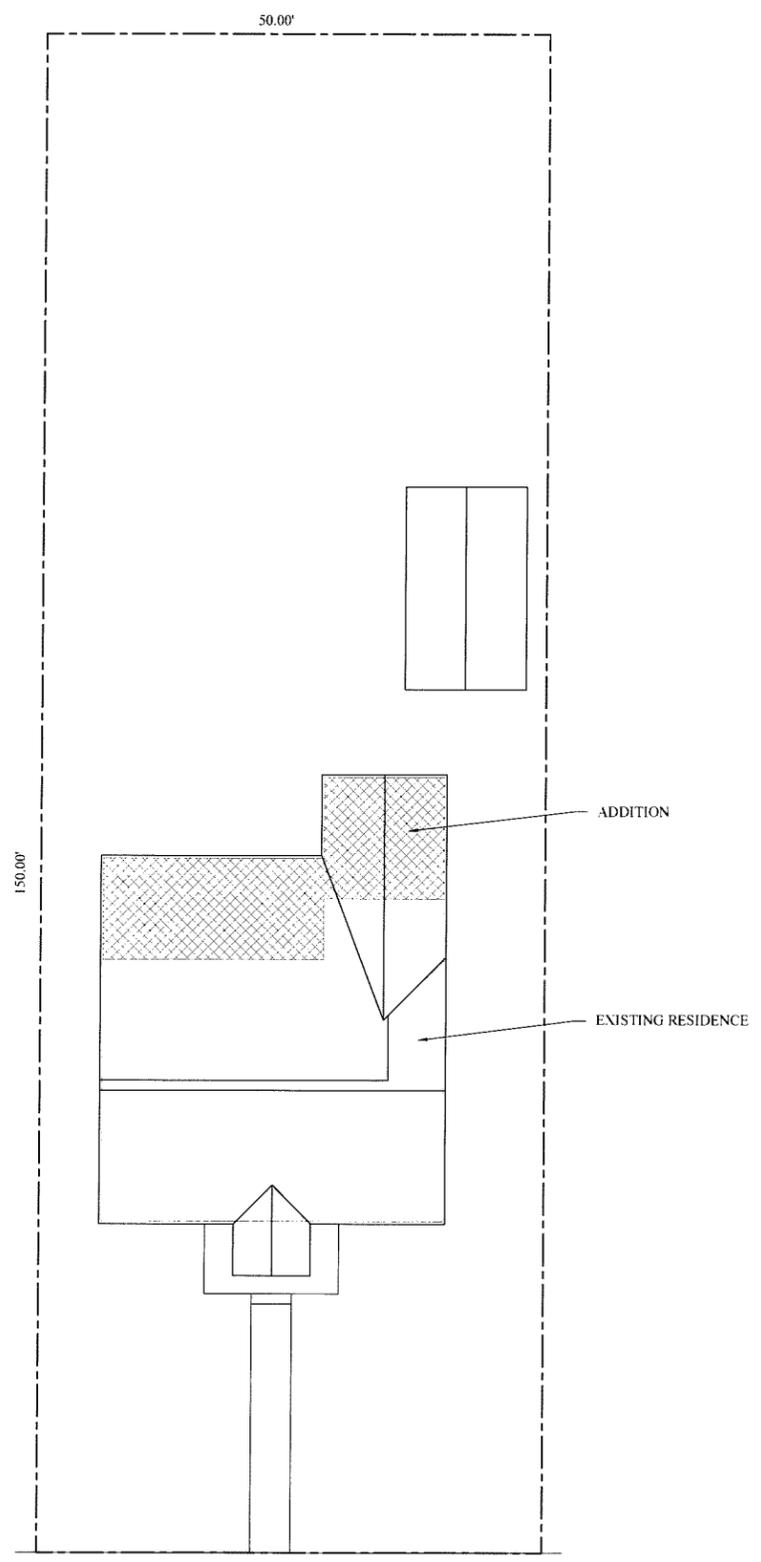
(State Use Only)



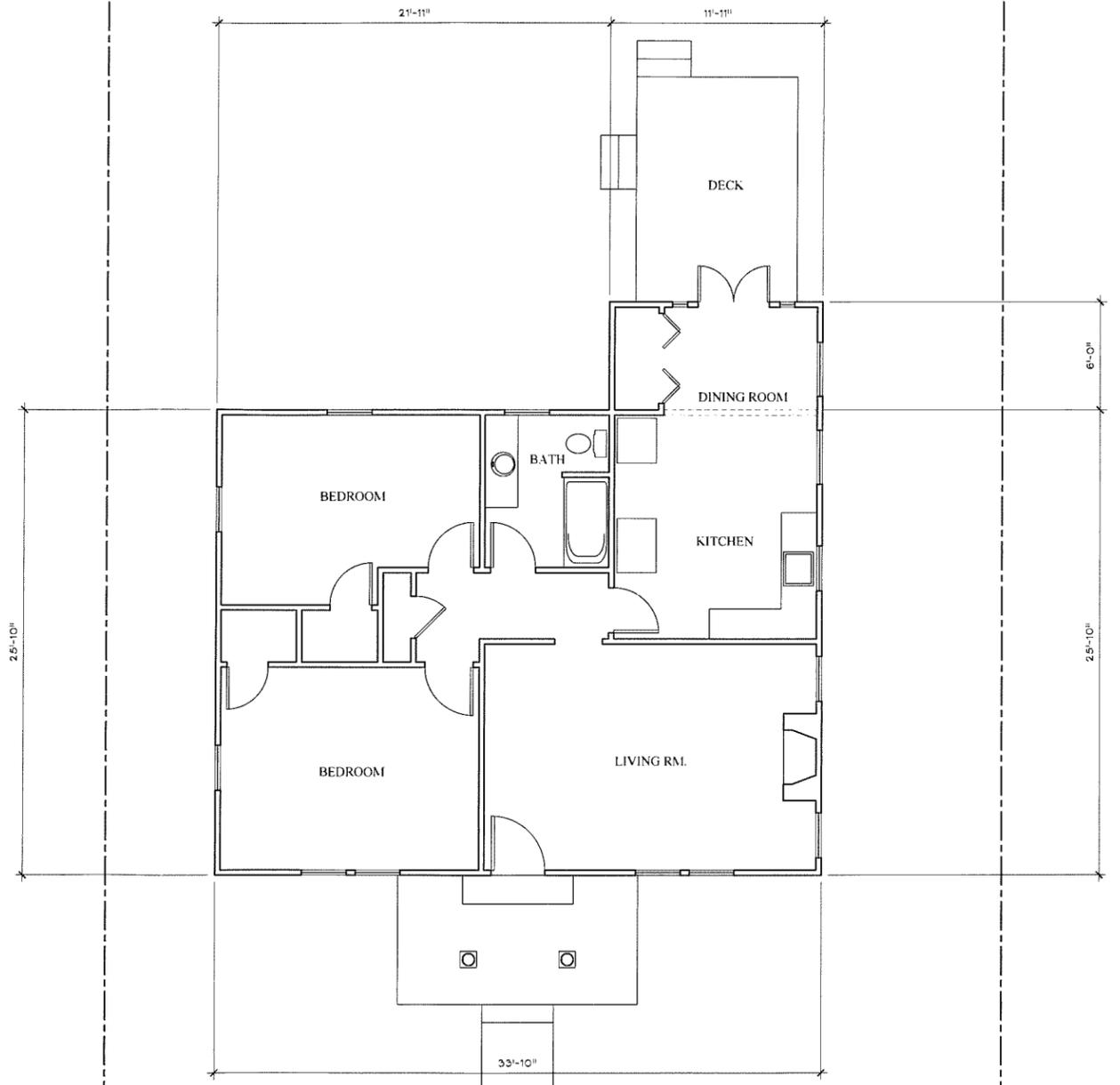
Project Expansion 757 Second Street East Sonoma, CA

Zanne Clark
(707) 935-1022





SECOND STREET EAST
SITE PLAN
 1/8" = 1'-0" 



AS BUILT FLOOR PLAN

Revisions
 CELL: 707-477-6678
 EMAIL: CANDACE@LINDSELLDESIGN.COM

**CANDACE LINDELL
 DESIGN**
 1296 DUFFALOY LANE
 VOICE: 707-238-7717
 NAPA, CALIFORNIA
 FAX: 707-238-7766

CLARK RESIDENCE
 ADDITION AND RENOVATION
 757 SECOND STREET EAST
 SONOMA, CALIFORNIA

**SITE PLAN
 AS BUILT FLOOR PLAN**

Job Number
 CLARK

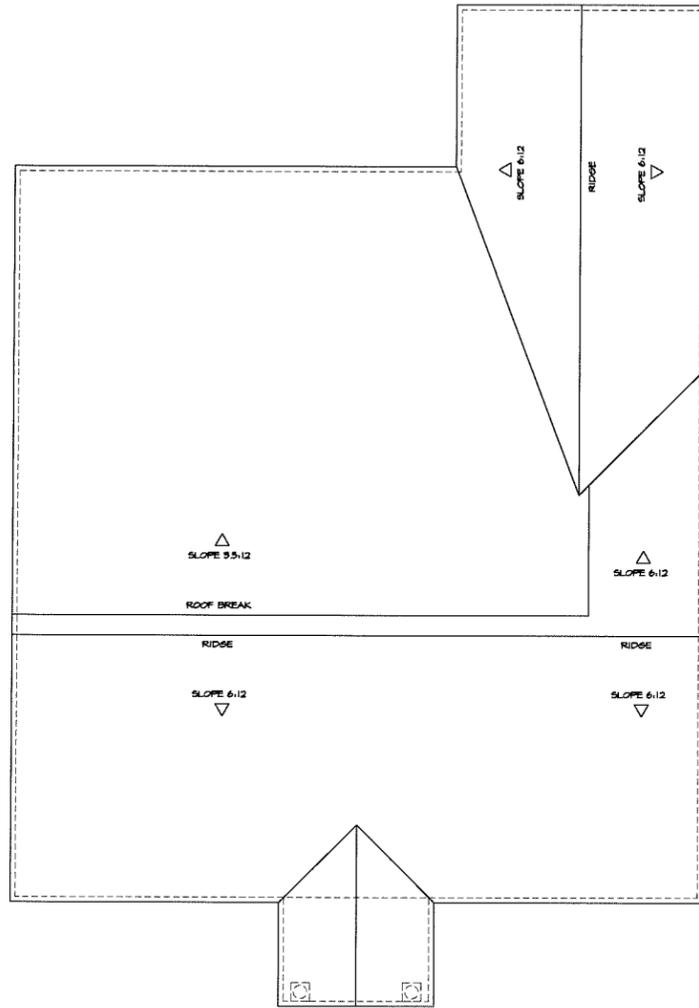
Drawn By
 J.M.L.

Scale
 1/4" = 1'-0"

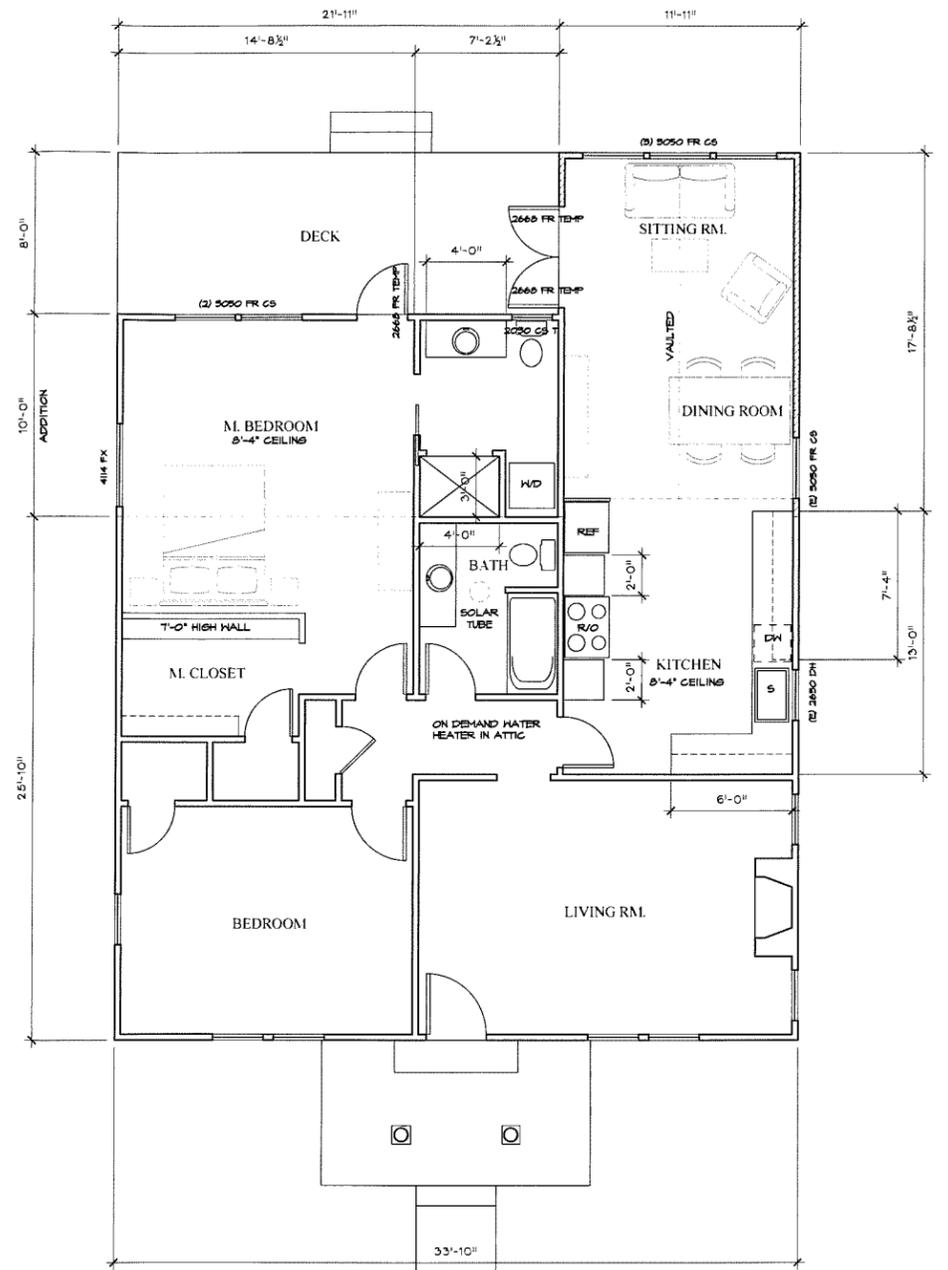
Date
 2-17-2014

Sheet Number

A1
 of



ROOF PLAN



PROPOSED FLOOR PLAN

FLOOR AREA	
EXISTING	945 S.F.
ADDITION	365 S.F.
TOTAL	1308 S.F.

HALL LEGEND	
	EXISTING HALLS
	NEW 2ND HALL CONSTRUCTION

Revisions

CELL: 707-474-6778
EMAIL: CANDACE@LINDELL.COM

CANDACE LINDELL
DESIGN

1206 DEALY LANE
NAPA, CALIFORNIA
VOICE: 707-256-7117 FAX: 707-256-7166

CLARK RESIDENCE
ADDITION AND RENOVATION

757 SECOND STREET EAST
SONOMA, CALIFORNIA

FLOOR PLAN

Job Number
CLARK

Drawn By
IML

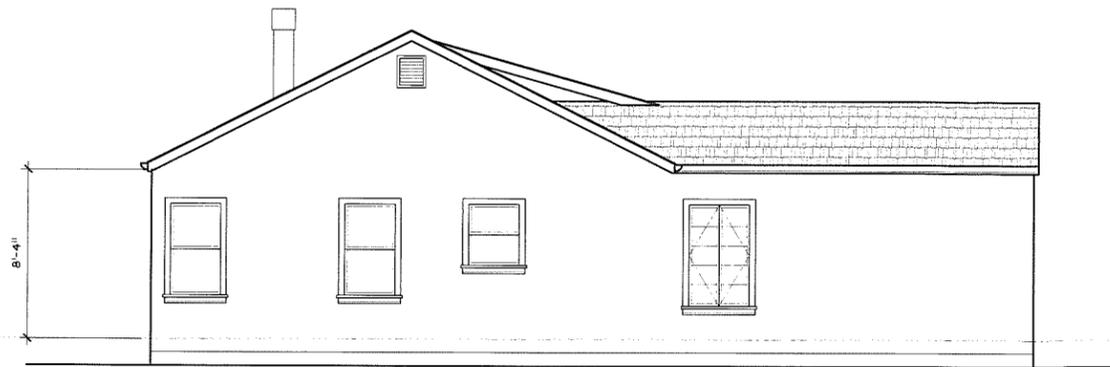
Scale
1/4" = 1'-0"

Date
2-17-2014

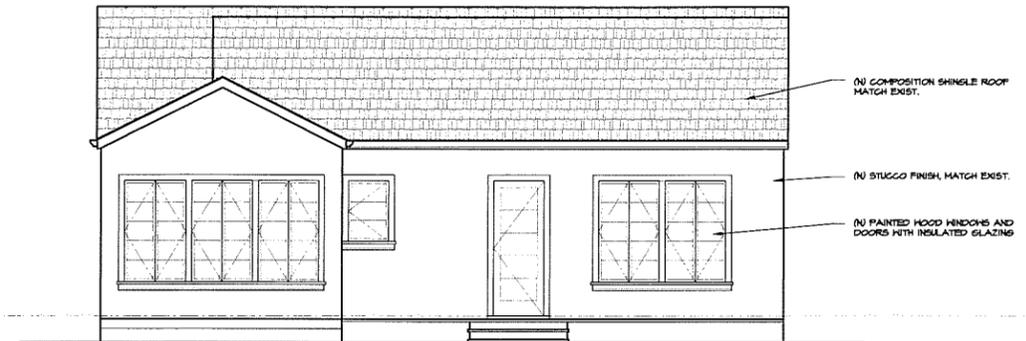
Sheet Number

A2

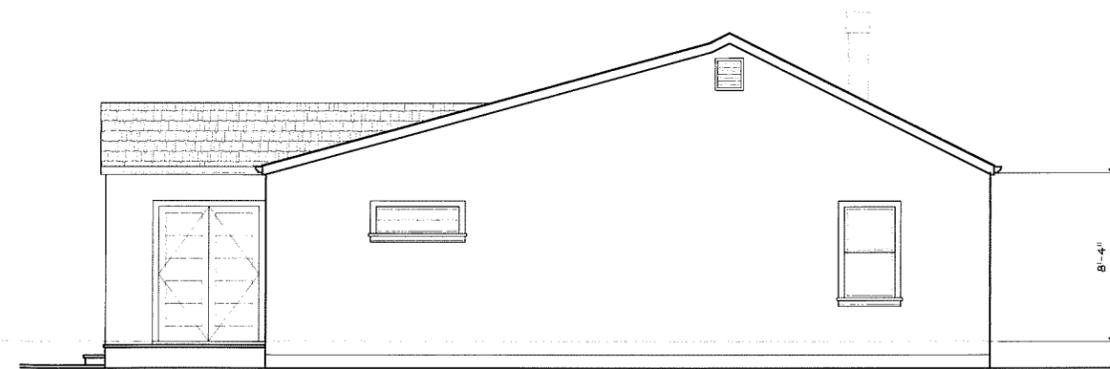
of



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Revisions

CANDACE LINDELL
DESIGN
1296 DEALY LANE
NAPA, CALIFORNIA
VOICE: 707.226.7717
FAX: 707.226.7766
CELL: 707.477.6778
EMAIL: CANDACE.LINDELL@PARTHINK.NET

CLARK RESIDENCE
ADDITION AND RENOVATION
757 SECOND STREET EAST
SONOMA, CALIFORNIA

EXTERIOR ELEVATIONS

Job Number
CLARK

Drawn By
IML

Scale
1/4" = 1'-0"

Date
2-17-2014

Sheet Number

A3
of



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 9

Meeting Date: 03/18/14

Applicant

Michael Marino

Project Location

170 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year Built: 1925
-

Request

Demolition of the rear portion of the structure on the property at 170 West Napa Street.

Summary

Background: On October 17, 2002, the Architectural Review Commission approved the demolition of three structures located on the property at 164-172 West Napa Street. The building permit expired without execution.

At this time the applicant is requesting a Demolition Permit to allow the removal of the rear portion of the structure located at 170 West Napa Street.

Historical Significance: According to the State Office of Historic Preservation, structures over 50 years old *may* be historically significant, even if not listed on a local or State/National register. Pursuant to §15064.5 of the California Environmental Quality Act (CEQA), a resource is considered “historically significant” if the resource meets any one of the following criteria for listing on the California Register of Historical Resources (as set forth under Public Resource Code §5024.1):

1. Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage.
2. Is associated with the lives of persons important in our past.
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Given the age of the buildings, in August 2002, a previous applicant commissioned Diana Painter to prepare a historical evaluation of the property to determine if the structures were historically significant. The historic resource evaluation found that the property and structures do not meet the criteria for listing on the California Register of Historical Resources and therefore are not historical resources as defined under CEQA (see attached Research and Evaluation for the Historic Significance of the Properties at 164-172 West Napa Street, dated August 2002, and Supplemental Report dated September 2002). Because the structures are not historical resources, demolishing them would not have a significant effect on the environment and the project qualifies for a Class 1 Categorical Exemption under CEQA (§15301. Existing Facilities).

City Regulations for Demolition Permits: The City’s regulations for demolition permits rely heavily on the criteria for listing on the California Register of Historical Resources in determining whether a property is historically significant and can be demolished. This is reflected in both §19.54.090.F.2 (Determination of Significance) and §19.54.090.G.1 (Findings, Decision) of the Development Code. Based on the analysis above - that the structure does not qualify as historic resources under CEQA – the DRHPC will need to determine if the findings for approval of a demolition permit can be made. If the DRHPC chooses to approve the demolition of the rear portion of the structure, the DRHPC may require that the inside and outside of the building be photo documented and submitted to the Sonoma League for Historic Preservation and City of

Sonoma.

Required Findings: As set forth in §19.54.090 of the Development Code, the DRHPC must make the following findings to approve a Demolition Permit:

1. The structure is not historically significant, based upon the criteria established by the State Office of Historic Preservation (listed above); or
2. The structure does not represent a unique and irreplaceable historic or architectural resource;
3. The community benefit of preserving the structure is outweighed by the cost of preservation and rehabilitation;
4. The adaptive re-use of the structure is infeasible or inappropriate, due to economic considerations, structural conditions or land use incompatibility; and
5. The relocation of the structure is infeasible due to cost, structural conditions or lack of an interested taker.

All demolition projects require a demolition permit from the City of Sonoma Building Department prior to performing any demolition work. Additional clearances from the Bay Area Air Quality Management District (hazardous materials 'J' number), Sonoma County PRMD (sewer disconnect permit), Sonoma County Health Department (well abandonment permit), Sonoma Planning Department (tree protection and storm water management best practices), and other agencies or departments may be required prior to issuance of a demolition permit. For further information, please contact the Building Department at (707) 938-3681.

If commissioners wish to arrange a site visit to inspect the property independently, please contact the applicant, Michael Marino at (707) 732-8188.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments:

1. Project narrative
2. Elevations and site plan
3. Research and Evaluation of the Historic Significant of the Properties at 164-172 West Napa Street, dated August 2002
4. Supplemental Report, dated September 2002.

cc: Michael Marino
500 Michael Drive
Sonoma, CA 95476

Marino Enterprises LLC
22455 Broadway
Sonoma, CA 95476-8229

Mary Martinez

P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

City of Sonoma

Sonoma Sister Cities

No. 1 The Plaza
Sonoma, California 95476-9000
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Chambolle-Musigny, France
Greve in Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Michoacán, Mexico

October 18, 2002

Claire Stevens
1340 Vermont Avenue
Concord, CA 94521

Subject: Review of demolition of structures at 164-172 West Napa Street
(APN 018-202-009)

Dear Ms. Stevens:

On Thursday October 17, 2002 the Architectural Review Commission (ARC) considered your application for demolition of the three structures located on the property at 164-172 West Napa Street (APN 018-202-009). After public testimony and discussion, the commission voted 3-0 (with one commissioner abstaining) to approve the demolition of all structures on the property, subject to the following condition:

- A demolition permit shall not be issued for removal of existing structures on the property until the Planning Commission has approved a project for redevelopment of the site that 1) is consistent with the small-town, historical character of Sonoma, and 2) enhances the streetscape.

Should you have any questions, feel free to call me.

Sincerely,

Rob Gjestland
Associate Planner

cc: Cynthia Wood
Pacific Union
640 Broadway
Sonoma, Ca 95476

Thomas Haeuser
Drawer G
Sonoma, CA 95476-0400

FEB 18 2014



SONOMA
ST. HELENA
SANTA ROSA
SAN FRANCISCO
MARIN
MONTCLAIR
DANVILLE
WALNUT CREEK
ORINDA
PACUNION.COM

10/03/02

City of Sonoma Staff
Attention Christine

Please review the follow up letter from Diana Painter, Architectural Researcher regarding the property located at 164-172 West Napa in Sonoma which is up for review before the ARC committee. Please call me with any questions or comments.

Many Thanks,

Cynthia Wood, CRS
Agent representing the sale of 164-172 West Napa Street

DIANA J. PAINTER
*Architectural Research, Preservation Planning,
Urban Design*

September 26, 2002

Ms. Cynthia Wood, CRS
Pacific Union
640 Broadway
Sonoma, California 95476

Dear Cynthia:

The staff at the Depot Park Museum recently came across three photos of Dr. Thomson's house at 170 W. Napa Street, and I was able to take a look at them today. I was able to see the house in its original configuration, which is the 'back' unit of the 170-172 W. Napa Street duplex.

Dr. Thomson, if you'll recall, was a prominent physician in town, and was married to a granddaughter of General Vallejo.

The house was an el-shaped cottage with a deep, wrap-around porch on the east and south sides. It had a hipped roof on both portions of the house, with broken-gables that gave it a slightly curved appearance. There were four or five front steps leading to the front porch, in contrast to the two-to-three front steps leading to the house today (it appears that the street and front of the lot were built up over time). The house was clad in dark shingles, with square posts around the porch and wide, painted wood window frames.

It appears that one room at the back of the duplex, where the older chimney is, is the only remaining portion of the original cottage that can be seen from the exterior. It's possible that the kitchen area along the west wall on the interior of that unit is also original. As far as I can tell, the rest of the house is gone or has been altered to such a degree that it is virtually unrecognizable.

Please let me know if you have any further questions.

Sincerely,



Diana Painter, PhD

DIANA J. PAINTER
*Architectural Research, Preservation Planning,
Urban Design*

**Research and Evaluation
of the Historic Significance
of the Properties at 164-172 West Napa Street
Sonoma, Sonoma County, California
August 2002**

Prepared for:
Ms. Claire Stevens, Executor
Estate of Irma Voss
1340 Vermont Avenue
Concord, California 94521

Prepared by

Diana J. Painter, PhD

TABLE OF CONTENTS

Summary

Introduction

Purpose of Report
Project Approach
Research Methodology

Property Description

Property Context

Physical Context
Regulatory Context

Application of Eligibility Criteria 2

Property Ownership/Tenancy
Evaluation

Application of Eligibility Criteria 3

164 West Napa Street
166-168 West Napa Street
170-172 West Napa Street
Architectural Context

References

LIST OF FIGURES

- | | |
|----------|---|
| Figure 1 | Parcel Map |
| Figure 2 | Sonoma Plaza National Historic District |
| Figure 3 | Locations of Historic Structures from 1983 Redevelopment Plan |
| Figure 4 | Sonoma Redevelopment Project Area |
| Figure 5 | 164 West Napa Street, front facade |
| Figure 6 | 166-168 West Napa Street, front facade |
| Figure 7 | 170-172 West Napa Street, front facade |

SUMMARY

This evaluation of the three structures at 164 – 172 West Napa Street has been undertaken to determine the historical and architectural significance of the structures and their ownership/tenancy within the setting of the City of Sonoma. The structures were evaluated against the eligibility criteria established by the State of California, which are consistent with the eligibility criteria for the National Register of Historic Places. The property was evaluated against Eligibility Criteria 2, which requires significance with respect to a direct association with a person significant to local (or state or national) history, and Eligibility Criteria 3, which requires significance with respect to architectural design.

With respect to Eligibility Criteria 2 it was found that, although the site has been associated with local community leaders and professional people who have made contributions to the community, the property did not meet the test of these criteria, which is quite stringent in its requirement that the property have a direct relationship with local leaders. All of the individuals associated with this property lived and/or worked there for a portion of their careers. The structures were not necessarily associated with those individuals during the most significant periods in their careers, however, nor could a direct relationship be established between the individuals, their contributions, and the structures.

The era in which the structures at 164 and 170-172 West Napa were developed and remodeled, respectively, was one in which a variety of architectural styles were being expressed in the design of modest cottages and bungalows. With respect to Eligibility Criteria 3 it was found that, although the older structures on the property displayed characteristics of this era, they were not particularly good examples in terms of their representation of a style or genre. In addition, the property at 170-172 West Napa has been heavily modified over time, so it is difficult to make a correlation between the design of the structure and the activities that took place during what would have been its period of significance. So while both of these structures contribute to the small scale, architectural variety, and mix of commercial/residential structures along this street, they are not necessarily architecturally significant in themselves.

INTRODUCTION

Purpose of Report

Pacific Union has been retained by the estate of Irma Voss to undertake preliminary permitting for the property at 164-172 West Napa Street, prior to selling the property. In the course of responding to initial inquiries about permitting, the City of Sonoma requested that an evaluation of the potential historic significance of the property be undertaken. This evaluation is being prepared prior to permit review by the Architectural Review Commission.

The estate of Irma Voss retained Diana J. Painter to undertake this evaluation. I am a qualified architectural historian as defined in the Code of Federal Regulations, 36 CFR Part 61. I am also on the list of approved architectural historians with the State Office of Historic Preservation's Northwest Information Center in Rohnert Park, California.

Project Approach

There are four 'tests' for the historic significance of a property or site in the State of California. These criteria are modeled after the national criteria. Many local municipalities adopt the state or national criteria by reference and use them to determine whether sites and buildings are eligible for local, State or National Register listing. But even if the local agency does not specifically adopt the criteria, the criteria still apply if the proposal is subject to the California Environmental Policy Act.

... a resource does not need to have been identified previously either through listing or survey to be considered significant under CEQA. In addition to assessing whether historical resources potentially impacted by a proposed project are listed or have been identified in a survey process, lead agencies have a responsibility to evaluate them against the California Register criteria prior to making a finding as to the proposed project's impacts to historical resources (PRC 21084.1; 14 CCR 15064.5(3)).

The State Eligibility Criteria were used to structure the research conducted for this report. In order to be determined significant, an historical resource must meet one or more of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or
2. It is associated with the lives of persons important to local, California, or national history; or

3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation (*California Environmental Quality Act (CEQA) and Historic Resources, p. 31*).

In addition to meeting one or more of the above criteria, a property must retain enough of its *integrity* to convey the reasons for its significance. For example, if the property is determined to be significant for its architectural design (Criteria 3), it must retain enough of its appearance and historic character to be recognizable as an historic resource and representative of its *period of significance* (*California Environmental Quality Act (CEQA) and Historic Resources, p. 31*).

If a property is determined to be significant for its association with the lives of persons important to local, state or national history (Criteria 2), the property must also meet additional tests. First, the contributions of the person or persons must be determined to be significant. One of the tests of significance in this area involves comparing the contributions of the individual or individuals with others active or influential in the same arena.

The second test involves determining whether the person's *association* with the subject property is significant. Guidelines established by the National Park Service for this test state that:

- the person must be directly associated with the property;
- the property must be associated with the person during the time of their contribution to the community or to their field;
- the property must represent the individual's significant contribution;
- it should compare favorably with other properties that also represent the person's historic contributions; and
- the property must retain *integrity* from the period of its significant historic associations; again, its *period of significance* (*Guidelines for Evaluating and Documenting Properties Associated with Significant Persons*).

The property at 164-172 West Napa Street was evaluated against Criteria 2 and Criteria 3, as it was determined that these criteria had the most potential relevance to the subject property.

Research Methodology

Preparation of this report involved consultation with staff and members of the following agencies and organizations: The State Historic Preservation Office's Northwest Information Center; the City of Sonoma Planning and Building Divisions; the Central-Santa Rosa Library Local History Collection; Sonoma Valley Regional Library; Sonoma

County Assessor's Office; Sonoma County Recorder's Office; Sonoma League for Historic Preservation; and the Sonoma Valley Historical Society.

Architectural resources that were consulted include: The Guide to Architecture in San Francisco and Northern California by David Gebhard, et. al.; American Architecture by Cyril M. Harris; Classic Houses of the Twenties by J. D. Loizeaux; A Field Guide to American Houses by Virginia & Less McAlester; and House Styles in America by James C. Massey and Shirley Maxwell.

Local history sources include Robert M. Lynch's The Sonoma Valley Story; Saga of Sonoma published by the Sonoma Valley Historical Society; and articles from the Sonoma Index-Tribune.

Two site visits in August 2002 allowed for documentation of the site as it exists today. Sanborn Maps dating from 1888, 1891, 1897, 1905, 1906, 1923 and 1934 were consulted to document the site as it existed in the past. Assessor records supplied information on building dates and configurations. And finally, city directories from 1905 to 2002 and the property's chain of title were consulted to corroborate other research. No historic photographs were available from the above sources for the project site, with the exception of photos of the front facades from the 1950s from the Sonoma County Assessor records.

PROPERTY DESCRIPTION

The site (APN 018-202-009) is addressed as 164 – 172 West Napa Street. It is located near the northeast corner of West Napa Street and 2nd Street West, in downtown Sonoma, one block from the Plaza (see Figure 1).

Three structures occupy the rectangular site. A duplex, addressed as 170 – 172 West Napa, is located on the western portion of the site (on the left, as viewed from the street); another duplex, addressed as 166 – 168 West Napa, is located along the back of the lot; and a commercial office, addressed as 164 West Napa, is located on the east side of the site (on the right, as viewed from the street). The office is called the Moon Valley Professional Building. There is an open carport attached to 170-172 West Napa, and a surface parking lot exists in back of the commercial office, along the east boundary of the site. The front yard of the property is formally landscaped, as are some of the side yards.

Assessor records indicated the following dates for the respective structures:

- 164 West Napa – 1925
- 166 – 168 West Napa – 1950
- 170 – 172 West Napa – 1913, remodeled in 1925.

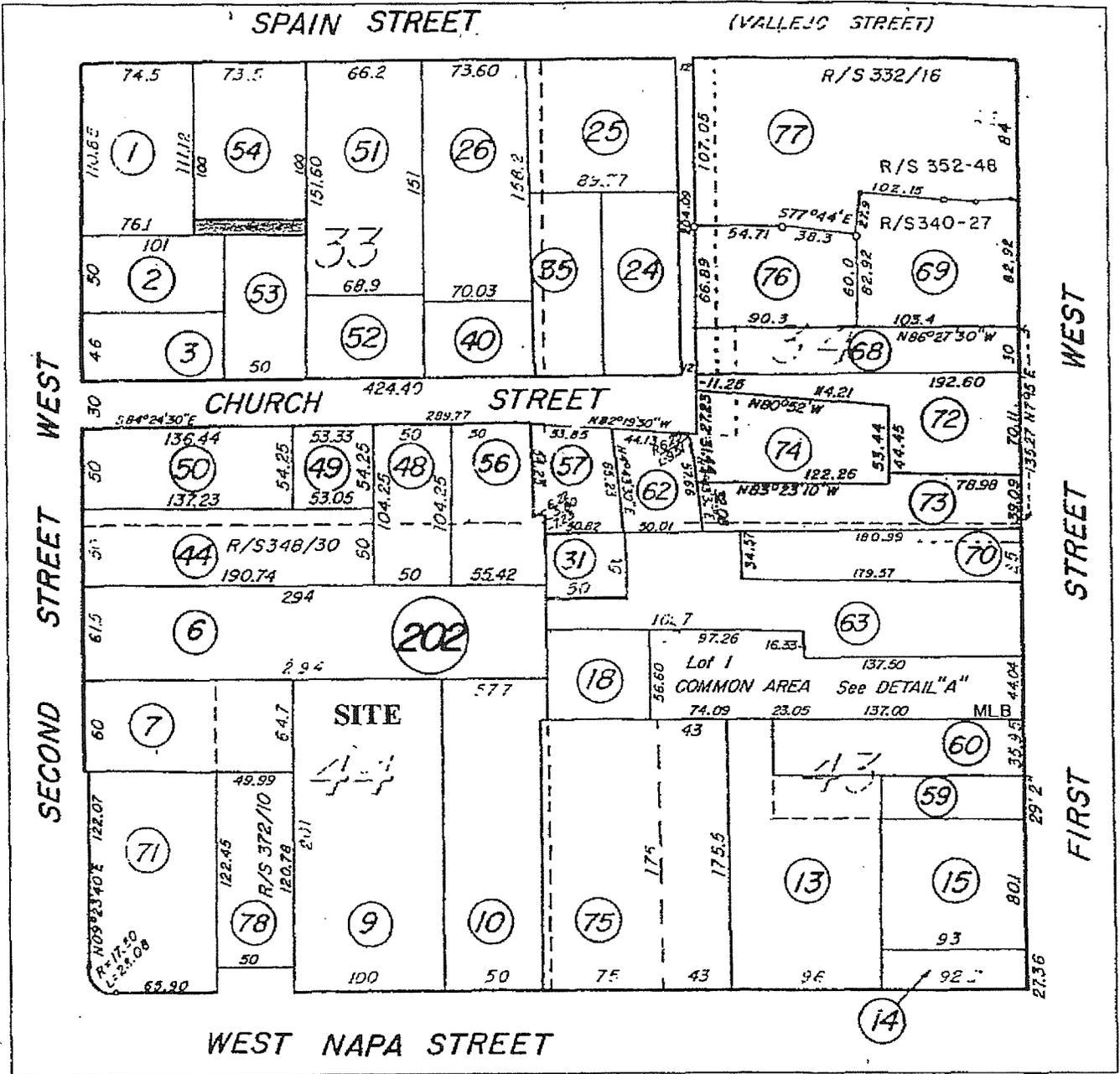


Figure 1

Parcel Map

PROPERTY CONTEXT

Physical Context

Historical Development: The subject property is within the original town site laid out by General Vallejo on behalf of the Mexican government. Sanborn maps for West Napa Street between First and Second Streets from late 19th century, however, indicate that very little development took place in this area prior to the turn of the century. Most of the commercial development was on First Street West, fronting on the Plaza, which was the center of town.

The 1888 Sanborn shows a general store and drug store on the corner of West Napa and First Street West, with a buggy house and wine cellar farther down the block. The latter were converted to dwellings by 1897. By 1905 there was a house on the corner of West Napa and 2nd Street West, but otherwise this side of the block contained only the buildings mentioned earlier.

Newspaper articles indicate that much of residential development in Sonoma was taking place east of the Plaza in the early 20th century ("*The City of Sonoma Experiencing Home-Building Boom,*" *The Sonoma Index-Tribune*, June 5, 1915). Commercial and civic improvements were also underway in anticipation of visitors to the town in conjunction with the 1915 Pan-Pacific International Exposition in San Francisco.

By 1923, the next available Sanborn map indicates that there were numerous commercial structures on the east half of the block, and three residences on the west half of the block (on the north side of West Napa Street). Additional commercial buildings and renovations of commercial buildings on the street were noted in the newspapers. The house at 170-172 is in its current location, although there are no other structures on the site.

By 1934, the last available Sanborn map for the area, there is one additional commercial structure on the block, one additional residence, and the doctor's office at 164 West Napa has been added. In conclusion, it appears that most of the block developed between about 1913 and 1925.

West Napa Street Today: Today both the north and south sides of West Napa Street between First and 2nd Streets display a mix of building types with varying architectural styles. Building ages span over 100 years, from the commercial structures built before the turn of the 20th century, to contemporary structures. Most of the structures are used for commercial purposes. The two duplexes on this site are an exception, in that they are still in residential use. Two commercial properties have a residential appearance – the Moon Valley Professional Building on this site, and the building directly east, which is an historic residence that has been rehabilitated and converted to commercial use.

Building styles and materials range from a false front structure with corrugated metal siding to a contemporary office building with some historic references and a stucco

finish. Most buildings front on the front property line, in back of the sidewalk, with the exception of the 7-11 at 2nd Street and West Napa. Parking occurs in side lots between buildings or on the street. Buildings are one or two stories in height, and of relatively small scale. Most businesses display retail storefronts. Office uses are an exception.

Regulatory Context

Historic Resources: Although the site is just a block off the Plaza, which was declared a National Historic Landmark in 1961, it is not within the Sonoma Plaza National Historic District, which was adopted in 1974 (see Figure 2). This District is comprised primarily of properties fronting on the Plaza, with the exception of areas extending down East Spain Street and East Napa Street.

Any redevelopment that might occur on this site, however, could trigger a review for historic resources under the auspices of the California Environmental Quality Act, as discussed above. A threshold that is often used by public agencies to prompt an evaluation for historic resources is if a property is 50 years old or older. The DEIR for the Sonoma Redevelopment Plan Project Area Amendment utilizes 45 years as a threshold.

The Historic Resource Survey that was conducted in Sonoma in 1979 did not include the subject property. The closest property that was evaluated for this survey is 158 West Napa, just east of the subject property (see above). State records indicate that the 158 West Napa property "Appears Eligible for the National Register." A number of properties within the block are noted in the 1983 Redevelopment Plan as "Eligible for the National Register" (see Figure 3).

Redevelopment Project Area: The property is within the City of Sonoma's 1983 Redevelopment Project Area, which takes in the downtown and the area west of downtown all the way to Sonoma Creek. It also encompasses neighborhoods to the south and southwest of downtown. The impetus for the Redevelopment District, as described in the Plan, was the need for attention to inadequate infrastructure, the maintenance needs of older structures, inadequate spatial conditions in older commercial and residential structures, and inadequate parking in many commercial areas.

The DEIR for the Sonoma Redevelopment Plan Project Area Amendment notes that redevelopment may impact historic structures, and appropriate mitigation would be to 'determine whether sites containing structures that are or may be of historic value meet the state's criteria for designation as a historic resource' (p. 167).

Policies and Regulations: General Plan goals that apply to this area call for 'defining and reinforcing the historic, small-town characteristics of Sonoma' (Goal CDE-5). Policies are oriented toward ensuring compatibility with neighborhood scale, consistency with historic building patterns, and reusing historic buildings to the greatest extent feasible (p. 24). The DEIR for the General Plan Update notes that "displacement or detracting from the surrounding character of historic sites could still occur under the proposed General

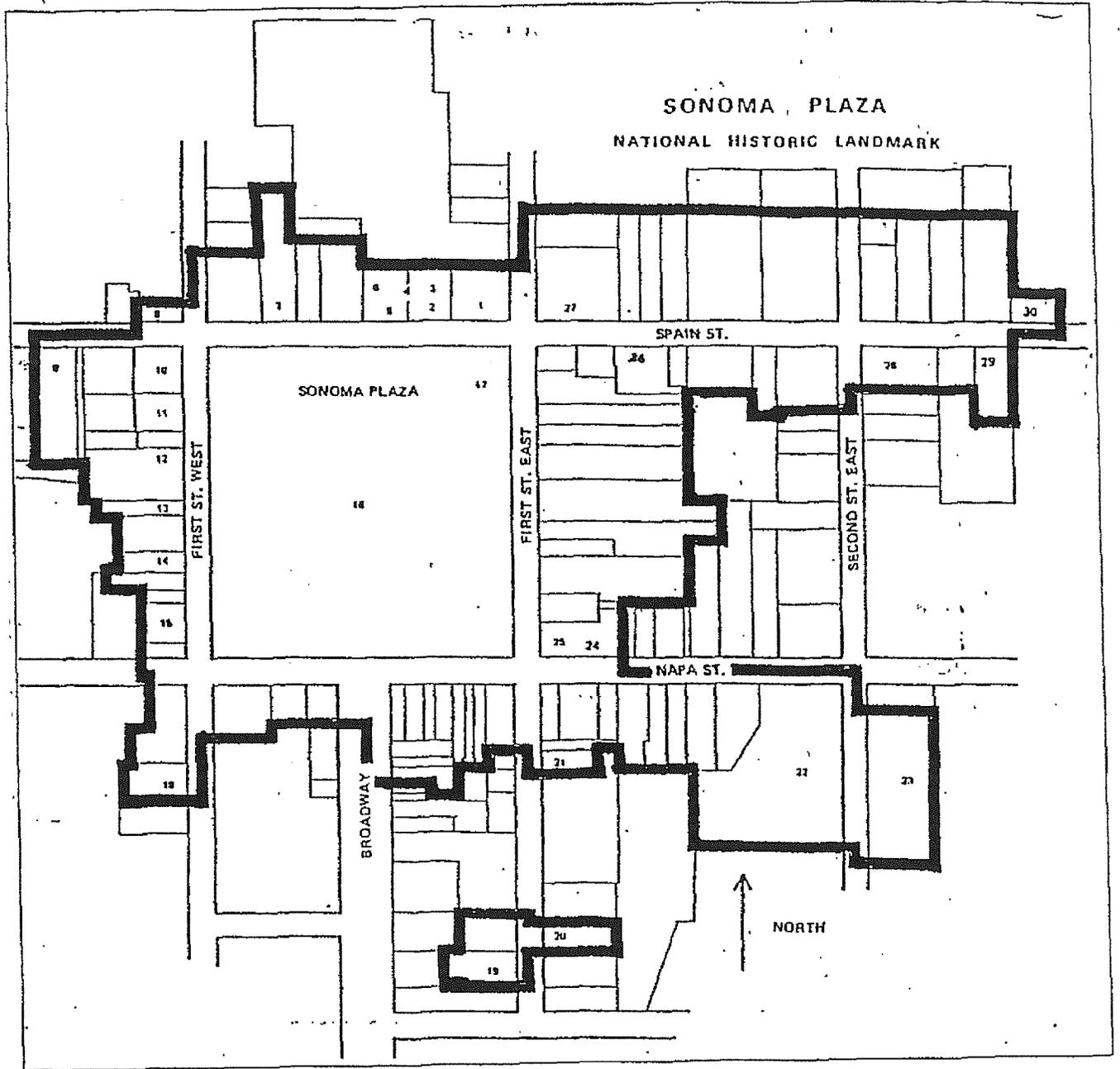


Figure 2

Sonoma Plaza National Historic District

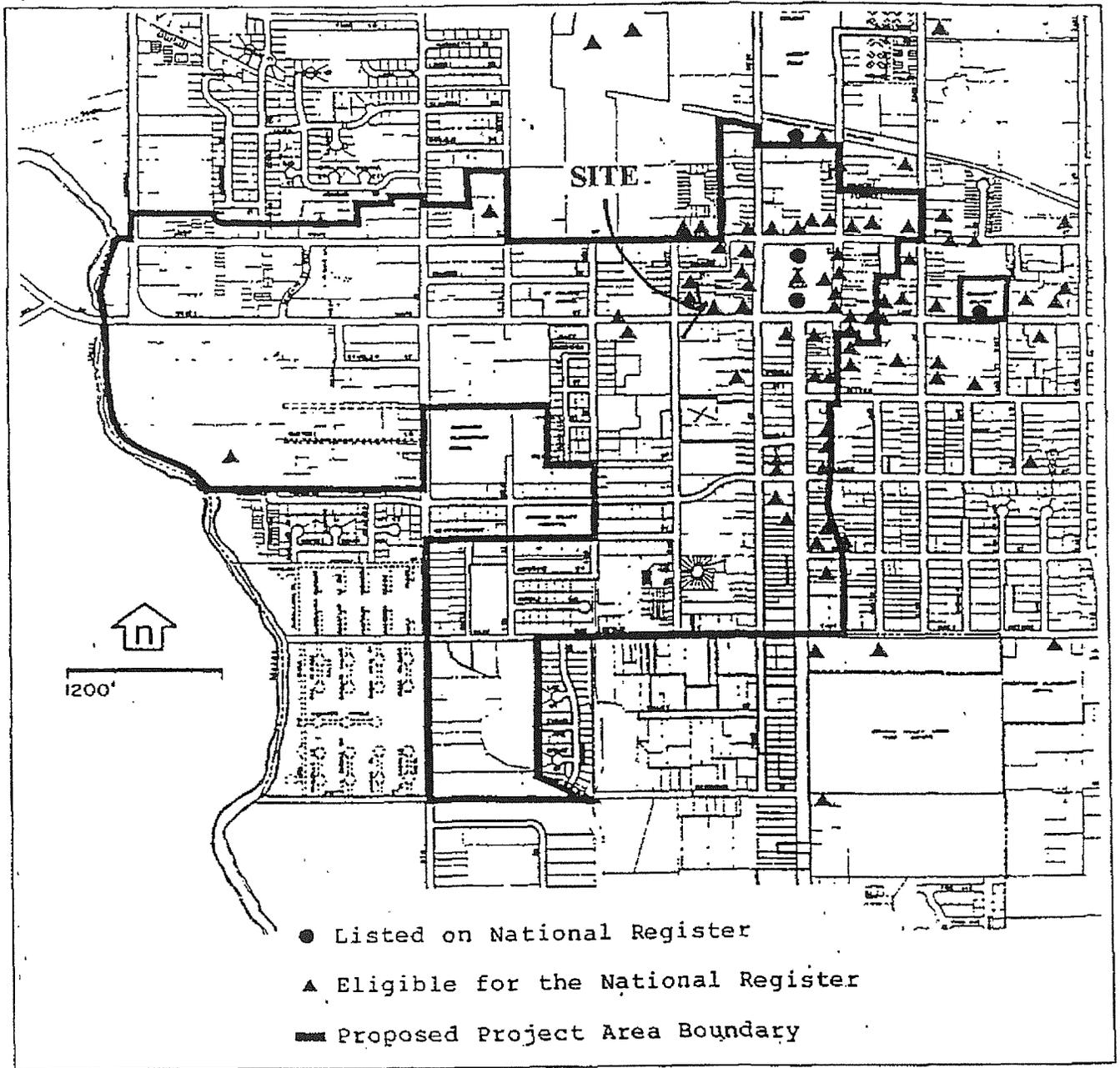


Figure 3

Locations of Historic Structures from 1983 Redevelopment Plan

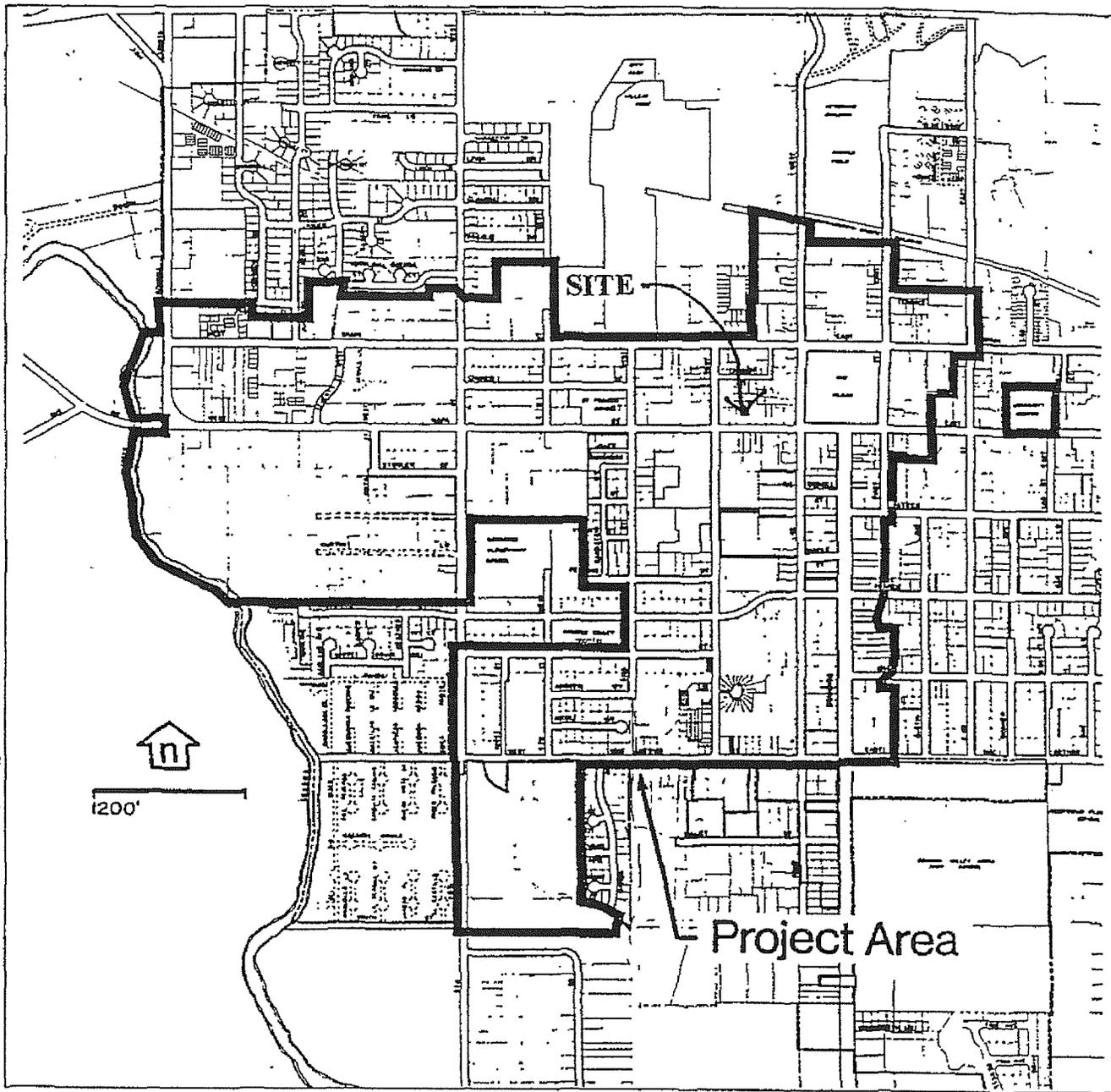


Figure 4

Sonoma Redevelopment Project Area

Plan Update (p. 189). Implementation strategies include developing and adopting town design guidelines. Zoning for this area is CO – Commercial.

APPLICATION OF ELIGIBILITY CRITERIA 2:

Association with persons important to local, California or national history

The following is a brief discussion of persons who have been associated with this site over time. Ownership or tenant information is taken from the preliminary title report, newspaper accounts, newspaper advertisements, and historical directories. A difficulty with using this information is that in the historical references, addresses were seldom used. It was apparently assumed that the reader knew the location of the business by local landmarks. Therefore, tenants are listed only where a street number or building name was given. Information about the persons discussed is from local histories and newspaper stories.

Property Ownerships/Tenancy

According to the preliminary title report, the first owner of this property was Arvilla McHarvey. She is listed in the 1913 Directory as a housekeeper. The 1906 Sanborn Map indicates that the property had not yet been subdivided into the parcel that is reflected by current property boundaries. The first property transfer was recorded in 1903, and the second property transfer was recorded in 1907. Both transactions were between Mrs. Harvey and Dr. Allen M. Thomson.

Dr. Thomson: Dr. Thomson owned this property from 1903/07 until 1927. He could have lived at 170/172 West Napa from 1913 on, which is when the house (now duplex) was built. A newspaper article notes that Drs. Thompson and Hayes were to move their offices into the upper floor of the Bulotti Building, above Sonoma Valley Furniture Company, in 1915.

Dr. Thomson returned from service in World War I in 1919. An ad from that year places Dr. Thomson's office and residence on Napa Street, "across from Mission Garage." An article notes that the Bulotti Building, the location of his previous office, is to be remodeled for a bank in 1923. The offices at 164 West Napa were constructed in 1925. In conclusion, it is possible that Dr. Thomson occupied the West Napa site in various capacities in the 1910s/20s.

Dr. Thomson was a prominent member of the community, as well as one of the few doctors in Sonoma for much of his career. He came to Sonoma in 1901, and married Anita Empanan, a grand-daughter of General Mariano Vallejo, in 1902. In addition to his service as a physician, he was also involved in other business enterprises, including owning a gold mine in Nevada in partnership with other local doctors and the Index-Tribune owner, and a fig ranch in Shasta.

Dr. Thomson was probably best known for his involvement in the forerunners of the Sonoma Hospital, according to accounts in Robert M. Lynch's book, The Sonoma Valley Story. There was no hospital in Sonoma in the early twentieth century. The Crane

Sanitarium in Boyes Springs was the closest facility. After this facility burned down in 1923, the head nurse retired to a ranch on Burndale Road. Dr. Thomson and three other doctors in town - Drs. Wilford B. Hayes, Sophus Boolson and A. K. McGrath - persuaded her to open what became known as the Burndale Sanitarium in 1924. Dr. Edward J. Finnerty joined the group in 1927.

Dr. Thomson was also involved in the development of a modern clinic in Santa Rosa, along with four Santa Rosa doctors, in 1925. It was to be located at 5th and Washington, on the second floor of the Elks Building, and organized along the same lines as the Mayo Clinic. One account has him spending the remainder of his career in Santa Rosa.

Dr. Finnerty: Dr. Finnerty purchased the property in December 1927, and it was in his family until March 1943. It was sold to Althea Edwards in March 1943, who sold it to Pasquale Ventimiglia in January 1944. Dr. Finnerty, as noted above, was part of the Burndale Sanitarium.

Dr. Newman: An article in the January 22, 1943 issue of the Index-Tribune notes that Dr. Newman, who had formerly practiced with Dr. Carroll Edwards, would be taking over the offices of Dr. Finnerty, who had accepted a position on the staff of the Sonoma State Home. The property on West Napa would be sold to Mr. and Mrs. Floyd Edwards, who would remodel the house for apartments and occupy one unit themselves. Dr. Newman's offices were advertised at 164 West Napa through the mid-1950s.

About 1944 the Burndale Road facility was taken over by Dr. McGrath, joined by Drs. Carroll B. Andrews and William J. Newman. At that time, however, a new facility was sought. The group leased a two-story building in Buena Vista in 1945. Among the first directors was Dr. Andrews. This facility was used for twenty years, although the need for a new, modern hospital was regularly expressed.

Dr. Andrews: Another physician listed at West Napa in 1941 was Carroll B. Andrews. Dr. Andrews had come to Sonoma in 1933. As noted above, he was also associated with the Burndale Sanitarium in 1944 and Buena Vista in 1945. By 1949 Andrews and others were listed at the American Trust Building on West Napa. Dr. Andrews retired in 1973 after 40 years of service.

In 1952 a committee was formed, including Dr. Newman, to seek a new hospital site and funding. A bond election for this new hospital was defeated in 1953. This was attributed to the work of a committee headed by Dr. Andrews, according to Robert Lynch. Eventually a bond election passed, and the new hospital opened in 1957.

Mr. Newton Dal Poggetto: A local prominent attorney, former judge, and community leader, Newton Dal Poggetto, had his offices at the 164 West Napa building in the late 1960s and early 1970s. He was a founding member of the Sonoma Valley Chamber of Commerce, which started in March 1930.

In 1944 the property was sold to Edward Voss, and it has remained in his family to the present. The Vosses have used the property for a rental throughout their ownership.

Evaluation

The offices at 164 West Napa Street have been associated with a number of important and prominent local citizens. Most of the individuals discussed here lived in Sonoma for much of their career and put in many years of service to the community. However, they are among many others who have played an important role in the formation of the institutions of Sonoma. Further, it appears that most professionals in the town had a number of different offices over the course of their careers, some which may be more directly associated with the periods in which their main contributions were made. In conclusion, it appears that the structures at 164-172 West Napa do not meet the criteria for association with persons important to local history.

APPLICATION OF ELIGIBILITY CRITERIA 3:

Embodies distinctive architectural characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values

164 West Napa Street

Architectural description: This is a one-story, wood-frame structure with a concrete foundation and composite roof. It has a rectangular floor plan, which runs north/south along the east side of the lot. The exterior finish is heavily textured stucco, with brick detailing, primarily at the window sills. A gable roof faces the street, and a cross gable faces the entry drive to the west. The rear addition also has a gable facing the parking area. The structure has a corner entry on the front façade, facing the entry drive, a side entry off the driveway, and an entry to the back addition near the parking area. It is 1,471 square feet in size.

The front façade features a three-part window, with a double-hung window in the center (originally six panes over one pane), and eight fixed panes in the sidelights. The sill is brick. A wood vent set in an arched opening with quoin details and a brick sill is centered under the gable. Single, double-hung windows with six panes over one are typical throughout the structure. Most frames are wood, and sills are brick. The vent detail is also repeated throughout the structure. The back addition has a simpler, contemporary window and entry, and a plain, rectangular rather than decorative vent.

The front corner entry features an arched opening that is also round in plan; that is, projecting from the doorway. This projecting shape is echoed in the stoop and stairs. The arch features brick detailing in the surround. A stepped parapet wall, topped with brick, helps define the entry and small planting areas. A stepped wall of similar design also defines the patio that leads to the stairs, which is stamped, colored concrete. These are the main character-defining features of the building.

Background: This structure has, by all appearances, always been used for offices, despite its residential character. According to assessor records, it was constructed in 1925. It is noted on the 1934 Sanborn map as a doctor's office with x-ray. At that time, there was no rear addition. The first assessment on the property was done in 1949, and the records show the structure as it currently exists. In other words, the addition was probably built between 1934 and 1949. Records also indicate that there are two offices and three exam rooms.

The photograph in the assessor's records, which appears to be from the 1950s, shows the front façade substantially as it exists today with the exception of the middle panel of the front window, which has been changed from a wood-frame double-hung window with six lights over a single pane, to a double-hung, aluminum frame window.

Evaluation: With the exceptions noted, this structure appears to have been unmodified since it was built, and is well-maintained. The landscaping is essentially as designed, including the front entry patio and hardscape details matching the house. Although the structure has apparently always been used for commercial purposes, it was obviously built to convey a residential appearance, and an appearance compatible with the residential structure across the driveway. As a result of the similar scale of the two structures, and similar roof lines and front set-backs, the residence and office present a coherent and complimentary appearance as viewed from the street, despite architectural differences.

166 – 168 West Napa Street

Architectural description: This one-story, wood-frame structure has a concrete foundation and flat roof. It is a rectangular building, running east to west at the rear of the lot. The siding has a stucco finish. The two units are essentially divided by a double garage with contemporary, roll-up door. There is a pair of double-hung, aluminum frame windows between the front door and garage for each unit, and a single, double-hung aluminum frame window on the far side of each front façade. The units are set back from the side and rear fence lines with a six-to-ten foot yard. The easterly unit has a bamboo and wood fence separating a yard area from the parking lot. The units are 672 square feet each, excluding the garage.

Background: This duplex was built in 1950, according to assessor records. No exterior modifications are known to have occurred over time.

Evaluation: This is a straight-forward, utilitarian structure. Landscaping and detailing is minimal. The location of the structure on the lot and its relationship to the other buildings and parking areas result in the building fronting on public parking areas, with minimal private outdoor space.

170 – 172 West Napa Street

Architectural description: This is a one-story, wood-frame structure with a partial stone foundation and composite roof. It has a largely rectangular floor plan, running north/south on the west side of the lot. The front unit has a stucco finish, and the rear unit has a stucco finish on a portion of it, with shingle siding on the majority of the unit. There is an attached three-car carport with an enclosed storage area in the back. Records indicate that the carport was rebuilt in 1991. There is a total of 2,344 square feet of living area, including both units.

This structure displays an enclosed front entry with asymmetrical gable roof projecting from the front façade, which also has a gable roof with a similar pitch. Ashlar concrete steps lead to the front door. There is a tall, narrow side light with three fixed panes to the left of the front door. This detail is repeated on the side walls enclosing the porch.

The façade of the front porch is visually extended with a narrow buttress on the right hand side, and the façade of the main structure is extended on the left with an arched wing wall leading to a side yard off the patio. The patio is again stamped, colored concrete, with a wood fence and formal landscaping.

Double-hung windows flank the front porch, with aluminum awnings and decorative metal grills. Originally, these were eight-paned casement windows, but they have been replaced. A wood, horizontally-oriented vent is located under the gable. A dramatic chimney on the right hand side of the structure is also apparent from the front.

On the east façade, large double-hung windows flank the chimney on the façade nearest the street. Next a screened entry porch leads to doors to both the front and rear unit. Finally, a bank of four, double-hung windows in a wide wood frame is featured on the northern-most section of the stucco unit. This area is actually within the rear unit, although it is within the gable-on-hip roof of the front unit.

The next section of the east façade appears almost as a free-standing room which projects slightly from the main façade of the building. This 'room' has shingle siding, and features two asymmetrically placed windows and a door. It has a shallow roof pitch with a east facing gable-end. The slope of its roof abuts the sloping roofs to the north and south. A large chimney, brick rather than the stucco finish of the front chimney, is visible to the far right, on the northern-most section of the building.

The remainder of the structure to the north, including another room, two covered passageways, a covered storage area, and the carport, feature a variety of windows and doors, with a variety of finishes. This is an older portion of the building which has obviously been heavily modified over time. It is all finished in dark shingles, with curved rafter details, painted white.

Background: This duplex was originally constructed in 1913, according to assessor records, and remodeled in 1925 (although records show the effective date of the remodel to be 1919). The structure was first appraised in 1949. The assessor's sketch shows the structure as currently configured. The accompanying photograph of the front facade, which appears to be from the 1950s, also shows the current appearance of the structure, with the exception of the windows on the front façade. These appear to have been double casement windows with eight lights on each panel. Today the windows appear to be double hung, aluminum-frame windows set in a wood frame, with vinyl partitions on the upper pane.

The 1923 Sanborn map shows the front unit with essentially the same 'footprint' and location as today. It has a different front entry and front porch however, indicating that the façade was heavily modified, if the whole unit was not rebuilt.

The footprint of the second or rear unit appears essentially as it is today, with the exception of an additional room with an exterior entry located at about the mid-point of the east façade. This room was added later, some time between 1923 and 1934. The

carport, as noted, was rebuilt in 1919. In its place was a smaller accessory structure in 1923.

The 1934 Sanborn map shows the structure as currently configured. Note, however, that these records only show exterior walls, and not interior or other modifications.

Evaluation: There are a number of roof forms on this structure that abut one another, with different rafter and soffit details. On the interior, the number of interior finishes, from wood lath and plaster to gypsum board to board and batten to knotty pine paneling indicates many modifications over time, as well as varying attention to finishes. The large number of exterior entrances and unconventional room relationships are another indication that the structure has been modified over time to accommodate different living/rental arrangements. This is corroborated by the fact that most windows have different design details, as do doors and entries.

Architectural Context

The two older structures on this site, the office and the west duplex, were built and remodeled at a time when period revivals were popular for adaptation to small residences. The economic prosperity of the 1920s and availability of inexpensive labor and materials are reasons given for the boom in home-building. Pattern books with plans and tempting illustrations were readily available to builders and property owners. Even prefabricated homes were available in 'New England Colonial, Dutch Colonial, Gothic or half-timber, Modern English, Italian, or Spanish Mission' styles.

The Mission Revival style was particularly popular, especially in California. It evolved from a heightened awareness of this earlier heritage, as the missions were being rehabilitated. It was introduced in expositions around the country from the 1880s to 1915, and became particularly popular in California, where architects and builders were seeking an architectural vocabulary that distinguished local architecture from the revival styles popular on the east coast. The rebuilding of the mission in Sonoma, of course, could have provided a direct inspiration here for adaptation of stylistic elements from the Mexican era.

The overall appearance of the 'cottages,' that is, the front unit of the duplex and the office, appear to be consistent with home-building trends of the time. The front duplex was remodeled (or perhaps rebuilt) in an English Cottage style, judging by the narrow projecting front entry with its asymmetrical gable. The slight buttress on the right side of the entry, as well as the arched opening to the side yard on the left, reinforces this impression. Tall narrow windows with multiple lights on the entry, as well as the eight-paned casement windows on the original structure, also support this interpretation.

The pitch of the roof on the entry porch is not typical of the English Cottage or Tudor-inspired style, however. The narrow chimney is also atypical of this style. It is possible that the pitch of the entry porch was designed to match the pitch of the roof of the main house, which may have been preserved when the front façade was remodeled. And it is

likely that the main house was a vernacular structure that evolved over time to fit the needs of the occupants.

Unfortunately, the interior of this front unit has been modified over time, perhaps to give additional space to the rear unit, and additions have been built on the rear unit that contribute to the discontinuity of the entire structure. In particular, the shingle exterior and multiple additions to the back unit do not support the aesthetic chosen for the front unit, and limit its value as a representation of any particular time or building style.

The office building across the driveway from the duplex is compatible in design with the front unit of the duplex, in that the structures are similar in scale, have gable roofs that face the street, with a similar pitch, a stucco finish, and similar window proportions and details.

The office building makes some reference to the Mission Revival style, although certain elements could also be attributed to the English Cottage style, in particular the juxtaposition of textures between the brick and stucco finishes and the proportions and design of the windows. The arches over the vents are more reminiscent of Spanish influences, but tile roof would have been more typical of this style. In general the building displays a compatible mix of eclectic architectural elements, not atypical of the period, complemented by the design of the hardscape and landscaping.

In conclusion, although both structures are serviceable, well-maintained, and visually pleasing structures, they do not meet the criteria established for architectural significance. Neither represent a distinctive or typical example of their genre, nor a singular work of high artistic value. They are more representative of structures that have served their purpose for their owners and occupants, particularly over time, and made an attractive contribution to the streetscape.

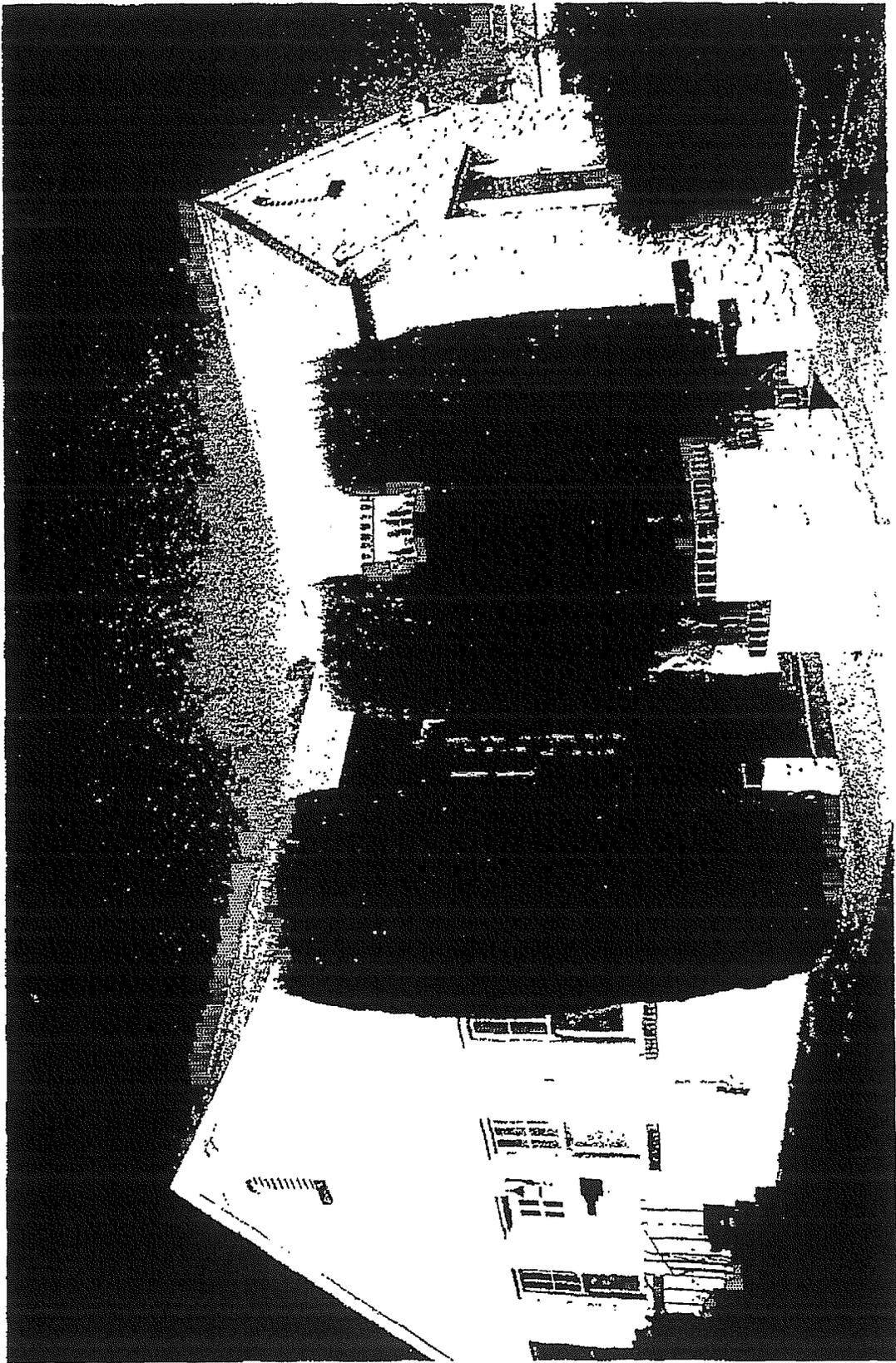


Figure 5

164 West Napa Street

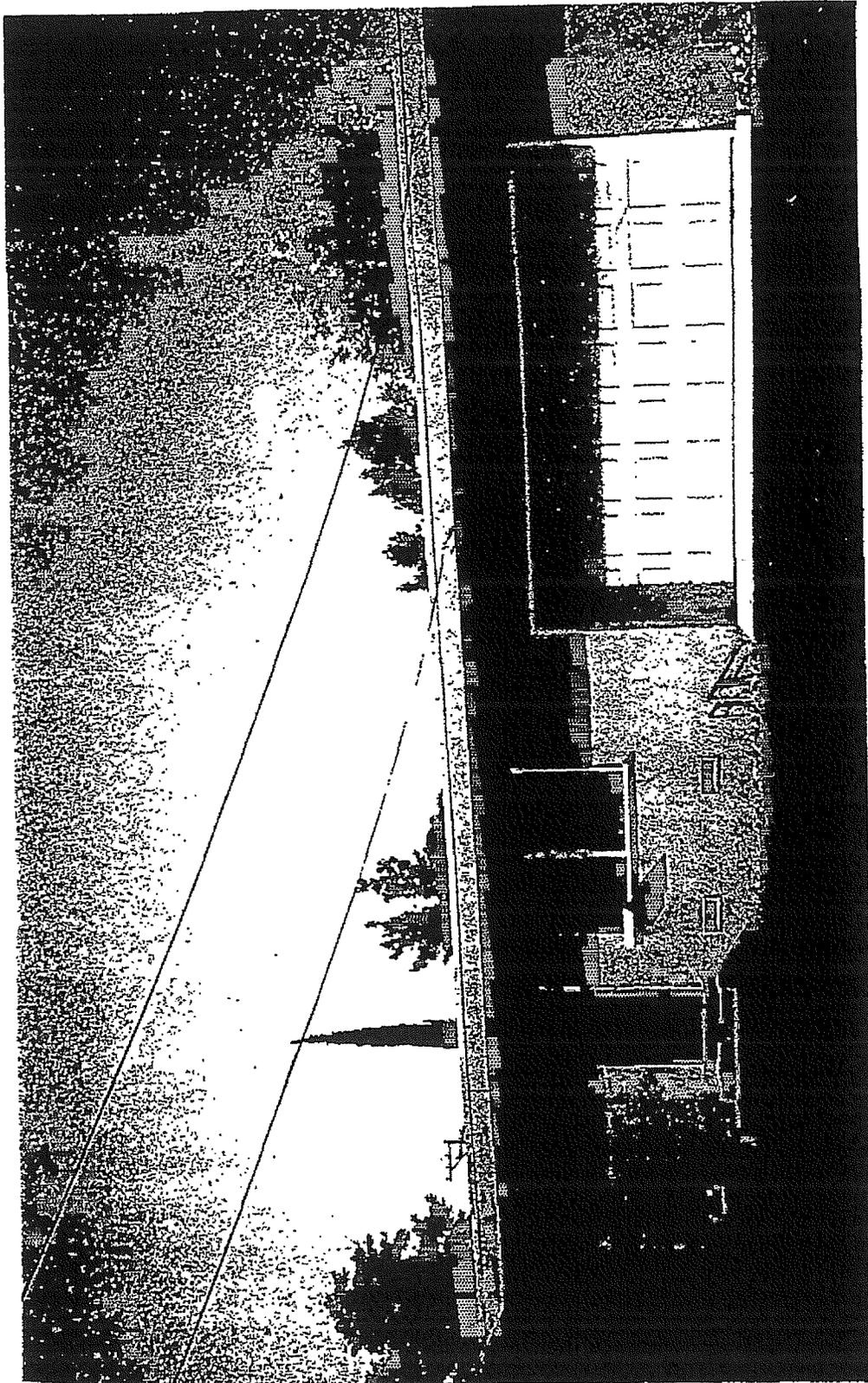


Figure 6

166-168 West Napa Street

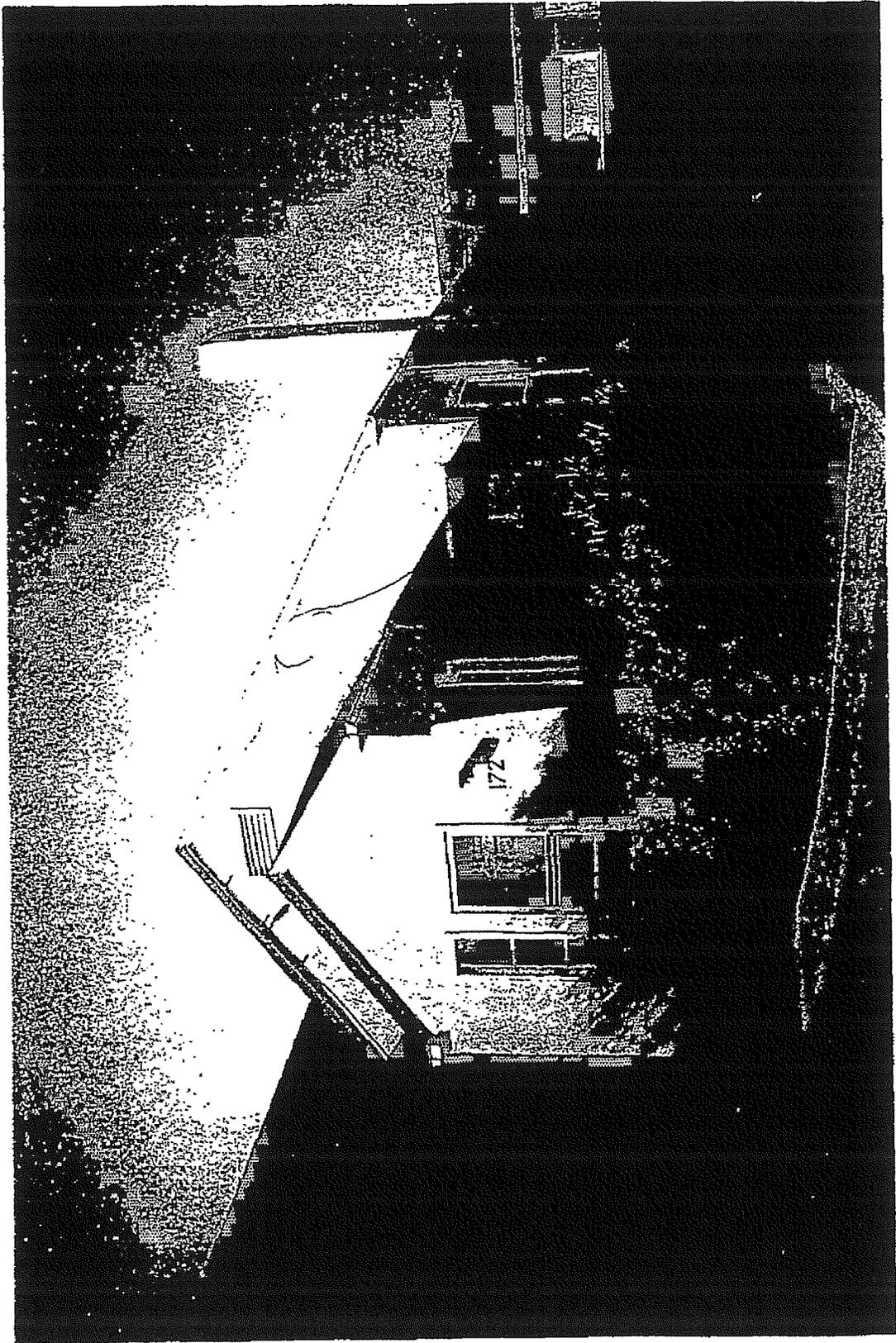


Figure 7

170-172 West Napa Street

REFERENCES

- 1949-1950 Guidebook and Classified Director of Sonoma County and Calistoga, The Press Democrat and the Evening Press.
- Boland, Beth Grosvernor, National Register Bulletin 32, Guidelines for Evaluating and Documenting Properties Associated with Significant Persons, National Park Service.
- California Office of Historic Preservation, Technical Assistance Series 1, California Environmental Quality Act (CEQA) and Historical Resources.
- City of Sonoma, City of Sonoma Zoning Ordinance, No. 1977-5, adopted July 24, 1997.
- City of Sonoma, "Cultural and Historical Resources," Sonoma Redevelopment Plan Project Area Amendment Draft EIR, April 4, 1997.
- City of Sonoma, "Community Development Element" and "Technical Appendix – Town Design," 1995-2005 General Plan, adopted August 30, 1995.
- City of Sonoma (Wagstaff and Associates), DEIR for the Proposed City of Sonoma General Plan Update, March 1995.
- City of Sonoma, (Burns & Watly, Inc.), Report to the City Council on the Proposed Redevelopment Plan for the City of Sonoma, October 1983.
- Gebhard, David, et. al., The Guide to Architecture in San Francisco and Northern California. Salt Lake City: Givvs-Smith Publisher, 1985 (1973).
- Haines Directory for Marin-Sonoma, North Canton, Ohio: Haines & Co., Inc., 1972, 1974, 2002.
- Harris, Cyril H., American Architecture. New York: W. W. Norton & Company, 1998.
- Kingsbury's Directory of Santa Rosa City and Sonoma County. Santa Rosa: The Press Democrat, 1905, 1913.
- Loizeaux, J. D., Classic Houses of the Twenties. Dover Publications, 1992 (reproduction of Loizeaux's Plan Book No. 7. Plainfield, New Jersey: J. D. Loizeaux Lumber Co.).
- Lynch, Robert M., The Sonoma Valley Story. Sonoma: The Sonoma Index-Tribune, Inc., 1997.
- Massey, James C., and Shirley Maxwell, House Styles in America. London: The Penguin Group, 1999 (1996).

McAlester, Virginia and Less McAlester, A Field Guide to American Houses. New York: Alfred A. Knopf, 2000.

Pacific Telephone and Telegraph Company, Sonoma, Lake and Mendocino Counties Telephone Directory, 1928, 1929, 1949, 1955, 1968.

Polk Directories, 1908, 1911, 1913, 1924.

Sanborn Maps. Hartford, Connecticut: Hartford Fire Insurance Company, 1888, 1891, 1897, 1905, 1906, 1923, 1934.

Sonoma Community Development Agency (Shannon, Davis & Associates), Preliminary Report Sonoma Redevelopment Project Amendment, June 1997.

Sonoma Index-Tribune articles dated May 7, 1907, August 10, 1907, October 4, 1913, June 5, 1915, September 4, 1915, March 22, 1919, June 14, 1919, July 26, 1919, February 16, 1924, August 22, 1925, September 26, 1925, December 12, 1925, January 22, 1943.

Sonoma League for Historic Preservation (Dan and Gerrie Peterson), Sonoma Valley Historic Resources Survey, 1979.

State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 HISTORIC RESOURCES INVENTORY

AREA _____

Ser _____	Site _____	Mo. _____	Yr. _____
UTM _____	Q _____	NR _____	SHL _____
Lat _____	Lon _____	Era _____	Sig. _____
Adm. T2 _____	T3 _____	Cat _____	HABS _____
			HAER _____
			Fed _____

State use only

IDENTIFICATION

- Common name: 164 NAPA ST.
- Historic name, if known: _____
- Street or rural address: 164 NAPA ST. WEST
 City: SONOMA County: _____ State: _____ ZIP: _____
 Category: MEDICAL BLDG. - OFFICES
- Present owner, if known: IRMA VOSS (DECEASED) - DAUGHTER OWNES.
 Street address: 164 NAPA ST 1340 VERMONT City: CONCORD
 County: _____ State: CA ZIP: 94521-4145 008
 Telephone: _____ Fax number: _____ Ownership is: _____
- Present Use: MEDICAL OFFICES Original Use: RESIDENCE
 Other Past Uses: RESIDENCE

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

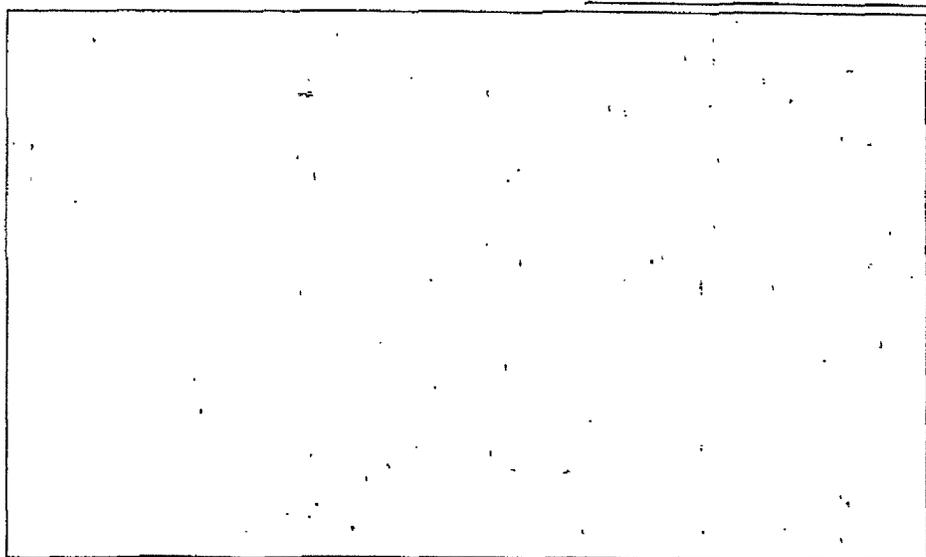
Stucco building - 1 story - 7 rooms - 4 bedrooms
 2 baths - fireplace - used now as office building
 for medical group. Several small cottages on
 lot # 166-168-170-172 - all rentals - owned by owner.
 at back of lot another residence.

7. Approximate property size: Frontage _____ Depth _____
 on approx acreage 0.46

10. Photo (black and white) 11. Date of photo: _____

8. Condition: (check one)
- a. Excellent
 - b. Good
 - c. Fair
 - d. Deteriorated
 - e. No longer in existence

9. Is the structure altered?
- a. Yes
 - b. No



12. Surroundings (check all that apply)

- a. Open land
- b. Scattered buildings
- c. Densely built-up
- d. Residential
- e. Commercial
- f. Industrial

13. If officially landmarked, landmark type

- a. National Register
- b. State
- c. County
- d. City

14. Primary exterior building material

- a. Stone
- b. Brick
- c. Stucco
- d. Adobe
- e. Wood
- f. Other

15. Is the structure on its ... a. original site? b. moved? c. or unknown?

16. Year of construction 1913

This date is ... a. Factual b. Estimated

17. Architectural style or element

Spanish (?)

18. Architect (if known)

19. Builder (if known)

20. Related features

- a. Barn
- b. Carriage house
- c. Outhouse
- d. Shed(s)
- e. Formal gardens
- f. Windmill
- g. Watertower
- h. Tankhouse
- i. None
- j. Other cottages

SIGNIFICANCE

21. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site if known.)

An viewing cottages on property - there are four plus residence in back. There was nothing historic about these cottages that I could determine. The main building is typical of residences built during this time. It has been a facility for medical offices for many years! Well kept and interior has been modified many times. While the cottages are not architecturally historic design, they are over 50 years old and therefore historic by the City of London's recent Council decision.

22. UTM (Sonoma Quad)

23. Sources of information

Date form prepared: _____

Organization: Sonoma League for Historic Preservation, P.O. BOX 766, Sonoma, CA 95476

SCALE IN 1/160 OF AN INCH



1-800-345-7334

COUNTY ASSESSOR'S PARCEL MAP

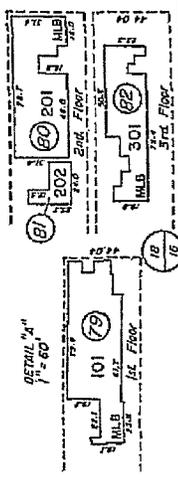
TAX RATE AREA 6-012

18-20

Sonoma Parcel Map No. 109
04.560 Exp. 12-31, Rec. 12-27-96
Sonoma Parcel Map No. 92
04.364 Exp. 12-31, Rec. 3-6-97

City of Sonoma
Parcel Map No. 27
04.047 Exp. 12-31, Rec. 04/26/03

MASONIC LODGE BUILDING
A Commercial Condominium
REC 12-3-96 IN BK 566 MAPS, PGS. 34-35
O.R. 96-107832, REC. 12-3-96



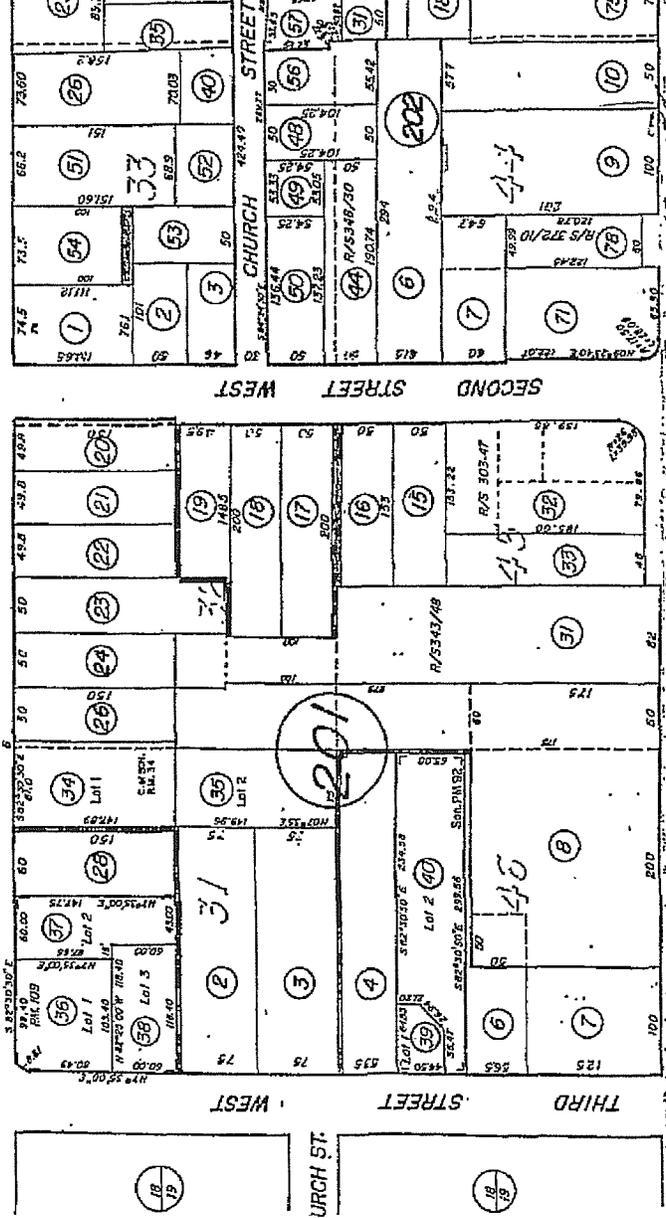
SPAIN STREET

CHURCH STREET

WEST STREET

THIRD STREET WEST

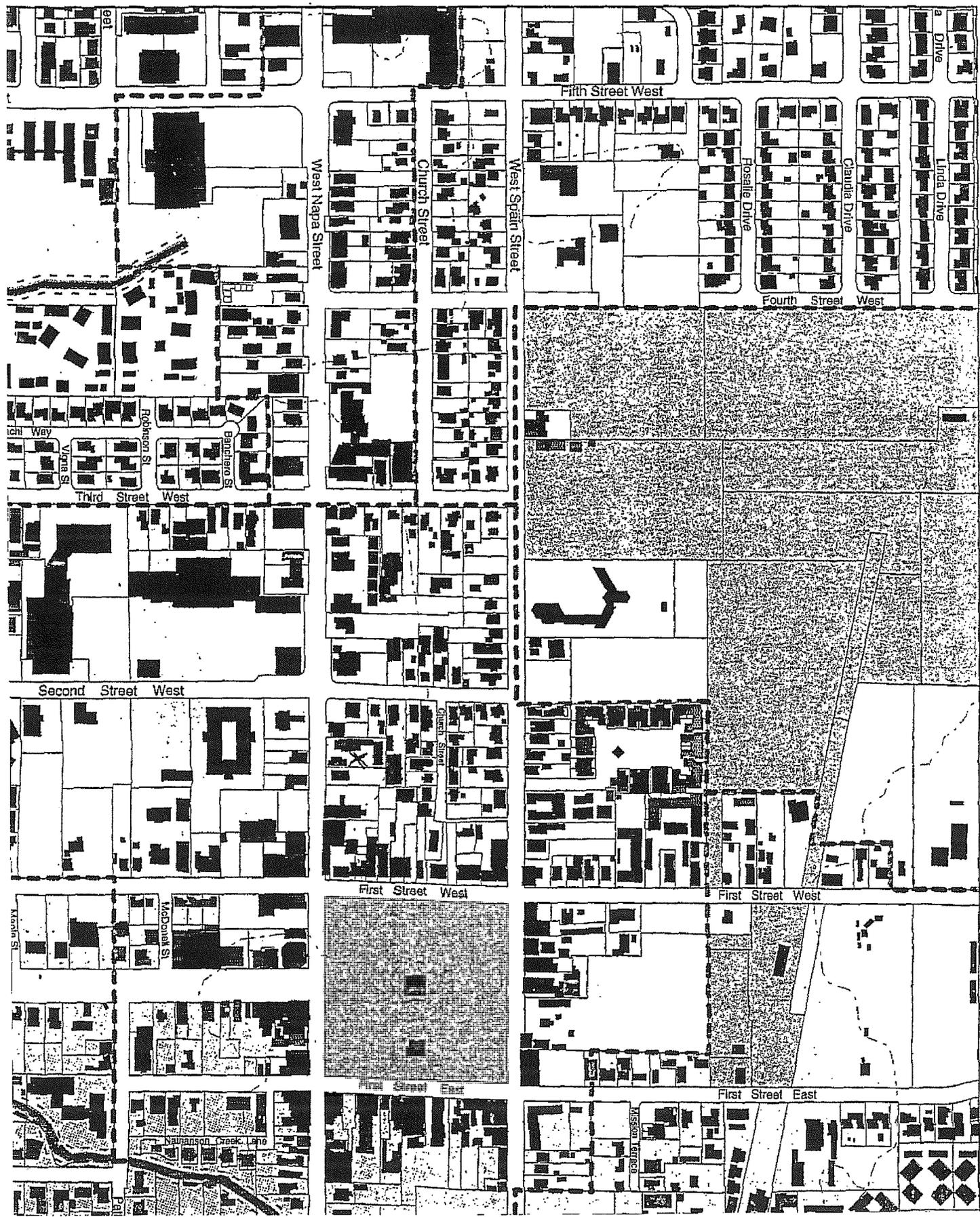
URCH ST.



- REVISED
- 7-88-80-92
 - 2-10-81-83
 - 2-11-82-85
 - 7-14-82-77
 - 11-15-83-87/5
 - 11-17-83-85
 - 9-9-85-78
 - 1-26-87-88
 - 1-26-87-88
 - 12-15-97-210-14

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY, NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA DELINEATED THEREON.

Assessor's Map Bk. 18 Pg. 20
Sonoma County, Calif.



981

a Drive

Fifth Street West

West Napa Street

Church Street

West Spain Street

Fossilie Drive

Chandler Drive

Linda Drive

Fourth Street West

101 Way
VIGOR ST

ROBINSON ST

BARTLETT ST

Third Street West

Second Street West

Church Street

First Street West

First Street West

MANNING ST

WALDOCK ST

First Street East

First Street East

Napavonson Creek Lane

MISSION STREET

Michael D. Marino
500 Michael Drive
Sonoma, Ca 95476

February 16, 2014

Proposed Demolition of 170 West Napa Street, Sonoma

As a local resident and business owner I understand the importance of preserving Sonoma, I am not a developer.

Back in August 2002, a Research and Evaluation of the Historic Significance of the Properties at 164-172 West Napa was prepared by Diane J Painter PhD. In October 2002, an approval was granted by the (ARC) for the demolition of all 3 structures located on the property.

Currently, as ownership and future use has changed, I am asking for approval to remove the addition known as 170 West Napa Street. This addition is currently sharing a common wall with building #172. From what our early inspections and research has determined it was not originally attached to House #172. At some point the area in between the 2 structures was enclosed using inadequate materials and in a very inconsistent and unsafe manner. The structure was built directly on the grade with all materials having direct contact with soil and constant moisture causing severe deterioration, mold and dry rot. The underfloor area of the structure has standing water and mud with no means for drainage. It looks to have had several additions with no continuity with walls, ceilings and roof lines. The structure cannot be brought to current commercial and safety codes.

Although still in the early planning, the overall goal for the project at 164-172 and 158 West Napa would be to create a small Bungalow Village, replicating the early years of Sonoma. The project would eventually consist of 6-8 additional Bungalow Style Houses to be operated in a unique Small Hotel Style.

The project would be done in phases, starting with the remodel of #158, #164 and #172.

Thank you for your consideration.



Michael D. Marino
(707) 732-8188

FEB 25 2014

~~APN 018-202-009~~
ELEVATIONS WITH ADJACENT PROPERTIES
PROPOSED DEMOLITION

018-202-010

APN 018-202-075

158

136

144



TREET

BANK OF MARIN



ADDITION STRUCTURE
(TO BE DEMOLISHED)

EXISTING CARPORT
(TO REMAIN)



APN 018-202-009
SITE PLAN WITH ADJACENT PROPERTIES
PROPOSED DEMOLITION

PREPARED BY
Kevin Dixon
February 11, 2014

SECOND STREET WEST

