



**City of Sonoma  
Design Review and Historic  
Preservation Commission  
AGENDA**

**Meeting of July 15, 2014 - 6:30 P.M.  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476**

Meeting Length: **No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM**, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Kelso Barnett, Chair

Commissioners: Tom Anderson  
Robert McDonald  
Micaelia Randolph  
Leslie Tippell  
Christopher Johnson (Alternate)

**COMMENTS FROM THE PUBLIC**

*Presentations by audience members on items not appearing on the agenda.*

**APPROVAL OF MINUTES**

Minutes from the meeting of May 20, 2014.

**CORRESPONDENCE**

**ITEM #1 – CONSENT CALENDAR**

**Request:**

**RECOMMENDED ACTION:**

These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party.

Request to install banners on Plaza light standards – Sonoma Valley Museum of Art.

Approve.

**Staff:** Wendy Atkins

**ITEM #2 – Continued Design Review**

**Project Location:**

**RECOMMENDED ACTION:**

563 Second Street East

Commission discretion.

**REQUEST:**

Design review of a proposed addition to a residence.

**General Plan Designation:**

Low Density Residential (LR)

**CEQA Status:**

Categorically Exempt

**Applicant:**

Wade Design Architects

**Zoning:**

**Planning Area:**

Central-East Area

**Staff:** Wendy Atkins

**Base:**

Low Density Residential (R-L)

**Overlay:** Historic (/H)

<p><b>ITEM #3 – Sign Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of a monument sign, three wall signs, three window signs and a projecting sign for a mixed-use building. (Williams-Sonoma).</p> <p><b><u>Applicant:</u></b> Williams-Sonoma, Inc.</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 599 Broadway</p> <p><b><u>General Plan Designation:</u></b> Commercial (C)</p> <p><b><u>Zoning:</u></b> <b>Planning Area:</b> Downtown District <b>Base:</b> Commercial (C) <b>Overlay:</b> Historic (/H)</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #4 – Design Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of a new awning for a commercial building (Grandma Linda’s Ice Cream).</p> <p><b><u>Applicant:</u></b> Grandma Linda’s Ice Cream</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 408 First Street East</p> <p><b><u>General Plan Designation:</u></b> Commercial (C)</p> <p><b><u>Zoning:</u></b> <b>Planning Area:</b> Downtown District <b>Base:</b> Commercial (C) <b>Overlay:</b> Historic (/H)</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #5 – Design Review</b></p> <p><b><u>REQUEST:</u></b> Design review of a proposed addition to a residence.</p> <p><b><u>Applicant:</u></b> Jeff Zimmerman</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 456 Patten Street</p> <p><b><u>General Plan Designation:</u></b> Low Density Residential (LR)</p> <p><b><u>Zoning:</u></b> <b>Planning Area:</b> Central-East Area</p> <p><b>Base:</b> Low Density Residential (R-L) <b>Overlay:</b> Historic (/H)</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #6 – Landscape Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of a landscape plan for the Mission Square project.</p> <p><b><u>Applicant:</u></b> Marcus &amp; Willers Architects</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 165 East Spain Street</p> <p><b><u>General Plan Designation:</u></b> Mixed Use (MU)</p> <p><b><u>Zoning:</u></b> <b>Planning Area:</b> Downtown District</p> <p><b>Base:</b> Mixed Use (MX) <b>Overlay:</b> Historic (/H)</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>

**ISSUES UPDATE**

**COMMENTS FROM THE COMMISSION**

**COMMENTS FROM THE AUDIENCE**

**ADJOURNMENT**

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on July 11, 2014.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

***Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.***

***If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.***

***In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.***

## Memo

**DATE:** July 15, 2014

**TO:** Design Review Commissioners

**FROM:** Wendy Atkins, Associate Planner

**SUBJECT:** Request to install banners on Plaza light standards—Sonoma Valley Museum of Art

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The Sonoma Valley Museum of Art is proposing to install banners on Plaza light standards from August 1, 2014, to August 31, 2014. The banners are consistent with the Plaza Banner Administrative Policy approved by the City Council on May 21, 2008.

If approved, the applicant shall submit a fee in the amount of \$1,380 to the City of Sonoma. This fee will cover the costs of installing and removing the banners, the staff time required to support installing and removing banners, and associated City administrative expenses.

Attachments

1. *Plaza Banner Form*
2. *Sample of proposed banners*

cc: Sonoma Valley Museum of Arts  
Attn: Maggie Sowell  
P.O. Box 322  
Sonoma, CA 95476

Terry Melberg, Parks Supervisor

Colleen Pratt, Public Works Administrative Assistant

RECEIVED

JUN 17 2014

CITY OF SONOMA

# City of Sonoma

Planning and Community  
Development  
No. 1, The Plaza  
Sonoma, CA 95476



## Plaza Banner Form

Please read the Plaza Banner  
Administrative Policy (attached) prior to  
filling out form.

Phone: (707) 938-3681 Fax: (707) 938-8775 E-mail: [cityhall@sonomacity.org](mailto:cityhall@sonomacity.org) Web: [www.sonomacity.org](http://www.sonomacity.org)

Please submit completed form to City Hall no later than 90 days prior to the requested banner installation date for new banners and 30 days prior to the requested banner installation date for previously approved banners.

Required banner size: 30" x 94", with 4" stitched pocket with grommet at top and bottom; no text in pocket area.

Date application submitted: 4/22/14

### Applicant Information:

Organization name: Sonoma Valley Museum of Art

Contact: Maggie Sowell, Administrative Coordinator

Phone number: (707) 939-7862 x14

Address: P.O. Box 322 Sonoma, CA 95476

Email: msowell@svma.org

Event Name: Sonoma Valley Museum of Art

Event Description: Exhibitions and Educational Programs

Event Sponsor(s): \_\_\_\_\_

Event Start and End Dates: Start: \_\_\_\_\_ End: \_\_\_\_\_

Number of street light poles requested: 21  Other number requested  \_\_\_\_\_  
(If other number requested please include justification in project narrative).

Requested 30-day installation period: From: August 1, 2014 To: August 31, 2014

Additional desired installation period (maximum period is 60 days, subject to availability):

From: \_\_\_\_\_ To: \_\_\_\_\_

New banners: Yes  No  Or reusing existing banners: Yes  No

Please attach proposed banner design(s) (if new), or graphic/photo of existing banner(s). Drawing should be in color and to scale.

I have read and agree to the terms, conditions, and responsibilities outlined in the attached documents:

Signature: *Maggie Sowell* Printed Name and Date: Maggie Sowell, 4/22/14

Section for Staff Action / checklist:

Deposit in the amount of \$1,200 received:  Date Received: 5/27/14 receipt # 019635  
\$180  6/17/14 receipt # 019724

Design Review Commission meeting Date: July 15, 2014

Design Review Commission Approval: Yes  No  Date Approved: \_\_\_\_\_

Installation by: Public Works  or other  pre-approved qualified installer (please check one)

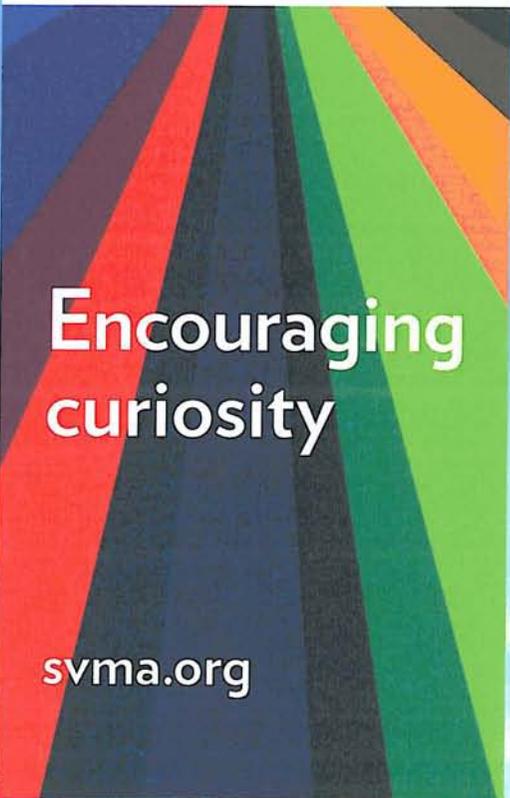
Encroachment Permit (from installer) received: Yes  No  Date: \_\_\_\_\_

Certificate of Liability Insurance (from installer) received: Yes  No  Date: \_\_\_\_\_

Additional Insured Endorsement (from installer) received: Yes  No  Date: \_\_\_\_\_



**SONOMA VALLEY  
MUSEUM OF ART**



**Encouraging  
curiosity**

[svma.org](http://svma.org)

JUN 17 2014



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda 2  
Item:

Meeting Date: 07/15/14

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**Applicant**

Wade Design Architects

**Project Location**

563 Second Street East

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: circa 1908
- 

**Request**

Design review of a proposed addition to the residence located at 563 Second Street East.

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**Summary**

**Background:** On May 20, 2014, the DRHPC conducted a preliminary review of a proposed addition to a residence located at 563 Second Street East. As part of the application submittal package, a cultural resources evaluation was provided, as required due to the age of the residence. This analysis concluded that the structure was not eligible for listing on the State Register. In written correspondence and in public testimony, this conclusion was disputed. Because this testimony included analysis from a qualified cultural resources specialist, the DRHPC faced a dispute among experts. In order to resolve the matter, the DRHPC continued the item and directed staff to retain a consultant and conduct a peer review. As directed by the Commission, a peer review was conducted (by Diana Painter), which concluded that the structure was indeed eligible for listing on the State Register and therefore historically significant. In light of this finding, a new consultant (Julia Inman) was retained by the applicants to: 1) prepare a revised cultural resources assessment; and, 2) evaluate the proposed addition with respect to the applicable standards of the Secretary Interior and identify any modifications to the project necessary to ensure consistency with the standards and to maintain the integrity of the residence. Based on this analysis (attached), a revised proposal has been prepared and is presented to the DRHPC for review.

**Site Description:** The subject property is a 25,010-square foot parcel located on the west side of Second Street East, midblock between East Napa Street and Patten Street. The property is currently developed with a ±2,448 square-foot residence, ±1,340 square-foot barn, and ±298 square-foot shed. The residence was built circa 1908 and is eligible for listing on the California Register of Historic Resources (refer to enclosed Historical Evaluation, CEQA Findings, Secretary of The Interior Evaluation of the Property at 563 Second Street East Sonoma, Sonoma County, California). The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Directly adjoining land uses consist of single-family homes to the north, south, and west.

**Proposed Project:** The main elements of the project are as follows: 1) removing a modern addition at the back of the original residence, 2) adding a 3,327 square foot addition to the rear of the residence, 3) relocating the existing shed and converting it to a garden cottage, and 4) relocating the existing barn and converting it into a garage and storage area. The front and side elevations of the residence will be preserved and rehabilitated to improve its historic integrity. Aluminum windows added in 1993 will be replaced with wood double hung units with historically accurate detailing and appropriate head flashing for longevity (see attached specification sheet). Stucco will be removed from the existing chimney, uncovering the original brick. Mortar joints will be repaired and repointed as needed. The knee braces at the roof gable ends will be removed and replaced with historically accurate braces, with scale and detailing to match the adjacent Ralph Murphy home. Existing wood siding will be repainted and the roofing will be replaced with a period appropriate traditional shingle consisting of a diamond pattern shingle (GAF Sienna in a harbor mist color--see attached exterior materials palette sheet).

The addition includes both one-and two-story elements. A one-story element (10 feet in height) will extend 40 feet back from the original structure. This portion of the addition will employ a flat roof with a chimney element (18 feet tall); the sides of the structure will be composed primarily of full-length windows. The two-story addition (23 feet in height), which

also employs a flat roof, will have an exterior finish of horizontal stained cedar boards, and will extend an additional 44 feet. A one-story (ten feet in height) breezeway element will connect the two-story addition to the relocated barn (converted to a three-car garage) and the relocated shed (converted to a garden cottage). Architectural details for the residential addition include a spectrum of natural and warm neutral tones and material consisting of stone, wood, and metal. While the architecture of the addition is not of the Craftsman Style (as the Secretary of Interior Standards suggest that new construction be distinctly of its own period), the combination of simple, well-executed forms, a modest profile, and traditional materials complement the design of the original residence without competing with it. Fifteen Versa Star recessed exterior can lights are proposed on the exterior portion of the addition behind the existing residence and twenty-nine BK Delta Star wall mounted adjustable down lights are proposed under the patio area and on the south facing elevation of the barn and garden cottage (see attached specification sheets). In total, the proposed would increase the floor area of the residence by 3,327 square feet. Further details can be found in the attached project narrative and accompanying materials.

As previously mentioned, the existing barn, which is currently located near the middle of the property is proposed to be relocated further east of its current location and converted to a three-car garage and storage area. Staff would note that the preservation of the barn was recommended in the revised cultural resources assessment.

**Zoning Requirements:** The standards of the Low Density Residential zone applicable to the proposal are as follows:

- *Setbacks:* The new addition meets or exceeds the normal setback requirements.
- *Coverage:* At 19%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- *Floor Area Ratio:* The project would result in a F.A.R. of 0.28, which is less than the 0.35 maximum allowed.
- *Parking:* Three covered parking spaces are provided in an attached garage. This exceeds the requirement for a single-family residence.
- *Height:* The two-story addition would have a maximum ridge height of 23 feet, which is less than the 30-foot height limit allowed in the zone.

In summary, the project complies with all applicable requirements of the Development Code and is not subject to Planning Commission approval.

**Design Review:** Alterations to existing structures that increase floor area by 10% or 200 square-feet, whichever is greater located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

**Factors to be considered:** In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;  
*A survey and evaluation was completed for the property in July, 2014. This evaluation found that the residence and barn are historic resources and are eligible for listing on the California Register of Historic, which means that the residence is an "historical resource" under CEQA.*
2. Environmental features on or adjacent to the site;  
*Nathanson Creek borders the property to the west. The required 30-foot creekside setback is met.*
3. The context of uses and architecture established by adjacent development;  
*The adjacent properties to the north, south, and west are developed with single family residences. The proposed project will not alter street views of the residence from the street, except with respect to enhancements to its historic integrity (e.g., replacement of vinyl windows with wood windows). Setback, coverage, and FAR limitations are all met in the proposal. Existing front-yard landscaping will be retained and additional plantings will be made throughout the site.*
4. The location, design, site plan configuration, and effect of the proposed development.  
*An analysis of the proposed addition was completed for the property in July, 2014. This report determined that the location, design, site plan configuration, and effect of the proposed development are compatible with surrounding uses. As noted above, the addition will not be visible from the street and it complies with all applicable requirements of the Development Code. The adjoining property owners on the north and south have expressed support for the proposal.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

**Site Design & Architectural Review:** While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was not necessary, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials.

**CEQA Compliance:** As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a historic evaluation, CEQA findings, and Secretary of the Interior Evaluation was prepared for the residence and suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an analysis was conducted to determine whether the proposal is consistent with the Standards (refer to attached Historical Evaluation, CEQA Findings, Secretary of the Interior Evaluation of the Property at 563 Second Street East Sonoma, Sonoma County, California, prepared by Juliana Inman Architect). The analysis that the proposed project meets the Secretary of the Interior's Standards, which means that application is considered to be categorically exempt from CEQA.

**Required Findings:** As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.  
*The project complies with the applicable policies and regulations set forth in the Development Code.*
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code.  
*The project is consistent with the applicable design guidelines of the Development Code in that the existing residence will be rehabilitated to return integrity to the house. In addition, the new addition will be located behind the existing structure to not change the appearance of the structure from the public right-of-way.*
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.  
*The project proposes a residential addition, which is consistent with the adjacent development, complies with height and setback requirements, and is located outside of the creek setback area.*
4. The project will not impair the historic character of its surroundings.  
*The front and side elevations of the original residence will not be altered, except for minor changes (e.g., window replacement) that will improve its historic integrity. The project includes a proposed residential addition at the back of the residence. This addition will not alter public views of the original residence and it complies with height, setback, coverage and other applicable limitations of the Development Code.*
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.  
*A historic evaluation was conducted for the property, which has been developed with a residence that has been determined to be eligible for listing on the State Register. This evaluation also addressed the proposed addition to the residence and determined that the proposed project, as modified, complies with the Secretary of the Interior's Standards and will actually improve the historic integrity of the residence.*
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).  
*In staff's view, the project complies with SMC 19.42 in that the existing structure will be rehabilitated to improve the historic integrity to the house. Furthermore, the new addition will be placed at the rear of the existing structure as to not alter the appearance of the residence from the public right-of-way.*
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.  
*The project is not located on a local historic district.*

In summary, it is staff's view that the modified project is consistent with the findings required for approval of the application for Site Design and Architectural Review.

*Other permits required:* In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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### Design and Historic Preservation Review Commission Action

Approved       Disapproved       Referred to: \_\_\_\_\_       Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments:

1. Project Narrative.
2. Historical Evaluation, CEQA Findings, Secretary of the Interior Evaluation of the property at 563 Second Street East Sonoma, Sonoma County, California, dated July, 2014.
3. Elevations.
4. Site Plan.
5. Ground Floor Plan.
6. Elevations with Material Notations.
7. Existing Site Conditions.
8. Lighting Plan.
9. Site Pictures.
10. Exterior Materials Palette.
11. Window and Door Specifications.
12. Picture of residence in December 2013.
13. Correspondence

cc:                    Wade Design Architects  
                          29 Magnolia Avenue  
                          San Anselmo, CA 94960

APD Preservation  
Attn: Alice Duffee  
13125 Arnold Drive  
Glen Ellen, CA 95442

Tamera and Will Honeybourne  
558 Second Street East  
Sonoma, CA 95476

Jenny Hoover, via email

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

July 8th, 2014

Project Narrative for residence addition at 563 2<sup>nd</sup> Street East

This project proposes an addition to the existing Craftsman style home built by notable Sonoma developer contractor Ralph Murphy in the early 20<sup>th</sup> century. Following standards set out by the United States Secretary of the Interior for treatment of historic structures, we have treated the existing home with sensitivity, allowing it to remain unchanged in terms of street presence. The homeowners' desire for a clean-lined addition will allow for an honest "reading" of the division between old and new, in harmony with the Secretary of the Interior guidelines to avoid false historicism with the new work. The existing building's legibility remains precise and is respected without emulation.

In keeping with the character of the historic neighborhood district, the exterior of the Craftsman will not only be preserved, but will see rehabilitation to return integrity to the house. The aluminum windows added in 1993 will be replaced with wood double hung units with historically accurate detailing and appropriate head flashing for longevity. Stucco will be removed from the existing chimney, uncovering the original brick which appears similar to the chimney at the neighboring home to the north, also built by Ralph Murphy. Mortar joints will be repaired and repointed as needed. The knee braces at the roof gable ends will be removed and replaced with historically accurate braces, with scale and detailing to match that found at the adjacent Ralph Murphy home. The wood siding will be re-painted, and the roofing will be replaced with a period appropriate traditional shingle.

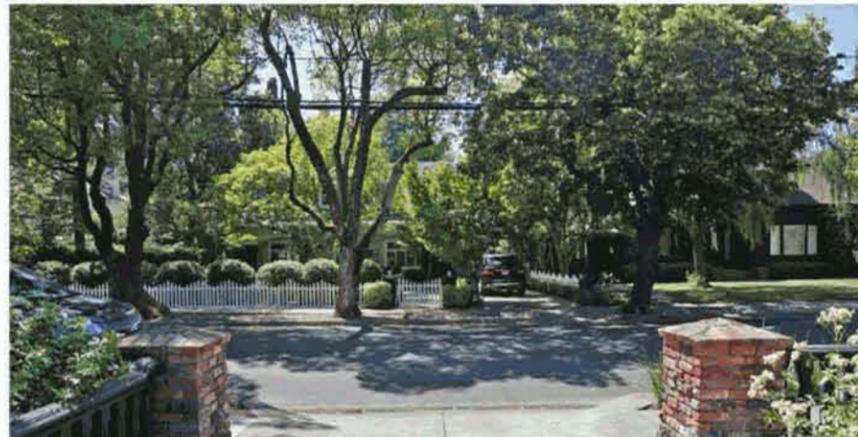
The main purpose of the addition is to create a ground floor master suite, allowing the homeowners to age in place and remain in the neighborhood long term. Main considerations for the design were the linear nature of the lot, a desire to eliminate any significant changes to the property when viewed from the street, and to express sensitivity for the neighboring homes. For these reasons a courtyard scheme has been employed, which allows for the new structures to be shielded behind the existing 1 ½ story Craftsman. The addition utilizes flat roofs and terraces in lieu of pitched roofs to further minimize vertical presence and any potential visual competition with the existing home. A low slung enclosed breezeway bridges the new construction with the existing bungalow, implying separation and deference. The materials of the addition adhere to a spectrum of natural and warm neutral tones. Horizontal stained cedar boards will be the primary wall finish, a material choice that reflects the wood siding of the existing structures on the site, as well as those on neighboring properties. The existing barn will be retained on site, relocated and re-purposed for garage and storage, maintaining another link to the property's past.

The site plan showing existing conditions also denotes which trees were deemed significant by an arborist and landscape architect. The courtyard scheme allows for a majority of these trees to remain, as the new addition is situated to avoid conflicts and highlight specimen trees. The dense foliage is a vital part of the property's current character, and will continue to obscure all sight lines towards the addition from both sidewalk and street. Current landscaping and trees at the street frontage largely shield view of the lot beyond, as evidenced by the photos in our design package. Additionally, the existing driveway gate and fencing property will remain in place, as will substantial hedges at the north and south property lines.

Overall, the project represents our proposal for a sensitive addition designed to minimize impact on neighbors and the neighborhood through the use of thoughtful massing, material and color choices. This design has been developed in coordination with Juliana Inman, an architect focused on historic work that meets the Secretary of the Interior's standards for historic architecture. A discussion of the proposed project's compliance with the Secretary of the Interiors Standards for Rehabilitation is included in an attached report from Juliana Inman. We have endeavored to comply with all applicable policies and regulations set forth by the City of Sonoma, the Secretary of the Interior, and to respond appropriately to the site and surrounding context with this design proposal.

Below is a summary of areas for the project:

563 2nd Street East Proposed Areas (Sq. Ft.)		Existing to Remain	New	TOTAL	
<b>Main House</b>	Ground Floor	1432	2474	3906	
	Second Floor	1016	853	1869	
<b>Barn</b>	Ground Floor	479	0	479	
	Second Floor	434	0	434	
<b>Shed</b>	Ground Floor	298	0	298	
<b>TOTAL</b>		3659	3327	6986	
<b>Floor Area Ratio (F.A.R.) Coverage</b>				6986	(80% of maximum)
				4878	(49% of maximum)
<b>Max. allowable F.A.R.</b>				8753.5	
<b>Max. allowable Coverage</b>				10004	



## East Elevation

Scale: 1/8" = 1'-0"

Hughes Residence, Sonoma California

July 8, 2014



South Elevation

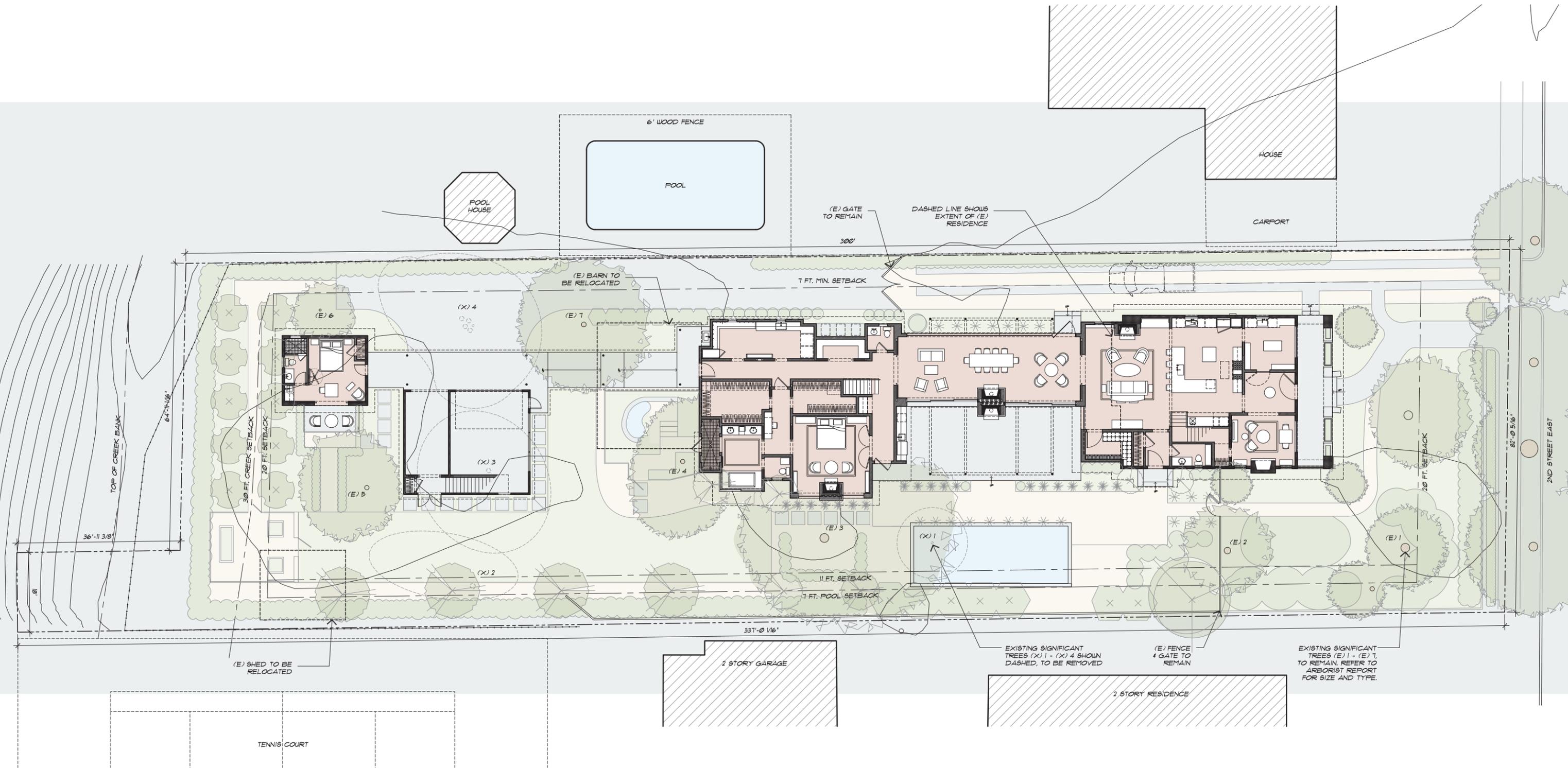


North Elevation

Scale: 1/16" = 1'-0"

Hughes Residence, Sonoma California

July 8, 2014

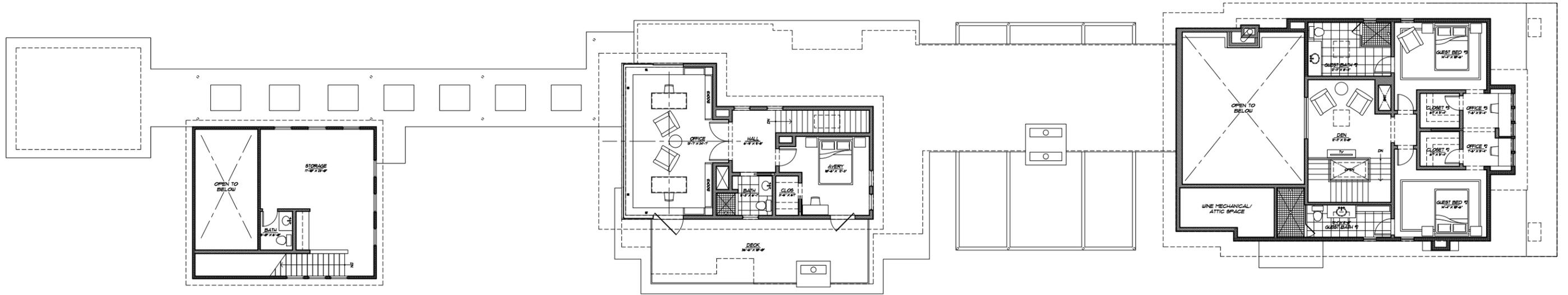


# Site Plan

Scale: 3/64" = 1'-0"

Hughes Residence, Sonoma California

July 8, 2014

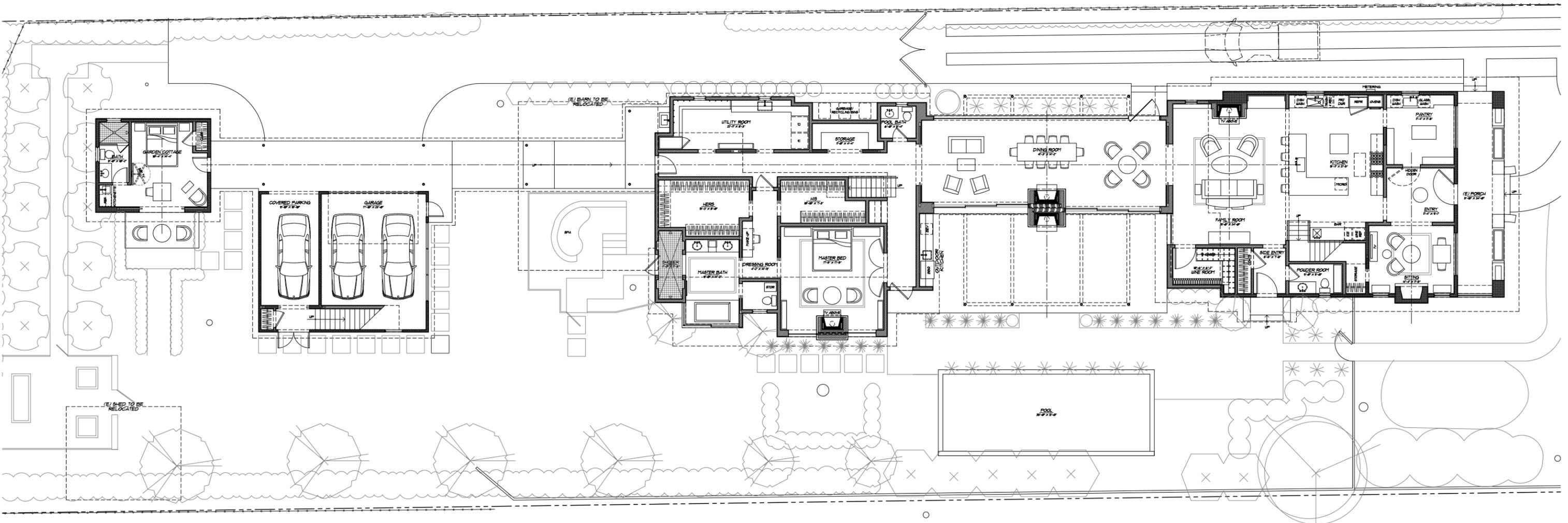


## Second Floor Plan

Scale: 1/16" = 1'-0"

Hughes Residence, Sonoma California

July 8, 2014

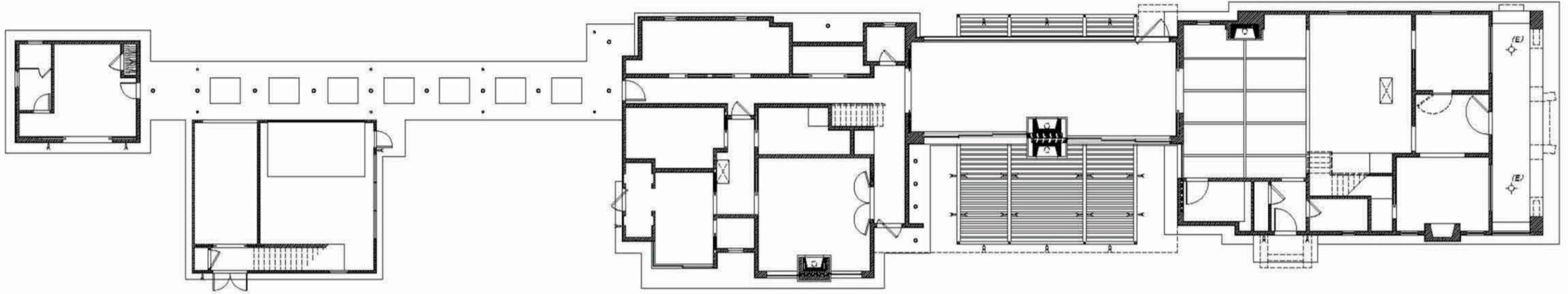


## Ground Floor Plan

Scale: 1/16" = 1'-0"

Hughes Residence, Sonoma California

July 8, 2014



## Reflected Ceiling Plan

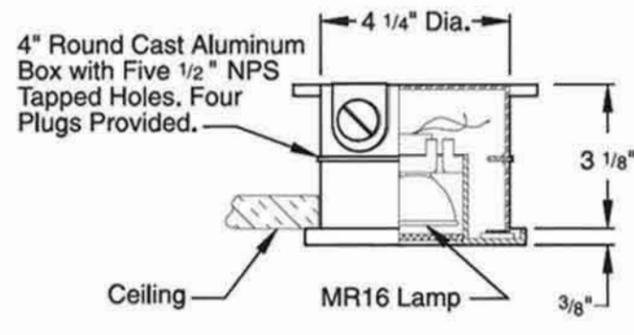
Scale: 1/16" = 1'-0"

Hughes Residence, Sonoma California

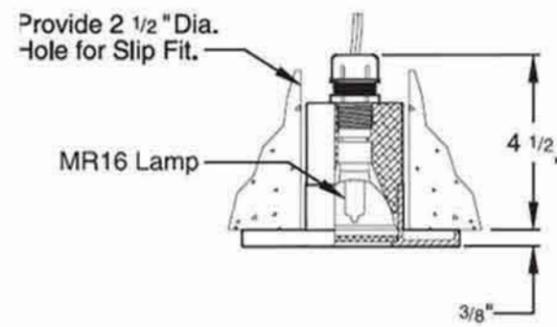
July 8, 2014

### Versa Star™

Shown in Bronze Wrinkle Finish (BZW)



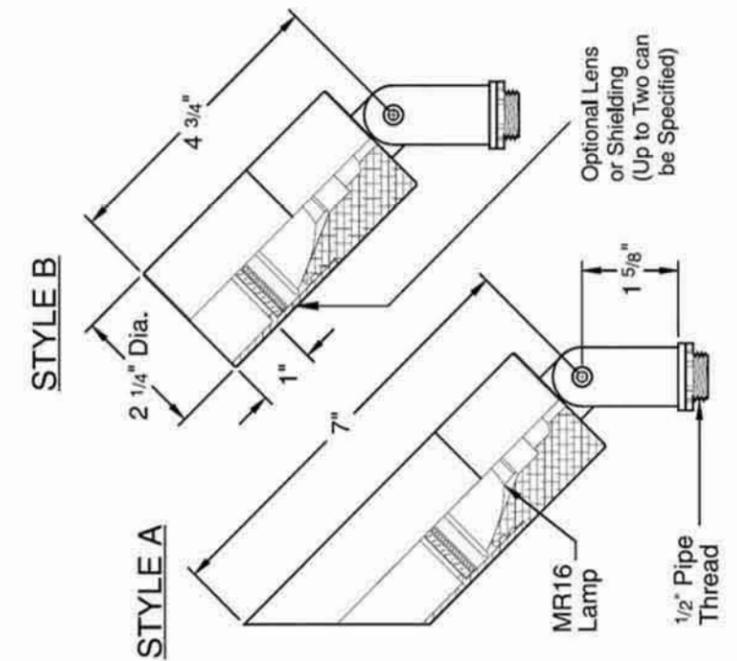
BOX MOUNT

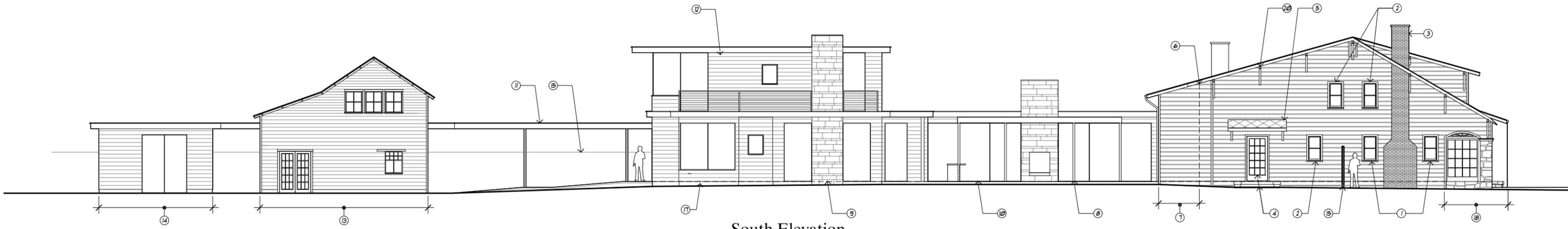


CORE DRILL

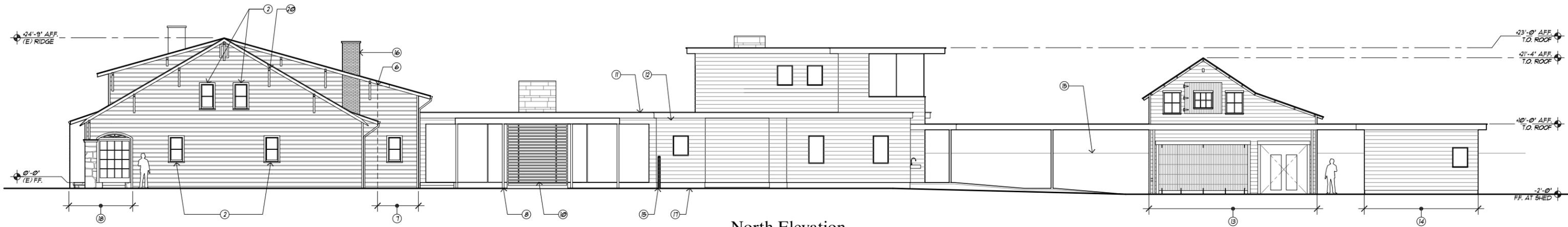
### Delta Star™

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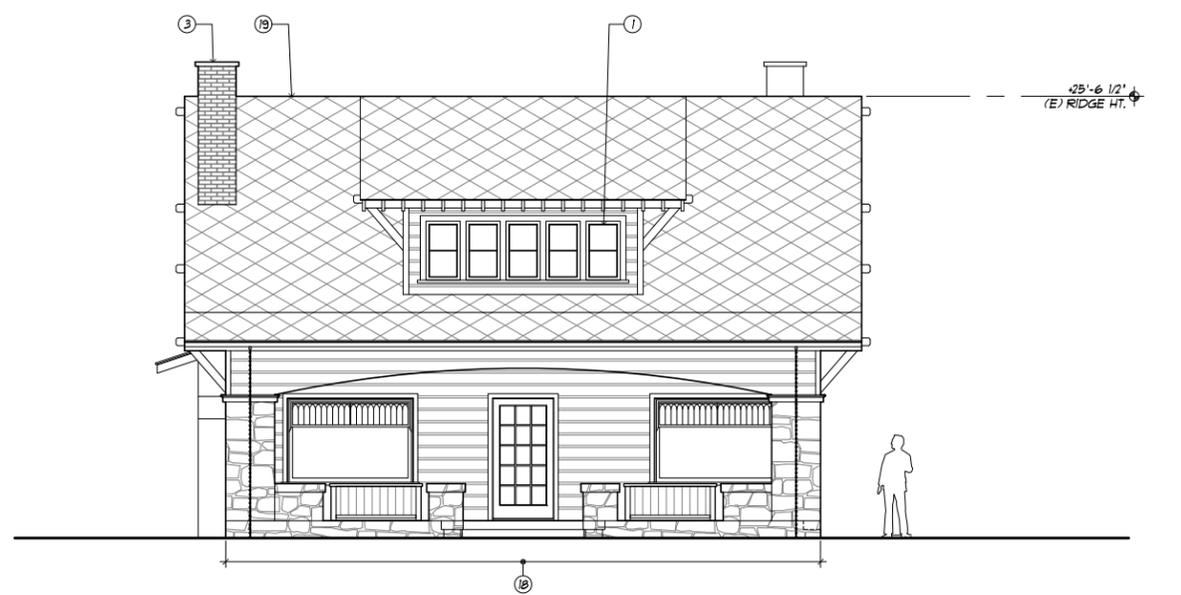


South Elevation  
Scale: 1/16" = 1'-0"



North Elevation  
Scale: 1/16" = 1'-0"

SHEET NOTES	
1) REPLACE (E) ALUMINUM WINDOWS INSTALLED IN 1993 WITH HISTORICALLY ACCURATE WOOD SASH DOUBLE-HUNG	15) RELOCATED BARN TO BE RAISED AND RENOVATED. WINDOW & DOOR OPENINGS TO BE RECONFIGURED. FOR USE AS GARAGE & STORAGE ROOM.
2) (N) WOOD SASH DOUBLE HUNG WITH HISTORICALLY ACCURATE DETAILING	14) RELOCATED GARDEN SHED TO BE RENOVATED. WINDOW & DOOR OPENINGS TO BE RECONFIGURED. FOR USE AS A GARDEN COTTAGE.
3) REMOVE PLASTER AT (E) CHIMNEY TO REVEAL ORIGINAL BRICK FINISH BELOW	16) (E) FENCE TO REMAIN
4) (N) WOOD DOORS AND STONE STEPS TO MATCH DETAILING AT (E) BUILDING	16) (N) CHIMNEY BRICK TO MATCH BRICK REVEALED AT (E) CHIMNEY ON SOUTH SIDE OF HOUSE
5) (N) BRACKETED CANOPY TO MATCH SHINGLES & EAVE DETAILING AT (E) FRONT PORCH ROOF	17) CONCRETE FOUNDATION VISIBLE BELOW FLOOR LEVEL
6) EDGE OF (E) HOUSE AFTER 1993 ADDITION	18) (E) FRONT PORCH TO REMAIN UNCHANGED
7) MATCH (E) CHANNEL RUSTIC SIDING & (E) ROOF DETAILS AT EXTENSION OF (E) HOUSE	19) REPLACE (E) ASPHALT SHINGLE ROOF WITH PERIOD APPROPRIATE DIAMOND PATTERN ASPHALT SHINGLES
8) STEEL LOUVERED TRELLIS	20) REPLACE (E) EAVE BRACKETS ADDED DURING PREVIOUS ADDITION WITH (N) BRACKETS WITH HISTORICALLY ACCURATE DETAILING
9) SPLIT FACE STONE AT NEW CHIMNEY	
10) GLASS WALLS AT TRANSITION FROM (E) HOUSE	
11) METAL FASCIA AT FLAT ROOF	
12) STAINED T&G WOOD SIDING AT NEW ADDITION EXCEPT WHERE OTHERWISE NOTED	



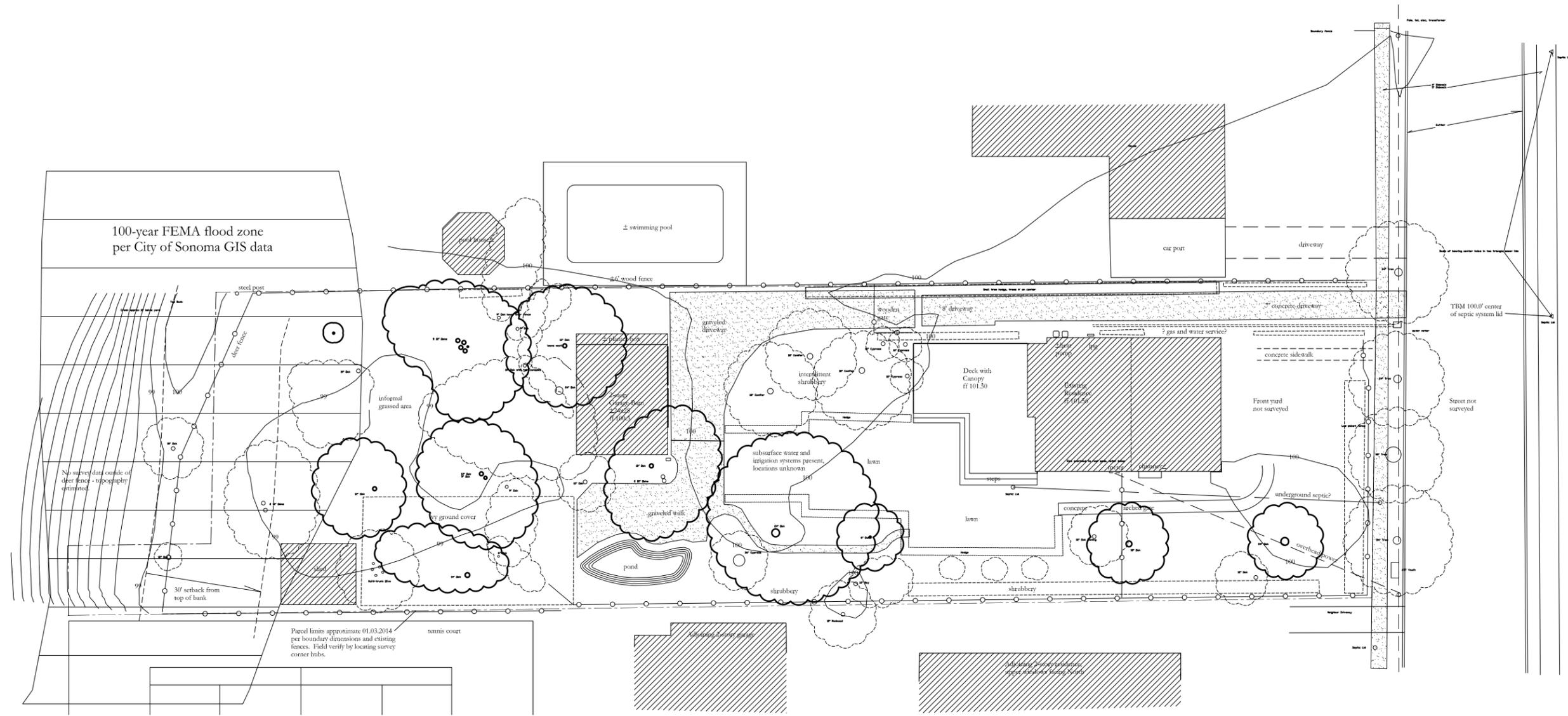
East Elevation  
Scale: 3/32" = 1'-0"

## Elevations With Material Notation

Scale: AS NOTED

Hughes Residence, Sonoma California

July 8, 2014



## Existing Site Conditions

Scale: 1" = 30'-0"

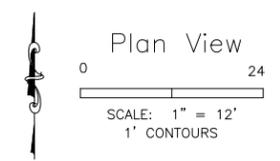
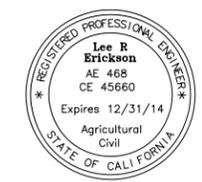
Hughes Residence, Sonoma California

July 8, 2014

Trees deemed significant by Arborist shown BOLD

### LEGEND

- UNPAVED ROAD
- FENCE
- DRAINAGE
- Drain Culvert
- Parcel limit +-
- TREE DRIPLINE
- SIGNIFICANT TREE DRIPLINE
- BUILDING
- CONTOURS
- CONTOURS -Original



Local site topography at 1" = 12' with 1' contours by linear interpolation of intermittent field data collected using EDM equipment January 2014 by DE Construction. Horizontal and vertical datum assumed. Property limits not determined. Underground utilities may be present within the proposed work areas, and should be located by appropriate means prior to final design and construction. Field verify critical elevations and dimensions at time of construction.

West Sidewalk - 2nd Street East



2nd Street East

East Sidewalk - 2nd Street East





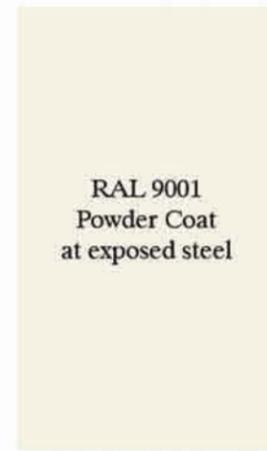
Diamond pattern shingle roofing at existing home. GAF Sienna in "Harbor Mist" or similar.



Steelscape Vintage at roof fascia and metal trims and flashings



Clear Western Red Cedar T& G siding with quarter strength Ecwood treatment at new addition.



RAL 9001  
Powder Coat  
at exposed steel



Farrow & Ball  
"Pointing" #2003  
paint at existing  
home wood trims  
and windows



Farrow & Ball  
"Savage Ground"  
#213 paint at  
existing home  
wood siding



Existing Barn Siding to remain.



Honed or Sanded limestone at walkways and terraces. Maidenstone "Aegean Limestone" or similar



Splitface ashlar pattern stone at chimneys and fireplaces at new addition. SBI "Lisbon" or similar.

## Exterior Materials Palette

**Historical Evaluation, CEQA Findings,  
Secretary of the Interior Evaluation  
of the Property at 563 Second Street East  
Sonoma, Sonoma County, California**

Juliana Inman Architect

July 2014

**Historical Evaluation, CEQA Findings,  
Secretary of the Interior Evaluation  
of the Property at 563 Second Street East  
Sonoma, Sonoma County, California**

Prepared by:  
Juliana Inman Architect  
License #C14760

---

Juliana Inman Architect  
2133 First Street  
Napa, CA 94559  
(707) 226-5304

Prepared for:  
Keith and Cherie Hughes  
563 Second Street East  
Sonoma, CA 95476

July 2014

## **Abstract**

This reviewer has reviewed plans for rehabilitation and alterations of the residence at 563 Second Street East prepared by Wade Design Architects, dated July 8, 2014, and has visited the site on June 18 and July 3, 2014. Photographs from that site visit are included in this document as Figures 3-11. There is no previous 1978 Historic Resource Inventory form for the property, but evaluations were conducted by Vicki Beard, M.A. Of Thomas Origer and Associates in February 2014 and by Diana Painter, PhD. In June 2014. These previously submitted reports are attached as appendices.

This study found that The house is an example of the work of well-known local contractor Ralph E. Murphy, has poor to fair physical integrity and is eligible for listing in the California Register.

Department of Parks and Recreation (DPR) forms have been completed and appended to this report, along with recently prepared evaluation forms.

## **Synopsis**

Project: Evaluation of the house at 563 Second Street East, Sonoma  
Location: 563 Second Street East, Sonoma, Sonoma County, California  
APN: 018-261-021  
Quadrangle: Sonoma, California 7.5' series  
Study Type: Historical, architectural evaluation  
Scope: Property specific  
Finds: Appears eligible for the California Register, NRHP 3CS

## **Project Personnel**

This report was prepared by Juliana Inman Architect, who has been licensed to practice architecture in the State of California since 1984, license #C14760. Ms. Inman meets the Secretary of the Interior's standards for historical architecture. Professional experience includes construction experience as Assistant and Full-charge Superintendent of Construction on significant historical buildings such as the North Carolina Governor's Mansion and MacNider Hall School of Medicine (UNC-CH). Historical architectural experience includes projects such as Inglenook tank house welcome center, the Eliza Yount Mansion, the Judge Palmer House, the E.R. Gifford House, the Ingalls House, the Hackett House, the Star Building, David Fulton Winery, Varozza Winery, and the Mansfield Winery. Historical evaluations and preservation plans include projects in Napa County and the cities of St. Helena, Calistoga, Napa, American Canyon, Windsor, Sonoma and Martinez. Ms. Inman is listed in the California Historical Resources Information System.

Juliana Inman served three years on the City of Napa Certified Local Government Cultural Heritage Commission, six years on the Napa County Planning Commission, four years on the City of Napa Planning Commission, and has been an elected Napa City Council Member since 2006, currently serving as Vice Mayor. In addition, Ms. Inman was elected to a third term by the 15 coastal counties as "City" representative on the statewide CALAFCO Board.

## CONTENTS

Abstract.....	i
Synopsis.....	i
Project Personnel.....	ii
Introduction.....	1
Regulatory Context.....	1
Significance Criteria.....	2
Study Procedures.....	3
Historical Setting.....	3
Historic Context.....	5
Evolution of Residential Architecture 1835 to 1950.....	5
City Development, 1945 to 1960.....	5
Property Description.....	5
Conclusions.....	9
Assessment of Significance.....	9
Assessment of Integrity.....	9
California Environmental Quality Act Findings.....	10
Criteria Considerations for Moved Buildings.....	10
Secretary of the Interior's Standards and Recommendations.....	11
Analysis.....	12
Materials Consulted.....	14
Appendix A: Resource Documentation	
Appendix B: Beard/Origer Report	
Appendix C: Painter Peer Review	

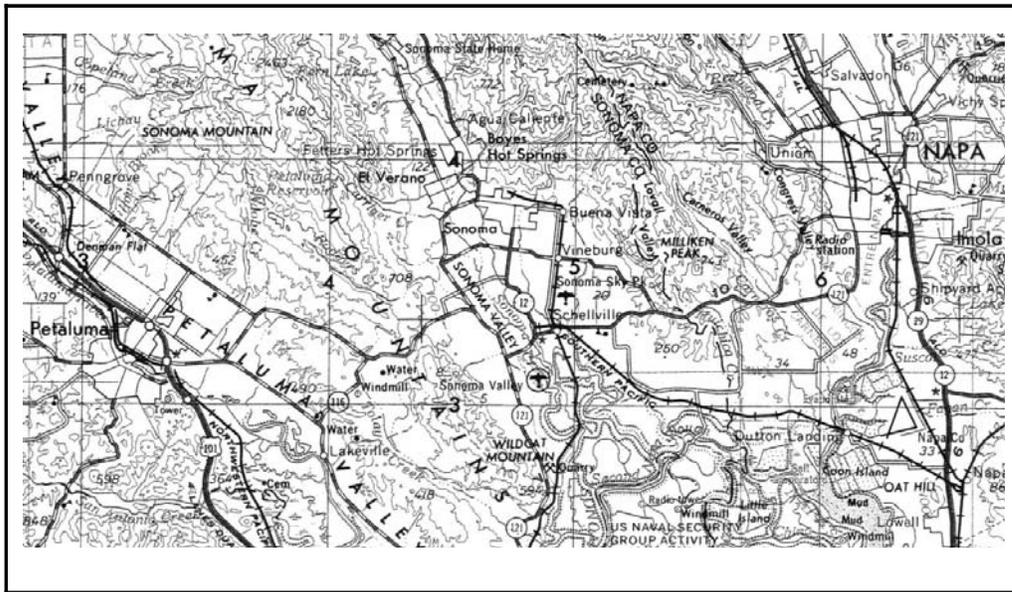
## FIGURES

Figure 1. Project vicinity.....	1
Figure 2. Study location .....	3
Figure 3. House front.....	6
Figure 4. House side, knee braces.....	6
Figure 5. House side, chimney.....	7
Figure 6. Brick chimney detail.....	7
Figure 7. House rear.....	8
Figure 8. Barn and shed.....	8

## INTRODUCTION

Juliana Inman Architect completed an architectural and historical evaluation of the property at 563 Second Street East, Sonoma, Sonoma County, California, as requested by the property owners, Keith and Cherie Hughes. Buildings on the property include an early 20<sup>th</sup> century dwelling, a barn and a shed. In 1979 the Sonoma League for Historic Preservation completed an inventory of historic buildings in Sonoma. The Hughes' home was not included in that inventory. Subsequent inquiry at the State of California Office of Historic Preservation Northwest Information Center in Rohnert Park, California confirms that the property has not been listed in that inventory or on the California Register of Historic Places.

The purpose of this study is to determine if the property meets the criteria for inclusion on the California Register based on the eligibility criteria found in Title 14 CCR, §4852. Further, this study determines whether proposed alterations to the property affect its eligibility for listing in the California Register and makes recommendations for preserving and restoring the historic fabric of the resource.



**Figure 1.** Project vicinity map (source: adapted from the USGS 1980 Santa Rosa 1:250,000 – scale map, Beard/Origer report, February, 2014.)

## REGULATORY CONTEXT

This study follows the requirements of the California Environmental Quality Act (CEQA), which mandate that cultural resources be considered as part of the environmental review process. Resources within the study area are inventoried and evaluated in terms of importance. Then an assessment of potential project effects is done for the resources found to be important.

This property was evaluated in February 2014 by Vicki R. Beard, M.A., of Tom Origer and Associates at the request of the property owners, Keith and Cherie Hughes. A Peer Review dated June 9, 2014 was conducted at the request of the City of Sonoma by Diana Painter, PhD. Determinations of the resource's importance is discussed below. The recommended National

Register of Historic Places (NRHP) status code is 3CS, “appears eligible for the California Register as an individual property through survey evaluation.”

### **Significance Criteria**

According to California Environmental Quality Act (CEQA) regulation, historic resources are automatically eligible for the California Register if they have been listed in and determined eligible for the National Register of Historic Places (NR) or the California Historic Landmarks program. Historic resources included in historic resource inventories prepared according to the California State Office of Historic Preservation (SHPO) guidelines (and included in the State Inventory of Historic Resources) or designated under county or city historic landmark ordinances are presumed eligible if the designation occurred during the previous five years. Designations and surveys over five years old must be updated before their eligibility can be considered.

The criteria for eligibility for listing in the National Register are virtually the same as for the California Register. To meet the National Register standards, a property must meet these same criteria, be associated with an important historic context, and retain the historic integrity of features that convey significance (National Park Service, 1991).

The importance of a resource is measured in terms of criteria for inclusion on the California Register (Title 14 CCR, §4852) listed below. An important historical resource is one which:

1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. Is associated with the lives of persons important to local, California, or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important to the prehistory or history of the local area, California or the nation.

In addition to meeting one or more of the above criteria, eligibility for the California Register requires that a resource retains sufficient integrity to convey a sense of its significance or importance.

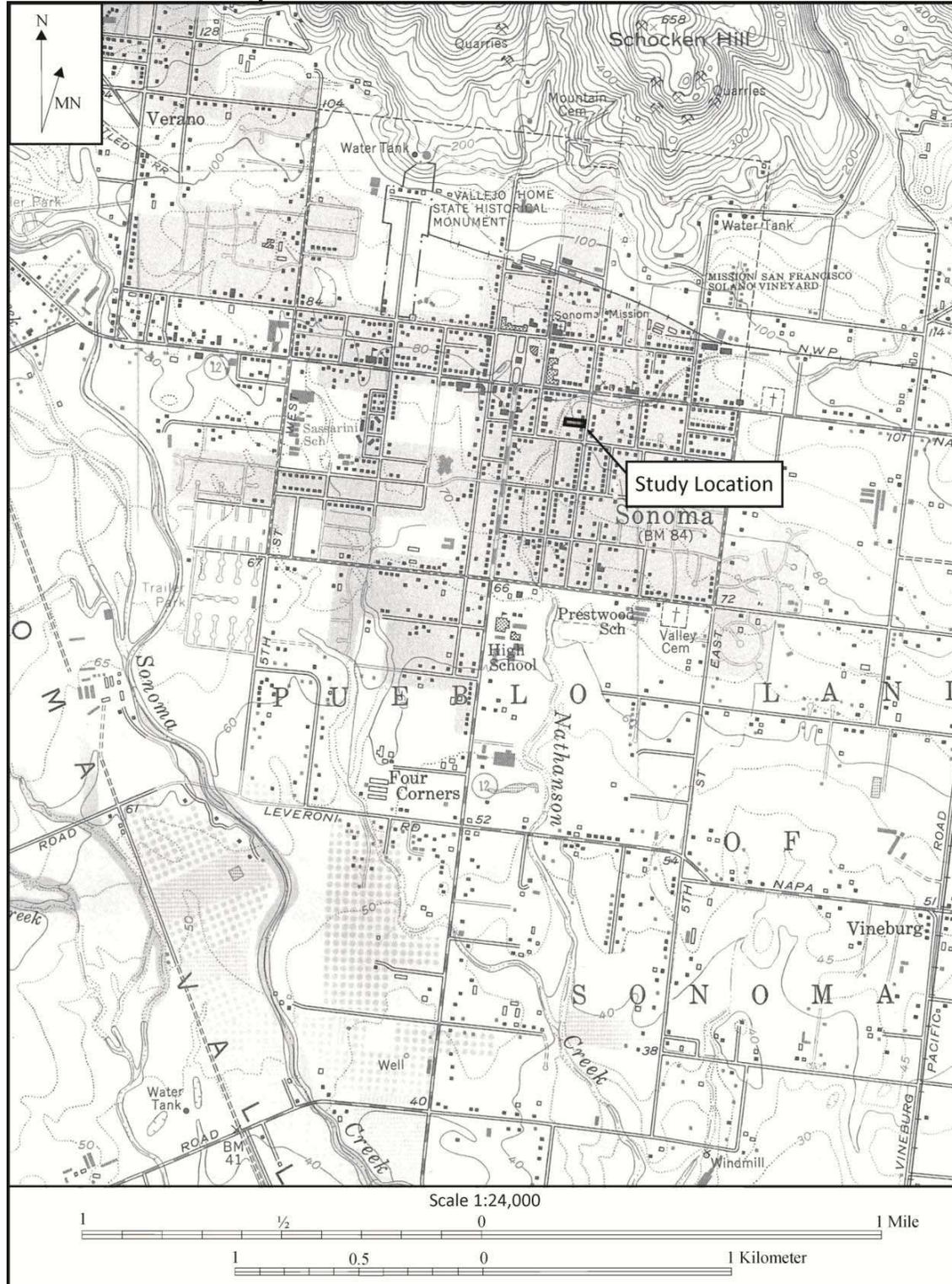
The California Register regulations define “integrity” as “the authenticity of an historic resource’s physical identity, evidenced by the survival of characteristics that existed during the resource’s period of significance” (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: location, design, setting, materials, workmanship, feeling and association. A property must retain most of these qualities to possess integrity. An Assessment of Integrity is included below.

## **STUDY PROCEDURES**

In reviewing this resource, previous studies completed by Vicki Beard, M.A., of Thomas Origer and Associates, and further research by Diana Painter, PhD. were relied upon. In addition, online databases such as the Online Archive of California was searched. Property specific research at the State of California Office of Historic Preservation Northwest Information Center in Rohnert Park, California was conducted. The building permit history for the property was reviewed by Thomas Thornley at the City of Sonoma. A detailed field examination of the resource was conducted on June 18, 2014. Photographs were taken on June 18 and July 7, 2014. Alterations to the resource were noted and described in the Property Description section of this report.

## HISTORICAL SETTING

The house at 563 Second Street East is located 0.1 miles south of the historical plaza in downtown Sonoma, as shown in Figure 2. This area was once part of the Mission San Francisco Solano de Sonoma, the “Sonoma Mission.” This was the last and northernmost of the 21 missions established in California by Franciscan missionaries between 1769 and 1823.



**Figure 2.** Study location (source: USGS 1980 Sonoma 7.5' map, adapted for Beard/Origer report, February, 2014.)

General Mariano Vallejo, former *Commandante* of the San Francisco Presidio, established the pueblo at Sonoma. Vallejo was made *comissionado* of the Mission San Francisco de Solano by the Governor Jose Figueroa in 1834 after failed attempts at establishing missions in Petaluma and Santa Rosa.

As the Mexican pueblo of Sonoma grew and prospered between 1835 and 1846, American men moved into the region and married into prominent Mexican families, establishing landowner status, American land use attitudes, and American business practices. Throughout California this pattern was repeated, and the Mexican government's hold was weakened throughout the region. According to the Beard report, "During the mid-1840s, the United States government actively pursued nonviolent acquisition of California as a U.S. territory, but progress toward that end was too slow for some. In early 1846, disgruntled Americans in the Sacramento Valley rallied around U.S. explorer John C. Fremont and in June of that year, a group of men seized Mariano Vallejo and imprisoned him in Sacramento. A crude flag with the image of a bear was raised in the Sonoma plaza, giving rise to the name Bear Flag Revolt. The year 1846 marked the end of Mexican domain and the beginning of the American era in Sonoma, and in September 1850, the Mexican pueblo of Sonoma officially became a United States town when California was admitted to the union." The town was originally laid out by Mariano Vallejo in 1835. In 1848, date of the Treaty of Guadalupe Hidalgo, Sonoma became part of the United States and this marked the end of Mexican government of the region.

After the beginning of the American era in Sonoma, Beard concludes that, "Surveyor, Jasper O'Farrell prepared a plat of the town in 1850 dividing Sonoma into small "town lots" and various sized "out lots" (O'Farrell 1850). The subject parcel was part of Lot 59, which belonged to the heirs of Catherine Lewis at the turn of the 20th century. It was acquired by F.E. Clewe in 1901, and over the next five years the block changed hands another four times. The last of the four owners divided the block, selling most of it to Mary Brady in 1907. In 1909, the subject parcel was purchased by Ralph E. Murphy, a local contractor who became well known to Sonoma residents through his association with winemaker and entrepreneur Samuele Sebastiani, and as a developer himself. Murphy was the contractor for many of Sebastiani's commercial and residential projects in Sonoma, and was the owner/developer of the Breitenbach Tract."

Murphy's work, beginning in 1905, embodied the aesthetic and detailing of the Arts and Crafts movement in the United States. The Arts and Crafts movement began in England in the late 19<sup>th</sup> century, and is considered a response to the Industrial Revolution. Beard's summary of the Arts and Crafts movement is that, "In architecture, emphasis was placed on using natural and locally available materials, visible handicraft, and regard for location. Oak Park, Illinois, the San Francisco Bay Area, and Pasadena, California became focal points of the Arts and Craft movement in the United States and resulted in regional interpretations of Arts and Craft style. In the Midwest, Frank Loyd Wright developed the Prairie Style. The First Bay Tradition grew out of the works of several San Francisco Bay Area architects lead by Bernard Maybeck, and Charles and Henry Greene were the preeminent Arts and Craft architects in Pasadena."

the Craftsman style spread quickly throughout the United States between 1905 and 1920, the period that Ralph Murphy began building homes on Sonoma. There are many fine examples of Craftsman and Craftsman Bungalow style homes built by Murphy in the town of Sonoma. According to Beard and Painter, "Murphy is considered the "king of the Craftsman," and an article in the *Sonoma Index-Tribune* (1923) praised Murphy as having "...erected many of the most beautiful homes, largest resorts, and business blocks of the community."

Murphy both built and resided in the house at 563 Second Street East. According to his sons, "There are many homes on the East side of Sonoma called 'The Ralph Murphy Home.' The reason for this is that, according to his sons Everett and Leonard, the family lived in 24 houses in 22 years."

Other prominent residents of the house were Lloyd and Mabel Simmons, who purchased the house in 1923 after renting it from Leland and Florence Brubeck starting in 1920. The Brubecks purchased the house from Murphy in 1920, but did not live there. Simmons was an East Napa Street pharmacist and inventor.

## **HISTORICAL CONTEXT**

Vicki R. Beard, M.A., of Tom Origer provides an excellent historic context statement regarding the place of this property within the context of historic patterns and themes that are important on a national, state, and local level. Her previously researched and submitted report is appended to this historic resource evaluation as Appendix B.

## **PROPERTY DESCRIPTION**

The house at 563 Second Street East is a 1 ½ story, Craftsman Bungalow style home, with a rectangular plan and side-gable roof with a pitch break over the full-width front porch. The side-gable roof has exposed rafter tails and decorative knee braces (or brackets) at the gable ends. There is a low-pitched shed-roof front facing dormer aligned with the front wall of the house above the porch. Five symmetrical and “ganged” dormer windows face the street. Currently the house is sided with channel rustic siding. There are two original matching, wide, windows with leaded glass detailing flanking the center entry door. Two massive rectangular stone columns support the full-width porch and a finely-proportioned shallow elliptical arch on the front porch facade. This arch is both distinctive and rare in the Craftsman Bungalow style house. Low stone piers matching the corner columns flank the shallow entry steps. Smaller arched openings complete the upper porch framing. A non-historic window was added to one side of the porch.

All original wood double-hung windows on the sides and rear of the house have been removed and replaced. Most window locations have been altered, and new windows added. A particularly glaring tripartite vinyl picture window was added to the dining room on the first floor. The original roof-line beyond the center ridge has been changed, and an addition made to the rear of the house with new dormer and new window locations above the building extension.

A search of building permits shows that a permit was issued in 1994 to John and Adrienne Peschon to re-side the entire house with channel rustic siding. Asbestos shingle siding was removed at that time. This permit also allowed the replacement of all the windows in the house (except the two front windows) with dual glazed aluminum and vinyl windows. Close inspection shows that the original sills on the two front windows remain, but sill extensions and fills show that the original trim was removed. In historical photographs, it appeared that a narrow “brick mold” style of trim was the original style on these windows and front door. The Craftsman Bungalow next door, also built by Murphy, retains its original trim. This house is sided with shingles, a typical finish for houses of this style built by Murphy. Close inspection revealed that all the window trim was removed along with the siding and windows and replaced with “one by” material applied over the siding. No head flashing or window caps appear to have been added, and the current trim detail will allow for water intrusion as the caulk or paint finish deteriorates. These alterations indicate that the original siding for the house was most likely wood shingle.

In 1983 a permit was issued for re-roofing the house. The building inspector made some unusual notes during the inspections, including, “Workmanship was fair-poor, a roof jack was installed improperly and there were no crickets at the chimney”, and “No actual code violations, just poor workmanship.” Close inspection of the knee brace eave brackets indicates that they were replaced with the roofing, and the workmanship is indeed poor and does not match the original brackets.

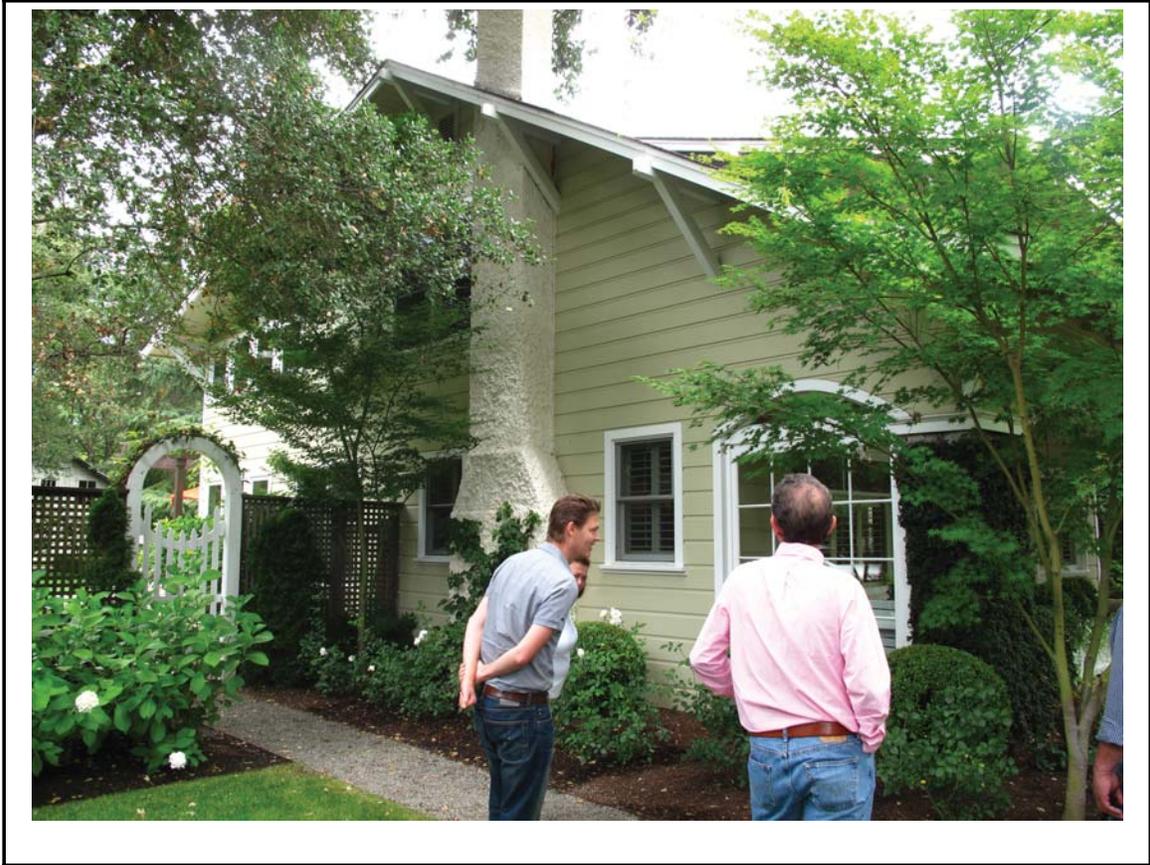
These alterations are significant and affect the integrity of the house, which will be discussed in the Conclusions below.



**Figure 3.** Front of the house at 563 Second Street East, showing the elliptical arch and stone columns and piers.



**Figure 4.** Side of house showing knee-braces.



**Figure 5.** Side of house at 563 Second Street East showing stuccoed chimney.



**Figure 6.** Brick chimney beneath heavy stucco.



**Figure 7.** Rear of house at 563 Second Street East showing additions.



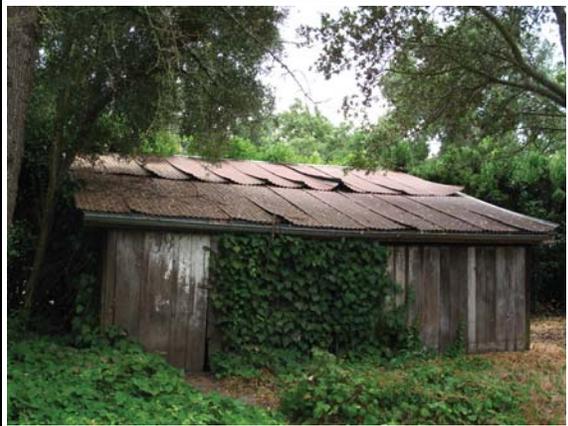
barn



barn



barn



shed

**Figure 8.** Barn and shed at 563 Second Street East

## CONCLUSION

The purpose of this evaluation is to determine if the buildings on this property are historically significant based on the California Register criteria. A resource acquires significance with its association with an important event or pattern of history; through association with an important person; because it represents a particular type, period, region, or method of construction, the work of a master, or possesses high artistic values; or because it contains information that can be studied to enhance our understanding of history.

In addition to meeting at least one of these criteria, eligibility for listing in the California Register requires that a resource retain sufficient integrity to convey a sense of its significance or importance.

### Assessment of Significance

After examining the site, studying the research and reports on this property, researching the builder and the construction history on this site, the following conclusions were reached regarding the four California Register criteria:

#### *Criterion 1*

In order to be considered important under Criterion 1, the property must be able to convey its importance in events or patterns that are significant in federal, state, or local history. This property is not directly tied to a particular event or pattern of events and does not meet Criterion 1 for inclusion on the California Register.

#### *Criterion 2*

This property is associated with two notable Sonoma individuals. Contractor Ralph Murphy built, owned and lived in this residence during the second decade of the 20<sup>th</sup> century. This property is also associated with Lloyd Simmons, who lived in the house for more than 30 years. Simmons has local recognition as the proprietor of the pharmacy on Napa Street East. The association with Ralph Murphy meets Criterion 2.

#### *Criterion 3*

The architectural significance of this house as a good example of the Craftsman Bungalow style and a good example of the work of Ralph Murphy could be met if the integrity of the building is improved from “poor” to “fair.” This is discussed further under Assessment of Integrity below. Currently the property does not meet Criterion 3.

#### *Criterion 4*

Since Criterion 4 generally applies to archaeological resources or to resources that provide information about construction details that cannot be obtained in other ways, this property does not meet Criterion 4.

### Assessment of Integrity

The California Register regulations define “integrity” as “the authenticity of an historic resource’s physical identity, evidenced by the survival of characteristics that existed during the resource’s period of significance” (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: location, design, setting, materials, workmanship, feeling and association. A property must retain most of these qualities to possess integrity.

1. Location: The house is in its original location so retains integrity of location.

2. Design: The dwelling is heavily altered by replacement of siding with another style of siding, removal and relocation of all windows throughout the house and replacement with aluminum and vinyl windows, removal and replacement of eave knee braces with poorly finished replicas, removal and replacement of all window and door trim with a different style of trim. These alterations damage the integrity of design, even though the overall form of the residence is visible from the public right of way.
3. Setting: The setting in this single family Craftsman neighborhood retains excellent integrity, even though there are some new infill residences.
4. Materials: This dwelling has lost integrity of materials due to the alterations noted under 2 above.
5. Workmanship: Due to the loss of original materials and their construction methods, integrity of workmanship is lost.
6. Feeling: The overall form of the dwelling is still communicated from the public right of way, and the single family residential neighborhood feeling retains excellent integrity.
7. Association: The association of the dwelling within this Craftsman neighborhood context remains, as well as the relationships between the adjoining buildings and the early 20<sup>th</sup> century Craftsman aesthetic. This property retains integrity of association.

The dwelling at 563 Second Street East retains integrity of location, setting, feeling, association and lacks integrity of materials, workmanship, and design. By restoring some of the design elements of the dwelling, the integrity of the property can be improved from “poor” to “fair.” Overall the property retains four of seven qualities of integrity, and could be improved to five of seven.

The change of shingle siding to horizontal channel rustic siding is considered an “irreversible” alteration to the building. Other changes that can be reversed and improve the design integrity of the house include:

1. Remove stucco from the brick chimney and repair any damage
2. Replace aluminum and vinyl windows with appropriate wood sash windows. Remove the tripartite picture window installed in the current dining room area and replace with a single window
3. Restore the poorly crafted eave knee-braces with appropriate knee-braces
4. Add head-flashing at all windows

This reviewer recommended retaining and re-purposing the barn on site. In a previous plan, this structure was to be removed. Discussion is below on relocation of this accessory structure.

### **California Environmental Quality Act Findings**

The dwelling at 563 Second Street East meets Criterion 2 for inclusion on the California Register and retains adequate integrity to convey a sense of its significance or importance.

### **Criteria Considerations for Moved Buildings**

In order to maintain eligibility of the property for listing in the California or National Register, analysis follows for re-purposing and relocating the accessory building referred to as “the barn.”

According to Part VII of the National Register (NR) Criteria:

Part VII provides guidelines for determining which properties must meet these special requirements and for applying each Criteria Consideration.

The Criteria Considerations need to be applied only to *individual* properties.

#### CRITERIA CONSIDERATION B: MOVED PROPERTIES

A property removed from its original or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly associated with a historic person or event.

#### ***Examples of Properties that DO NOT Need to Meet Criteria Consideration B: Moved Properties***

- *A property that is moved prior to its Period of Significance.*
- *A district in which only a small percentage of typical buildings in a district are moved.*
- ***A moved building that is part of a complex but is of less significance than the remaining (unmoved) buildings.***
- *A portable resource, such as a ship or railroad car, that is eligible under Criterion C and is moved within its natural setting (water, rails, etc.).*
- *A property that is raised or lowered on its foundations.*

Since the barn is a small accessory building (674 square feet +/-) in the context of a large residential parcel, it has less significance than the main house, which is significant individually and will remain in its historical location. Therefore, the barn does not need to meet Criteria Consideration B for moved properties, but does need to meet the Secretary of the Interior Standards. Further, relocation, rehabilitation and re-purposing makes the building useable as a detached garage structure.

#### **Secretary of the Interior's Standards Compliance and Recommendations**

Local governments in California generally reference compliance with The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, in the design review conditions and/or negative declaration for projects. Compliance with these guidelines avoids any negative impacts on the existing buildings.

According to the introduction of these standards:

**The Standards for Rehabilitation** (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

The introduction further states:

... As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

And the final introductory statement:

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

## Analysis

Work described in the drawing prepared by Wade Design Architects, dated July 8, 2014 conforms to *The Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings*. Included with the comment is a citation of the Standard or guideline language involved, and specific recommendations are in **boldface**:

1. **Standard 1** *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Use as a single family residence will be retained.

2. **Standard 2** *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The alteration of the building is described under Standard 9 below. Historical material will be retained.

3. **Standard 3** *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

No features from other buildings will be added. No conjectural features are proposed. New construction does not create a false sense of historical development. No inappropriate light fixtures, finishes or materials will be added.

4. **Standard 4** *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Existing alterations that have become part of the historic fabric of the building will remain. Non-historic rear additions from 1980-present will be changed according to Standard 9.

5. **Standard 5** *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Distinctive features and finishes will be not be removed.

6. **Standard 6** *Deteriorated historic features shall be repaired rather than replaced. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Replacement of historic materials will be done where original material has been broken, lost or weathered to an extent making repair infeasible. Replacement features will match the old in design, color, texture, visual qualities, and material.

**Removal of non-historic aluminum and vinyl windows and restoration of wood double-hung windows with appropriate trim and head flashing is encouraged and will improve the integrity of the house. Removal of the heavy stucco over the brick chimney is recommended. Replacement of the tripartite vinyl picture window in the dining room with a single window is recommended. Replacement of the poorly crafted eave knee-braces is recommended.**

**This reviewer recommends retaining the barn at the rear of the property and re-using, rehabilitating and re-purposing it on site instead of replacing it.**

7. *Standard 7 Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

No sand blasting or chemical treatments are proposed.

8. *Standard 8 Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures must be taken.*

Sonoma County standard archeological mitigation measures should apply to all ground disturbing activities on the site.

9. *Standard 9 New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment.*

The building alterations in this setting hinge on this standard. New construction should be respectful of the historic building, while at the same time avoiding creating a false sense of what is historic on the site. The standards and guidelines allow for a wide range of design options and styles.

The proposed one and two-story master bedroom addition is differentiated from the original and is more contemporary in style. The wood siding is a contemporary material. According to the Guidelines, "...additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation. New design should always be clearly differentiated so that the addition does not appear to be part of the historic resource." The addition is linked to the existing house by a narrow one-story passageway/dining room. The two-story portion of the addition is lower than the ridge of the existing house, and is not visible from the public right of way. Rather, it is located at the rear of the main house and linked to the house by a narrow one-story addition. The rear of the house is a non-character defining elevation of the house. The Guidelines further recommend:

- Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
- Designing new additions in a manner that makes clear what is historic and what is new.

- Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.
- Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building.

The bedroom addition is placed at the rear of the building and is not visible from the public right of way. **This reviewer recommended removing the glass-enclosed side entry porch - that was visible from the street - as first proposed. A narrow “eyebrow” roof over the door at the rear of this side elevation is a very minor alteration, and is removable in future so that compliance with Standard 10 is met.**

Changes to the rear kitchen wing include removal and replacement of the 1990's addition and replacement with a more contemporary addition that is differentiated from the historical building.

10. ***Standard 10** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Since the proposed addition and alterations are being made to an extensively altered rear elevation of the building, the essential form and integrity of the building remains. No removal of historic material is proposed, and removal of the addition in the future would not damage the historic fabric of the building.

## MATERIALS CONSULTED

1. 36 CFR Part 800: Protection of Historic Properties, Advisory Council on Historic Preservation, 1986.
2. California CEQA Guidelines, amended 1 February 2001.
3. California CEQA Statute, amended 1 January 2002.
4. California Governor's Office of Planning and Research, "Thresholds of Significance: Criteria for Defining Environmental Significance: CEQA Technical Advice Series," September 1994.
5. California Department of Parks and Recreation "Historic Resource Inventory", DPR 523 form, UTM (Sonoma Quad), City Map Area II, Sonoma Historic Preservation League, ..... April 1978.
6. How to Apply the National Register Criteria for Evaluation Bulletin, U.S. Department of the Interior, National Park Service, by the staff of the National Register of Historic Places, finalized by Patrick W. Andrus, edited by Rebecca H. Shrimpton, (1990, Revised 1997, Revised for Internet 2002).
7. Instructions for Recording Historical Resources, California Office of Historic Preservation, March 1995.
8. National Register Bulletins 15 and 16A (National Park Service 1990b, 1991) NRHP Status Codes.
9. The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, (1995), Weeks and Grimmer.

10. Historic Resource Evaluation, Vicki Beard, M.A., Thomas Origer and Associates, February 2014.
11. Peer Review of Evaluation by V. Beard, Diana Painter, PhD., June 8, 2014.
12. Review of City of Sonoma building permit records for 563 Second Street East by Thomas Thornley, Contractor, July 2014.

## Wendy Atkins

---

**From:** Jenny Hoover <jennyhoover@wade-design.com>  
**Sent:** Wednesday, July 09, 2014 12:31 PM  
**To:** Wendy Atkins  
**Cc:** Luke Wade  
**Subject:** RE: Hughes Residence Design Reveiw  
**Attachments:** Northwest Door & Sash Custom Wood Windows & Doors.pdf; Vitrocsa TH+ Windows & Doors.pdf; DSC01001.JPG

**Categories:** Planning

Wendy,

See attached for information on the windows and doors we are proposing.

We will be approaching Northwest Door & Sash for all windows & doors at the North, South, and East sides of the main house, and at the barn. They will do custom work to match the existing historic windows and door on the front porch.

They will modify the existing sliding garage door into a roll-up configuration, matching existing detailing. I have attached a detail of their double-hung, and their glass door design sample sheet. They do not have "spec sheets" per se, as their work is highly custom.

For all other windows and doors at the Main House and Caretaker Unit, we will be using the Vitrocsa system. As I described on the phone, it is also a customizable system. Each door/window is the same with the jamb details altering as needed to accommodate the specific function of that window. I am attaching a photo, some configuration options, and the written specification for this system.

Regarding your question of visibility, the 1-story Master Bedroom will be technically visible beyond the front façade. There will still be copious branches between the street and the building in question, especially since an existing significant oak tree will remain right off the corner of the bedroom. See attached photo, taken in December 2013, showing abundant wintertime leaf and branch coverage. In this photo you can make out the existing white gate portico rising up above the existing 7' fence which will remain. The visible portion of the Master Suite is 140 feet back from the sidewalk, 80 feet beyond an existing 7 foot tall fence which will remain. The height of this portion of the building is 12 feet, and it protrudes 5 feet beyond the edge of the existing house. The chimney at the Master Bedroom, shielded by the same tree, is also be technically visible to a height of 25 feet.

Let me know if I can help with anything else.

Thank you,

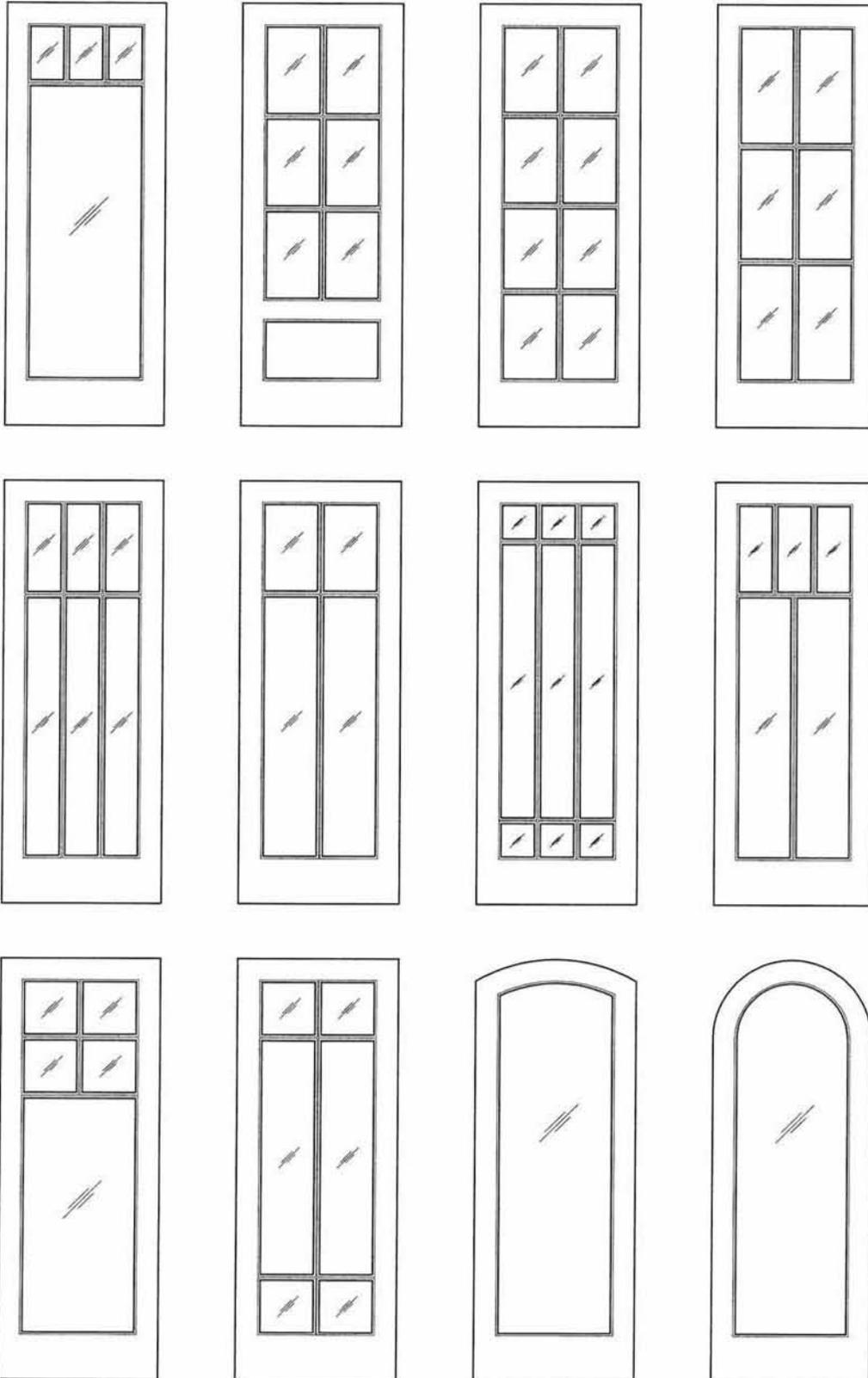
Jenny Hoover  
WADE DESIGN ARCHITECTS  
T: 415 578 2856x4 M: 415 595 5197

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**From:** Wendy Atkins [mailto:WendyA@sonomacity.org]  
**Sent:** Wednesday, July 09, 2014 10:16 AM  
**To:** Jenny Hoover  
**Subject:** RE: Hughes Residence Design Reveiw

Hi Jenny,

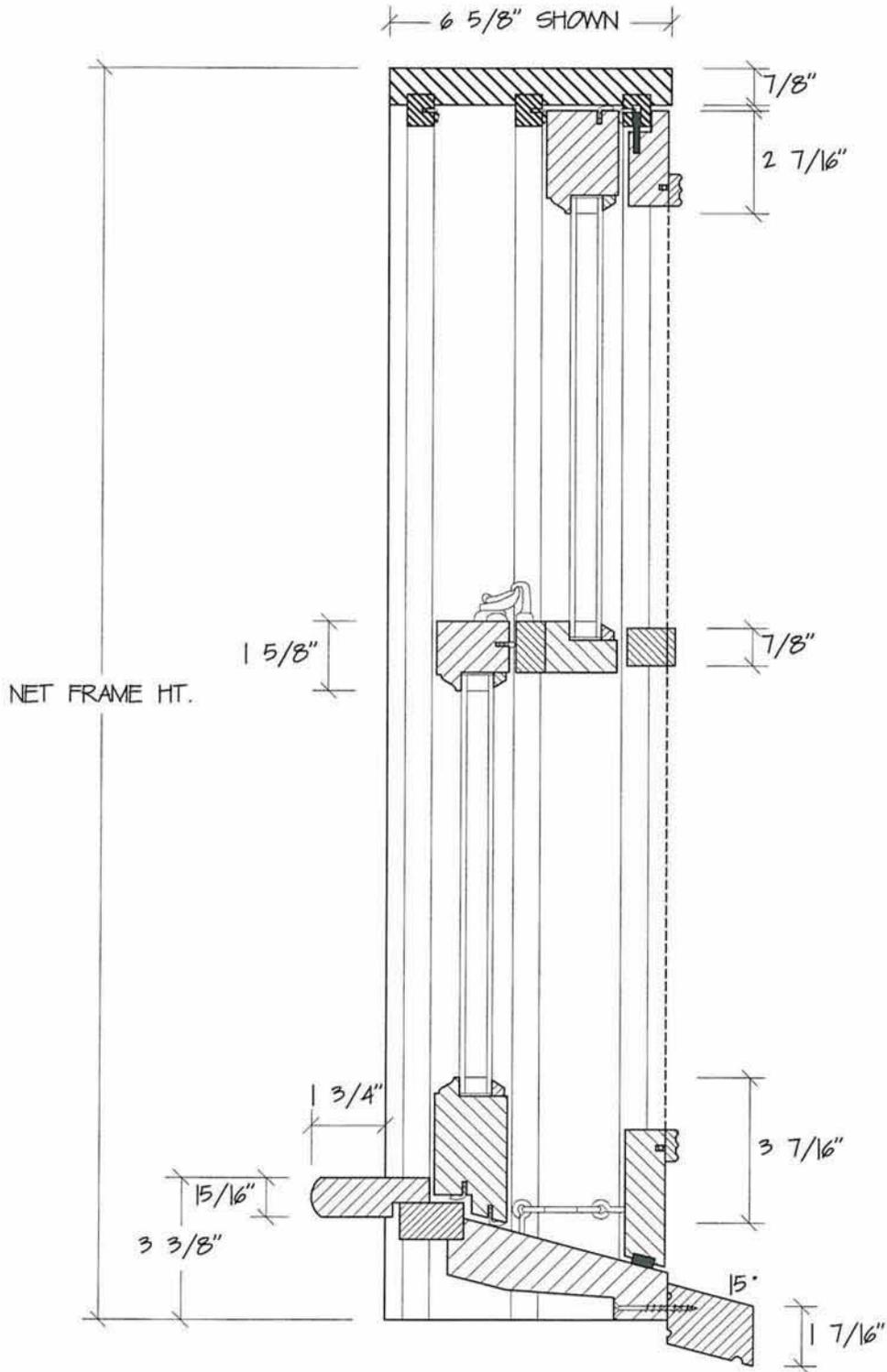
Elevations of Glazed Door Designs  
 (2~6 x 6~8) We build to your design





Vertical Section Of Double Hung With Exterior Wood Screen

- Scale: 1/4" = 1"
- 1 11/16" Thick Sash
- Concealed Sash Balances
- Optional Wood Mortise & Tenon or Aluminum Screens



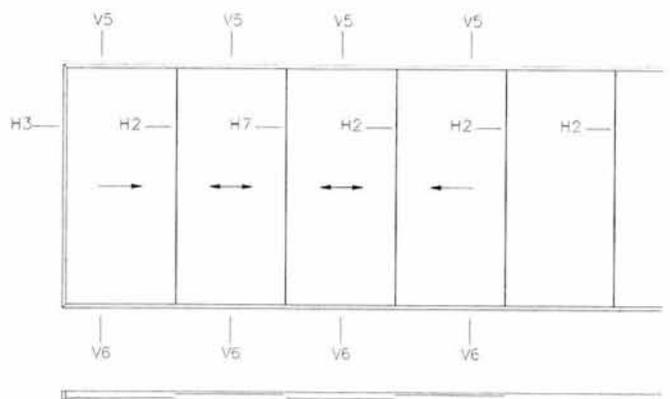
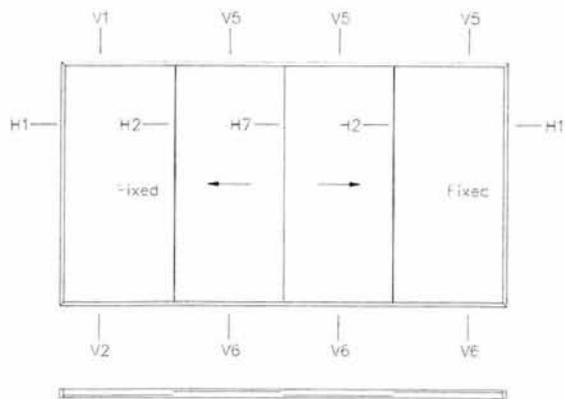
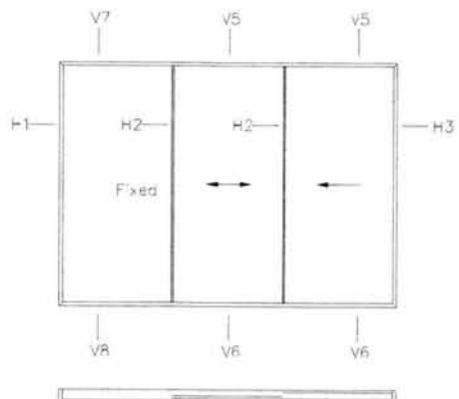
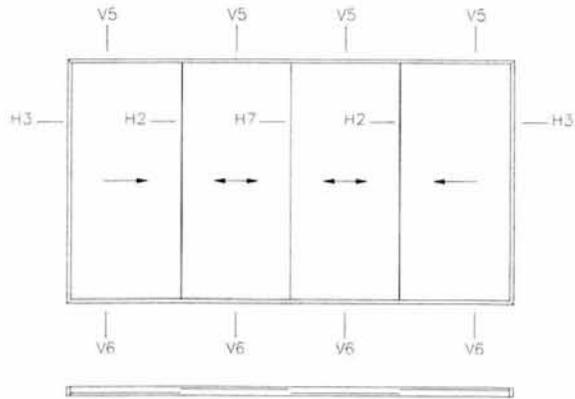
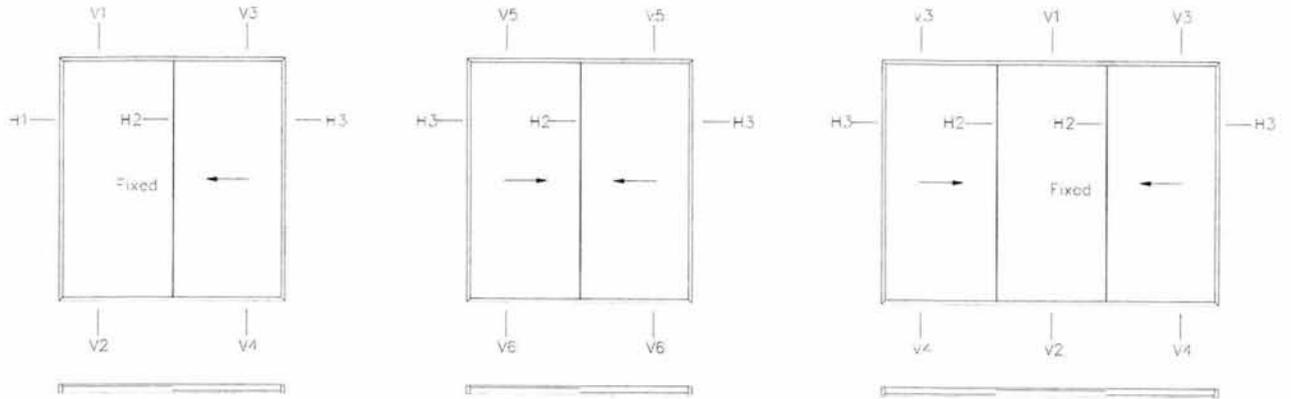
# GOLDBRECHT-SYSTEMS

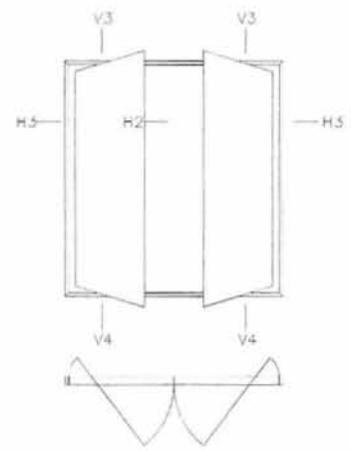
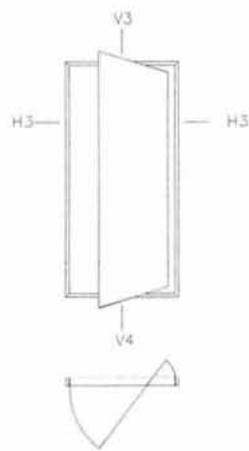
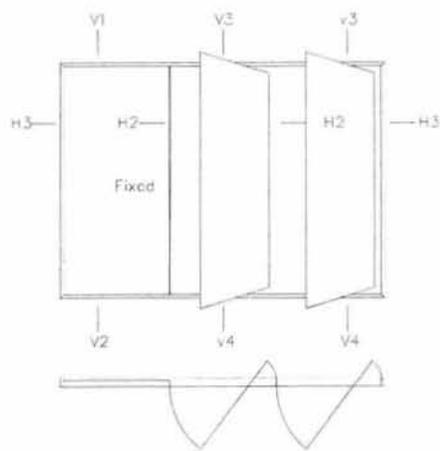
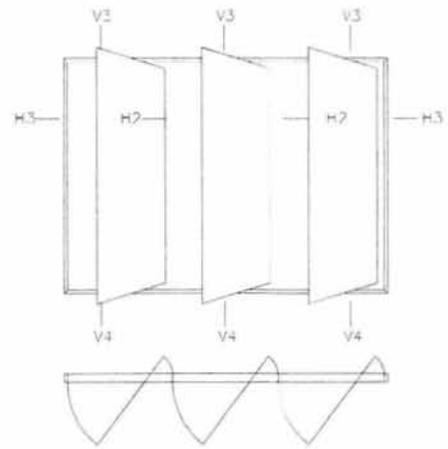
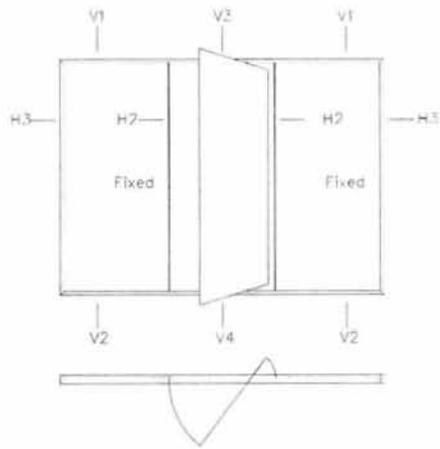
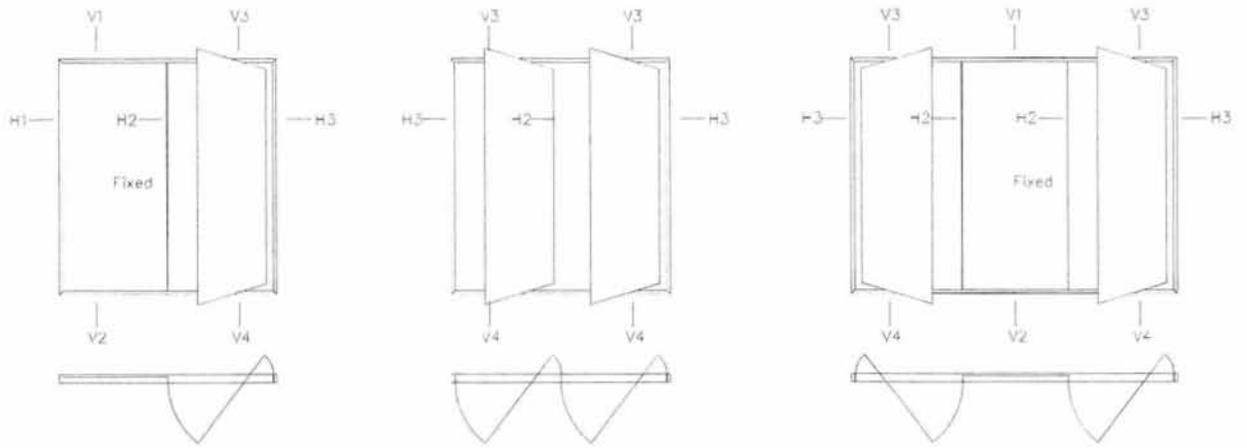
Innovative fenestration solutions

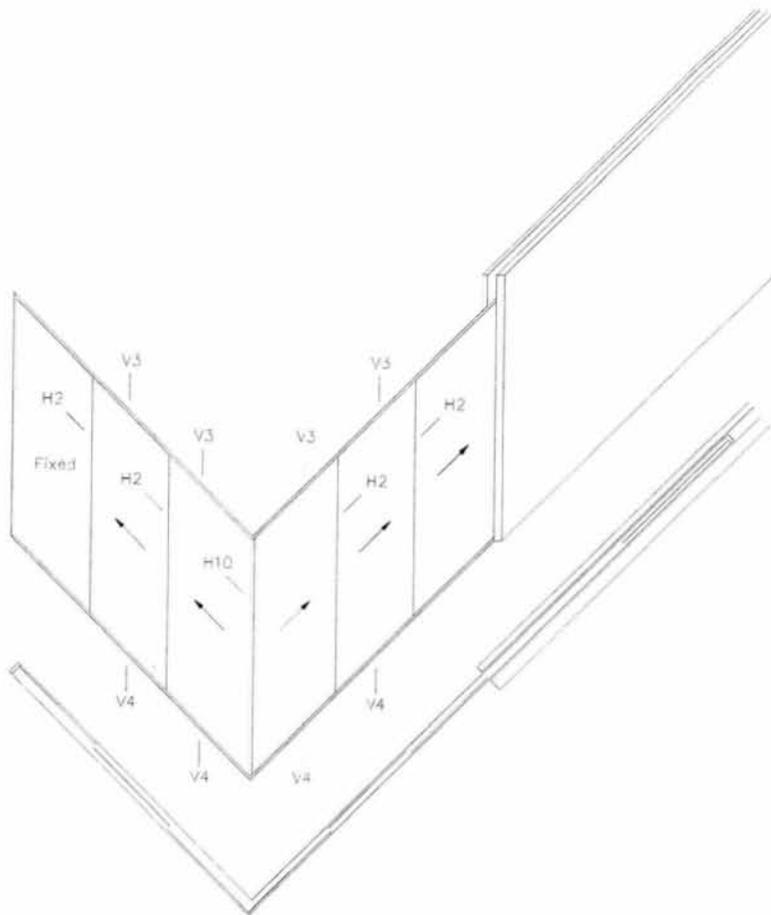
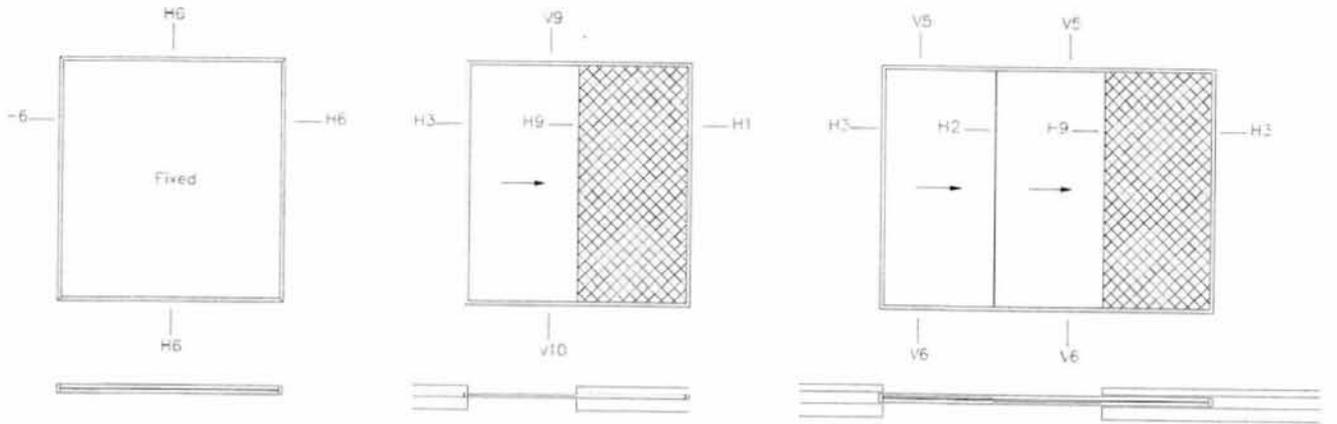


Architetta: Andrea Ricci - Città: Reggio Emilia

Foto: Giuseppe Pini - 2011







# **Vitrocsa USA, a Division of Goldbrecht, INC.**

5701 Buckingham Parkway, Unit C, Culver City, CA 90230

## **GUIDE SPECIFICATION**

### **Vitrocsa TH+ SERIES**

#### **Thermally broken Sliding Glass Wall**

#### **AAMA / WDMA / CSA 101 / I.S.2 / A440-05**

Goldbrecht-Systems, a Division of Goldbrecht Inc., Vitrocsa TH+ Series is a slim profile Residential Sliding Glass Wall system and is available in numerous custom configurations.

#### **PART 1. GENERAL**

##### **1.01 WORK INCLUDED:**

##### **A. Aluminum Sliding Glass Doors:**

1. Furnish and install aluminum architectural Sliding Glass Units complete with integrated hardware and other related components as shown on the project drawings and as specified within this or other related specification sections.

##### **B. Manufacturer:**

1. All aluminum Sliding Glass Doors specified under this section are to be supplied by a single manufacturer

2. All aluminum Sliding Glass Walls to be furnished under this section are to be Vitrocsa TH+ Series, as manufactured by **Goldbrecht Inc.**, Culver City, California (310) 988 4455 or an approved equal (see paragraph "D. Substitutions" below).

##### **C. Glass & Glazing:**

1. Specifications for all glass and glazing materials to be installed in conjunction with materials covered by this section are contained in Section 08800 of these specifications and as indicated in the project drawings.

##### **D. Substitutions:**

1. Other manufacturers requesting approval to bid products as an equal to the specified product, must do so within 10 days prior to bid.

2. All requests for approval must include sufficient information and certified test results showing that the proposed product meets or exceeds the criteria contained within this and other related sections.

3. Separate representative test results, showing the test specimen size and test results, are required for each product.

4. Other manufacturers requesting approval shall have been regularly engaged in the fabrication of Thermal Break Windows, of the types required, for a period of not less than ten (10) years.

##### **1.02 RELATED WORK:**

##### **1.03 PRODUCTS TO BE FURNISHED BUT NOT INSTALLED:**

##### **1.04 PRODUCTS TO BE INSTALLED BUT NOT FURNISHED:**

## **1.05 SYSTEM REQUIREMENTS:**

### **A. Standards:**

1. All aluminum Sliding Glass Walls to be furnished under this section are to have been previously tested and certified in accordance with the criteria of ANSI/AAMA 101-I.S.2, to the minimum standards of an SGD-C45 or SGD-AW65.

### **B. Test Specimen Requirements:**

1. Air, Water and Structural test specimen sizes and configurations are to be in accordance with the minimum requirements of ANSI/AAMA 101-I.S.2, for the type of aluminum Sliding Glass Wall and performance rating required.

### **C. Test Procedure and Performance:**

#### **1. Air Infiltration Test:**

a. Complete testing in accordance with ASTM E 283, at a static air pressure of 6.2 PSF (SGD-C45, SGD-AW65).

b. Resultant air infiltration shall not exceed .30 cfm/ft<sup>2</sup>

#### **2. Water Resistance Test:**

a. Complete testing in accordance with ASTM E 547 & ASTM E 331 (SGD-C45, SGD-AW65) at a static pressure of 12.11 PSF .

b. There shall be no uncontrolled water leakage.

#### **3. Uniform Load Structural:**

a. Complete testing in accordance with ASTM E 330, at a static air pressure of 65.16 PSF positive and 70.18 PSF negative (SGD-AW65) 30.08 PSF positive and 30.08 PSF negative (SGD-C45).

b. At the conclusion of the test there shall be no glass breakage, permanent damage to fasteners, hardware parts or actuating mechanisms, nor any other damage that would render the operating portion(s) of the Sliding Glass Wall inoperable.

#### **4. Operating Force:**

a. The operating sash panel Breakaway Force per ASTM F842 (the force required to disengage the lock panel from the lock jamb) shall not exceed 35 Lbs.

b. The operating sash panel Motion Force (the force required to maintain the sash in motion) shall not exceed 17 Lbs.

#### **5. Deglazing:**

a. Conduct testing in accordance with ASTM E 987. The Stiles shall not deglaze to a maximum pressure of 70 PSF. The Rails shall not deglaze to a maximum pressure of 50 PSF.

#### **6. Other Testing Required:**

## **1.06 REFERENCES:**

AA Aluminum Association

AAMA American Architectural Manufacturers Association

ANSI American National Standards Institute

**1.07 SUBMITTALS:**

a. The responsible contractor shall submit the following for approval:

1. Shop Drawings. Sets of Blueline Shop drawings, showing all internal and surrounding details and conditions of the Sliding Glass Wall Installation.

2. Finish / color samples. Sets (Anodized samples should indicate the range of color variation).

3. Product Test Reports. Copies.

4. Warranties. Copies.

5. Physical samples of materials may be requested by the Architect and are to be provided at no cost. Such samples may include, but are not limited to the following: frame sections, glass, fasteners, anchors mullion sections and corner construction.

**1.08 DELIVERY, STORAGE AND HANDLING:**

**1.09 WARRANTY:**

a. The responsible installation contractor shall assume full responsibility and warrant for a period of year(s), the satisfactory performance and installation of the materials specified within this section.

b. Any deficiencies or failures of the materials or installation, during the warranty period, will be repaired or replaced by the responsible installing contractor at no cost to the General Contractor or the Owner.

**PART 2. PRODUCT**

**2.10 MATERIAL:**

**A. Aluminum:**

1. All aluminum frame sections shall be extruded aluminum alloy.

**B. Hardware:**

1. **Rollers:** Each Roller is fitted on a stainless steel bearing

2. **Roller Track:** The Roller Track is precision-fitted with dual rollers on stainless steel bearings.

3. **Locking Mechanism:** The operating panel lock is to be located within the jamb and is to consist of a stainless steel pin bolt. When locked, the pin bolt is to engage lock slot in the lock jamb.

**C. Glazing Gaskets:**

All glazing to be fitted to aluminum profile extrusions. No gaskets are required for the glazing.

**D. Glass and Glazing:**

1. Glass types are specified in Section of these specifications and in the project plans. Furnish only Sliding Glass Walls that have a rabbet specifically designed to accommodate 1 1/4" or 1 3/4" dual insulated glass products.

2. All glass and glazing materials are to be factory or field glazed.

**E. Security:**

1. The manufacturer of the specified product is to certify that the product complies with the forced entry requirements of the Uniform Building Code, AAMA 1303.5 or ASTM F 842.

**2.02 FABRICATION:**

**A. GENERAL:**

1. Frame Head and Jamb and Sash Panel horizontal extrusions shall have a nominal minimum wall thickness of Master Frame Sill and Sash Panel vertical extrusions shall have a nominal minimum wall thickness of.

2. Overall depth of sliding unit frame shall be no less than 5 1/2"

**B. Frame and panels:**

1. Frame and operating panel components shall be accurately coped and mechanically fastened. All joints shall be hairline.

**C. Finish:**

**1. Anodized:**

a. Finish all exposed aluminum with electrolytically deposited color, in accordance with the standards of the Aluminum Association. designation number:

Finish to be: \_\_\_\_\_

**2. Powdercoated/Kynar:**

a. Finish all exposed aluminum with electrostatically deposited color in accordance with the standards of the Aluminum Association.

Finish to be: \_\_\_\_\_

Color to be: \_\_\_\_\_

**Part 3. EXECUTION**

**3.01 PREPARATION AND INSTALLATION:**

A. Maximum permissible deflection after dead load has been applied to the building is limited to +1/4" to -1/4".

B. Use only factory trained installers for the installation of the aluminum Sliding Glass Walls and components specified within this section.

C. Bring all discrepancies between the project plans and field conditions to the attention of the General Contractor prior to commencement of any work in the area in question.

D. Erect the aluminum Sliding Glass Walls and components square and true, in strict accordance with the manufacturers installation guidelines. The installer is to furnish adequate anchoring to maintain position and integrity of the Sliding Glass Walls when subjected to normal building movement and the specified wind load.

E. Furnish and apply sealants in accordance with the manufacturers installation guidelines and Section of these specifications, to provide a weather tight installation. Remove all excess sealants to leave all exposed surfaces and joints clean and smooth.

### **3.02 ADJUSTMENT AND CLEANING:**

A. Upon completion of the entire scope of the work specified within this Section, the aluminum Sliding Glass Walls and components are to be cleaned of dirt and manufacturers identification marks.

B. Upon completion of cleaning, and upon final acceptance, the aluminum Sliding Glass Walls and components become the responsibility of the General Contractor or the Owner's representative, as applicable.

### **3.03 FIELD TESTING:**

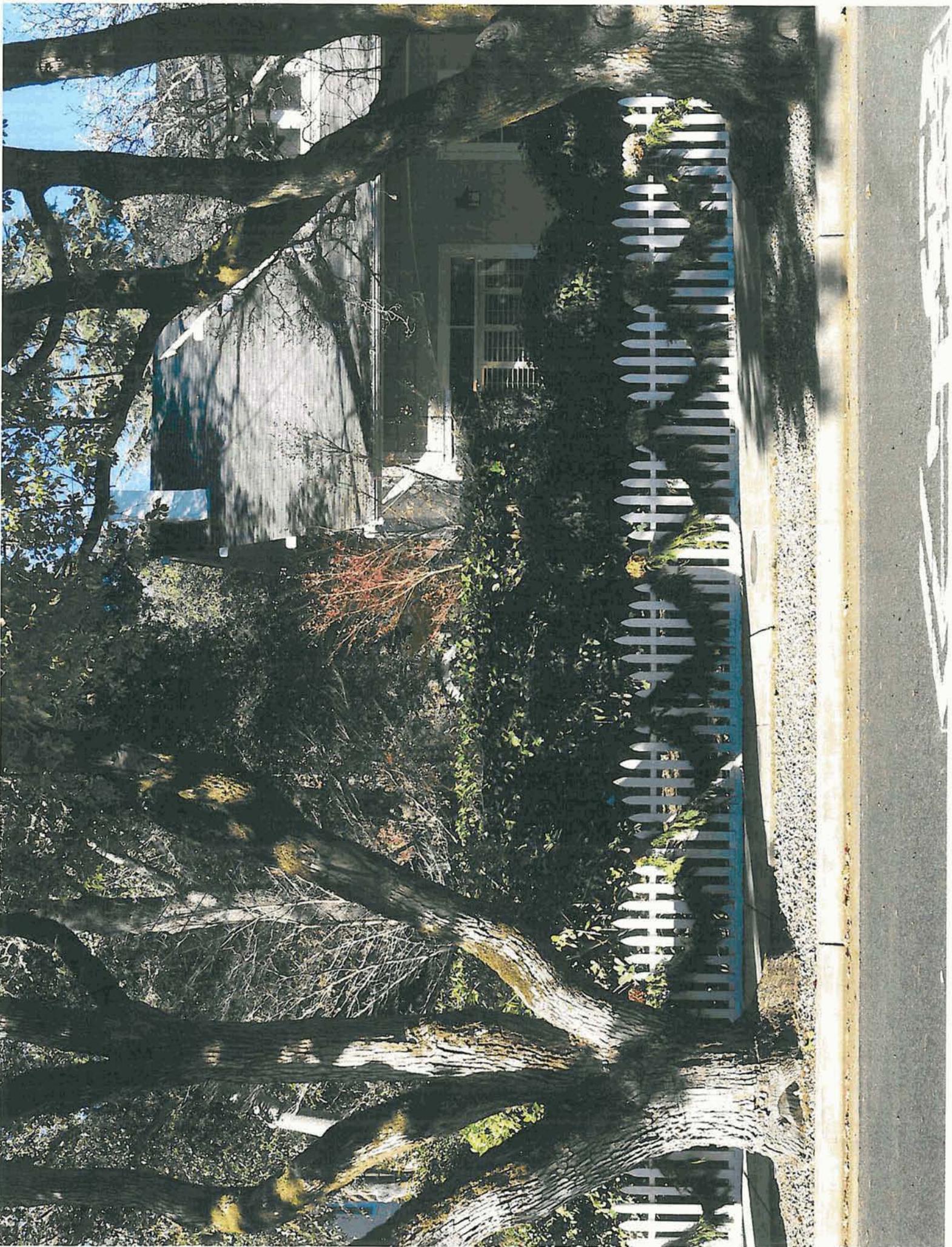
A. Any field testing performed must be per AAMA 502-02, Test Method A, and performed "**Immediately after installation**".

B. Any field testing requires a certified Goldbrecht/Vitrocsa technician to be present.

C. Field test results will not be considered valid unless performed within four (4) weeks of specimen installation.

D. Due to uncontrollable installation and test variables, expect 75% of laboratory performance results in typical field installation conditions.

END OF SPECIFICATION.



RECEIVED  
JUL 11 2014  
CITY OF SONOMA

Dear Design Review and Historic Preservation Commission,

My name is Mary Farrell. I will have lived at 553 Second Street East for fifty (50) years, come August 1, 2014. Our next door neighbors, Cherie and Keith Hughes have planned an addition to 563 Second Street East. They shared an architect's rendering of their proposal with me several months ago and the proposal looked fine to me.

The proposed addition is at the back and does not appear to be visible from Second Street East at all. It has no negative impact on my property. The Hughes have honored the historic nature of Sonoma ever since their arrival and are very good neighbors.

I hope the commission will vote to approve the Hughes' project and allow them to enjoy their property.

July 10, 2014

Sincerely yours,



Mary Lennon Farrell

(Mrs. Roger H.)

553 Second Street East  
Sonoma CA 95476

RECEIVED

JUL 11 2014

CITY OF SONOMA

City of Sonoma  
Planning and Community Development  
No. 1 The Plaza  
Sonoma, CA 95476

Dear Design Review and Historic Preservation  
Commission :

*I live next door to Keith and Cherie Hughes on Second Street East and I am writing to ask you to support the project being proposed by them for an addition to the back of their residence. I have studied the design from their architects and believe that the proposed addition will have no impact on the street presence of their existing home since the addition will be behind the current home. The trees and front yard landscaping shield any possible view of the new addition at the back of the property. I would be surprised if most people would even notice that it is there once built.*

*Keith and Cherie shared their proposed project with us in advance and their sincere efforts to honor the historic nature of our community are much appreciated. I urge the commission to vote in support of the project and allow the Hughes to enjoy their property.*

*Sincerely,*

*Bill and Beverly Kauter*

RECEIVED

JUL 11 2014

CITY OF SONOMA

July 9, 2014

City of Sonoma  
Planning & Community Development  
No. 1, The Plaza  
Sonoma, CA 95476

RE: 563 Second St. East, Sonoma, CA 95476

Dear Design Review and Historic Preservation Commission:

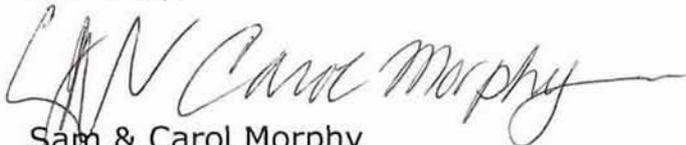
We are writing to let you know that we support the proposed addition to the above named property by Keith and Cherie Hughes. We have looked at the plans for the addition and feel that it will have virtually no impact to the streetscape of Second Street East. The addition will be located behind the main house well hidden by trees and lush landscaping.

We feel that Keith and Cherie have taken extreme measures to preserve the historic nature of their property. This addition will be an asset to the neighborhood that we all so cherish.

We live less than a block away from the Hughes' residence and we appreciate the manner in which they have planned this addition. We personally find it tastefully designed and thoughtfully planned out.

We urge the Commission vote to support this project.

Sincerely,



Sam & Carol Morphy  
472 Second St. East  
Sonoma, CA 95476

RECEIVED

JUL 03 2014

CITY OF SONOMA

Gail



Gail P. Buchholz  
597 2nd St. E.  
Sonoma, CA 95476-6711

July 2, 2014

Design Review and Historic Preservation Commission

Sonoma City Hall

Number 1 THE PLAZA

SONOMA, CALIFORNIA 95476

Dear Sirs:

We are sending you this letter to inform you that we have seen the drawings for the addition of the property located at

563 Second Street, East, Sonoma, California 95476 ,and think it will be a lovely addition to our Historic Block. We especially like the fact that the Wade Design Architect Firm is drawing in extra space for off street parking, and we appreciate the fact that none of the addition will be intrusive or seen from the street.

We have lived on this block for twenty five years.

Sincerely,

Gail P. Buchholz

Hugo R. Buchholz

597 Second Street, Sonoma California, 95476

Phone # (707) 938-4075



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda Item: 3

Meeting Date: 07/15/14

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**Applicant**

Williams-Sonoma, Inc.

**Project Location**

599 Broadway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)
- Year built: 1950
- 

**Request**

Consideration of a monument sign, three wall signs, three window signs and a projecting sign for a mixed-use building. (Williams-Sonoma) located at 599 Broadway.

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**Summary**

**Background:** On October 10, 2013, the Planning Commission approved a Use Permit and Parking Exception to establish a cooking school and café with a retail component and industry accommodation residential unit within the existing building located at 599 Broadway (the building has historically been used for general retail, a catering business, and a restaurant). On November 19, 2013, the Design Review Commission approved building elevation details, exterior colors and materials, lighting, trash enclosure, and a bicycle rack for the building. On January 21, 2014, the Design Review and Historic Preservation Commission (DRHPC) approved a new awning, an outdoor fireplace and arbor, a fountain, a fence, and a landscape plan. On May 20, 2014, the DRHPC approved revised building elevation details and revised exterior colors and materials. At this time the applicant is before the DRHPC for consideration of a monument sign, three wall signs, three window signs, and a projecting sign.

**Monument Sign:** A new, two-sided monument sign (sign F) 16 square feet in area per side (4 feet tall by 4 feet wide) is proposed at the rear of the property on the First Street West frontage. The sign would be located perpendicular to First Street West, south of the driveway entrance. The face of the sign would consist of a stone veneer material, which would match the trash enclosure area. The sign would consist of 1-inch thick poly-cast resin letters with a 13.25 karat white gold leaf finish. Illumination is proposed in the form of two L-6 wash (FX Luminaire) (one on either side of the monument sign) (see attached specification sheet).

**Monument Sign Regulations (18.20.120):** Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of any vehicular right-of-way and not over any part of the public pedestrian walkway. The proposal is consistent with this requirement.

**Wall signs:** Three new wall signs are proposed (wall signs A, E, and G).

- Wall sign A is proposed on the east facing elevation facing Broadway. The sign is 25.3 square feet in area (1.33 feet tall by 19 feet wide). The sign would consist of 1-inch thick poly-cast resin letters with a 13.25 karat white gold leaf finish.
- Wall sign E is proposed on the west facing building elevation facing First Street West. The sign is 13.1 square feet in area (1 foot tall by 13 feet wide). The sign would consist of 1-inch thick poly-cast resin letters with a 13.25 karat white gold leaf finish.
- Wall sign G is proposed on the west facing elevation (landscape gate facing the parking area). The sign is 9.5 square feet in area (10 inches tall by 11.42 feet wide). The sign would consist of 1-inch thick poly-cast resin letters with a 13.25 karat white gold leaf finish. Illumination is proposed in the form of three L-3 trellis mount downward oriented sign light (Vision 3 Lighting SL 1) one centered and one at either end of the sign (see attached specification sheet)

*Wall Sign Regulations (§18.20.180):* Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

*Projecting Sign:* A two-sided projecting sign (sign H) 2.8 square feet in area (1.68 feet tall by 1.68 wide) is proposed in front of the building on the Broadway frontage. The sign would be located perpendicular to Broadway south of the culinary center entrance. The face of the sign would consist of a wood material surrounded by a metal frame. Copy on the sign would consist of painted black text with a gold colored pineapple emblem.

*Projecting Sign Regulations (§18.20.150):* Projecting signs shall not exceed nine square feet in area on each side. Projecting signs shall not project over four feet from any wall surface nor be closer than four feet to any curb line of a public street. No projecting sign shall extend above the top level of the wall upon or in front of which it is situated, or in the case of building having sloping roofs, above the eaves of the roof. Any sign which is suspended or projects over any public or private walkway or walk area shall have an overhead clearance of at least seven feet. The proposal is consistent with these requirements.

*Window Signs:* Four window signs are proposed (window signs B, C, and D).

- Two each (window sign B) are proposed (one on the east facing elevation facing Broadway and one on the west elevation facing First Street West. The signs are 3.2 square feet in area (9 inches tall by 4 feet 2 and  $\frac{3}{4}$  inches wide). The signs would consist of 13.25 karat white gold-leaf letters.
- One each (window sign C) is proposed on the east facing elevation facing Broadway. The sign is 1.1 square feet in area (8 inches tall by 1 foot 7 and  $\frac{1}{4}$  inches wide). The sign would consist of 13.25 karat white gold-leaf letters.
- One each (window sign D) is proposed on the east facing elevation facing Broadway. The sign is 3 square feet in area (4 inches tall by 8 feet 10 and  $\frac{3}{4}$  inches wide). The sign would consist of 13.25 karat white gold-leaf letters

*Window Sign Regulations (§18.20.200):* Permanent or temporary window signs shall not cover more than 20 percent of the aggregate area of each window facing a public right-of-way. Permanent window signs (except as specified in SMC 18.12.020(A)(7)) shall require review by the DRHPC, and shall be included in the total aggregate sign area allowable for the site.

*Aggregate Sign Area:* Based on the property's frontage on Broadway (57 feet) and secondary frontage on First Street West (54 feet), the maximum aggregate sign area allowed for the parcel is 21.6 square feet. The total aggregate sign area for the property would be  $\pm 86.6$  square feet, including the proposed freestanding sign (24 square feet in area), three wall signs (47.9 square feet in area), projecting sign (4.2 square feet in area), and window signs (10.5 square feet in area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this requirement.

*Size Limitations:* Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is consistent with this requirement in that each face of the freestanding sign would have an area 16 square feet and each face of the projecting sign would have an area of 2.8 square feet.

*Number of Signs:* Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal does not comply with these requirements in that there would be eight signs for the business.

*Variances:* The proposal would exceed the aggregate sign area allowed for the parcel and exceed the number of signs normally permit for any one business. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;

5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

**Other permits required:** In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

1. *Project narrative*
2. *Lighting specification sheets*
3. *Picture of projecting sign*
4. *Sign drawings*

cc: Williams-Sonoma, Inc.  
3250 Van Ness Avenue  
San Francisco, CA 95476

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

June 17, 2014

Design Review Commission  
City of Sonoma  
1 The Plaza  
Sonoma, California 95476

As required for the Design Review Committee submittal for the proposed project at 599 Broadway in Sonoma, please find the following project signage narrative:

### **Narrative for 599 Broadway Exterior Signage**

The design intent of the exterior signage is to advertise to the public the business in the space and to differentiate between the different functions of the spaces. The colors are typical Williams-Sonoma colors intended to create an association between the sign and the services to be expected in the space.

We are proposing more than two signs per business due to the multiple uses on site. We have the Culinary Center, Chuck Williams' original retail space, and the residence.

Sign Type A is the main business sign to advertise the company housed in the space. Sign Type B is on glass in the transoms over the two commercial entry doors serves to advertise the entry to the public spaces and differentiate between other adjacent entries. Types D and H direct to the original Williams-Sonoma space, with sign Type H being the original sign that hung outside of the original store. Sign Type E gives a visual connection from the parking lot; the wall that this sign is on is just under 200' from the street and is behind the landscape walls. The monument sign on First Street West (Type F) indicates the parking lot entry coming from both directions. Sign Type G provides way-finding through the landscape gate into the garden space and towards the West entry.

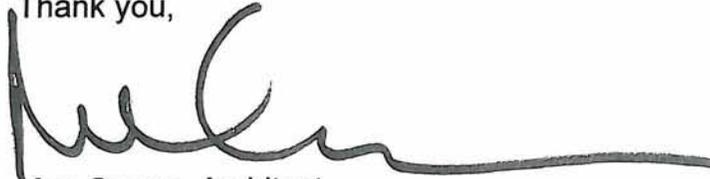
Based on the aggregate sign area for the primary street frontage, we are allowed 27.13 square feet of signage on the East (Broadway) frontage (52'-10" frontage = 18 square feet of signage for first 30' of frontage + 9.13 square feet of signage for remaining 22'-10" of frontage). Based on the aggregate sign area for the secondary street frontage, we are allowed 10.77 square feet of signage on the West (First Street West) frontage (53'-10" frontage). We plan for 35.4 square feet of signage (all signs combined) at the Broadway frontage. We plan for 23.6 square feet of signage (all signs combined) at the First Street West frontage. No single sign exceeds the maximum allowance of 48 square feet.

**Crome Architecture**

JUN 17 2014

Existing street lighting and building lighting will provide illumination along Broadway, therefore no additional signage lighting is being utilized. External lighting will be used for the monument (Type F) and way-finding (Type G) signs off of First Street West for navigation at night. No other lighting specific to the signage will be provided along this frontage.

Thank you,

A handwritten signature in black ink, appearing to read 'Max Crome', with a long horizontal flourish extending to the right.

Max Crome, Architect  
Crome Architecture

(L-6)

# FX Luminaire

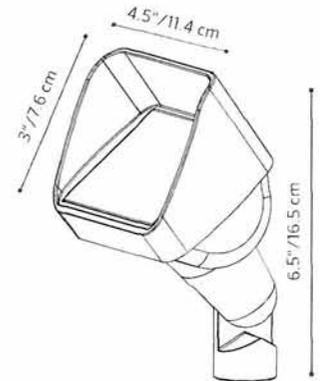
LED Up Lights



*Our largest wall-wash up light, the LC, projects a broad spectrum of light on large walls and spaces. It is available in 1, 3, 6 and 9LED, and is available in an array of finishes to suit the needs of any design that calls for a large-span wall washing up light.*

## LC: Up Light

NUMBER OF LEDs:	1	3	6	9
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt	20 Watt	35 Watt	50 Watt
USEFUL LED LIFE (L70):	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V	10 to 15V	10 to 15V	10 to 15V
VA TOTAL: (Use to size the lighting controller)	2.4	4.5	13.5	13.5
WATTS USED:	2.0	4.2	10.1	11.2
LUMENS PER WATT (EFFICACY)	30.9	36.5	36.1	36.8
MAX LUMENS:	63	154	331	436
CRI (Ra)	82.8	80.2	82.2	79.2



# SL1

**SSL**  
SOLID STATE LIGHTING

MODEL SL1 • 12V • 50W • MR16 • 10W LED

SIGN - 12V



Shown in Textured Bronze Powder Coat Finish (BN1)

Precision-machined lighting fixture for dual MR16 halogen lamps or integral LED lamp modules with drivers. Can be utilized for sign lighting, canopy lighting and accent lighting applications.

**Features:**

- Patented\* 'double-taper' locking knuckle that locks and stays locked.
- Three bend styles from which to choose: Straight, U-bend and Gooseneck.
- Stem lengths from 6" to 48" and three canopy styles.

**Construction:** Available in machined aluminum, machined brass or machined stainless steel.

**Styles:** Removable caps with borosilicate clear glass lens, glued in. Available in four cutoff styles.

**Socket:** GY-6.35 bi-pin porcelain socket. LED version has lamp module and driver installed.

**Lamp:** Utilizes MR16 halogen lamps to 50W or integral Solid State 10W LED's with drivers.

**Accessories:** Up to 3 lens or shielding options can be specified per cap; 2 for the LED modules.

**Finishes:** 14 standard powder coated aluminum finishes, clear anodized aluminum finish, 3 brass finishes & 3 stainless steel finishes. See FINISHES section of catalog, inside back cover.

**Mounting: Knuckle:** Available with patented, standard 'K1' style double-taper knuckle with 180° vertical aiming or optional, patented 'Rotate & Lock', 'K2' style double-taper knuckle with additional 360° rotational aiming. 'K2' style knuckle recommended for wall or ceiling mount applications for simple adjustment of luminaire..

**Labels:** CSA listed for wet location for landscape use (UL 1838) and for wall or ceiling mount use (UL1598). Remote magnetic or approved electronic transformer required for LED module.

**Dimensions:** 2 3/8" diameter body, 8" maximum length.

**Warranty:** Aluminum is warranted for 5 years..Brass and stainless steel are warranted 25 years.

\*K1 and K2 Style knuckle designs are protected under U.S. Patents #6,966,679, #7,108,405 and #7,458,552.

NEW LED Solid State version of this Model is now available.

**Applications:**

Wall



**Features:**

- Same design as standard Model SL1 with integral LED module and driver.
- Three beam patterns available: 12° Spot, 21° Narrow Flood and 41° Flood.
- Replaceable LED lamp module with thermal control to prevent overheating.
- Two power settings: 10 watts (428 lumens) or 6.7 watts (325 lumens).
- 3000K Color, 83 CRI average . 12V AC/DC. Dimmable. L70 = 60,000 hours.
- Five-year warranty. (Solid state version is not interchangeable with halogen version of this product.)

Metals: 6061-T6 Aluminum C36000 Brass Heads: Rear Side Cap Styles: C1 C2 C3 C4



Bend Styles: S1 S2 S3



Mounting Options: M03 M015 M012 Integral Transformer Option: M012





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Distribution by  
**Williams-Sonoma, Inc.**  
• Corporate Accounts  
• Retail Locations  
• Wholesale Accounts  
Phone: 800-451-2266  
www.williams-sonoma.com

ASSOCIATE TRAVEL BUSINESS TRAVEL

Handwritten notes on an orange sticky note.

## Williams Sonoma

Store, Cooking School & Cafe  
599 Broadway  
Sonoma, CA 95476

Owner:

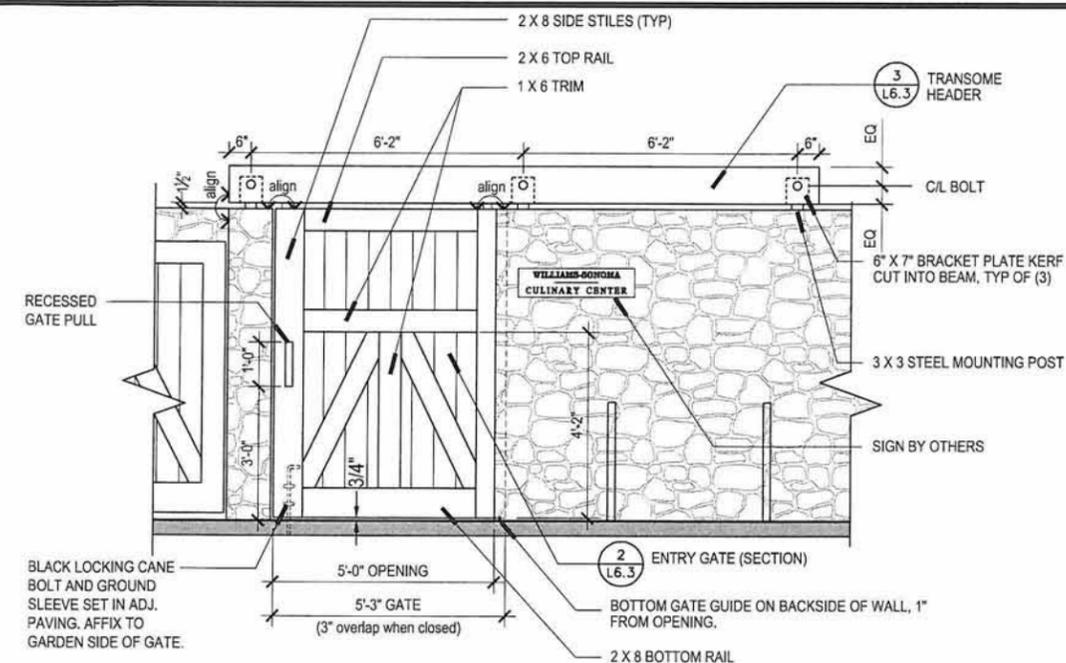
WILLIAMS-SONOMA, INC.  
3250 Van Ness Ave.  
San Francisco, CA 94109



06.23.14 - BLDG. PERMIT SUBM. #1

## CONSTRUCTION DETAILS

Date:

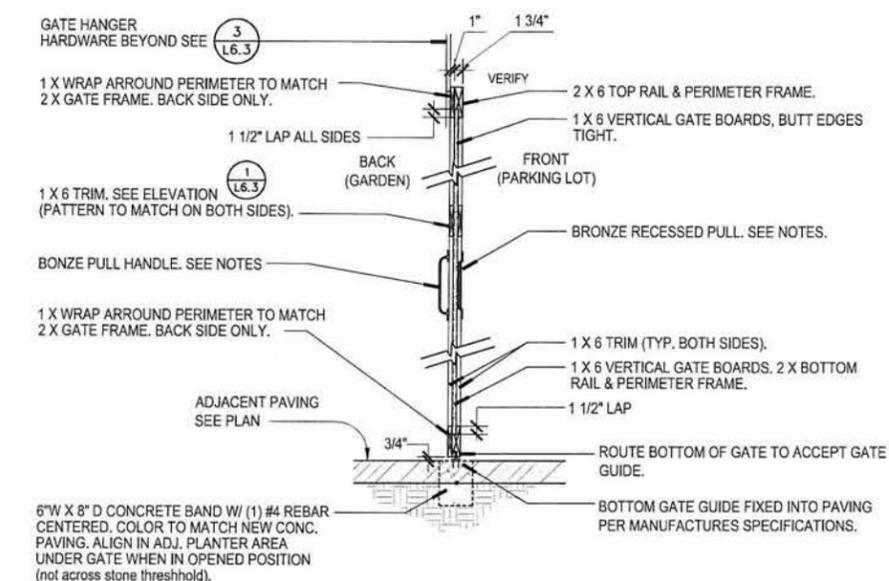


**1** ENTRY GATE - Elev. From Pkg. Lot

Scale: 1/2" = 1'-0"

**NOTES:**

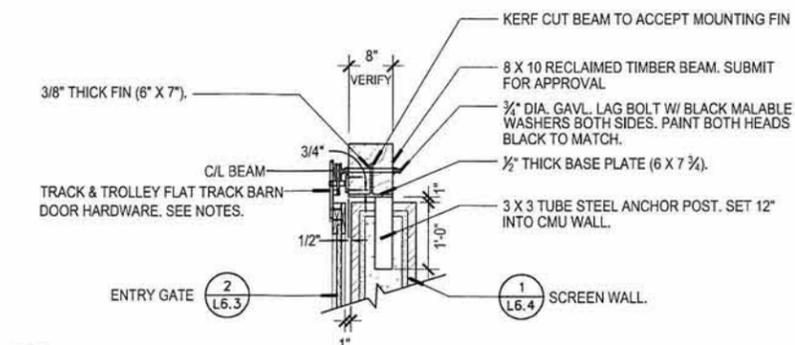
- ALL WOOD TO BE RECLAIMED ROUGH REDWOOD OR EQUAL. SUBMIT SAMPLE FOR APPROVAL. ROUGH SAND ALL SURFACES AND FINISH W/ 1 COAT PENETRATION SEALER. SUBMIT SAMPLE PRIOR TO APPLICATION.
- GATE PULLS TO BE AS FOLLOWS:  
FRONT SIDE (PARKING LOT): BRONZE FLUSH PULL; 2" X 12" # P-AN-BZ 1820.6  
BACK SIDE (GARDEN): BRONZE OFFSET PULL HANDLE; # P-AN-BZ 1150.  
AVAILABLE THROUGH REAL SLIDING HARDWARE. 800-694-5977 INSTALL PER MANUFACTURES SPECIFICATIONS.
- ALL CONNECTION HARDWARE TO BE H.D.G OR STAINLESS STEEL. USE SLIM PROFILE DISAPPEARING HEADS WHERE APPROPRIATE.
- ALL 2 X FRAME CONNECTIONS TO BE MORTISE AND TENON JOINTS, GLUED AND PINNED.



**2** ENTRY GATE - Section

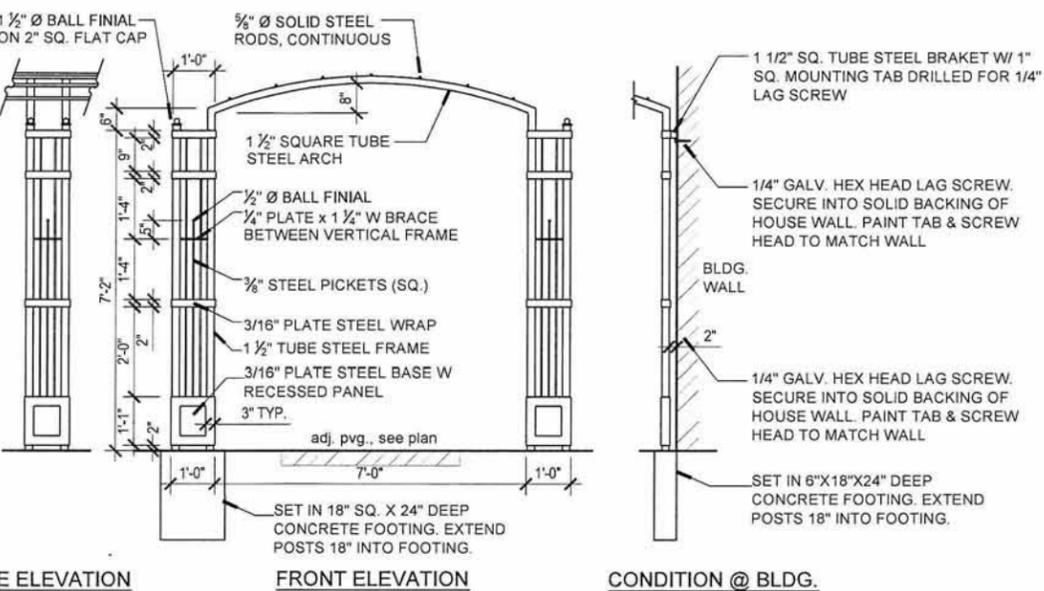
Scale: 3/4" = 1'-0"

- NOTES:**
- CUSTOM STEEL ANCHOR POST AND BRACKET TO BE ALL WELD CONSTRUCTION W/ 2 COATS FACTORY PRIMER + 2 COATS LOW LUSTER BLACK PAINTED FINISH.
  - BARN DOOR TRACK HARDWARE TO BE TRK100 BY ROCKY MOUNTAIN HARDWARE. PROVIDE SHOP DRAWING FOR APPROVAL PRIOR TO ORDER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



**3** TRANSOME HEADER

Scale: 3/4" = 1'-0"



**4** COLONADE

Scale: 1/2" = 1'-0"



**THOMAS-SWAN  
SIGN COMPANY, INC.**

2717 Goodrick Avenue, Richmond, CA 94801  
510-232-9610 • California License #269069

Project:



**WILLIAMS-SONOMA**

Location:

**Culinary Center**

599 Broadway  
Sonoma, CA

0201

Date:

April 30, 2014

Drawing Title:

Storefront Signage

Scale:

Noted

Sales:

Melissa Baugh

Drawn By:

CP

Revisions:

5-23-2014

5-30-2014

6-12-2014

Sheet:

**1.0**

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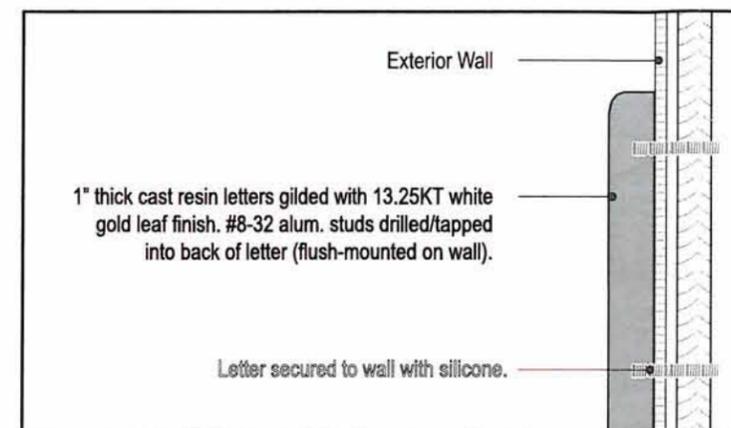
19'-0 1/8"  
16"  
**WILLIAMS-SONOMA**

**A 16" Round - faced 13.25K White Gold-Leaf Letters**

Scale - 1/2" = 1'

SPECIFICATIONS: QTY (1) - SEE DETAIL 1

\* 1" THICK POLY-CAST RESIN LETTERS W/ 13.25KT WHITE GOLD LEAF FINISH



**1 Section - WS Letter Attachment**

Scale: 3"=1'-0"

50 3/4"  
**WILLIAMS-SONOMA** 3.75"

**CULINARY CENTER** 2 1/8"  
32"

WHITE 13 1/4 K GOLD LEAF FINISH VINYL APPLIED ON INSIDE FACE OF GLASS; 'CENTURY SCHOOL BOOK' TYPE FACE

**B 13.25K White Gold-Leaf Vinyl Letters**

Scale - 1 1/2" = 1'

SPECIFICATIONS: QTY (2)

WHITE 13 1/4 K GOLD LEAF FINISH VINYL APPLIED ON INSIDE FACE OF GLASS; 'CENTURY SCHOOL BOOK' TYPE FACE

4" **WILLIAMS-SONOMA** 54.5" **ESTABLISHED 1956** 52.25"

WHITE 13 14K GOLD LEAF FINISH STORE HOURS APPLIED ON INSIDE FACE OF GLASS 'LIGHT HELVETICA' TYPE FACE

1.75" **MON-FRI** 10-8  
**SAT** 10-6  
**SUN** 12-5

NOTE: LETTERING & PLACEMENT TO BE VERIFIED W/ WS BEFORE INSTALLATION.

**D 13.25K White Gold-Leaf Vinyl Letters**

Scale - 1/2" = 1'

SPECIFICATIONS: QTY (1)

**C 13.25K White Gold-Leaf Vinyl Letters**

Scale - 1 1/2" = 1'

SPECIFICATIONS: QTY (1)

**FILE COPY**

JUN 18 2014



**THOMAS-SWAN  
SIGN COMPANY, INC.**

2717 Goodrick Avenue, Richmond, CA 94801  
510-232-9610 • California License #269069

Project:



**WILLIAMS-SONOMA**

Location:

**Culinary Center**

599 Broadway  
Sonoma, CA

0201

Date:

April 30, 2014

Drawing Title:

East Elevation

Scale:

Noted

Sales:

Melissa Baugh

Drawn By:

CP

Revisions:

5-30-2014

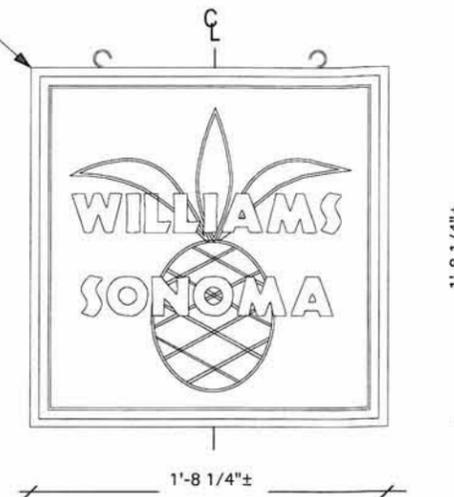
6-12-2014

Sheet:

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ORIGINAL WILLIAMS SONOMA  
BLADE SIGN.

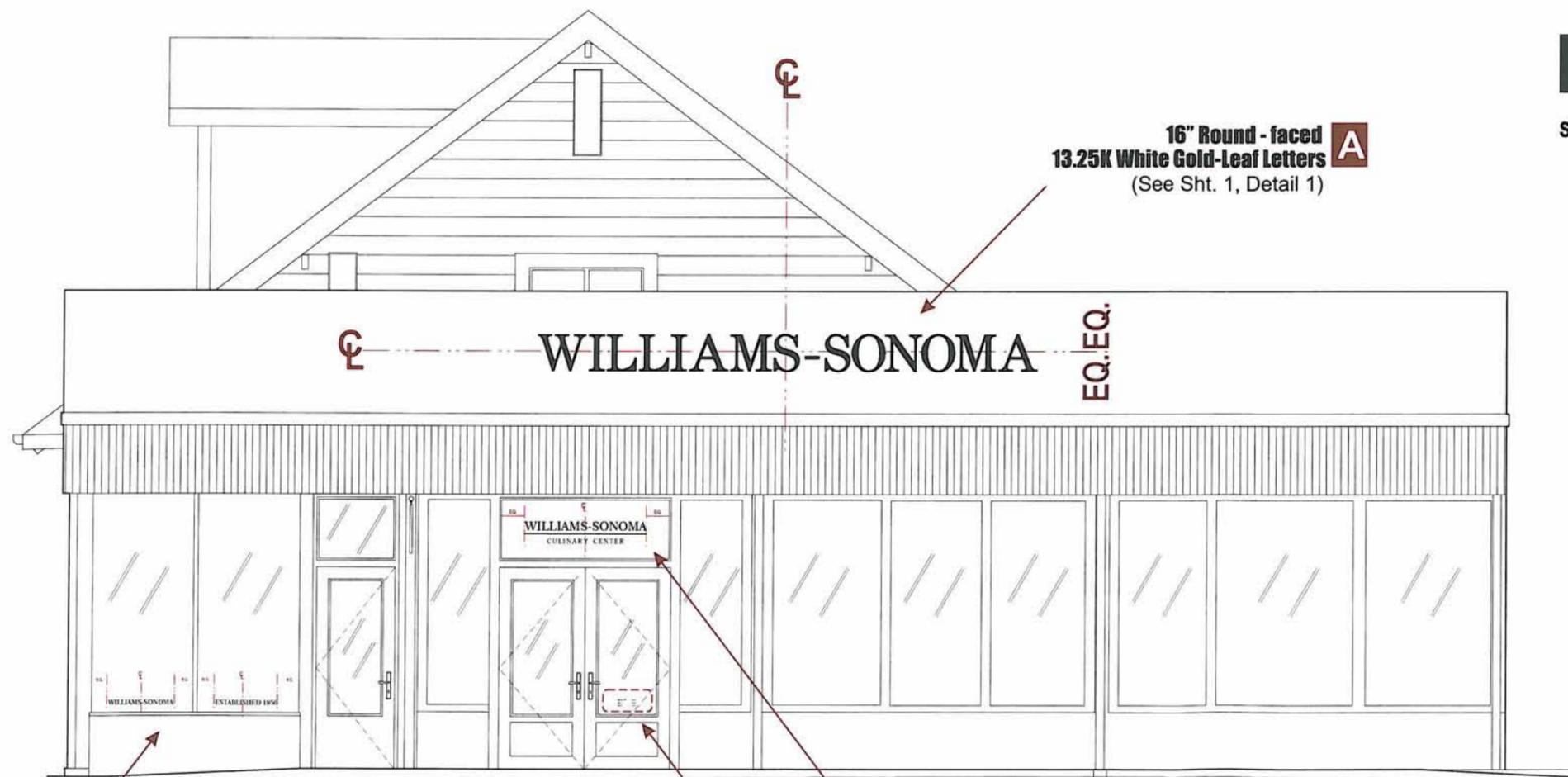


**H Original WS Blade Sign**

Not to Scale

SPECIFICATIONS: QTY (1)

**A** 16" Round - faced  
13.25K White Gold-Leaf Letters  
(See Sht. 1, Detail 1)



2 STOREFRONT - EAST (BROADWAY) ELEVATION  
3/16"=1'-0"

**B** 13.25K White Gold-Leaf  
Vinyl Letters

**C** 13.25K White Gold-Leaf  
Vinyl Letters

**D** 13.25K White Gold-Leaf  
Vinyl Letters

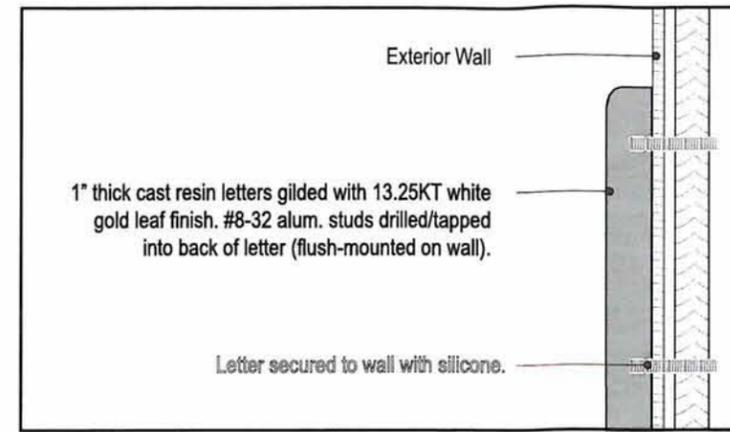
2 EXTERIOR ELEVATION - SOUTH  
3/16"=1'-0"

**H Original WS Blade Sign**

13'-0 7/8"  
 12"  
**WILLIAMS-SONOMA**

**E 12" Round - faced 13.25K White Gold-Leaf Letters**  
 Scale - 1/2" = 1'

**SPECIFICATIONS: QTY (1) - SEE DETAIL 1**  
 \*1" THICK POLY-CAST RESIN LETTERS W/ 13.25KT WHITE GOLD LEAF FINISH



**E 12" Round - faced 13.25K White Gold-Leaf Letters**



3 EXTERIOR ELEVATION - WEST  
 3/16" = 1'-0"

**B 13.25K White Gold-Leaf Vinyl Letters**



**THOMAS-SWAN SIGN COMPANY, INC.**  
 2717 Goodrick Avenue, Richmond, CA 94801  
 510-232-9610 • California License #269069

Project:



**WILLIAMS-SONOMA**

Location:

**Culinary Center**

599 Broadway  
 Sonoma, CA

0201

Date:

April 30, 2014

Drawing Title:

West Elevation

Scale:

Noted

Sales:

Melissa Baugh

Drawn By:

CP

Revisions:

5-23-2014

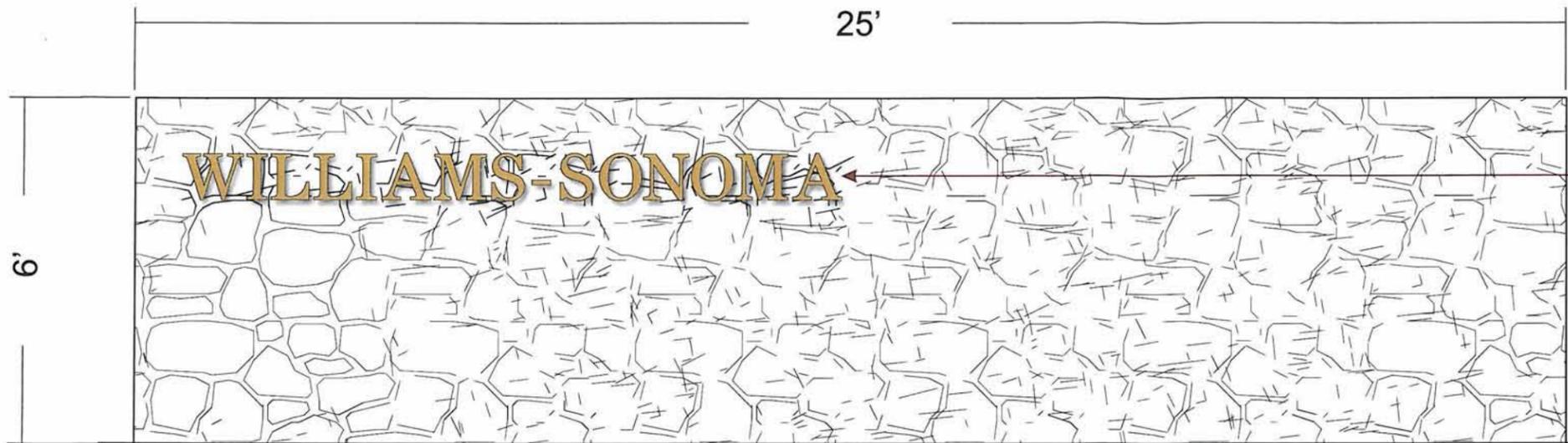
5-30-2014

6-12-2014

Sheet:

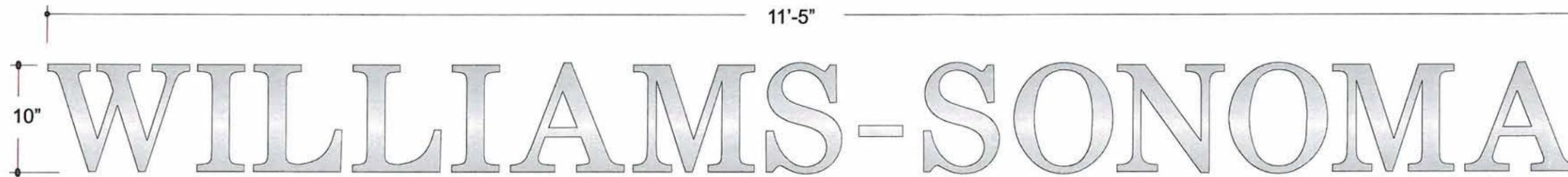
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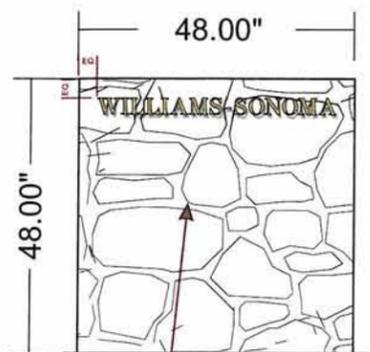
Scale - 3/8" = 1'

**G** 10" Round - faced  
13.25K White Gold-Leaf Letters



**G** 10" Round - faced 13.25K White Gold-Leaf Letters  
Scale - 1" = 1'

SPECIFICATIONS: QTY (1) - SEE DETAIL 2  
\* 1" THICK POLY-CAST RESIN LETTERS W/ 13.25KT WHITE GOLD LEAF FINISH



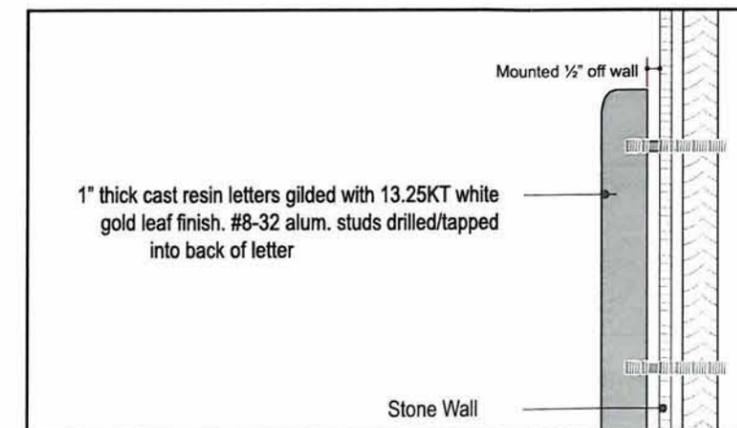
Scale - 3/8" = 1'

**F** 3" Flat cut  
13.25K White Gold-Leaf Letters  
on double sided monument



**F** 3" Flat cut 13.25K White Gold-Leaf Letters  
Scale - 1 1/2" = 1'

SPECIFICATIONS: QTY (2) - SEE DETAIL 2  
1/2" THICK ALUMINUM LETTERS W/ 13.25KT WHITE GOLD LEAF FINISH



**2** Section - WS Letter Attachment - Stone Wall  
Scale: 3"=1'-0"



**THOMAS-SWAN  
SIGN COMPANY, INC.**  
2717 Goodrick Avenue, Richmond, CA 94801  
510-232-9610 • California License #269069

Project:



**WILLIAMS-SONOMA**

Location:

**Culinary Center**

599 Broadway  
Sonoma, CA

0201

Date:

April 30, 2014

Drawing Title:

Storefront Signage

Scale:

Noted

Sales:

Melissa Baugh

Drawn By:

CP

Revisions:

Sheet:

4.0

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**THOMAS-SWAN  
SIGN COMPANY, INC.**

2717 Goodrick Avenue, Richmond, CA 94801  
510-232-9610 • California License #269069

Project:



**WILLIAMS-SONOMA**

Location:

**Culinary Center**

599 Broadway  
Sonoma, CA

0201

Date:

April 30, 2014

Drawing Title:

Site Plan

Scale:

No Scale

Sales:

Melissa Baugh

Drawn By:

CP

Revisions:

Sheet:

**5.0**

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*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda Item: 4**

**Meeting Date: 07/15/14**

---

**Applicant**

Grandma Linda's Ice Cream

**Project Location**

408 First Street East

---

**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district
- Listed on California Register of Historic Resources
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (See notes)

NOTES: The structure, referred to as the Pinelli building lies within the Sonoma Plaza National Register Historic District, and is designated as a National Register Contributing Building. The building was constructed in 1891 and is described as a vernacular one-story building. Architectural details on the front façade include a leaded glass transom over the entrance along with a metal eyebrow cornice and dentils.

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**Request**

Consideration of a new awning for a commercial building (Grandma Linda's Ice Cream).

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**Summary**

*Background:* On December 17, 2013, the Design Review and Historic Preservation Commission (DRHPC) approved new exterior color modifications and an awning sign located at 408 First Street East. On February 14, 2014, staff administratively approved a Sign Application for two signs proposed at 408 First Street East. The decisions of the DRHPC and staff were appealed to the City Council. On March 17<sup>th</sup> the City Council upheld the decision of the DRHPC to approve the application for design review of exterior color modifications and an awning sign and the appeal of staff's decision to approve the application for the re-facing of a wall sign and a projecting sign located at 408 First Street East. At this time the applicants are proposing a new awing for Grandma Linda's Ice Cream.

*Awning:* The proposal involves installation of a canvas fabric awning on an existing welded aluminum frame above the commercial entrance of the building. In terms of compatibility, the exterior color scheme of the building is primarily a reddish colored rock-faced wall. Photographs of the existing conditions and a sample of the proposed awning color and material is attached. The proposed awning is approximately 3 feet tall by 11 feet wide, the top sheet and valance would be composed of a burgundy canvas fabric all on a black aluminum frame. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 8 feet of clearance above the public walkway, and would extend only 3 feet from the face of the building, resulting in 9 feet of clearance from the end of the awning to the face of the curb. The purpose of the awning is to provide weather protection for the retail store.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

*Note:* During a site visit, staff observed illegal signs consisting of an a-board, a wall sign (CREPES TODAY), and a number of window signs. These signs have not been approved and shall be removed immediately. In addition, staff observed outdoor seating in the form of two benches, two tables, and six chairs. An Outdoor Seating permit has not been approved by the City; therefore, the outdoor seating furniture shall be removed immediately.

***Other permits required:*** In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lisa Sevilla at (707) 933-2205 for information regarding City Encroachment Permits.

## Commission Discussion

### Design Review and Historic Preservation Commission Action

Approved       Disapproved       Referred to: \_\_\_\_\_       Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

1. Drawing of awning and previously approved awning sign
2. Picture of existing conditions
3. Awning samples

cc: Grandma Linda's Ice Cream  
Attn: Dawn and Troy Marmaduke  
408 First Street East  
Sonoma, CA 95476

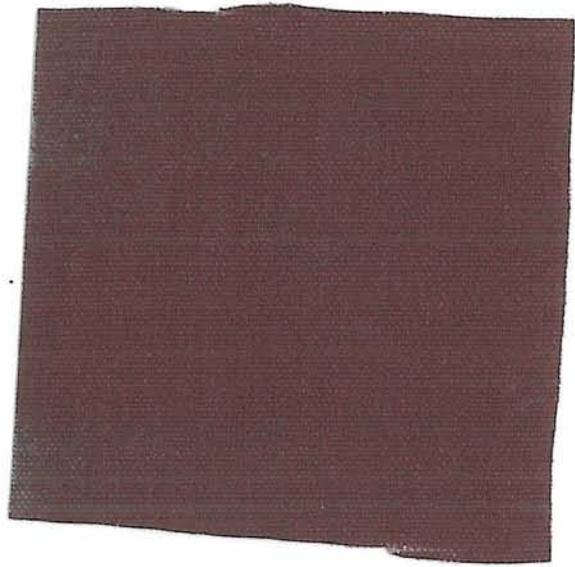
Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

Alan Jones, Administrative Captain





WALL SIGN: 5.5 ft. long by 1.33 ft tall. Made of Dibond aluminum. Colors are white, blue, on mauve background.



AWNING BACK: 10.1 long by 5.6 ft tall. Made of Vinyl laminated UV canvas. Colors are white, blue, on mauve background



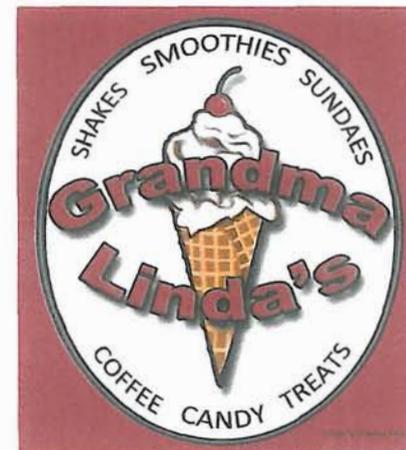
VALANCE SIGNAGE: 10.1 ft long by 9 in. tall. Made of Vinyl laminated UV canvas. Colors are white, blue, on mauve background

PROJECTING SIGN: 16 in.wide by 18 in.tall. Made of Dibond aluminum. Colors are white, blue, on mauve background.

ACTUAL PAINT SAMPLES SUPPLIED

408 1St E, Sonoma  
Dawn & Troy Marmaduke

(Not to Scale)



JUN 17 2014

 Grandma Linda's  
ICE CREAM

ICE CREAM  ICE CREAM



JUNE 17 2014



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda 5  
Item:

Meeting Date: 05/20/14

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**Applicant**

Jeff Zimmerman

**Project Location**

456 Patten Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: circa 1938
- 

**Request**

Design review of a proposed addition to the residence located at 456 Patten Street.

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**Summary**

The applicant is proposing to add 367 square feet of building area to an existing residence at the rear portion of the house.

**Site Description:** The subject property is a 10,500-square foot parcel located on the north side of Patten Street midblock between Fourth Street East and Fifth Street East. The property is currently developed with a  $\pm 1,822$  square foot residence,  $\pm 308$  square foot garage, and  $\pm 523$  square foot guest house. The residence was built in 1938 and is not eligible for listing on the California Register of Historic Resources (refer to enclosed Historical Resource Evaluation 456 Patten Street, Sonoma, Sonoma County, California, dated July, 2014). The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Directly adjoining land uses include single-family homes to the east, west, and north.

**Proposed Project:** The project involves remodeling the existing home and adding a 308 square foot addition to the rear of the structure. The exterior of the existing portion of the residence will remain essentially as it is currently constructed, with the exception of the south elevation where the new addition will be attached. The addition will have a roof at a 2:12 slope, similar to the shed dormer upstairs facing Patten Street. The top edge of the new roof will align with the ridge of the master bedroom and the lower edge will terminate just above the bedroom. Asphalt composite shingles will be used to match the existing roofing. The addition will have horizontal board siding to match the garage and guest house. Further details can be found in the attached project narrative and accompanying materials.

**Zoning Requirements:** The standards of the Low Density Residential zone applicable to the proposal are as follows:

- **Setbacks:** The new addition meets or exceeds the normal setback requirements.
- **Coverage:** At 23%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- **Floor Area Ratio:** The project would result in a F.A.R. of 0.25, which is less than the 0.35 maximum allowed.
- **Parking:** One covered parking space is provided in a detached garage. This meets the requirement.
- **Height:** The one-story addition would have a maximum ridge height of 13 feet, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

**Design Review:** Alterations to existing structures that increase floor area by 10% or 200 square-feet, whichever is greater

located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

*Factors to be considered:* In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;  
*A survey and evaluation was completed for the property in July, 2014. This evaluation found that the residence, garage, and guesthouse are not historic resources and are not eligible for listing on the California Register of Historic, which means that the residence is not an "historical resource" under CEQA.*
2. Environmental features on or adjacent to the site;  
*Staff is not aware of any environmental features on or adjacent to the site.*
3. The context of uses and architecture established by adjacent development;  
*The adjacent properties to the east, west, and north, are developed with single family residences.*
4. The location, design, site plan configuration, and effect of the proposed development.  
*The addition and remodel is located in the Low Density Residential zoning district. The addition would not be visible from Second Street East.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

**Site Design & Architectural Review:** While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was not necessary, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials.

**CEQA Compliance:** *As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA).* Per the historic evaluation prepared by APD Preservation LLC dated July 2014 (attached) the property does not meet any of the criteria for listing on the California Register of Historical Resources. Accordingly, the residence is not considered an historical resource as defined under CEQA and, pursuant to Section 15301 of the CEQA Guidelines, the remodel/addition project is categorically exempt (Class 1 – Existing Facilities).

**Required Findings:** As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features;
4. The project will not impair the historic character of its surroundings;
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site;
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone); and
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

**Other permits required:** In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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### Design and Historic Preservation Review Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Historic Resource Evaluation Cover Sheet
3. Historical Resource Evaluation 456 Patten Street, Sonoma, Sonoma County, California, dated July, 2014.
4. Elevations and renderings
5. Site plan and photos

cc:                    Jeff Zimmerman  
                          100 Gate 6 Road  
                          Sausalito, CA 94965-3140

Stephane and Dana Vivler  
456 Patten Street  
Sonoma, CA 95476

Susan Twomey  
2907 Shelter Island Drive #105  
San Diego, CA 92106-2797

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

Zimmerman + Associates



Design Review and Historic Preservation Commission  
Planning and Community Development  
No. 1 The Plaza  
Sonoma, CA 95465

Dear Commission:

June 17, 2014

The project before you is a remodel and addition to the residence at 456 Patten St. The scope of work consists of a remodel of the kitchen and an extension of the north wall to add a new dining and living space. To our knowledge, there have been two prior additions: a rear guest house and garage in 1982, and a kitchen remodel and addition of the master bedroom in 1989.

There will be 367 sf of conditioned space as part of the work as well as a redesign of the exterior deck. A gate and overhang between the garage and side entry, perpendicular to Patten St., will also be replaced. All of the work shall occur at the rear of the house and will not be visible from the street, except for the gate and overhang. The addition shall have a roof at a 2:12 slope, similar to the shed dormer upstairs facing Patten St. (See Board A1). The new roof's top edge will align with the ridge of the master bedroom, and the lower edge shall terminate just above that of the bedroom. (See Board A2). Asphalt composite shingles will be used to match existing roofing. The addition will have horizontal board siding to match the garage and guest house, while none of the existing stucco on the rest of the house will be changed.

It is our opinion that the proposal has been made in a subtle and elegant manner considering the existing structure and previous additions. Given that almost none of the addition will be seen from Patten St., we feel there is no adverse effect to the neighborhood, nor to the character of the existing residence.

Thank you for your time and consideration,  
Gerardo Guzman

Zimmerman + Associates

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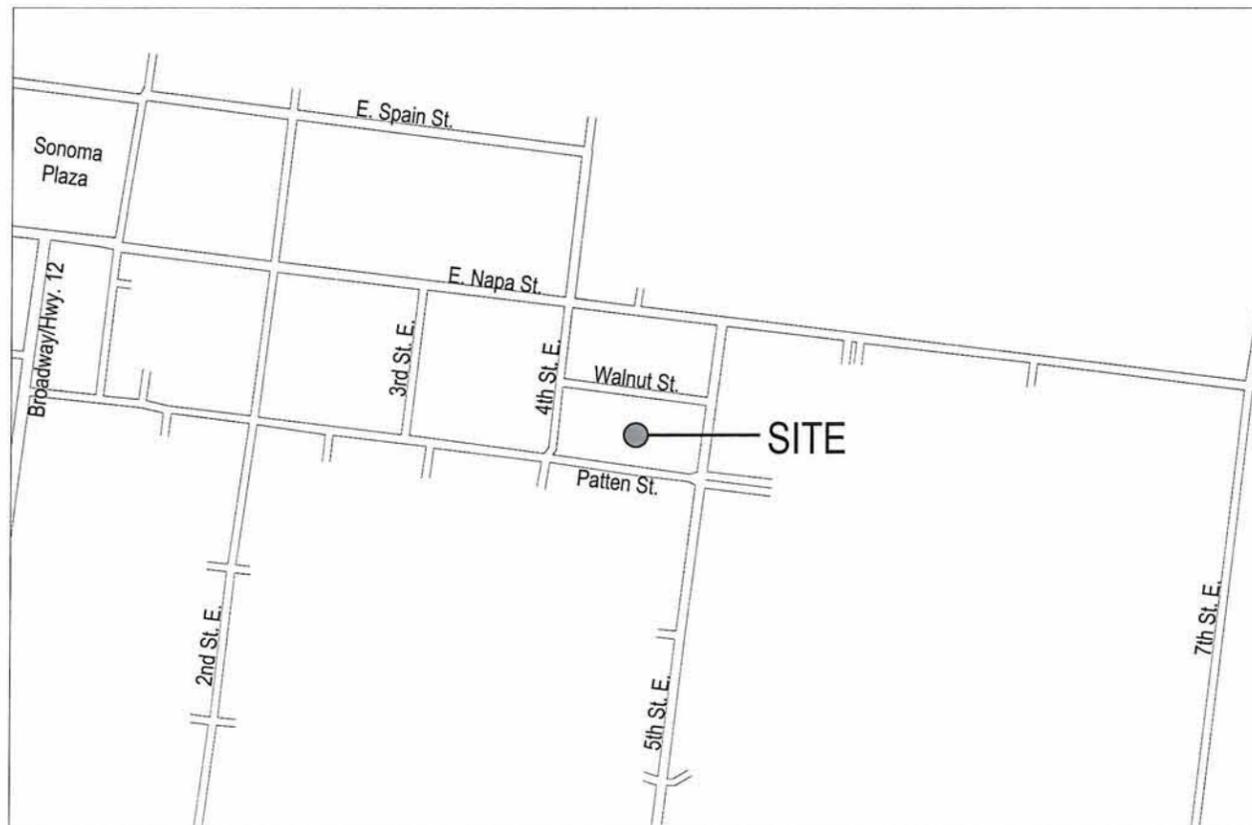
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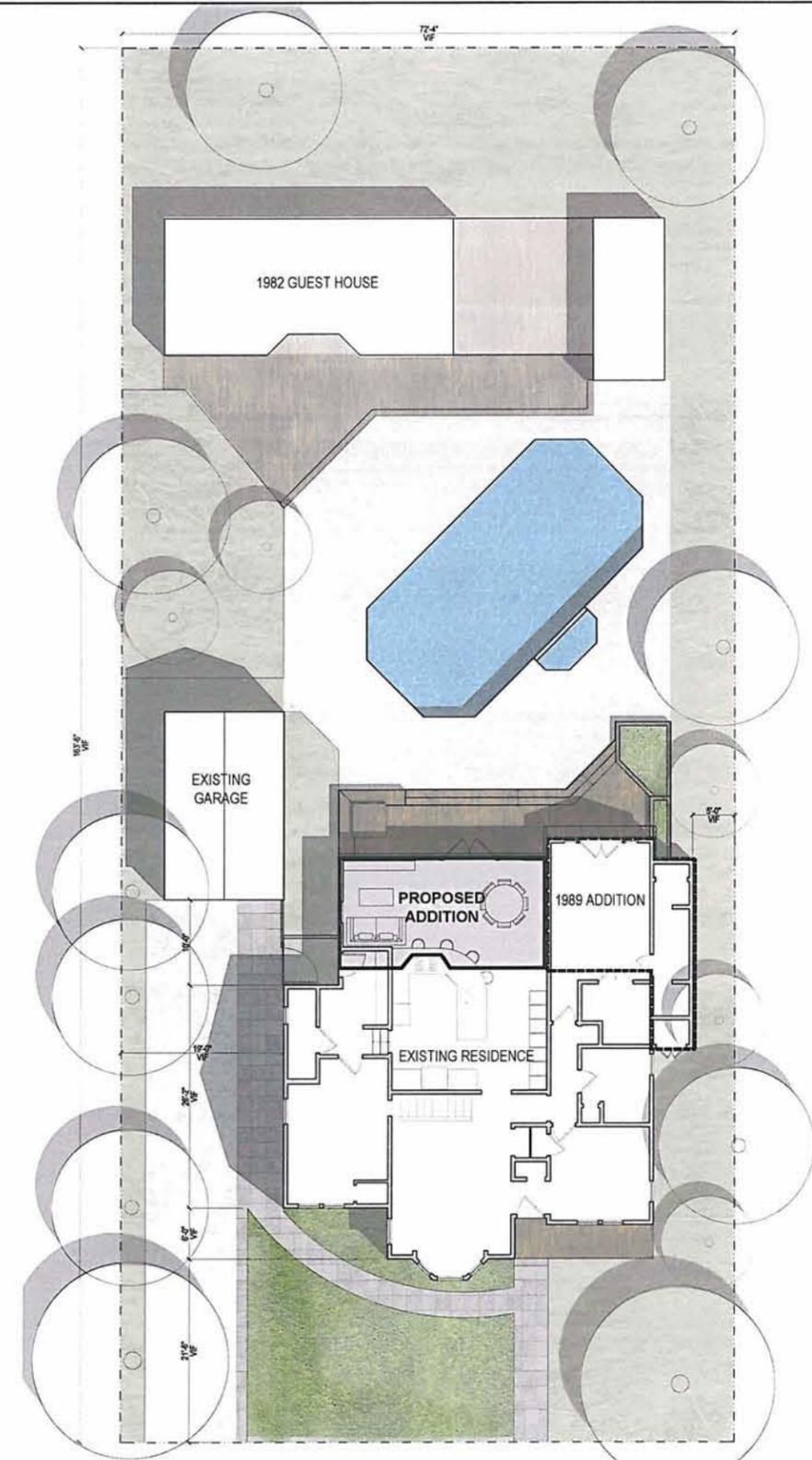


REAR VIEW

PATTEN ST. VIEW



VICINITY MAP



SITE PLAN

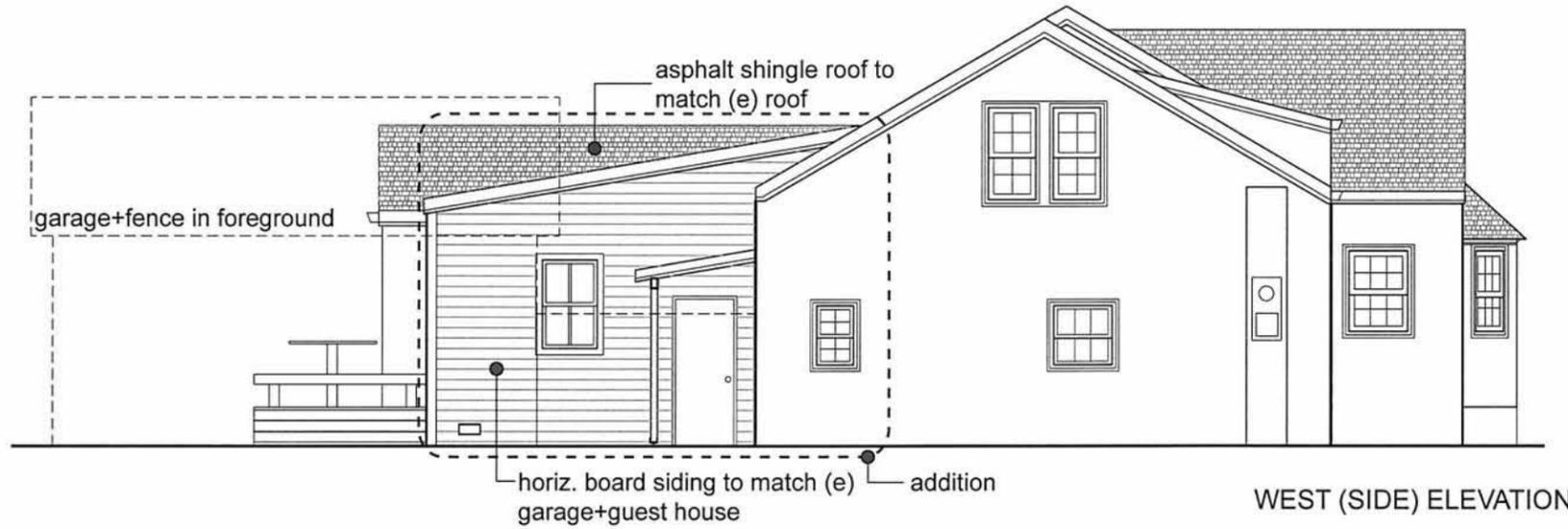
JUNE 17, 2014

VIVIER RESIDENCE\_SITE PLAN + PHOTOS

Proposed Addition  
 456 Patten St, Sonoma CA



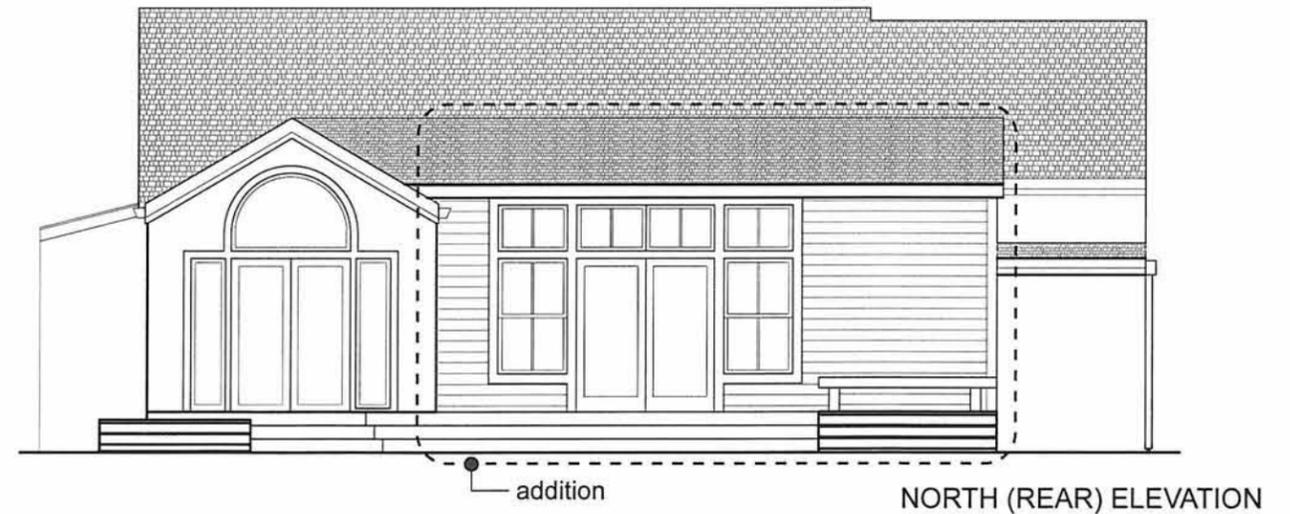
NEW KITCHEN/FAMILY INTERIOR



WEST (SIDE) ELEVATION

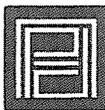


NEW NORTH (REAR) ELEVATION



NORTH (REAR) ELEVATION

JUNE 17, 2014



APD Preservation LLC

2 July 2014

Dana Sexton Vivier & Stephane Vivier  
456 Patten St.  
Sonoma, CA 95476

**Subject: Historic Resource Evaluation (HRE) for 456 Patten Street, Sonoma, CA**

Dear Mr. & Mrs. Vivier:

Attached please find the HRE for your property at 456 Patten Street in Sonoma. Per our agreement, I have analyzed the historic potential of your property. In summary, the house is over 50 years old and it does lie in Sonoma's Historic Overlay District. It is, however, **not historically significant** because it does not meet any of the four criteria of eligibility for the California Register of Historic Resources (association with a significant event, association with a significant person, architecturally significant, potential to yield information). At the same time, it is not included in Sonoma's 1978 Historic Resource Inventory or any other local, state, or national survey or inventory.

The City of Sonoma actively values and protects its historic resources, and has a protocol for evaluating projects that could potentially have adverse effects on those historic resources that define and characterize Sonoma's charm. Any project that involves a structure that is over 50 years old triggers the City's requirement for an evaluation of the resource's historic character. If it is found that the structure is indeed historic, then the owner must assess the potential impacts of the proposed project on those "character defining" features that relay the property's historic nature. Similarly, if the property is historic, the project must be assessed for its compatibility with the "Secretary of the Interior's Standard's for Rehabilitation." Because this house is not historically significant, I have not prepared a detailed analysis of its "character defining features" or a "Secretary of the Interior" assessment.

Sonoma has also created a Historic Overlay District to support its preservation priority. Within this zone, an applicant must prove that:

- The project will not impair the historic character of its surroundings; and
- The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

In this situation, the proposed addition at the rear of 456 Patten Street will not affect any historic resources because the house itself is not historic and because the project will not be visible from the surrounding properties or street. To the second point, no significant historic structures or features have been identified that would require such preservation.

Thank you for giving me the opportunity to research this project. Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,

Alice P Duffee  
APD Preservation LLC

Enclosure: Historic Resource Evaluation

cc: Jeff Zimmerman



APD Preservation LLC

2 July 2014

Dana Sexton Vivier & Stephane Vivier  
456 Patten St.  
Sonoma, CA 95476

**Subject: Historic Resource Evaluation (HRE) for 456 Patten Street, Sonoma, CA**

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Thank you for giving me the opportunity to research this project. Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,

  
Alice P Duffee

APD Preservation LLC

Enclosure: Historic Resource Evaluation

cc: Jeff Zimmerman

Historic Resource Evaluation  
456 Patten Street, Sonoma,  
Sonoma County, California  
(APN 018-273-027-000)



**Prepared for:**

Dana & Stephane Vivier  
456 Patten Street  
Sonoma, CA 95476



**Prepared by:**

Alice P. Duffee, Historic Preservation Planner  
APD Preservation LLC  
July 2014

## **Project Overview & Executive Summary**

The owners of the house at 456 Patten Street in Sonoma, California, are planning a project to remodel and expand the house towards the rear of the lot. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property. This report is the result of that evaluation.

The purpose of the report is to determine if the house qualifies for the California Register of Historic Resources (California Register) and, if so, to assess the potential impact of the proposed project on the property.

The proposed project entails constructing an addition on the north (rear) facade, partially filling in the “L” currently made by the 1989 addition and the main block of the 1938 house. The addition would contain approximately 367 square feet and would require removing a section of the north wall of the original house, including the bay window in the kitchen. The front façade and the overall street appearance of the property would not be changed. Only the side gate and the overhang of the addition would be visible from the street.

Though the house is 76 years old, it is not eligible for the California Register because it does not meet any of the Register’s criteria of eligibility (association with a significant event, association with a significant person, architecturally significant, potential to yield information). While the house is within the City of Sonoma’s Historic Overlay District, it is not included in any local or state historic resources surveys, including the Sonoma Valley League for Historic Preservation’s 1978 survey and its subsequent updates. The following modifications made to the house have further eroded the architectural character of the property: replacement of all windows, addition of a wing on the northeast corner (1989), conversion of the original garage into living space.

## **Methodology**

On June 27, 2014, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Sonoma County Recorder’s office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- Northwest Information Center (NWIC)
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

## **Evaluator qualifications**

Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the house at 456 Patten Street in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.



### **Physical Description & Site Location**

The house at 456 Patten Street sits on the north side of Patten Street, approximately midway between Fourth Street East and Fifth Street East in the City of Sonoma. It is separated from its neighbor on the west by a large hedge, a trellis fence, and a mature redwood. It is separated from its neighbor on the east by a wood plank fence and landscaping. The rear of the property is secluded and private, not being visible from the street or its neighbors. The streetscape is established mature landscaping around modest single family residences from the early to mid twentieth century. This section of Patten Street has two lanes of traffic (two-way) with street parking on both sides.



*Location of 456 Patten Street (Sonoma Quadrangle, USGS Map, 2012)*



*Aerial view of Parcel*

## Description

The house at 456 Patten Street is “L” shaped with a gabled roof and two intersecting gabled sections. It is set back from Patten Street, in line with its neighbors, and separated from the street by a small yard with mature landscaping and a low wood rail fence. All sections of the structure are stuccoed and rest on a concrete foundation. The garage is on a slab, while the main block and the modern addition are slightly elevated. The roof, including the porches and bay windows, is modern asphalt shingle. All of the windows have been replaced with modern, energy efficient sashes.

The oldest section of the house dates to 1938 and consists of a single-storey rectangular block with an intersecting gable that projects off of the west end. A one-and-a-half storey garage (also from 1938) abuts the house on the west gable, and is slightly lower than the main block of the house. A shed roof dormer with a pair of two-over-two, double hung sash is centered on the garage wing, though not over the original garage opening. When the garage was converted to living space, the garage opening was infilled with a pair of two-over-two double hung sash windows set in a simple wooden frame. The garage patch is still visible in the stucco around the windows.

The projecting, intersecting gabled section consists of a three sided bay window with a hipped roof and six-over-six, double hung windows. A simple wooden frame defines the windows. At the peak of the gable, a wooden louvered opening provides ventilation to the attic.

A concrete path leads from the street, up two cement steps to the front porch, immediately east of the intersecting gable. The roof extends down to form this porch that spans the remaining section of the house from the intersecting gable to the east corner. Square, 4x4 posts support the porch and are topped with applied decorative brackets. Inside the porch, exposed rafters cross the simple clapboard ceiling. The posts are bolted onto a low brick half wall, laid in running bond with untooled joints. The poured concrete floor contains simple tooled joints to delineate the space.

The entrance is centered on this south façade, immediately east of the projecting gabled mass. The door is nestled in an arched recess, up a small step. It consists of two arched, flat panels and a “speakeasy” grill. A pair of two-over-two, double hung windows fill the space next to the front door. Like the other windows throughout the house, the sashes have been replaced though the original wood frame remains.

The west elevation is the gable end of the original garage. It contains two single windows at the first storey, both with replacement sash set in the original frames. The northernmost window is two over two double hung; the southernmost window is three over three double hung and was added when the garage was converted into living space. At the second storey, a pair of two-over-two windows is centered under the peak. The original cornice of the main block of the house is visible just above roofline of garage. A utility conduit abuts the southwest corner.

The roof line of this garage section extends over the north eave to make a simple shed roof porch, supported on unadorned 4x4 posts. Like the front porch, it has exposed joists and clapboard frame ceiling. A wood board fence encloses the yard on three sides and has a gate by the shed roof porch. A contemporary door with a nine paned window and a paneled base is centered under the porch.

At the rear (north) façade, a one-storey, gable roofed addition, built in 1989, extends off of the east corner into the back yard. The addition has a pair of single paned French doors flanked by full length side lights and an arched single paned transom in the peak. The joists are exposed under the overhanging roof. A shallow step from the French doors leads onto a wood deck. The west side of addition has two double hung windows; the east side is blank.

A modern frame pergola shelters the back door, and attaches to the 1989 wing. A modern back door has been cut into the body of the 1938 house and consists of single paned glass French doors to match the doors in the 1989 addition. The doors are flush with the wood deck and are surrounded by a plain board frame. West of the pergola, a hipped roofed, three-sided bay window with replacement sashes in the original wood frame projects from the plane of the wall.



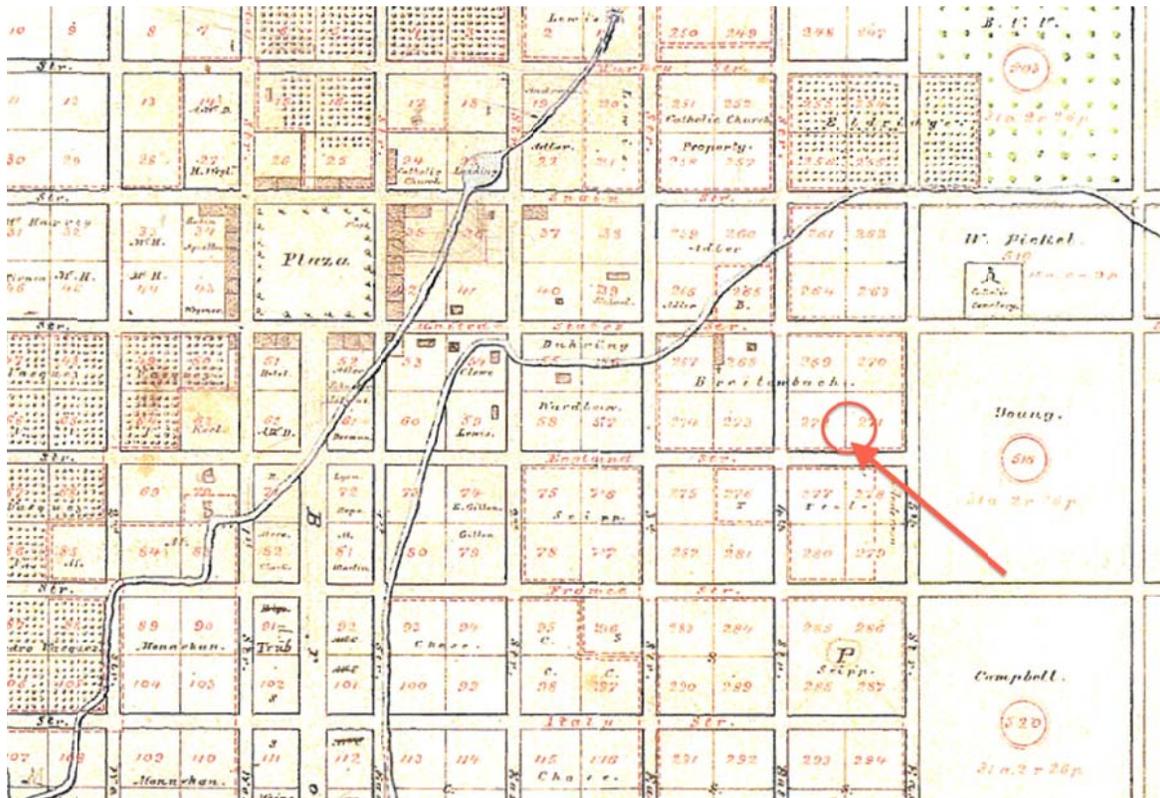
Heavy landscaping and proximity to the wood perimeter fence limit access to the east (side) elevation. A single wood louvered ventilation opening occupies the peak of the gable, and several ventilation openings are cut into the foundation. Two windows match the other windows throughout the house with replacement sash set in original frames. The modern addition projects off the rear corner several feet to the east.

A gable roofed, frame garage sits just off the northwest corner of the house and was constructed in 1982. A gable roofed, frame guesthouse/poolhouse sits at the rear of the property enclosing the pool area. It, too, was constructed in 1982.

### **Historical Context of Sonoma**

The house at 456 Patten Street is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

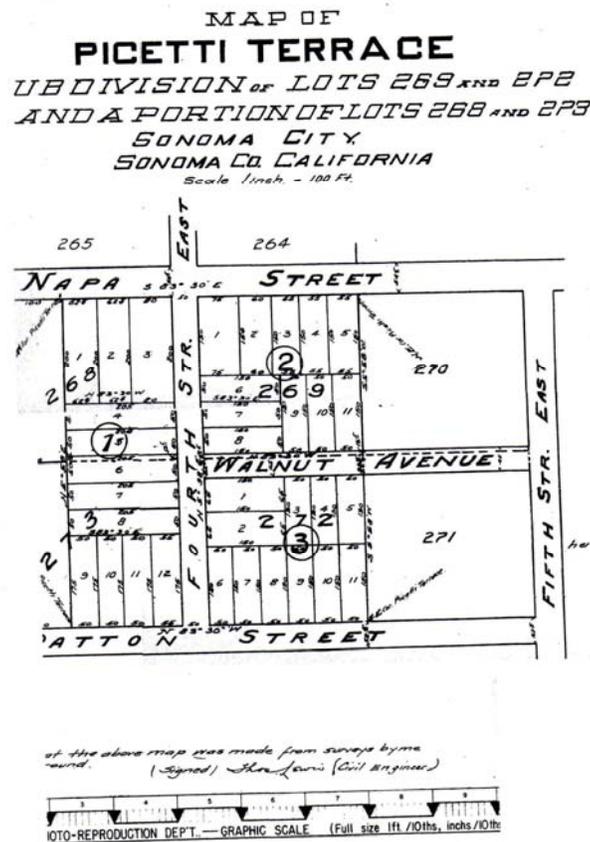


Detail of Otto V. Geldern's 1875 *Plan of Sonoma* showing property location.

## History of 456 Patten Street

The lot that contains 456 Patten Street was on the border of what were originally known as Blocks 271 and 272 on the early pueblo map. It was on the outer edge of the city grid, and beyond the range of the Sanborn Fire Insurance maps of the late nineteenth and early twentieth centuries. In 1875, the current address was vacant and was part of a larger parcel owned by Francis Breitenbach, a German immigrant and Sonoma's Justice of the Peace (see map below).<sup>1</sup> The street was called England Street at that time.

In the early 20<sup>th</sup> century, Filippo Picetti purchased the land from Francis Breitenbach's son, Louis. The Picettis immigrated from Genoa, Italy, to the United States in 1881 and were living in San Francisco by 1900.<sup>2</sup> By 1910 they were in Sonoma.<sup>3</sup> In April 1915 Picetti subdivided Lots 272 and 273 into 22 parcels. The house at 456 Patten Street includes 15.5" of the southeast parcel of Lot 272, known as Lot #11 in Block 3 of the "Picetti Terrace" subdivision.<sup>4</sup>



"Picetti Terrace," April 12, 1915. 456 Patten includes 15.5" off the eastern side of Lot #11, Block 3.

In August 1938 Edward Benjamin Young and his wife, Neva, took on a \$3,500 mortgage to buy the vacant lot and build a house.<sup>5</sup> Edward was originally from Iowa, was a World War I veteran, and moved

<sup>1</sup> 1880 U. S. Census. [www.ancestry.com](http://www.ancestry.com).

<sup>2</sup> 1900 U.S. Census. [www.ancestry.com](http://www.ancestry.com).

<sup>3</sup> 1910 U.S. Census. [www.ancestry.com](http://www.ancestry.com).

<sup>4</sup> Map of Picetti Terrace, A Subdivision of Lots 269 and 272 NS Portion of Lots 268 and 273, Sonoma City, Sonoma County, California. April 12, 1915. Book 32, Page 20. On file at the Sonoma County Recorder, Santa Rosa, CA.

<sup>5</sup> Sonoma County Recorder, Book 472, Page 185.



to California with his wife between 1927 and 1930. They initially settled in Glen Ellen where they both worked as “attendants” at the “State Home for Feeble Minded” (now the Sonoma Developmental Center).<sup>6</sup> They hired Rudolph Carl Lange, a local building contractor from Minnesota, to build a “6 room residence.” They filed a “Notice of Completion” for the house with the County Recorder on January 12, 1939.<sup>7</sup> According to the 1940 U.S. Census, the house was valued at \$3,500 and owned and occupied by the Youngs.

The Youngs sold the house to Howard D. McEwen, a widower, in 1959. McEwen remarried soon thereafter and lived in the house with his wife, Lupe (aka “Chachi”), for 22 years until 1981. The property sold to Vintage Enterprises and Judith Adams in 1981, to Francesca Peck in 1988, to the Novas in 1988, to Victoria Graves in 2001, and to the current owners in 2013. Major changes to the property included the construction of a pool, guesthouse and garage in 1982 and the addition of a master bedroom wing in 1989.<sup>8</sup>

### **Determination of Eligibility**

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California if it meets one or more of the four following criteria:<sup>9</sup>

1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. Associated with the lives of persons important to local, California or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.<sup>10</sup>

Though the house at 456 Patten Street is 76 years old and it is within Sonoma’s Historic Overlay District, it does not meet any of the above criteria:

1. It was not directly associated with a major local or regional development trend or event.
2. Its original owner (the Youngs) and builder (Rudolph Lange) were not significant to local, regional, or national history.
3. While the house is typical of modest houses of the late 1930s in terms of design, materials and details, it is not architecturally distinctive.
4. The area has been significantly disturbed by development on the lot, including the installation of a pool, and is not known to contain any archeological resources.

At the same time, the house is neither included in any state or local historic resource survey (such as the Sonoma League for Historic Preservation’s 1978 survey) nor listed in the California or National Register of Historic Places.

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<sup>6</sup> 1930 U.S. Census. [www.ancestry.com](http://www.ancestry.com).

<sup>7</sup> Sonoma County Recorder, Book 469, Page 144.

<sup>8</sup> Information from City of Sonoma Building Department, 7/1/14.

<sup>9</sup> Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.

<sup>10</sup> [http://ohp.parks.ca.gov/?page\\_id=21238](http://ohp.parks.ca.gov/?page_id=21238)



## **Conclusion**

The house at 456 Patten Street is not a historically significant structure and the proposed alterations to this non-historically significant structure do not constitute an adverse effect under the California Environmental Quality Act (CEQA).<sup>11</sup>

## **Resources Consulted**

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- Munro-Fraser, J.P. History of Sonoma County, Including its Geology, Topography, Mountains, Valleys and Streams V1 (1879). San Francisco: Alley, Bowen & Co. Publishers, 1880.
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- Thompson, Thomas H., New Historical Atlas of Sonoma County. Oakland, California: Thos. H. Thompson & Co., 1877 (reprinted by Sonoma County Historical Society, 2003).

Online resources:

[www.accessible.com](http://www.accessible.com)  
[www.ancestry.com](http://www.ancestry.com)  
[www.archives.com](http://www.archives.com)  
[www.archives.org](http://www.archives.org)  
[www.calisphere.universityofcalifornia.edu](http://www.calisphere.universityofcalifornia.edu)  
[www.cdnc.ucr.edu](http://www.cdnc.ucr.edu)  
[www.geneaologybank.com](http://www.geneaologybank.com)

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<sup>11</sup> California Environmental Quality Act Guidelines 15064.5(a)(3) and 15064.5(b).



[hld.huntington.org/cdm/](http://hld.huntington.org/cdm/)  
[www.loc.gov](http://www.loc.gov)



## Photographs

Figure 1: Front (south) facade. ....	11#
Figure 2: Front (south) facade. Garage converted to living space. ....	11#
Figure 3: Front (south) facade. Louvered ventilation opening. ....	12#
Figure 4: Front (south) facade. Detail of front door. ....	12#
Figure 8: Rear (north) facade. 1989 addition on the left. ....	14#
Figure 9: Rear (north) elevation. 1938 bay window. ....	14#
Figure 10: Rear (north) facade. Back doors (replaced). ....	15#
Figure 12: West (side) facade. Rear, shed-roofed porch. ....	16#
Figure 13: 1982 garage. ....	17#
Figure 14: 1982 Guesthouse. ....	17#
Figure 16: West property line. Trellis fence. ....	18#
Figure 17: East property line. Fence and landscaping. ....	19#
Figure 18: North side of Patten, looking west. ....	20#
Figure 19: North side of Patten, looking east. ....	20#
Figure 20: South side of Patten, looking east. ....	21#
Figure 21: South side of Patten, looking west. ....	21#



Figure 1: Front (south) facade.



Figure 2: Front (south) facade. Garage converted to living space.



Figure 3: Front (south) facade. Louvered ventilation opening.



Figure 4: Front (south) facade. Detail of front door.



**Figure 7: Front (south) facade. Window detail in porch.**



**Figure 6: Front (south) facade. Porch detail -brick half wall.**



**Figure 5: Front (south) facade. Porch ceiling and post detail.**



Figure 8: Rear (north) facade. 1989 addition on the left.



Figure 9: Rear (north) elevation. 1938 bay window.



Figure 10: Rear (north) facade. Back doors (replaced).



Figure 11: West (side) facade.



Figure 12: West (side) facade. Rear, shed-roofed porch.



Figure 13: 1982 garage.



Figure 14: 1982 Guesthouse.



Figure 15: West property line  
(looking north).

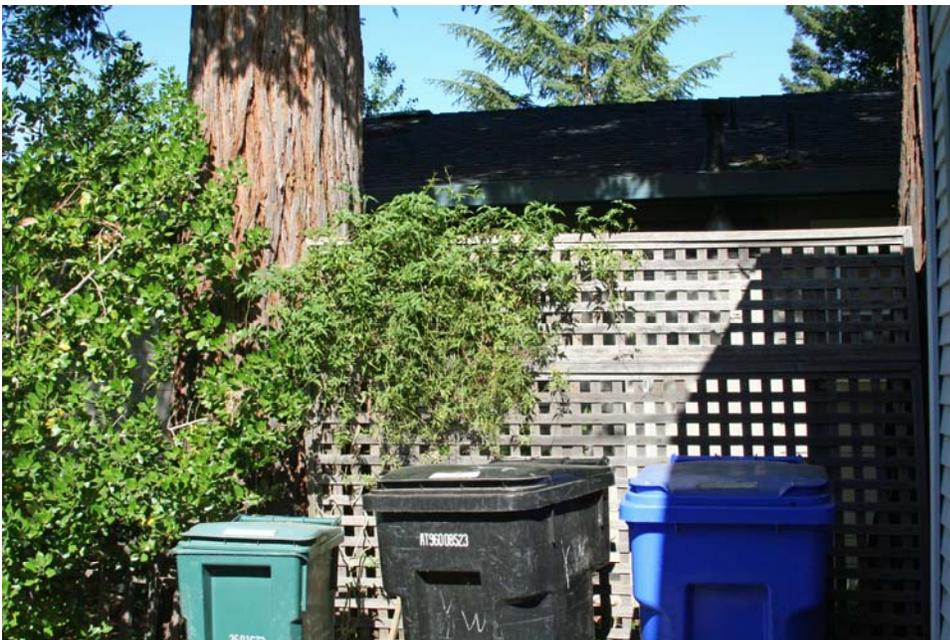


Figure 16: West property line. Trellis fence.



Figure 17: East property line. Fence and landscaping.



Figure 18: North side of Patten, looking west.

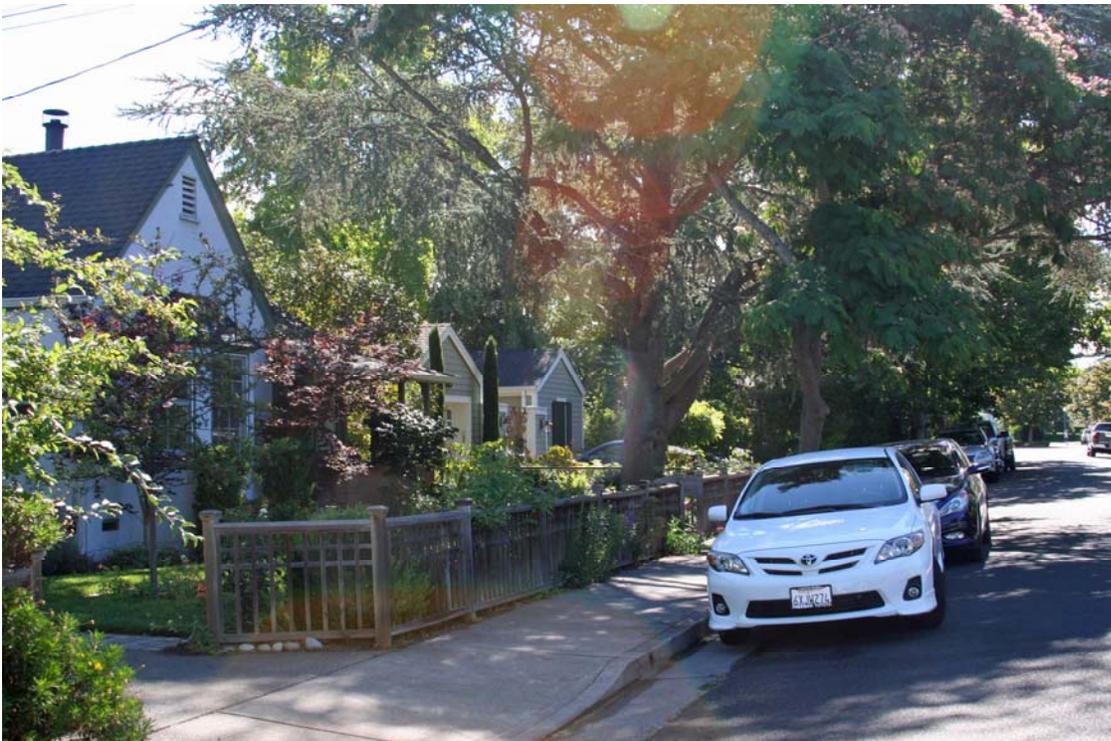


Figure 19: North side of Patten, looking east.

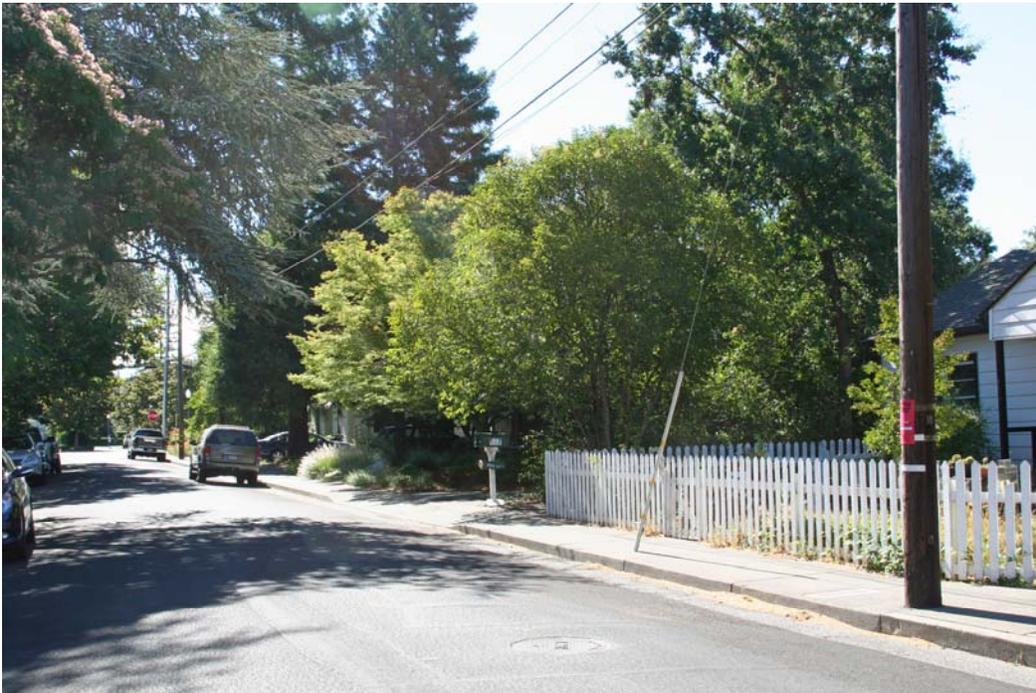


Figure 20: South side of Patten, looking east.



Figure 21: South side of Patten, looking west.



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda** 6  
**Item:**

**Meeting Date:** 07/15/14

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**Applicant**

Marcus & Willers Architects

**Project Location**

165 East Spain Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: 1922

\*Pinelli Bungalow. This structure, which is a contributing building to the Sonoma Plaza National Register District, will be retained as part of the project and rehabilitated as an office in accordance

with

the standards of the Secretary of Interior.

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**Request**

Consideration of a landscape plan for the Mission Square project.

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**Summary**

**Background:** The Mission Square project has been the subject of a lengthy review process that began in 2005 and included the preparation of an environmental impact report and related addenda. After a number of reviews and refinements, a substantially revised and scaled-back proposal was approved by the Planning Commission at its meeting of November 14, 2013. This decision was appealed to the City Council, which conducted its review of the project on February 3, 2014. After holding a public hearing on the matter, the Council voted 4-1 to deny the appeal, thereby upholding the decision of the Planning Commission to approve the project. On May 20, 2014, the DRHPC approved the design of Building 1 (option 2), within the Mission Square development, a mixed use project featuring 3,514 sq. ft. of office space, 14 apartments, and associated parking and improvements. Conditions of approval related to design review are as follows:

- Trees removed to accommodate the project shall be replaced at a ratio of 2:1, and shall include two street trees at a 36-inch box size, plus a third street tree at a 36-inch box size if the existing sycamore street tree cannot be preserved.
- Street trees planted along East Spain Street shall be consistent with the City's Street Tree Planting Program, including the District Tree List.
- The pecan tree shall be preserved.
- An attempt shall be made to preserve the oak tree located at the southeast corner of the property.
- In addition to the noise barrier required by Mitigation Measure NOISE-4, masonry walls or fencing with a minimum height of 6 feet shall be installed along the remainder of south and east property lines and along the west property line where adjoining the Mercato parking lot. This fencing/walls shall be required along the specified project boundaries noted above except at locations where the DRHPC determines existing fencing/screening is adequate or may be repaired.
- A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the DRHPC. The plan shall address site landscaping (including required tree plantings, perimeter buffer/screening plantings, and replacement plantings on the west side of driveway), enclosures, fencing/walls (including the noise barrier required by Mitigation Measure NOISE-4), and hardscape improvements. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance and Development Code Sections 19.40.100 (Screening and Buffering), 19.46 (Fences, Hedges, and Walls), 19.40.070 (Open Space for Multi-Family Residential Projects), 19.48.090 (Landscaping of Parking Facilities), and 19.40.060 (Landscape Standards).
- Mitigation Measure NOISE-4: To attenuate parking lot noise within the adjacent residential area a 6-foot-high solid fence/wall should be constructed on the southeastern (residential) property lines extending from the southeastern corner of the site to the mid-point of Building 6 as shown in Figure 4.6-3. To be effective as a noise barrier the fence/wall should be built without cracks or gaps in the face or base, have a minimum surface weight of

3.0 lbs. per square feet, and be capable of reducing noise traveling directly through it by a minimum of 10 dBA. A wood fence built with a double layer of 1-inch nominal thickness fence boards, where the second layer of boards installed to cover the joints of the first layer would meet these surface weight and noise reduction requirements. Other wall types that will provide the needed level of noise reduction include masonry block, and concrete panel walls.

- Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the DRHPC. All proposed exterior lighting for the building and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development code (Exterior Lighting). No light glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Light standards shall not exceed a maximum height of 15 feet

**Landscaping Plan:** At this time the applicant is requesting review of a landscape plan (attached) for the property. The applicant is proposing to plant thirty-two trees consisting of the following: nine crape myrtle trees; five sweet bay trees; five swan hill olive trees; ten London plane trees; one cork oak; and two drake elm trees. The trees would be supplemented with additional shrubs, vines, and espaliers. The arborist report prepared for the project indicated that twenty trees would require removal. Based on the 2:1 tree replacement ratio, forty trees are required as replacement. The landscape architect has indicated that thirty-two trees are proposed to be replaced (a shortfall of eight trees). The DRHPC has the discretion to allow a tree replacement ratio of less than 2:1. That said, the landscape architect has indicated that twelve replacement trees are proposed at a 36 inch box size and twenty replacement trees are proposed at a 24 inch box size.

**Water Efficient Landscape Ordinance:** As required by the project conditions of approval, the applicant has submitted WELO documentation. A legend listing proposed species and planting sizes is provided for reference. In addition, water budget calculations prepared by the landscape architect (attached) demonstrate compliance with Sonoma Municipal Code §14.32, Water Efficient Landscaping. The calculations indicate that the proposed landscaping would utilize 174,967 gallons or 95% of the associated annual water budget allotment of 184,598 gallons.

**Landscape Exterior Light Fixtures:** At this time the applicant is proposing landscape lighting only. The comprehensive exterior lighting plan will be reviewed by the DRHPC at a future meeting. Per the attached schedule (Sheet L1.1), sixteen each bollards (Vista Lighting #1455) are proposed in the landscaped area. Specification sheets for the proposed light fixtures are attached for consideration.

**Fencing:** Four types of fencing are proposed for the project: a split-face concrete block wall (sound wall), a wire mesh fence, a six-foot tall wood fence with vertical boards, and the three different, three-foot tall, designs. The six-foot tall concrete split-face concrete block wall is proposed from the southeastern corner of the site to the mid-point of the building in the southeastern corner of the property and from the southeastern corner of the site north along the parking area. The wire mesh fence is proposed to extend west from the concrete wall to the southwest corner of the property and along the west property line along the Mercato parking lot. The six-foot tall wood fence with vertical boards is proposed to delineate the areas around the residential units adjacent to the eastern property line. Three varieties of three-foot tall fence are proposed: an iron fence (flat bar grid); an iron fence; and, a wood picket fence. The three-foot tall fence varieties are proposed along the driveway area and adjacent to East Spain Street.

**Findings for Project Approval:** For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.

8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

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**Commission Discussion**

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**

Attachments

1. *Project narrative*
2. *City of Sonoma Maximum Applied Water Allowance Form, Estimated Total Water Use Calculations, and Hydrozone Table Form*
3. *Lighting specification sheet*
4. *Picture of light*
5. *Color coded fence site plan*
6. *Site plan*
7. *Plant schedule*
8. *Planting plan*

cc:    Marcus & Willers Architects  
      873 First Street West  
      Sonoma, CA 95476

Mary Martinez, will call at City Hall

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

City of Sonoma  
Planning Staff & Commissioners  
No. 1 The Plaza  
Sonoma, CA 95476

October 18, 2013

## **MISSION SQUARE PROJECT NARRATIVE – LANDSCAPE**

### Concept

The concept driving the proposed landscape for the Mission Square project at 165 East Spain Street is simplicity and practicality - a modern take on the garden at the mission. Strategies to achieve this include using crushed stone as mulch in the planting areas (eliminate the visual distinction between planting and walking areas so that the project seems more open overall), using boulders as seating and to define edges, placing river cobbles in the drainage areas and herbs or herb-like plants where feasible.

### Noise Barrier & Fencing

Per the COA, a 6' tall noise barrier (double-thick fence with no gaps) is proposed on the southern portion of the east property line and on the eastern portion of the southern property line. Between adjacent parking areas and subject property parking areas we propose a vine-covered wire fence. The proposed 3' tall front yard fences are a mix of wood and metal types designed to fit in to (but not duplicate) the mix of fences present in the neighborhood (see examples in the presentation).

### Water-efficient Landscaping

There is no lawn proposed for this project and all irrigation will be drip, inline emitters or bubblers. Because there is no lawn - and all plants are moderate- or low-water use plants and there is no overhead irrigation - this project complies with WELO (a statement of compliance form will be submitted with the building permit).

Landscape Lighting

We are proposing that bollards (max. 36" tall) will provide pedestrian lighting within the project. (The proposed fixture and spacing is subject to change based upon a review from a lighting engineer.)

Stormwater

Our civil engineer has designed the storm-water mitigation areas into the area just south of the parking lot. Proposed planting (that comply with requirements) are: Juncus patens in the bottom of the swale and festuca rubra for the sides of the swale.

Tree Replacement

(20) trees will be removed from the site – which requires (40) replacement trees. Due to the density of the proposed buildings, as well as the stormwater treatment requirements that further restrict tree planting, there is insufficient room to plant the required replacement trees. Instead we are requesting that we be allowed to mitigate the shortcoming by increasing the planted size from the typical 15-gallon to (12) 36" box trees and (20) 24" box trees.

Yours Sincerely,  


Paul Harris, M.A.  
Principal  
Imagine Sonoma

**Estimated Total Water Use Calculations**

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ETo)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE

Irrigation Efficiency (IE) Table	
Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

ETWU Calculations (show calculations)					
PF	HA Sq. Ft.	IE (See IE Table)	PF x HA IE (a)	SLA Sq. Ft. (b)	ETWU = 28.58 x $\frac{PF \times HA}{IE}$ + 28.58 x SLA
0.6	6580	.85	4645	0	$(28.58 \times \frac{4645}{.85}) + (28.58 \times \frac{0}{.85}) = 132,754$ gallons/year
0.3	4185	.85	1477	0	$(28.58 \times \frac{1477}{.85}) + (28.58 \times \frac{0}{.85}) = 42,213$ gallons/year
					$(28.58 \times \frac{\quad}{.85}) + (28.58 \times \frac{\quad}{.85}) = \quad$ gallons/year
					$(28.58 \times \frac{\quad}{.85}) + (28.58 \times \frac{\quad}{.85}) = \quad$ gallons/year
ETWU					Sum of above = <b>174,967</b> gallons/year

**Statement of Compliance:**

*This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").*

Paul Harris \_\_\_\_\_ (Print)

\_\_\_\_\_ (Signature)

6/16/2014 \_\_\_\_\_ (Date)



**CITY OF SONOMA  
HYDROZONE TABLE FORM**

Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use				
High water use				
Medium water use	(see plan)	in-line drip	6580	61%
Medium water use				
Low water use	(see plan)	in-line drip	4185	39%
Low water use				
		Total		100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use		
High water use		
Medium water use	6580	61%
Medium water use		
Low water use	4185	39%
Low water use		
	Total	100%

Submitted by: Paul Harris (Print)



(Signature)

6/16/2014 (Date)

**CITY OF SONOMA**  
**MAXIMUM APPLIED WATER ALLOWANCE FORM**

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

**Maximum Applied Water Allowance (MAWA) Calculations**

The project's MAWA is calculated as follows:

$$\text{MAWA} = (\text{ETo})(0.62) \times [(\text{ETAF} \times \text{LA}) + (0.3 \times \text{SLA})]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$\text{MAWA} = 28.58 \times \left[ (0.60 \times \frac{10,765}{\text{LA}}) + (0.3 \times \frac{0}{\text{SLA}}) \right] = \underline{184,598} \text{ gallons/year}$$



**PROFESSIONAL**  
OUTDOOR LIGHTING

Type: \_\_\_\_\_

Model: \_\_\_\_\_

Project: \_\_\_\_\_

## SPECIFICATION SHEET

### MODEL 1455 Architectural Series • Bollards & Beacons

#### FIXTURE SPECIFICATIONS:

**LAMP TYPE:**

A15- Incandescent. 60W Max. Lamp not included with fixture, order separately.

**HOUSING:**

Die-cast, copper-free aluminum with a Turn-to-Lock lamp housing for easy, tool-free maintenance.

**POST:**

2½" diameter, heavy-gauge, extruded aluminum (1/8" wall thickness).

**FINISH:**

Polyester powder-coat finish available in Black, Verde, Architectural Brick, Architectural Bronze, Light Bronze, Dark Bronze, Granite, Pewter, Terracotta, Rust, Hunter Green, Mocha, Weathered Bronze, Weathered Iron, and White.

**SOCKET/LAMP HOLDER:**

Top grade porcelain, medium base 4KV pulse rated socket with spring center contact and a silicone rubber jacket protector to prevent moisture/debris from entering socket.

**LENS:**

Frosted, high-impact, molded, polycarbonate lens.

**MOUNTING:**

Direct-burial post. (Post extended 12" for in-ground or concrete mounting.)

**FASTENERS:**

All fasteners are stainless steel.

**WIRING:**

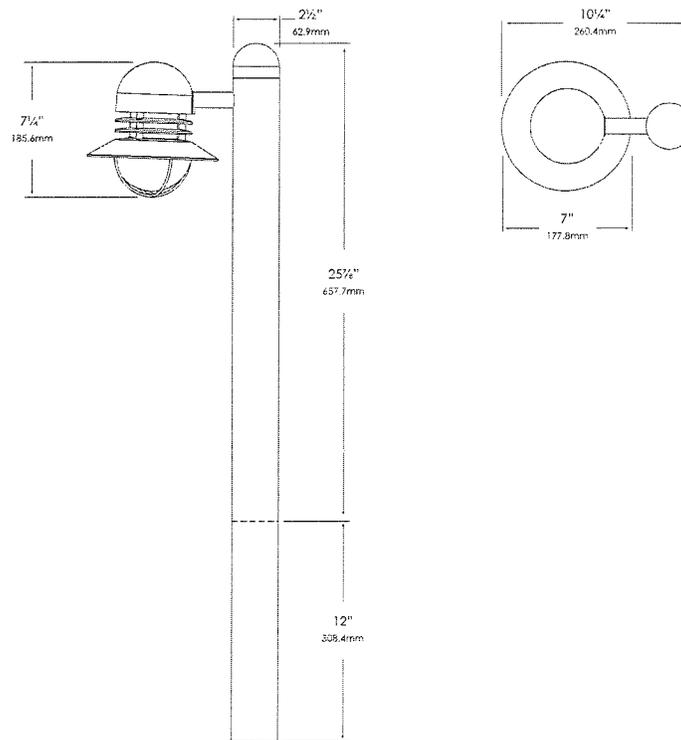
Prewired with 200°C-rated wire along with a grounded lead.

**CERTIFICATION:**

UL Listed to U.S. and Canadian safety standards for line voltage landscape luminaires (UL 1598). The maximum wattages allowed by Underwriters Laboratories (UL) for the U.S. and Canadian markets may vary. Maximum wattages specified are Underwriters Laboratories U.S. standard. Please contact Vista for any questions about the maximum wattages allowed by UL Canadian standards.

All Vista luminaires are MADE IN THE U.S.A.

#### DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.

JUL 09 2014



**PROFESSIONAL  
OUTDOOR LIGHTING**

## SPECIFICATION SHEET

### MODEL 1455 Architectural Series • Bollards & Beacons

#### FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: 1455-B-FR

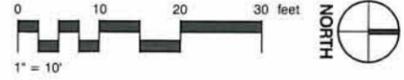
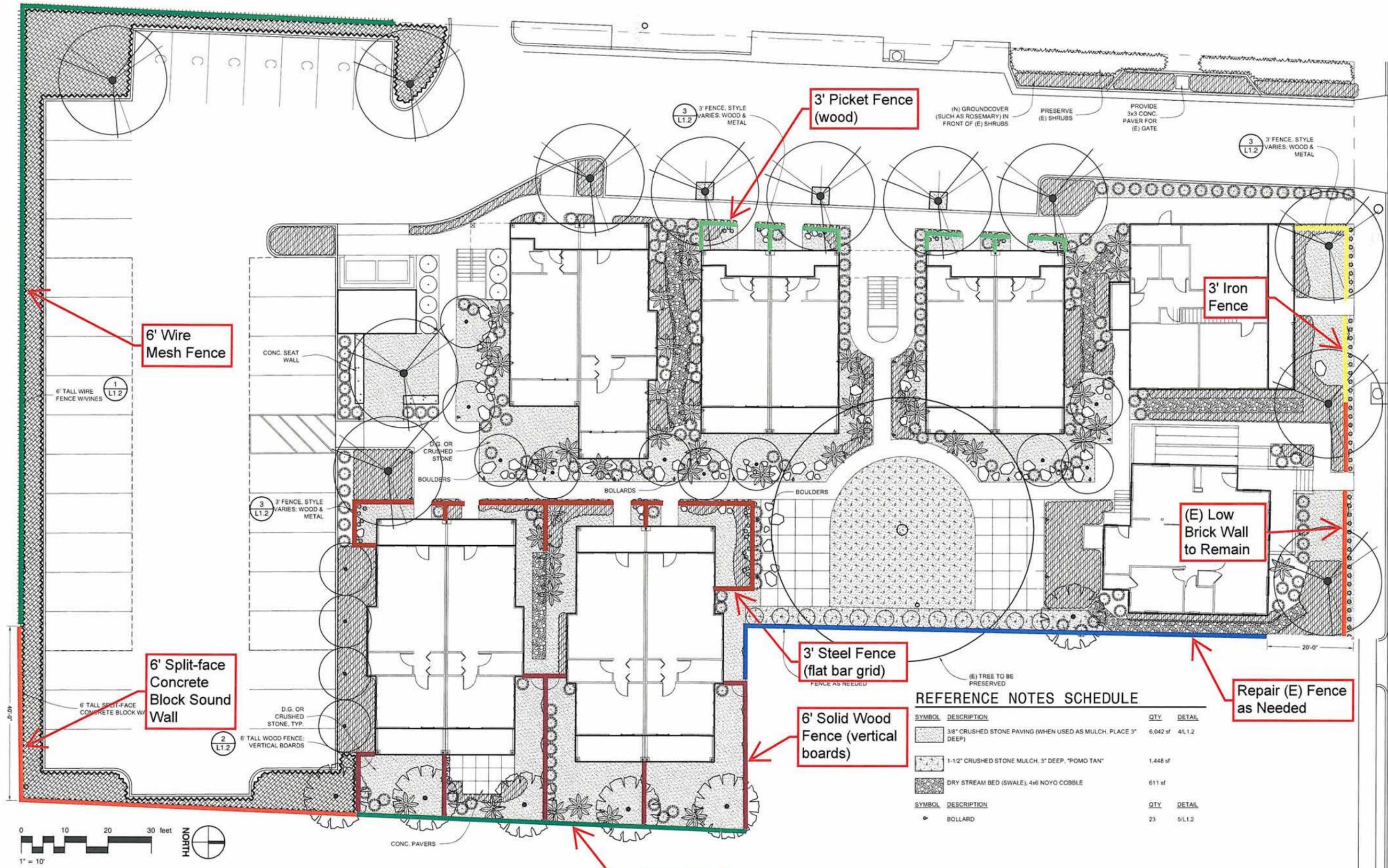
MODEL	FINISH	LENS
1455	B - Black G - Verde BR - Architectural Brick Z - Architectural Bronze LZ - Light Bronze DZ - Dark Bronze GT - Granite P - Pewter TC - Terracotta R - Rust HG - Hunter Green M - Mocha WB - Weathered Bronze WI - Weathered Iron W - White	CR - Clear lens FR - Frosted lens PR - Prismatic lens

Lamp not included with fixture, order separately. For available lamps, see Lamp Guide, Vista catalog.

*Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.*



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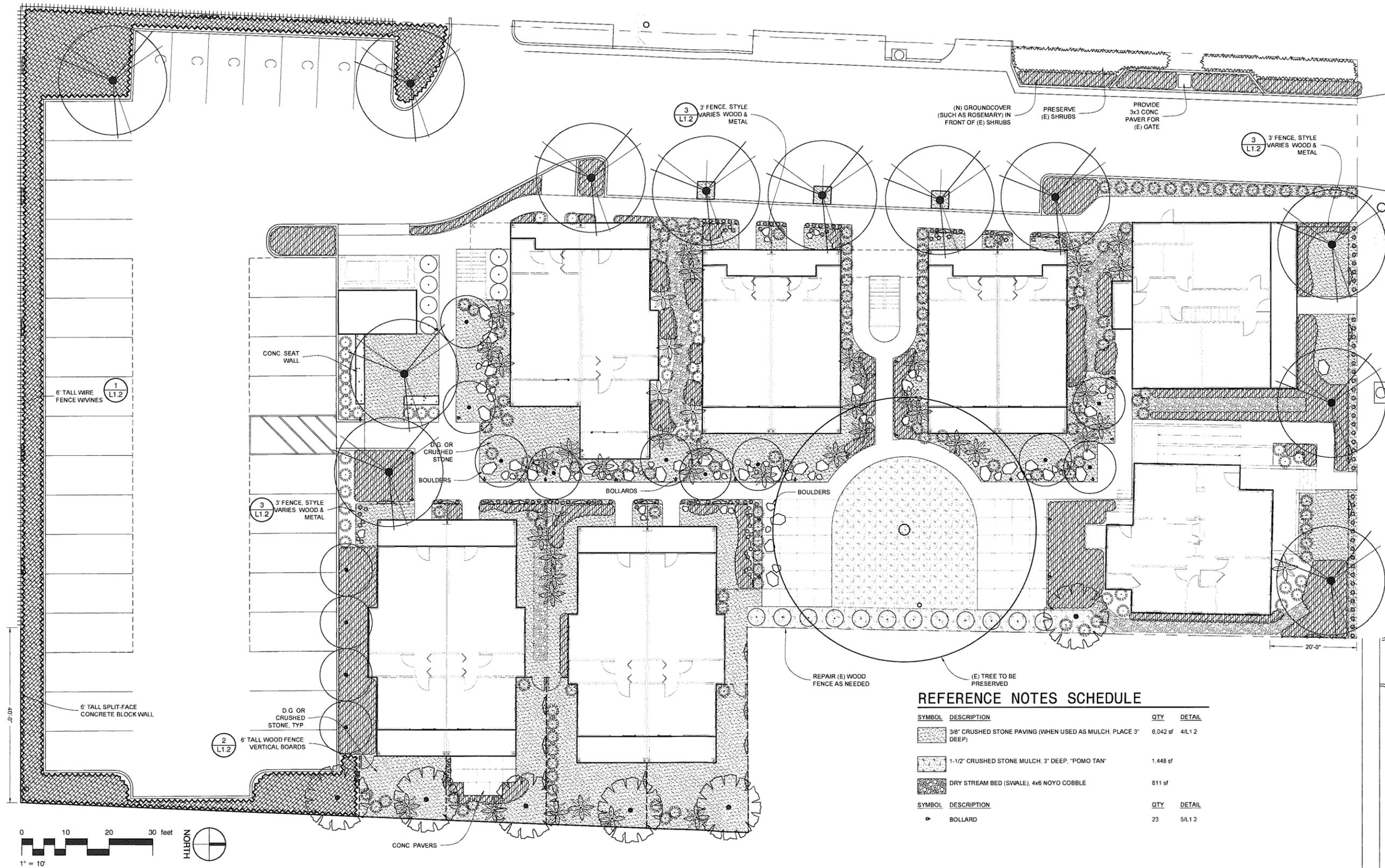


**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL
[Pattern]	3/8" CRUSHED STONE PAVING (WHEN USED AS MULCH, PLACE 3" DEEP)	6,042 sf	4/L1.2
[Pattern]	1-1/2" CRUSHED STONE MULCH, 3" DEEP, "POMO TAN"	1,448 sf	
[Pattern]	DRY STREAM BED (SWALE), 4x6 NOYO COBBLE	611 sf	
SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	BOLLARD	23	5/L1.2

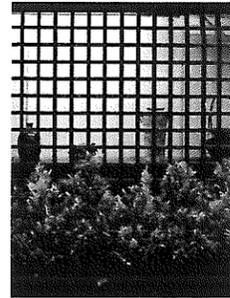
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JUL 09 2014



**REFERENCE NOTES SCHEDULE**

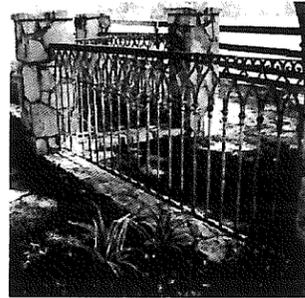
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SYMBOL	DESCRIPTION	QTY	DETAIL
	BOLLARD	23	5/L1.2



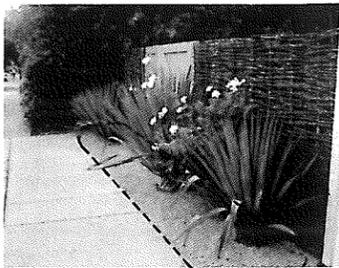
IRON FENCE (FLAT BAR GRID)



WOOD PICKET FENCE



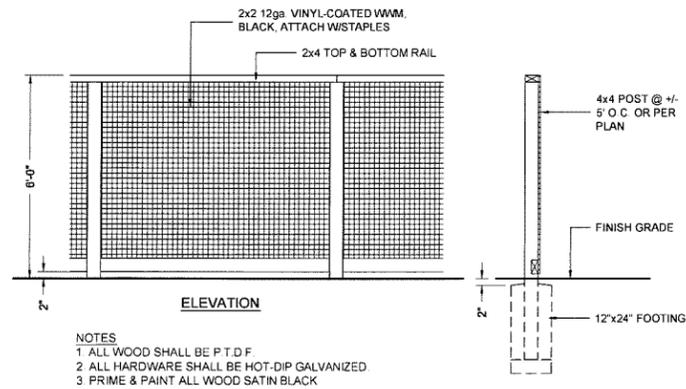
IRON FENCE



PLANT SCHEDULE

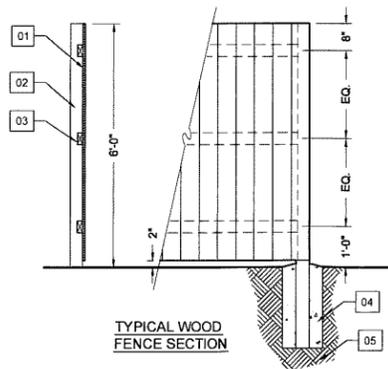
TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
LAG TUS	Lagerstroemia x Tuscarora / Grape Myrtle Coral Pink	24" box	9	STD	
LAU SAR	Laurus nobilis / Saratoga / Sweet Bay	24" box	5	STD	
OLE SWA	Olea europaea / Swan Hill TM / Swan Hill Olive	24" box	5	STD	
PLA COL	Platanus x acerifolia / Columbia / London Plane Tree	36" box	10	STD	
QUE SUB	Quercus suber / Cork Oak	24" box	1	STD	
ULM DRA	Ulmus parvifolia / Drake / Drake Elm	36" box	2	STD	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
CAM JAP	Camellia japonica cvs / Camellia	5 gal	21		
CEA CON	Ceanothus x / Concha / California Lilac	5 gal	2		
CER OCC	Cercis occidentalis / Western Redbud	5 gal	5		
DIE BIC	Diets bicolor / Fortnight Lily	5 gal	16		
DIE VAR	Diets vegeta / Variegata / Variegated African Iris	5 gal	60		
DOD PLR	Dodonaea viscosa / Purpurea / Purple Leaved Hopseed Bush	5 gal	12		
LAV BRE	Lavatera thuringica / Bredon Springs / Tree Malow	5 gal	2		
LEO LIO	Leonotis leonurus / Lion's Tail	5 gal	3		
LEP BUR	Leptospermum scoparium / Burgundy Queen / Tea Tree	5 gal	4		
LEP RUB	Leptospermum scoparium / Ruby Glow / Red New Zealand Tea Tree	5 gal	2		
PHO TRI	Phormium tenax / Tricolor / New Zealand Flax	5 gal	8		
PUN NAN	Punica granatum / Nana / Dwarf Pomegranate	5 gal	5		
PUN WON	Punica granatum / Wonderful / Pomegranate	5 gal	1		
ROS RUG	Rosa rugosa / Rugosa Rose	5 gal	2		
ROS HY2	Rosa x hybrid / Tea Rose	5 gal	6		
ROS TUS	Rosmarinus officinalis / Tuscan Blue / Tuscan Blue Rosemary	5 gal	1		
SAL MEX	Salvia chamaedryoides / Mexican Blue Sage	5 gal	3		
SAL PI2	Salvia greggii / Pink / Pink Autumn Sage	5 gal	6		
SAL BAR	Salvia leucantha / Santa Barbara / Mexican Bush Sage	5 gal	4		
SAL KAW	Salvia spathacea / Kawatse / Hummingbird Sage	5 gal	4		
SAN CHA	Santolina chamaecyparissus / Lavender Cotton	5 gal	7		
SAR RUS	Sarcococca ruscifolia / Fragrant Sarcococca	5 gal	40		
TAG LEM	Tagetes lemmonii / Copper Canyon Daisy	5 gal	2		
YUC VAR	Yucca filamentosa / Variegata / Variegated Adams's Needle	5 gal	7		
ZAU CA9	Zauschneria californica / California Fuchsia	5 gal	5		
SMALL SHRUBS / PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
ALO YEL	Aloe maculata / Yellow Form / Yellow Soap Aloe	1 gal	10		
ALO 234	Aloe variegata / Aloe	1 gal	6		
HEM D10	Hemerocallis Mix / Daylily Mix	1 gal	102		
IRI BE6	Iris germanica / Best Bet / German Iris - Bright Blue	1 gal	26		
TUL SIL	Tulbaghia violacea / Silver Lace / Silver Lace Society Garlic	1 gal	16		
VINE/ESPALLER	BOTANICAL NAME / COMMON NAME	CONT	QTY	REMARKS	
CAM RAD	Campsis radicans / Trumpet Creeper	5 gal	13	train to fence	
HAR HAP	Hardenbergia violacea / Happy Wanderer / Lilac Vine	5 gal	8	train to fence	
PAR VEI	Parthenocissus tricuspidata / Vetch / Boston Ivy	5 gal	6	train to fence	
ROS CEC	Rosa aciculans / Cecile Brunner / Cecile Brunner Rose	5 gal	5	train to fence	
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	REMARKS
FES RED	Festuca rubra / Red Fescue	4" pot	1,122		
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	REMARKS
	Arctostaphylos x Emerald Carpet / Emerald Carpet Manzanita	1 gal	36" o.c.	97	
	Ceanothus gloriosus / Heart's Desire / Heart's Desire Lilac	1 gal	36" o.c.	73	
	Lantana montevidensis / Trailing Lantana	1 gal	24" o.c.	19	
	Polygonum capitatum / Headflower Knotweed	1 gal	18" o.c.	93	
	Rosmarinus officinalis / Huntington Carpet / Huntington Carpet Rosemary	1 gal	36" o.c.	109	
	Rubus peralobus / Emerald Carpet / Bramble	1 gal	36" o.c.	10	

3 3' FENCE OPTIONS  
NTS



1 WIRE MESH FENCE  
1/2" = 1'-0"

4 CRUSHED STONE MULCH  
MI-06 NTS

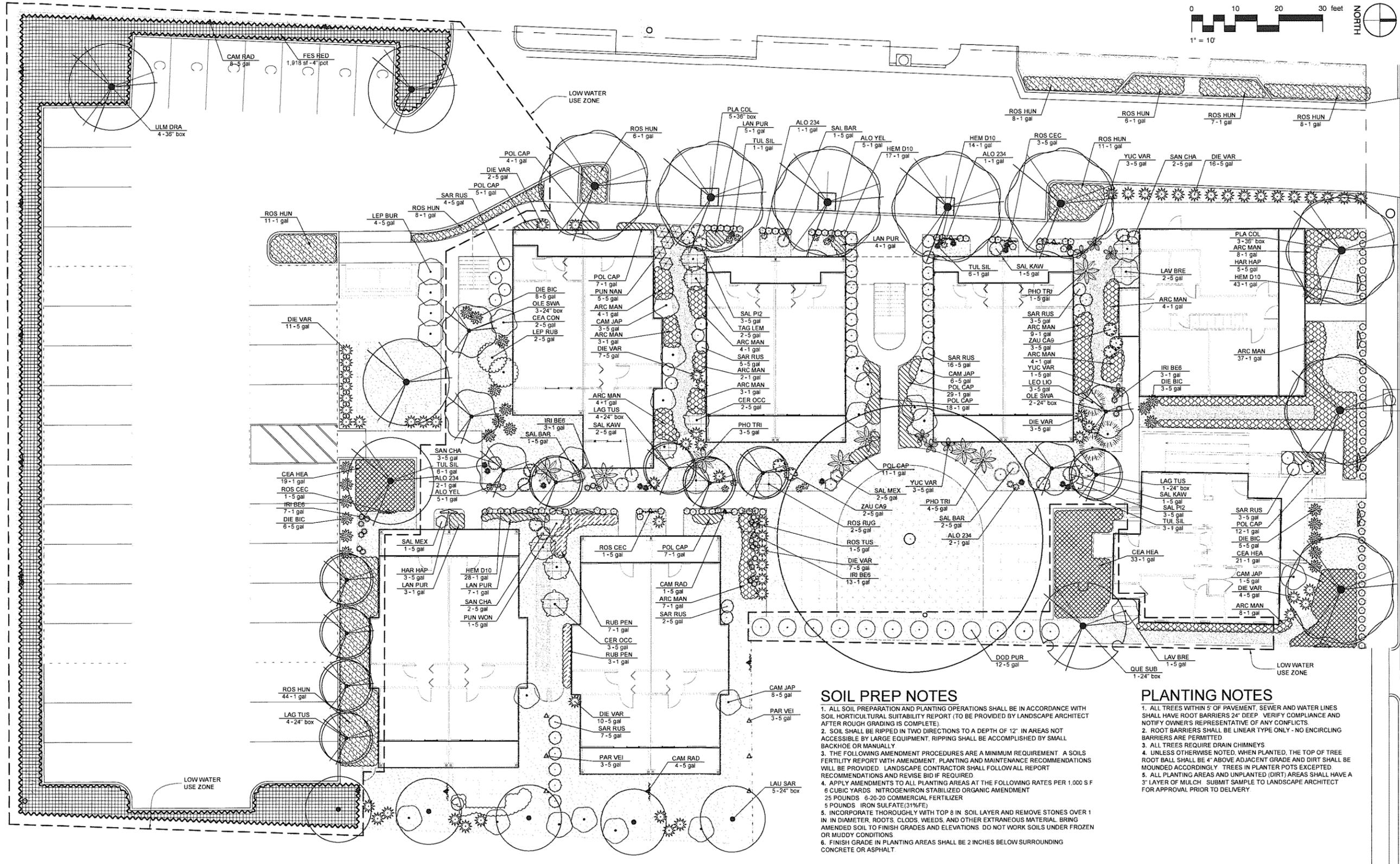


2 WOOD FENCE  
1/2" = 1'-0"

5 BOLLARD: VISTA LIGHTING #1455  
MI-06 NTS

LEGEND  
01 1' X 6" BOARDS - INSTALL BOARDS ON INSIDE OF FENCE (FACING OUR PROPERTY)  
02 4" X 4" POST P.T.D.F. AT 8'-0" O.C.  
03 2" X 4" STRINGERS  
04 CONCRETE FOOTING 12"x24". SLOPE TO DRAIN  
05 UNDISTURBED OR PREPARED SUBGRADE

NOTES  
1. ALL WOOD EXCEPT FOR POSTS SHALL BE CONST. HRT. RESAWN RWD.  
2. ALL POSTS SHALL BE P.T.D.F. GRADE 'B' OR BETTER.  
3. ALL NAILS SHALL BE HOT-DIPPED, GALVANIZED.



**SOIL PREP NOTES**

1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE IN ACCORDANCE WITH SOIL HORTICULTURAL SUITABILITY REPORT (TO BE PROVIDED BY LANDSCAPE ARCHITECT AFTER ROUGH GRADING IS COMPLETE).
2. SOIL SHALL BE RIPPED IN TWO DIRECTIONS TO A DEPTH OF 12" IN AREAS NOT ACCESSIBLE BY LARGE EQUIPMENT. RIPPING SHALL BE ACCOMPLISHED BY SMALL BACKHOE OR MANUALLY.
3. THE FOLLOWING AMENDMENT PROCEDURES ARE A MINIMUM REQUIREMENT. A SOILS FERTILITY REPORT WITH AMENDMENT, PLANTING AND MAINTENANCE RECOMMENDATIONS WILL BE PROVIDED. LANDSCAPE CONTRACTOR SHALL FOLLOW ALL REPORT RECOMMENDATIONS AND REVISE BID IF REQUIRED.
4. APPLY AMENDMENTS TO ALL PLANTING AREAS AT THE FOLLOWING RATES PER 1,000 SF 6 CUBIC YARDS NITROGEN/RON STABILIZED ORGANIC AMENDMENT 25 POUNDS 6-20-20 COMMERCIAL FERTILIZER 5 POUNDS IRON SULFATE(31%FE)
5. INCORPORATE THOROUGHLY WITH TOP 8 IN SOIL LAYER AND REMOVE STONES OVER 1 IN IN DIAMETER, ROOTS, CLODS, WEEDS, AND OTHER EXTRANEIOUS MATERIAL. BRING AMENDED SOIL TO FINISH GRADES AND ELEVATIONS. DO NOT WORK SOILS UNDER FROZEN OR MUDDY CONDITIONS.
6. FINISH GRADE IN PLANTING AREAS SHALL BE 2 INCHES BELOW SURROUNDING CONCRETE OR ASPHALT.

**PLANTING NOTES**

1. ALL TREES WITHIN 5' OF PAVEMENT, SEWER AND WATER LINES SHALL HAVE ROOT BARRIERS 24" DEEP. VERIFY COMPLIANCE AND NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS.
2. ROOT BARRIERS SHALL BE LINEAR TYPE ONLY - NO ENCIRCLING BARRIERS ARE PERMITTED.
3. ALL TREES REQUIRE DRAIN CHIMNEYS.
4. UNLESS OTHERWISE NOTED, WHEN PLANTED, THE TOP OF TREE ROOT BALL SHALL BE 4" ABOVE ADJACENT GRADE AND DIRT SHALL BE MOUNDED ACCORDINGLY. TREES IN PLANTER POTS EXCEPTED.
5. ALL PLANTING AREAS AND UNPLANTED (DIRT) AREAS SHALL HAVE A 2" LAYER OF MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY.