



**City of Sonoma
Design Review Commission
AGENDA**

**Regular Meeting of March 19, 2013 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: **No new items will be heard by the Design Review Commission after 10:30 PM**, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Tom Anderson, Chair

Commissioners: Kelso Barnett
Robert McDonald
Micaelia Randolph
Leslie Tippell
Jeff Baptista (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meeting of February 19, 2013.

CORRESPONDENCE

ITEM #1 – Sign Review

REQUEST:

Consideration of a refaced monument sign, an awning sign, and a wall sign for a restaurant (Peet's Coffee and Tea).

Applicant:

Chris Konecny

Staff: Wendy Atkins

Project Location:

591 Broadway

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:

Broadway Corridor

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #2 – Design Review

REQUEST:

Consideration of a landscape plan for a mixed-use property.

Applicant:

The Land Collaborative

Staff: Wendy Atkins

Project Location:

236 Second Street East

General Plan Designation:

Rural Residential (RR)

Zoning:

Planning Area: Northeast Area

Base: Rural Residential (R-R)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #3 – Design Review

REQUEST:

Consideration of new building colors and a landscape plan for a restaurant.

Applicant:

Sam Turner

Staff: Wendy Atkins

Project Location:

137-139 East Napa Street

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:

Downtown District

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #4 – Design Review

REQUEST:

Design review of a proposed remodel and addition to a single-family home.

Applicant:

John Malick & Associates

Staff: Rob Gjestland

Project Location:

248 France Street

General Plan Designation:

Low Density Residential (LR)

Zoning:

Planning Area:

Central-East Area

Base:

Low Density Residential (R-L)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #5 – Design Review

REQUEST:

Consideration of design review and a landscape plan for two commercial properties.

Applicant:

Three Sticks Wine

Staff: Wendy Atkins

Project Location:

143 West Spain Street/
138 Church Street

General Plan Designation:

Medium Density Residential (MR)

Zoning:

Planning Area:

Downtown District

Base:

Medium Density Residential (R-M)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #6 – Design Review

REQUEST:

Consideration of elevation details, exterior colors and materials, lighting and landscaping for a wine tasting room on a commercial property (JAQK Cellars).

Applicant:

Eisenmann Architecture

Staff: Rob Gjestland

Project Location:

134 Church Street

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:

Downtown District

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on March 15, 2013.

ROBIN EVANS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 1

Meeting Date: 03/19/13

Applicant

Chris Konecny (Peet's Coffee and Tea)

Project Location

591 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1973
-

Request

Consideration of a refaced monument sign, an awning sign, and a wall sign for a commercial restaurant (Peet's Coffee and Tea).

Summary

Background: On September 13, 2012, the Planning Commission denied a Use Permit application to allow a formula restaurant on a commercial property located at 591 Broadway. On November 19, 2012, the City Council considered the appeal of the Planning Commission's decision to deny the application for a Use Permit to allow a formula restaurant within an existing building on a commercial property located at 591 Broadway. Subsequently, on December 3, 2012, the City Council adopted Resolution No. 47-2012 implementing this decision.

At this time the applicant is proposing three news signs for Peet's Coffee and Tea: one two-sided monument sign; one awning sign; and, one wall sign.

Monument sign: The applicant is proposing to reface an existing monument sign. The two-sided monument sign is proposed to have an area of 31.34 square feet in area (± 4 feet tall by ± 8 feet wide) per side. The maximum height of the sign would be 7.5 feet, with a clearance of 2.5 feet between grade and the bottom of the sign. The sign is located perpendicular to the street at the corner of Broadway and McDonell Street. The sign would include two single faced aluminum panels with applied vinyl graphics affixed to the existing wood posts. In terms of colors, the background would consist of a dark brown colored background with metallic gold outlined lettering including a brown "P" outlined in a metallic gold color. Illumination is proposed in the form of two 8 inch led fixtures on both sides of the sign. The applicant has indicated that the sign will be illuminated from 5:30 a.m. to 10:00 p.m. and normal business hours are 5:30 a.m. to 10:00 p.m.

Awning sign: One awning sign is proposed on the existing awning over the front entrance to the building. The one-sided sign is proposed to have an area of ± 11 square feet (± 15.75 inches tall by ± 8 feet 5.25 inches wide). The maximum height of the sign would be 12.5 feet, with a clearance of 11.5 feet between grade and the bottom of the sign. The sign would include painted aluminum lettering on welded 0.090 aluminum two inches high and 1.75 inches deep returns. In terms of colors, the lettering would be painted a cream color with brown trim. In addition, a brown "P" logo would be included to the left of the lettering. Illumination is proposed in the form of an external LED fixture attached to the top of the sign. The applicant has indicated that the sign will be illuminated from 5:30 a.m. to 10:00 p.m. and normal business hours are 5:30 a.m. to 10:00 p.m.

Wall sign: The proposed wall sign is one-sided, with an area of ± 8.5 square feet (36 inches tall by 34 inches wide). The sign is proposed to be located on the west north elevation (near the parking area). The sign would be constructed of an aluminum panel with acrylic cut-out graphics. In terms of colors dark brown colored background with metallic gold outlined lettering including a brown "P" outlined in a metallic gold color. Illumination is proposed in the form of an external LED fixture attached to the top of the sign. The applicant has indicated that the sign will be illuminated from 5:30 a.m. to 10:00 p.m. and normal business hours are 5:30 a.m. to 10:00 p.m.

Aggregate Sign Area: Based on the property's frontage on Broadway (100 feet) and secondary frontage on McDonell Street, (78 feet), the maximum aggregate sign area allowed for the parcel is 61.6 square feet. However, because the structure and

the signs are located more than 40 feet from the centerline of the street, the allowable aggregate sign area may be increased by 50 percent (§18.16.021), which would allow for 123.2 square feet. The total aggregate sign area for the property would be ±66.47 square feet, including the refaced monument sign (46.97 square feet of aggregate sign area), awning sign (11 square feet of aggregate sign area), and wall sign (8.5 square feet of aggregate sign area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is consistent with this requirement.

Size Limitations: Each face of a one-sided sign shall not exceed 48 square feet in area (§18.16.022). The proposal is consistent with this requirement.

Sign Height: Monument signs are limited to a maximum height of 12 feet (§18.20.120). The proposed freestanding sign would have a maximum height of 7.5 feet.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). In this case, a third sign (no greater than 3 square feet in area) would also be allowed at the rear entrance. The proposal does not comply with these requirements in that the rear entrance sign has a proposed area of 8.5 square feet.

Variances: As noted above, the proposal would exceed the allowable sign area for the rear entrance sign. The DRC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. Site Plan & Sign Layout

cc: Peet's Coffee and Tea
Attn: Chris Konecny
1400 Park Avenue
Emeryville, CA 94608

Mayo Family Limited PTP
P.O. Box A
Sonoma, CA 95476

We are proposing the following signs:

Sign "A" - Storefront Elevation

Single Faced 15-3/4" x 8'-5-1/4" = 11.07 SF Externally Illuminated
Sign Illuminated with Black 9' LED Fixture - Does not Exceed 100 Ft. Lamberts

Sign "B" - Existing Double Faced Ground Sign

Reface Existing 47-1/2" x 95" = 47.00 SF - Add Black 8' LED Fixtures
for External Illumination - Does not Exceed 100 Ft. Lamberts
Fixtures will be mounted on top edge of each side of sign

Sign "C" - Entrance to the Patio Area - Side Elevation

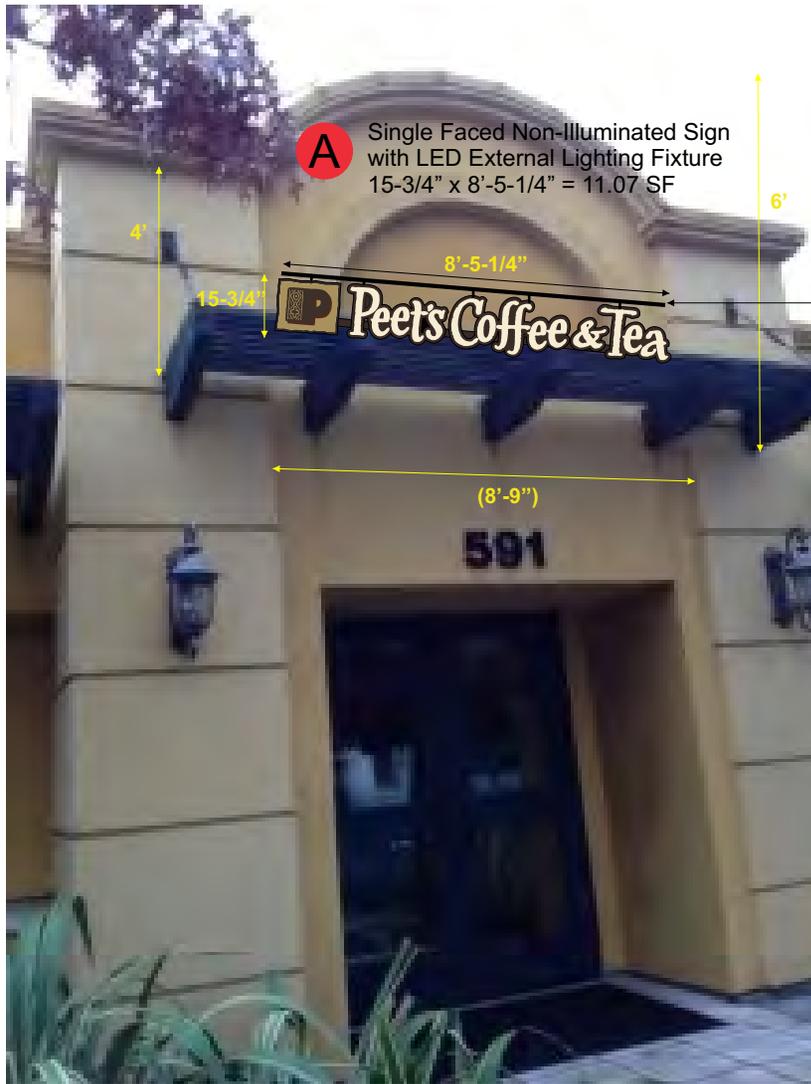
Single Faced 34" x 35-3/4" = 8.44 SF Externally Illuminated Sign
with Black 3' LED Fixture - Does not Exceed 100 Ft. Lamberts
Fixture will be mounted on top edge of sign

External illumination of signs will be on during business hours from 5:30 AM - 10:00 PM

All signs will be externally illuminated with low wattage LED fixtures.

Neon Images, Inc.
243 N. Escalante Dr.
Elk Ridge, UT 84651
P: (801) 423-3051
F: (419) 715-6078

Client: Peet's Coffee & Tea Approved: _____
Address: 591 Broadway
City, State: Sonoma, CA
Date: November 30, 2012
Revision Date: February 13, 2013 (Added Color Designation on Page 3 & Changed Hrs. For Illumination)



A Single Faced Non-Illuminated Sign with LED External Lighting Fixture
 15-3/4" x 8'-5-1/4" = 11.07 SF

9' External LED Fixture

Calculation for Allowable: Frontage on Broadway 104'-3"
 1st 30' 3 SF for each 5' of Frontage = 18 SF
 After 30' 2 SF for each 5' of Frontage = 29.6 SF
 47.6 SF

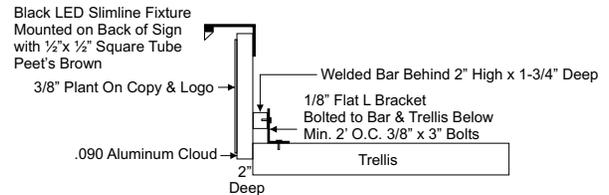
Site is located more than 40' from centerline of Street
 Add 50% (23.85 SF) to Allowable for a total of 71.4 SF

Total Proposed:	
Sign A	15-3/4" x 8'-5-1/4" 11.07 SF
Sign B	Each Side 31.33 SF x .75 SF (Per Code) = 23.5 SF x 2 47.00 SF
Sign C	34" x 35-3/4" 8.44 SF
	<u>66.51 SF</u>



- Returns: 2" Deep .040 Aluminum - Painted Peet's Brown PMS #412
- Back: .063 Aluminum - Painted Peet's Brown PMS #412
- Cloud: .090 Aluminum - Painted Peet's Brown PMS #412 with 3/8" Plant On's "Peet's Coffee & Tea" - Peet's Cream Color PMS #9140
- Logo: 3/8" Plant On Std. Corp. Colors with 1/4" Plant On "P" Cup Logo - Color Designation on Page 3
- Bar Behind: Welded .090 Aluminum 2" High x 1-3/4" Deep - Painted Peet's Brown PMS #412
- Illumination: External LED Fixture
- Connection to Trellis: 1/8" L Brackets Bolted to Back of Bar Behind and Down to Trellis

All Hardware to be Painted to Peet's Brown - PMS #412



Entrance Elevation
 Scale = 1/4" = 1'

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Existing Ground Sign
Scale = 1/4" = 1'

B

(2) Single Faced 1/8" 47-1/2" x 95" Aluminum Panels
for Existing D/F Ground Sign
with Applied Vinyl Graphics - Std. Corp. Colors
Calculation for Area is 31.33 SF x .75 SF = 23.50 x 2 = 47.00 SF

8' Black LED Fixtures on Both Sides

Color Designation



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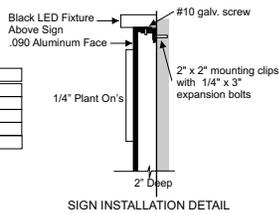
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Side Elevation
Scale 1/4" = 1'

Part	Material (Paint/Finish)	Color
Face panel	.090" Aluminum, MAP satin (incl. back of sign)	PMS#412
Copy Peet's	3/8" acrylic cut-outs, MAP satin	PMS#9140
Border, Coffee & Tea	3M vinyl	3M #3630-131 Metallic Gold
Drop shadows	3M vinyl	3M #3630-131 Metallic Gold
Logo	1/4" acrylic cut outs, MAP Satin	See Page 3 for Colors

Single-faced

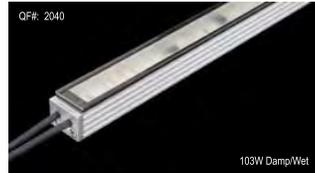


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Winline Surface Linear

103W Damp/Wet



Series: WSL - Winline Surface Linear
Model: 103W - Model 103W Damp/Wet
Beam Spread: 30 - 30° - 103W
LED Code: 27K - ANSI-Binned 2700K
Voltage: ND24V - Non-Dimming 24 Volt AC
Mount: Adjustable
Finish: SGB - Semi-Gloss Black Paint

ADJUSTABLE MOUNT
 Sign "A" - (1) 9' Fixture
 Sign "B" - (1) 8' Fixture Each Side
 Sign "C" - (1) 3' Fixture

Fixtures all less than 100 Ft. Lamberts



*add +.18" to installed length to allow for wire access



POWER AND DIMMING

Winline 103W power consumption is 4.5W/ft. The Winline 100 Series operates on 24VAC and can be dimmed with commonly available low voltage magnetic dimming equipment. A wide range of remote transformers are available in 120V and 277V primary

OPERATING TEMPERATURE -22°F to 122°F (-30°C to 50°C)

COLOR AND LIGHT OUTPUT

The 100 Series utilizes Nichia 123B white LEDs
 Model 103W feature (24) LEDs/ft.

Color	Total Lumens	Lamp Watts	Lumens per Watt	CRI	Power Factor
ANSI-binned 2700K	403	15.9	25.3	84.3	97

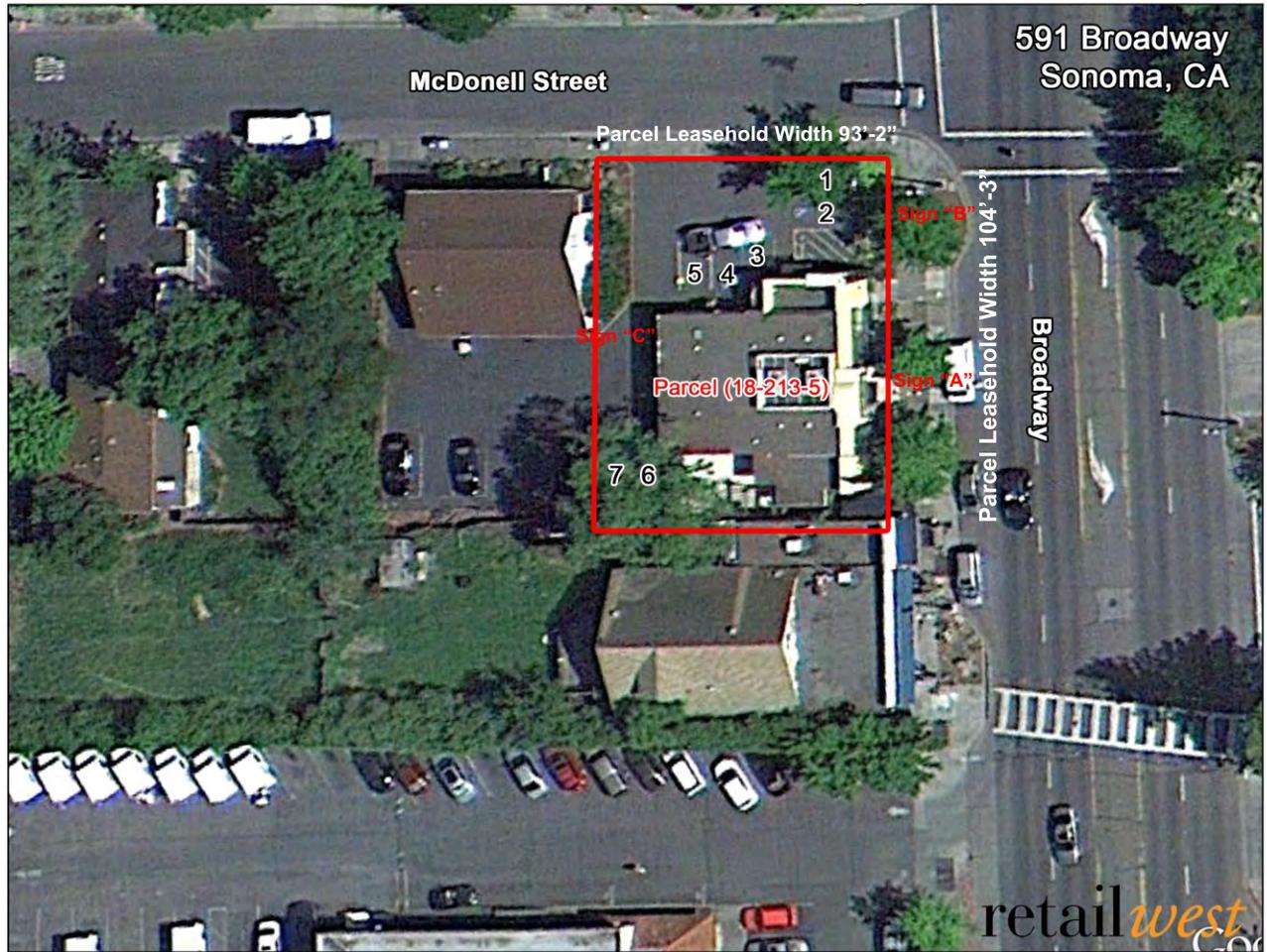


Winline Surface Linear 103W is ETL listed for wet location and complies with UL Standard 2108.

PRODUCT SPECIFICATION

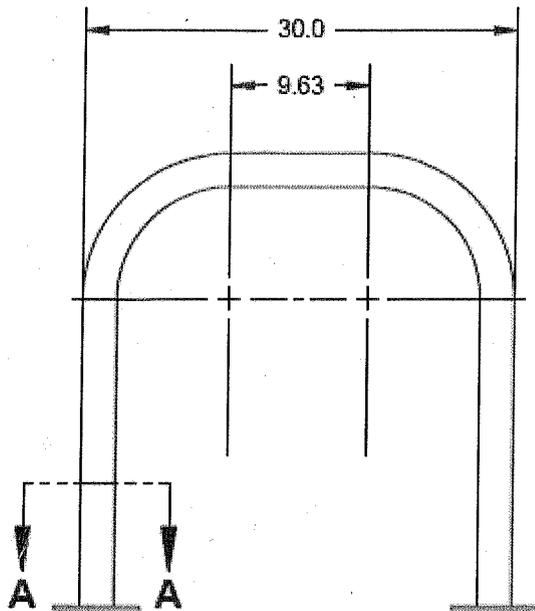
Neon Images, Inc.
 243 N. Escalante Dr.
 Elk Ridge, UT 84651
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MATERIALS

2 3/8" diameter 9 gauge schedule 40 pipe
Two 6"x 6"x 1/4" square flange mounting plates

FINISH

Galvanized

A hot dipped galvanized finish is our standard option.

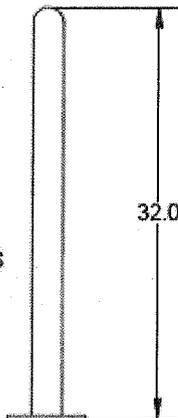
Black Powder Coat

Our powder coat finish is highly durable and is applied through the following steps:

1. Mediablast
2. Electrostatically applied epoxy primer
3. TGIC polyester powder coat is applied as the final coat



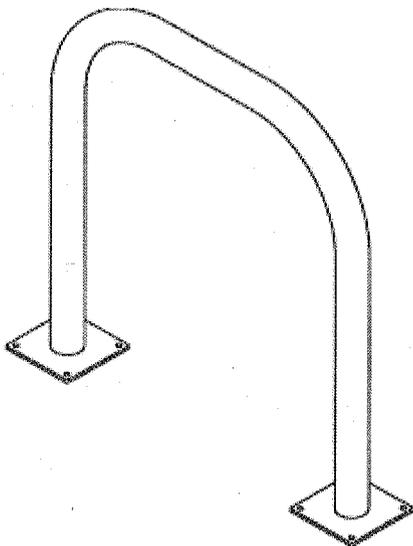
2X 6" X 6" X .25" SQUARE
FLANGE MOUNTING PLATE
WITH 4 Ø 5/8" MOUNTING HOLES



MOUNTING

Surface mount

An above ground mount that is anchored to the base material for a semi-permanent bike rack.



MINIMAL SPACE USE RECOMMENDATION

Wall Setbacks
For racks parallel to a wall
Minimum: 36"

Footprint:
68" x 110"

Distance Between Racks
Minimum: 24"

**These are our suggested minimal clearances.*

Street Setbacks
Minimum: 36"



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 2

Meeting Date: 03/19/13

Applicant

Brett McPherson/The Land Collaborative

Project Location

236 Second Street East

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)
Year Built _____

Request

Consideration of a landscape plan for a new single family residence.

Summary

Background: On February 19, 2013, the Design Review Commission (DRC) conducted architectural review of a new residence and detached second unit on the subject property. The applicants are now returning for consideration of the required landscape plan.

Landscaping Plan: At this time the applicant is requesting review of a landscape plan (attached) for the property. The applicant is proposing to plant three citrus or fruit trees, four coast live oak trees, five citrus trees, six olive trees, and one Mexican fan palm. Per the conditions of approval, the project shall be subject to the Tree Preservation Plan for the Hyman Subdivision, which indicates that trees removed from the site shall be replaced at a ratio of 2:1 with a minimum size of 15 gallons. In addition, on August 16, 2007, the Tree committee approved the removal of the *Laurus nobilis* tree located in the southeast corner of the property subject to the replacement of four Coastal live oak trees (36 inch box size). These conditions have been met on the landscape plan with the exception of the four 36 inch box size Coastal live oaks. The landscape plan indicates that 24 inch box size trees will be planted. The applicant has agreed that 36 inch box size Coastal live oaks will be planted.

Water Efficient Landscape Ordinance: A legend listing proposed species and planting sizes is provided for reference. In addition, water budget calculations prepared by the landscape architect (attached) demonstrate compliance with Sonoma Municipal Code §14.32, Water Efficient Landscaping. The calculations indicate that the proposed landscaping would utilize 8,003 gallons or 70% of the associated annual water budget allotment of 11,386 gallons.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *City of Sonoma Maximum Applied Water Allowance Form, Estimated Total Water Use Calculations, and Hydrozone Table Form*
2. *Landscape Planting plan*
3. *Irrigation plan*

cc: The Land Collaborative
607 Del Ganado Drive
San Rafael, CA 94903

Robert Baumann
729 Broadway
Sonoma, CA 95476

Steve Brown
2612 Rivendell Road
Lake Oswego, OR 97034

Donna and Steven Brown
9752 Lansing Avenue North
Stillwater MN 55082-9453

CITY OF SONOMA
MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Maximum Applied Water Allowance (MAWA) Calculations

The project's MAWA is calculated as follows:

$$\text{MAWA} = (\text{ETo})(0.62) \times [(\text{ETAF} \times \text{LA}) + (0.3 \times \text{SLA})]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$\text{MAWA} = 28.58 \times \left[(0.60 \times \frac{664}{\text{LA}}) + (0.3 \times \frac{\cancel{0}}{\text{SLA}}) \right] = \underline{11,386} \text{ gallons/year}$$

Estimated Total Water Use Calculations

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ETo)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE = Irrigation Efficiency (IE) Table

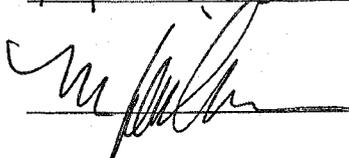
Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

PF	HA Sq. Ft.	IE (See IE Table)	PF x HA IE (a)	SLA Sq. Ft. (b)	ETWU = $28.58 \times \frac{PF \times HA}{IE} + 28.58 \times SLA$
					IE 4773 W
.3	472	.85	167	—	$(28.58 \times \frac{167}{.85}) + (28.58 \times \frac{0}{.85}) = 4761$ gallons/year
.5	192	.85	113	—	$(28.58 \times \frac{113}{.85}) + (28.58 \times \frac{0}{.85}) = 3228$ gallons/year 3230 W
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
ETWU					Sum of above = 7,989 gallons/year 8003 WA

Statement of Compliance:

This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").

Martin Dickson (Print), ASIC-PLC, Dickson & Associates, Inc.

 (Signature)

2-20-13 (Date)

**CITY OF SONOMA
HYDROZONE TABLE FORM**

Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use				
High water use	valves			
Medium water use	1, 7	Drip	112	17
Medium water use	4, 6	Bubbler	80	12
Low water use	2, 5, 8, 9, 10	Drip	424	64
Low water use	3	Bubbler	48	7
		Total		100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use		
High water use		
Medium water use	192	29
Medium water use	472	71
Low water use		
Low water use		
	Total	100%

Submitted by: Martin D. Dickson, ASIC-PIC (Print)  (Signature) 2/20/13 (Date)

Dickson + Associates Inc.

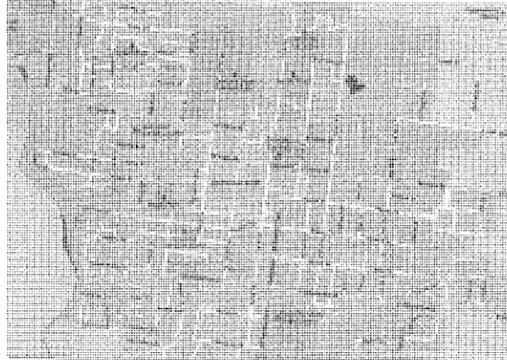
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236 SECOND ST EAST

LANDSCAPING AND SITE IMPROVEMENTS

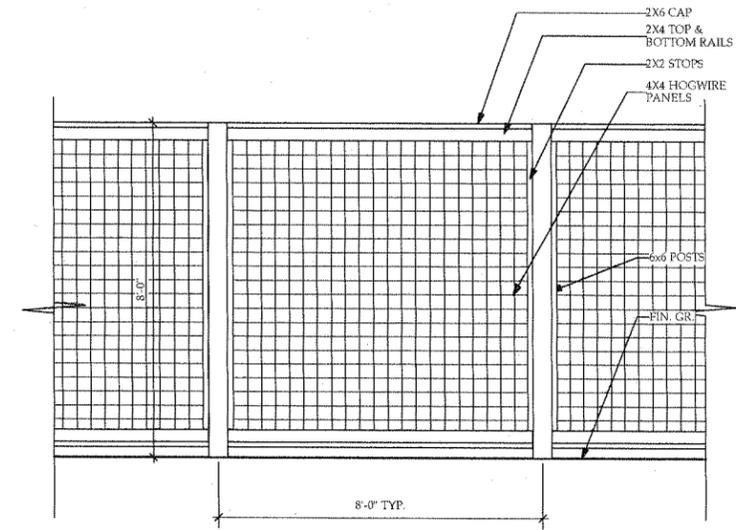
236 SECOND STREET EAST
SONOMA, CA
A.P.# 018-141-008

VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO OR EXCEED THE REQUIREMENTS OF THE 2012 EDITION OF THE CALIFORNIA BUILDING CODE, REGARDLESS OF WHAT IS SHOWN OR NOT SHOWN IN THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:
THE CURRENT UNIVERSAL BUILDING CODES AND STANDARDS AS ADOPTED BY CALIFORNIA WILL BE ENFORCED BY THE CITY OF SONOMA.
• CALIFORNIA BUILDING CODE
• CALIFORNIA PLUMBING CODE
• CALIFORNIA MECHANICAL CODE
• CALIFORNIA ELECTRICAL CODE
• CALIFORNIA ENERGY CODE
• CALIFORNIA FIRE CODE
- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF SONOMA ORDINANCE AND ALL OTHER APPLICABLE STATE OR LOCAL ORDINANCES IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- CONFLICTS IN THE CONTRACT DOCUMENTS, IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, SPECS, OR BETWEEN THE DRAWINGS AND THE SPECS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT FOR CONSTRUCTION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE SHOWN TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THE CONTRACT DOCUMENTS. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER OF SIMILAR CONDITIONS SHOWN OR CALLED FOR.
- UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF SURFACE FASTENERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- THE OWNER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS OR TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR. SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, OR FAILURE OF THE CONTRACTOR TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO EXECUTING THE WORK.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER DRAWINGS.
- INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, APPLIANCES AND ACCESSORIES IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER, THE ARCHITECT AND THE CITY OF SONOMA FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.
- ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- DESIGN-BUILD SYSTEMS: THE ELECTRICAL LIGHTING AND IRRIGATION WORK SHALL BE "DESIGN-BUILD" PER THE CRITERIA OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE THE DESIGN AND CONSTRUCTION OF THESE SYSTEMS INTO THE WORK. THE LAYOUT OF THESE SYSTEMS ON THE DRAWINGS IS SCHEMATIC IN NATURE AND ONLY INTENDED TO INDICATE THE OVERALL SCOPE OF THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THE PROPOSED SYSTEMS ARE IN COMPLIANCE WITH ALL CALCULATIONS AND SPECIFICATIONS AS MAY BE REQUIRED FOR THE ISSUANCE OF BUILDING PERMITS FOR THESE SYSTEMS.
- SPOT ELEVATIONS INDICATED ARE CRITICAL ELEVATIONS. INTERVENING ELEVATIONS NOT SPECIFICALLY NOTED SHALL BE INTERPOLATED FROM ELEVATIONS SHOWN. A MINIMUM SLOPE OF EXTERIOR SURFACES SHALL BE 2% U.O.M.
- INSURANCE: EACH CONTRACTOR SHALL MAINTAIN INSURANCE IN FULL FORCE AND EFFECT FOR THE LIFE OF THE CONTRACT, AND GIVE EVIDENCE OF SAME OR A CERTIFICATE INDICATING ITS EXISTENCE DELIVERED TO THE OWNER AND THE ARCHITECT AND GENERAL CONTRACTOR THE POLICIES LISTED HEREIN:
a) WORKER'S COMPENSATION COVERING CONTRACTOR'S FULL LIABILITY UNDER "THE WORKMAN'S COMPENSATION AND SAFETY ACTS."
b) COMPREHENSIVE GENERAL LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:
BODILY INJURY: \$1,000,000
PROPERTY DAMAGE: \$1,000,000
c) COMPREHENSIVE AUTO LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:
BODILY INJURY: \$1,000,000 EACH PERSON
PROPERTY DAMAGE: \$1,000,000 EACH OCCURRENCE
16. CONTRACTOR'S LIABILITY INSURANCE SHALL INCLUDE THE "OWNER" AND THE "ARCHITECT" AS ADDITIONAL INSURED. CONTRACTOR IS TO PROVIDE CERTIFICATE OF INSURANCE TO EACH OF THE ADDITIONAL INSURED PRIOR TO COMMENCING WORK. PROGRESS PAYMENTS WILL BE WITHHELD UNTIL CERTIFICATES ARE RECEIVED BY THE OWNER AND THE ARCHITECT.
- GUARANTEE: UNLESS SPECIFICALLY STATED TO THE CONTRARY IN THE DRAWINGS, THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO THE EFFECT THAT ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THE CONTRACT SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE TO BE FREE FROM DEFECTS AND FAULTY WORKMANSHIP AND THAT ANY SUCH DEFECTS SHALL BE PROMPTLY REPAIRED OR REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.



NOTES: - ALL TIMBER TO BE REDWOOD
- SEMI-TRANSPARENT STAIN TO BE SELECTED
- USE 3/8" SCREWS AND "TIMBER LOCK" SCREWS TO SECURE MEMBERS. ATTACHMENTS TO BE HIDDEN WHERE POSSIBLE

1 HOGWIRE FENCE - ELEVATION

SCALE: 1/2" = 1'-0"

INDEX TO DRAWINGS:

- COVER SHEET & NOTES
- SITE / DEMO PLAN
- PLANTING PLAN
- IRRIGATION PLAN
- IRRIGATION LEGEND & NOTES
- IRRIGATION SCHED. / CALCS
- IRRIGATION DETAILS

- L-0
- L-1
- L-2
- L-3
- L-4
- L-5
- L-6

ABBREVIATIONS & SYMBOLS

	ALIGN	CEM.	CEMENT	JT.	JOINT
	ELEVATION CALLOUT	CJ.	CONTROL JOINT	MAX.	MAXIMUM
	SECTION CALLOUT	CLR.	CLEAR	MECH.	MECHANICAL
	STEP OR CHANGE IN FLOOR ELEVATION	CONC.	CONCRETE	MFR.	MANUFACTURER
	DIRECTION OF SLOPE/ FLOW	CONN.	CONNECTION	MH.	MANHOLE
	EXISTING DIRECTION OF SLOPE/FLOW	CONT.	CONTINUOUS	MIN.	MINIMUM
	(E) TREE TO BE REMOVED	CTSK.	COUNTERSUNK	MISC.	MISCELLANEOUS
	(E) TREE TO REMAIN	CTR.	CENTER	N.I.C.	NOT IN CONTRACT
	AND	DBL.	DOUBLE	NO./#	NUMBER
	AT	DEPT.	DEPARTMENT	NOM.	NOMINAL
	CENTERLINE	DET.	DETAIL	N.T.S.	NOT TO SCALE
	EXISTING	DI.	DRAIN INLET	O.C.	ON CENTER
	ASPHALT CONCRETE	DM.	DIMENSION	PA.	PLANTING AREA
	AREA DRAIN	DN.	DOWN	R.	RADIUS OF REER
	ADJACENT	DR.	DOOR	REF.	REFERENCE
	APPROXIMATE	DSL.	DOWNSPOUT	REINF.	REINFORCED
	ARCHITECTURAL	DWG.	DRAWING	REQ.	REQUIRED
	BUILDING	ES.	EXPANSION JOINT	RM.	ROOM
	CATCH BASIN	EL.	ELEVATION	RWD.	REDWOOD
		ENCL.	ENCLOSURE	SHT.	SHEET
		EP.	ELECTRICAL PANELBOARD	SIM.	SIMILAR
		EQ.	EQUAL	S.L.	SCORE LINE
		EXT.	EXISTING	SPEC.	SPECIFICATION
		EXP.	EXPANSION	SQ.	SQUARE
		EXT.	EXTERIOR	SST.	STAINLESS STEEL
		FIN.	FINISH	STD.	STANDARD
		FL.	FLOOR	STL.	STEEL
		FLASHG.	FLASHING	STOR.	STORAGE
		F.O.F.	FACE OF FINISH	STR.	STRUCTURAL
		F.O.T.	FACE OF TRIM	SYM.	SYMMETRICAL
		FL.	FOOT/FEET	T.	TREAD
		FIG.	FOOTING	TC.	TOP OF CURB
		FUT.	FUTURE	TF.	TOP OF FENCE
		GALV.	GALVANIZED	TP.	TOP OF FINISH / PIER
		GR.	GRADE	TW.	TOP OF WALL
		GR. BR.	GRADE BREAK	TYP.	TYPICAL
		H.B.	HOSE BIB	U.O.M.	UNLESS OTHERWISE NOTED
		HDWD.	HARDWOOD	VERT.	VERTICAL
		HORIZ.	HORIZONTAL	W.	WOOD
		HGT.	HEIGHT	W/O	WITHOUT
		H.P.	HIGH POINT	WP.	WATERPROOF
		INST.	INSTALL		
		INV.	INVERSE		



BROWN RESIDENCE
236 2nd St East
Sonoma, CA 95476

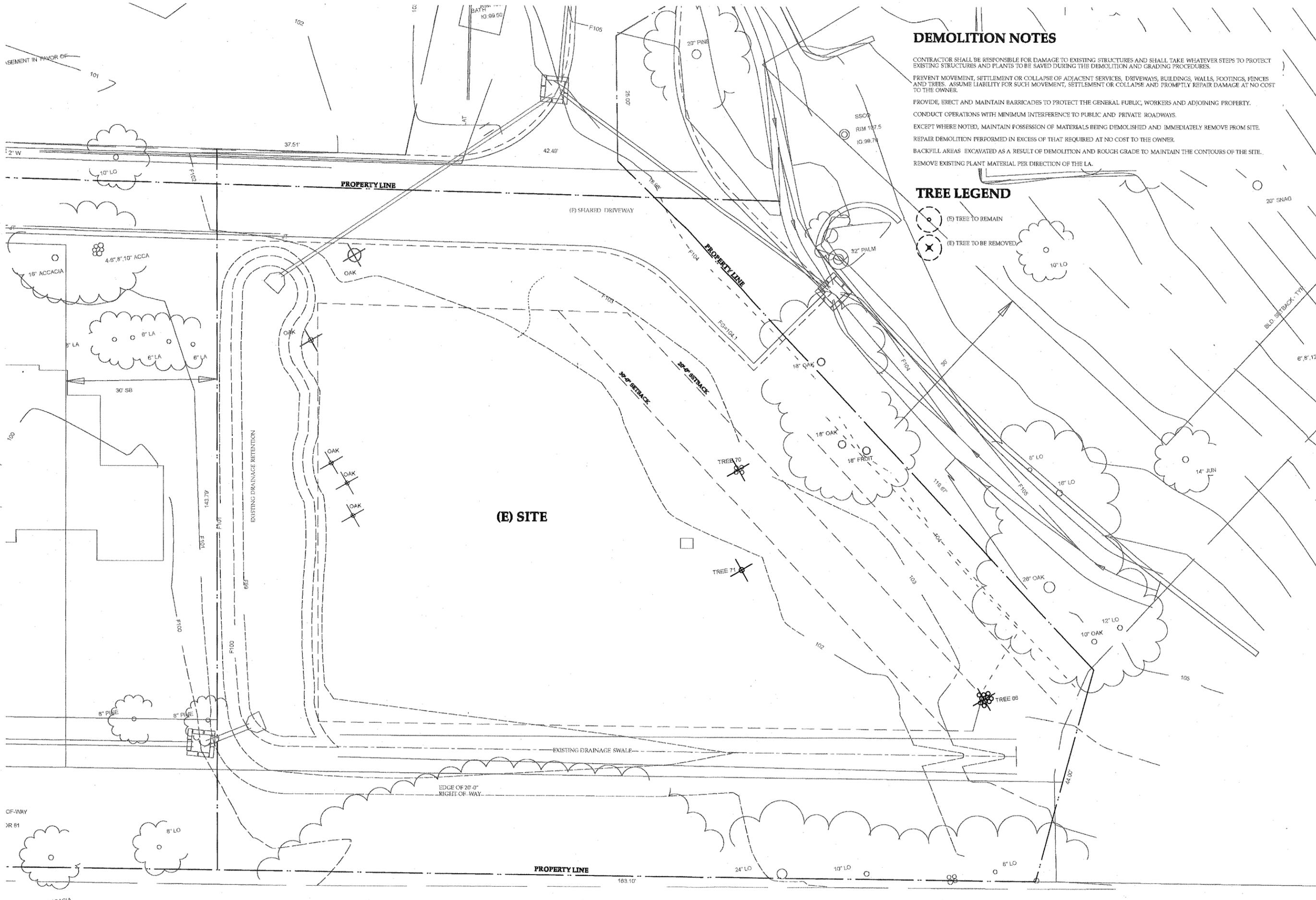
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COVERSHEET & NOTES

L-0

FEB 19 2013

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DEMOLITION NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES AND SHALL TAKE WHATEVER STEPS TO PROTECT EXISTING STRUCTURES AND PLANTS TO BE SAVED DURING THE DEMOLITION AND GRADING PROCEDURES.

PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ADJACENT SERVICES, DRIVEWAYS, BUILDINGS, WALLS, FOOTINGS, FENCES AND TREES. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT OR COLLAPSE AND PROMPTLY REPAIR DAMAGE AT NO COST TO THE OWNER.

PROVIDE, ERECT AND MAINTAIN BARRICADES TO PROTECT THE GENERAL PUBLIC, WORKERS AND ADJOINING PROPERTY.

CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND PRIVATE ROADWAYS.

EXCEPT WHERE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED AND IMMEDIATELY REMOVE FROM SITE.

REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.

BACKFILL AREAS EXCAVATED AS A RESULT OF DEMOLITION AND ROUGH GRADE TO MAINTAIN THE CONTOURS OF THE SITE.

REMOVE EXISTING PLANT MATERIAL PER DIRECTION OF THE LA.

TREE LEGEND

- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED



BROWN RESIDENCE
 236 2nd St East
 Sonoma, CA 95476

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NORTH

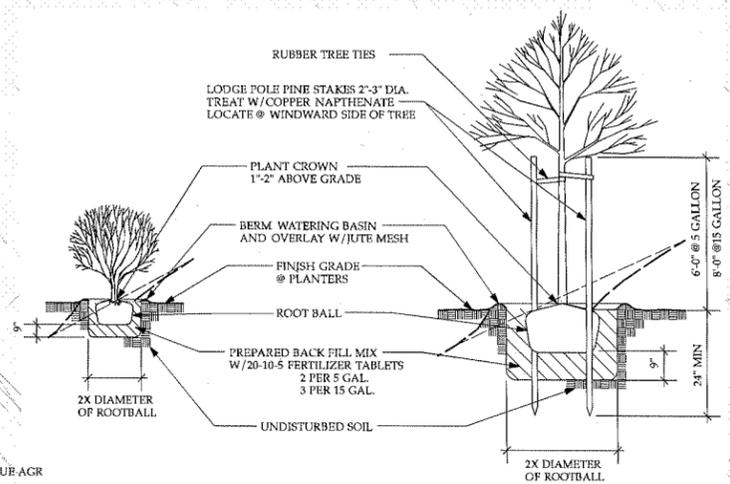
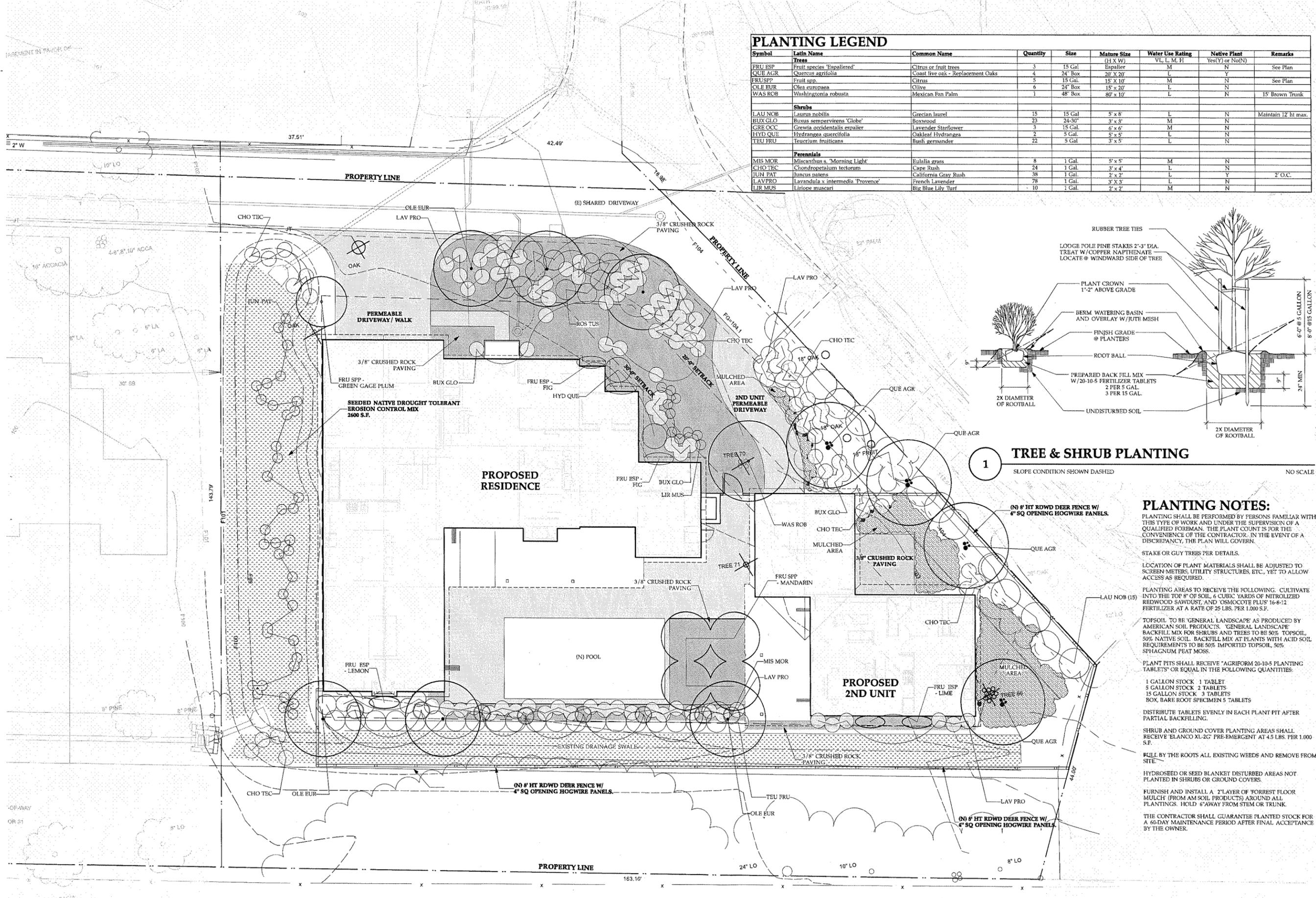
SITE / DEMO PLAN

L-1

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PLANTING LEGEND

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size	Water Use Rating	Native Plant	Remarks
Trees								
FRU ESP	Fruit species 'Epaliered'	Citrus or fruit trees	3	15 Gal	11' x 11'	M	Yes(Y) or No(N)	See Plan
QUE AGR	Quercus agrifolia	Coast live oak - Replacement Oaks	4	24" Box	20' x 20'	L	Y	
FRU SPP	Fruit spp.	Citrus	5	15 Gal	15' x 10'	M	N	See Plan
OLE EUR	Olea europaea	Olive	6	24" Box	15' x 20'	L	N	
WAS ROB	Washingtonia robusta	Mexican Fan Palm	1	48" Box	80' x 10'	L	N	15' Brown Trunk
Shrubs								
LAU NOB	Laurus nobilis	Grecian laurel	15	15 Gal	5' x 8'	L	N	Maintain 12' ht max.
BUX GLO	Buxus sempervirens 'Globe'	Boxwood	23	24-30"	3' x 3'	M	N	
GRE OCC	Grewia occidentalis espalier	Lavender Starflower	3	15 Gal	6' x 6'	M	N	
HYD QUE	Hydrangea quercifolia	Oakleaf Hydrangea	2	5 Gal	5' x 5'	L	N	
TEU FRU	Teucrium fruticosum	Bush germander	22	5 Gal	3' x 5'	L	N	
Perennials								
MIS MOR	Miscanthus s. 'Morning Light'	Eulalia grass	8	1 Gal.	5' x 5'	M	N	
CHO TEC	Chondropetalum tectorum	Cape Rush	24	1 Gal.	3' x 4'	L	N	
JUN PAT	Juncus patens	California Gray Rush	38	1 Gal.	2' x 2'	L	Y	2' O.C.
LAV PRO	Lavandula x intermedia 'Provence'	French Lavender	78	1 Gal.	3' x 3'	L	N	
LIR MUS	Liriope muscari	Big Blue Lily Turf	10	1 Gal.	2' x 2'	M	N	



1 TREE & SHRUB PLANTING

SLOPE CONDITION SHOWN DASHED NO SCALE

PLANTING NOTES:

- PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. THE PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY, THE PLAN WILL GOVERN.
- STAKE OR GUY TREES PER DETAILS.
- LOCATION OF PLANT MATERIALS SHALL BE ADJUSTED TO SCREEN METERS, UTILITY STRUCTURES, ETC., YET TO ALLOW ACCESS AS REQUIRED.
- PLANTING AREAS TO RECEIVE THE FOLLOWING. CULTIVATE INTO THE TOP 8" OF SOIL, 6 CUBIC YARDS OF NITROGENIZED REDWOOD SAWDUST, AND OSMOCOTE PLUS 16-8-12 FERTILIZER AT A RATE OF 25 LBS. PER 1,000 S.F.
- TOPSOIL TO BE 'GENERAL LANDSCAPE' AS PRODUCED BY AMERICAN SOIL PRODUCTS. 'GENERAL LANDSCAPE' BACKFILL MIX FOR SHRUBS AND TREES TO BE 50% TOPSOIL, 50% NATIVE SOIL. BACKFILL MIX AT PLANTS WITH ACID SOIL REQUIREMENTS TO BE 50% IMPORTED TOPSOIL, 50% SPHAGNUM PEAT MOSS.
- PLANT PITS SHALL RECEIVE 'AGRIFORM 20-10-5 PLANTING TABLETS' OR EQUAL IN THE FOLLOWING QUANTITIES:
 1 GALLON STOCK 1 TABLET
 5 GALLON STOCK 2 TABLETS
 15 GALLON STOCK 3 TABLETS
 BOX, BARE ROOT SPECIMEN 5 TABLETS
- DISTRIBUTE TABLETS EVENLY IN EACH PLANT PIT AFTER PARTIAL BACKFILLING.
- SHRUB AND GROUND COVER PLANTING AREAS SHALL RECEIVE 'BLANCO XL-2C' PRE-EMERGENT AT 4.5 LBS. PER 1,000 S.F.
- RULL BY THE ROOTS ALL EXISTING WEEDS AND REMOVE FROM SITE.
- HYDROSEED OR SEED BLANKET DISTURBED AREAS NOT PLANTED IN SHRUBS OR GROUND COVERS.
- FURNISH AND INSTALL A 2" LAYER OF 'FORREST FLOOR MULCH' (FROM AM SOIL PRODUCTS) AROUND ALL PLANTINGS. HOLD 6" AWAY FROM STEM OR TRUNK.
- THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 60-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.

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PLANTING PLAN

L-2



DICKSON & ASSOCIATES, INC.
 LANDSCAPE IRRIGATION
 WARRY DICKSON, ASCE-PIE
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 P.O. BOX 416
 PALO CEDRO, CALIFORNIA 95073
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**BROWN
 RESIDENCE**
 236 2nd St East
 Sonoma, CA 95476

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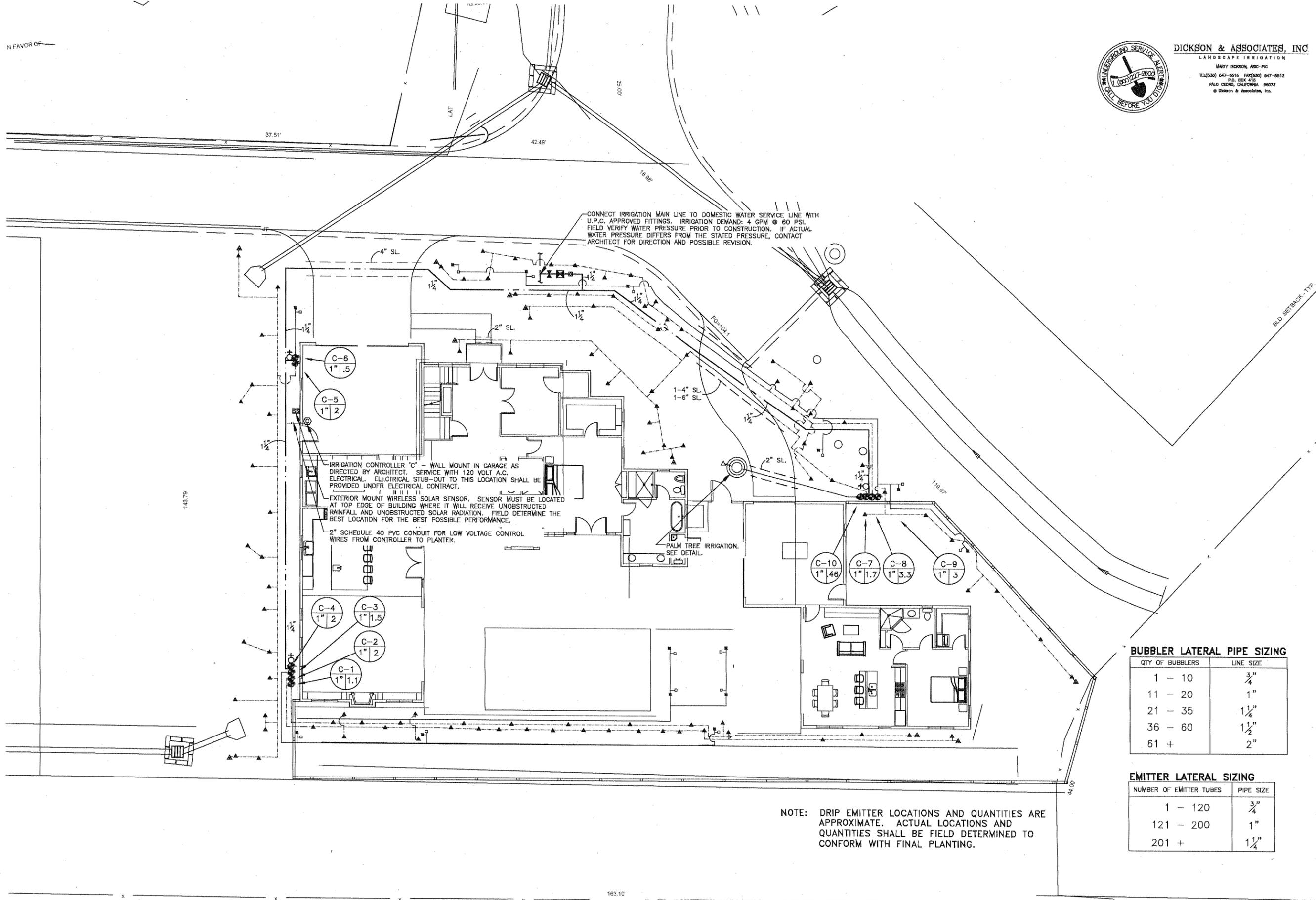
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**IRRIGATION
 PLAN**

L-3



IRRIGATION CONTROLLER 'C' - WALL MOUNT IN GARAGE AS DIRECTED BY ARCHITECT. SERVICE WITH 120 VOLT A.C. ELECTRICAL. ELECTRICAL STUB-OUT TO THIS LOCATION SHALL BE PROVIDED UNDER ELECTRICAL CONTRACT.
 EXTERIOR MOUNT WIRELESS SOLAR SENSOR. SENSOR MUST BE LOCATED AT TOP EDGE OF BUILDING WHERE IT WILL RECEIVE UNOBSTRUCTED RAINFALL AND UNOBSTRUCTED SOLAR RADIATION. FIELD DETERMINE THE BEST LOCATION FOR THE BEST POSSIBLE PERFORMANCE.
 2" SCHEDULE 40 PVC CONDUIT FOR LOW VOLTAGE CONTROL WIRES FROM CONTROLLER TO PLANTER.

PALM TREE IRRIGATION. SEE DETAIL.

NOTE: DRIP EMITTER LOCATIONS AND QUANTITIES ARE APPROXIMATE. ACTUAL LOCATIONS AND QUANTITIES SHALL BE FIELD DETERMINED TO CONFORM WITH FINAL PLANTING.

BUBBLER LATERAL PIPE SIZING

QTY OF BUBBLERS	LINE SIZE
1 - 10	3/4"
11 - 20	1"
21 - 35	1 1/4"
36 - 60	1 1/2"
61 +	2"

EMITTER LATERAL SIZING

NUMBER OF EMITTER TUBES	PIPE SIZE
1 - 120	3/4"
121 - 200	1"
201 +	1 1/4"

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
- THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, WOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
- AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.
- 120 VOLT A.C. (2.5 AMP OSMAND) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. NO MORE THAN 6" OF THE GROUND ROD TO BE ABOVE GRADE. CONNECT #8 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. THIS WIRE SHOULD BE AS SHORT AS POSSIBLE, AVOIDING ANY KINKS OR BENDING.
- IRRIGATION CONTROLLER TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE.
- CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMMING THAT WILL NOT EXCEED THE MAXIMUM GALLONS PER MINUTE FLOW RATE STATED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAIN LINE PIPING.
- IRRIGATION CONTROL WIRES SHALL BE COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. COMMON GROUND WIRE SHALL HAVE WHITE INSULATING JACKET. CONTROL WIRE SHALL HAVE INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICE SHALL BE MADE WITH 3M-DBR/Y-8 SEAL PACKS.
- INSTALL SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. MINIMUM OF ONE SPARE WIRE PER CONTROLLER.
- SPLICING OF 24 VOLT WIRES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DBR/Y-8 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING WIRES IS NOT REQUIRED INSIDE SLEEVES.
- PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE CARSON INDUSTRIES.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- THE REMOTE CONTROL VALVE SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE AS FOLLOWS:
 - MULTI-OUTLET EMITTERS = 30 PSI
 - SUB-SURFACE DRIP EMITTERS = 30 PSI
 - TREE BUBBLERS = 35 PSI
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- LOCATE BUBBLERS ON UP-HILL SIDE OF TREE.
- LOCATE EMITTER TUBES ON UP-HILL SIDE OF PLANT.
- INSTALL A VALCON 5000 SERIES SPRING LOADED CHECK VALVE BELOW THOSE SPRINKLERS, DRIP EMITTERS AND BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
 - NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
 - PERFORM TESTING AT HIS OWN EXPENSE.
 - CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTING SHALL BE COVERED.
 - APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.
 - TEST LINE (CONSTANT PRESSURE) AND QUICK COUPLER LINE HYDROSTATICALLY AT 125 PSI. MINIMUM. LINES WILL BE APPROVED IF TEST PRESSURE IS MAINTAINED FOR SIX (6) HOURS. THE LINE WILL BE APPROVED OR NOT APPROVED AS SUCH RESULTS MAY INDICATE. THE CONTRACTOR SHALL MAKE TESTS AND REPAIRS AS NECESSARY UNTIL TEST CONDITIONS ARE MET.
 - TEST RCV CONTROLLED LATERAL LINES WITH WATER AT LINE PRESSURE AND VISUALLY INSPECT FOR LEAKS. RETEST AFTER CORRECTING DEFECTS.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: 4 GPM AT 80 PSI STATIC PRESSURE AT IRRIGATION POINT OF CONNECTION. FIELD VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. IF ACTUAL WATER PRESSURE DIFFERS FROM THE STATED PRESSURE CONTACT ARCHITECT FOR DIRECTION AND POSSIBLE REVISION.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL T-2, CHRISTY'S ULTRA SEAL, OR APPROVED EQUAL.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	RADIUS		PRECIP. RATE
					MIN	MAX	
▲	M210	BOWSMITH MULTI-OUTLET EMITTER (1 GPH PER OUTLET)	30	1 GPH PER TUBE	FLOOD		0.53
■	PCB-26	HUNTER BUBBLER (TREE)	30	0.25	FLOOD		1.50
□	RZWS-36-25-CV	HUNTER ROOT ZONE BUBBLER ASSEMBLY AND CHECK VALVE (TREE)	30	0.25	FLOOD		1.50
⊠	1" COMPACT	AMMAD FILTER WITH 165 MESH SCREEN					
▲	SEE DETAIL	EMITTER FLUSH VALVE ASSEMBLY					
△	T-FCH-H-FIPT	TORD FLUSH VALVE (PIPE THREAD)					
⊕	10V-FS-AS-ADJ SERIES	HUNTER FILTER SENTRY ADJUSTABLE PRESSURE REGULATING REMOTE CONTROL VALVE					
⊗	T-113	NIBCO GATE VALVE (LINE SIZE)					
⊕	I-401	CHAMPION HOSE BIB					
⊠	975XL2-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY (LEAD FREE)					
⊕	ACC-1200	HUNTER ACC CONTROLLER WITH WIRELESS SOLAR SYNC (WALL MOUNT)					
⊕	WSS-SEN	HUNTER WIRELESS SOLAR SYNC SENSOR AND RECEIVER					
PRECIPITATION RATE							
CONTROLLER & STATION NUMBER							
APPROXIMATE FLOW (GPM)							
REMOTE CONTROL VALVE SIZE							
MAIN LINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS. 18" COVER.							
LATERAL LINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS. 12" COVER.							
DRIP LINE: SALCO AR PVC DRIP HOSE. 4" COVER.							
PALM TREE IRRIGATION: TORD DL2000 PC DRIP LINE (RGP-4-12). INSTALL AS DETAILED 12" O.C. SEE PALM TREE DRIP IRRIGATION DETAIL. 4" COVER.							
SLEEVING: 1120-SCHEDULE 40 PVC PLASTIC PIPE. 18" COVER. 24" UNDER VEHICULAR PAVING.							



BROWN RESIDENCE
236 2nd St East
Sonoma, CA 95476

DRAWN BY BK

SCALE 1/8" = 1'-0"

DATE ISSUE

2/13/2013 CLIENT REVIEW

2/19/2013 DRC SUBMITTAL

IRRIGATION LEGEND & NOTES

L-4

DICKSON & ASSOCIATES, INC.
LANDSCAPE IRRIGATION
MARY DICKSON, ASID-PC
TEL(530) 847-8616 FAX(530) 847-8613
P.O. BOX 416
PALO VERDE, CALIFORNIA 95073
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IRRIGATION SCHEDULES

DRIP IRRIGATION @ SHRUB/GROUNDCOVER AREAS (LOW)

SPRINKLER MANUFACTURER: HUNTER LOCATION: SONOMA, CALIFORNIA
 PRECIPITATION RATE (INCHES/HOUR): 0.53 HEAD SPACING: VARIES
 IRRIGATION SYSTEM EFFICIENCY: 0.90 HEAD GPM: 1 GALLON PER HOUR
 PLANT FACTOR: 0.30
 YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ET0 PER MONTH (INCHES):	1.00	1.80	3.00	4.50	5.80	6.60	7.10	6.30	4.70	3.30	1.80	1.00	46.10
ET0 PER WEEK (INCHES):	0.231	0.370	0.693	1.039	1.293	1.524	1.640	1.455	1.085	0.762	0.346	0.231	
APPLIED ET0 PER WEEK (INCHES):	0.077	0.123	0.231	0.346	0.431	0.508	0.547	0.485	0.382	0.254	0.115	0.077	
MINUTES OF WATER PER WEEK:	YEAR 1: 9	14	26	39	49	58	62	55	41	29	13	9	
DAYS PER WEEK:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES OF WATER PER DAY:	YEAR 1: 9	14	26	39	49	58	62	55	41	29	13	9	
CYCLES PER DAY:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES PER CYCLE:	YEAR 1: 9	14	26	39	49	58	62	55	41	29	13	9	
	YEAR 2: 8	13	24	35	44	52	56	49	37	26	12	8	

DRIP IRRIGATION @ SHRUB/GROUNDCOVER AREAS (MODERATE)

SPRINKLER MANUFACTURER: HUNTER LOCATION: SONOMA, CALIFORNIA
 PRECIPITATION RATE (INCHES/HOUR): 0.53 HEAD SPACING: VARIES
 IRRIGATION SYSTEM EFFICIENCY: 0.90 HEAD GPM: 1 GALLON PER HOUR
 PLANT FACTOR: 0.50
 YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ET0 PER MONTH (INCHES):	1.00	1.80	3.00	4.50	5.80	6.60	7.10	6.30	4.70	3.30	1.80	1.00	46.10
ET0 PER WEEK (INCHES):	0.231	0.370	0.693	1.039	1.293	1.524	1.640	1.455	1.085	0.762	0.346	0.231	
APPLIED ET0 PER WEEK (INCHES):	0.128	0.205	0.385	0.677	0.719	0.847	0.911	0.808	0.603	0.423	0.192	0.128	
MINUTES OF WATER PER WEEK:	YEAR 1: 15	23	44	65	81	98	103	92	68	48	22	15	
DAYS PER WEEK:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES OF WATER PER DAY:	YEAR 1: 15	23	44	65	81	98	103	92	68	48	22	15	
CYCLES PER DAY:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES PER CYCLE:	YEAR 1: 15	23	44	65	81	98	103	92	68	48	22	15	
	YEAR 2: 13	21	39	59	73	88	93	82	61	43	20	13	

SUBSURFACE DRIP IRRIGATION AT PALM

SPRINKLER MANUFACTURER: HUNTER LOCATION: SONOMA, CALIFORNIA
 PRECIPITATION RATE (INCHES/HOUR): 1.57 HEAD SPACING: 18" DN CENTER
 IRRIGATION SYSTEM EFFICIENCY: 0.90 HEAD GPM: 46
 PLANT FACTOR: 0.50
 YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ET0 PER MONTH (INCHES):	1.00	1.80	3.00	4.50	5.80	6.60	7.10	6.30	4.70	3.30	1.80	1.00	46.10
ET0 PER WEEK (INCHES):	0.231	0.370	0.693	1.039	1.293	1.524	1.640	1.455	1.085	0.762	0.346	0.231	
APPLIED ET0 PER WEEK (INCHES):	0.128	0.205	0.385	0.577	0.719	0.847	0.911	0.808	0.603	0.423	0.192	0.128	
MINUTES OF WATER PER WEEK:	YEAR 1: 5	8	15	22	27	32	35	31	23	16	7	5	
DAYS PER WEEK:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES OF WATER PER DAY:	YEAR 1: 5	8	15	22	27	32	35	31	23	16	7	5	
CYCLES PER DAY:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES PER CYCLE:	YEAR 1: 5	8	15	22	27	32	35	31	23	16	7	5	
	YEAR 2: 4	7	13	20	25	29	31	28	21	15	7	4	

BUBBLER IRRIGATION @ TREES (LOW)

SPRINKLER MANUFACTURER: HUNTER LOCATION: SONOMA, CALIFORNIA
 PRECIPITATION RATE (INCHES/HOUR): 1.50 HEAD SPACING: VARIES
 IRRIGATION SYSTEM EFFICIENCY: 0.85 HEAD GPM: 2 X .25
 PLANT FACTOR: 0.30
 YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ET0 PER MONTH (INCHES):	1.00	1.80	3.00	4.50	5.80	6.60	7.10	6.30	4.70	3.30	1.80	1.00	46.10
ET0 PER WEEK (INCHES):	0.231	0.370	0.693	1.039	1.293	1.524	1.640	1.455	1.085	0.762	0.346	0.231	
APPLIED ET0 PER WEEK (INCHES):	0.082	0.130	0.245	0.367	0.456	0.538	0.579	0.514	0.383	0.269	0.122	0.082	
MINUTES OF WATER PER WEEK:	YEAR 1: 3	5	10	15	18	22	23	21	16	11	5	3	
DAYS PER WEEK:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES OF WATER PER DAY:	YEAR 1: 3	5	10	15	18	22	23	21	16	11	5	3	
CYCLES PER DAY:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES PER CYCLE:	YEAR 1: 3	5	10	15	18	22	23	21	16	11	5	3	
	YEAR 2: 3	5	9	13	16	19	21	18	14	10	4	3	

BUBBLER IRRIGATION @ TREES (MODERATE)

SPRINKLER MANUFACTURER: HUNTER LOCATION: SONOMA, CALIFORNIA
 PRECIPITATION RATE (INCHES/HOUR): 1.50 HEAD SPACING: VARIES
 IRRIGATION SYSTEM EFFICIENCY: 0.85 HEAD GPM: 2 X .25
 PLANT FACTOR: 0.50
 YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ET0 PER MONTH (INCHES):	1.00	1.80	3.00	4.50	5.80	6.60	7.10	6.30	4.70	3.30	1.80	1.00	46.10
ET0 PER WEEK (INCHES):	0.231	0.370	0.693	1.039	1.293	1.524	1.640	1.455	1.085	0.762	0.346	0.231	
APPLIED ET0 PER WEEK (INCHES):	0.138	0.217	0.408	0.611	0.761	0.897	0.985	0.858	0.639	0.448	0.204	0.138	
MINUTES OF WATER PER WEEK:	YEAR 1: 5	9	16	24	30	36	39	34	26	18	8	5	
DAYS PER WEEK:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES OF WATER PER DAY:	YEAR 1: 5	9	16	24	30	36	39	34	26	18	8	5	
CYCLES PER DAY:	YEAR 1: 1	1	1	1	1	1	1	1	1	1	1	1	
MINUTES PER CYCLE:	YEAR 1: 5	9	16	24	30	36	39	34	26	18	8	5	
	YEAR 2: 5	8	16	22	27	32	35	31	23	16	7	5	

WATER USE CALCULATIONS

MAXIMUM APPLIED WATER USE (MMU) = (ET0 X .8 X LANDSCAPED AREA X 0.82)

ET0 _____ 46.1 INCHES
 LANDSCAPED AREA _____ 664 SQUARE FEET
 MMU _____ 11,387 GALLONS/YR

ESTIMATED TOTAL WATER USE (ETWU) = (ET0 X PLANT FACTOR X LANDSCAPED AREA X 0.82)/IRRIGATION EFFICIENCY

1. DRIP IRRIGATION IN SHRUB/GROUNDCOVER AREAS WITH LOW WATER-USE PLANT MATERIAL:

LANDSCAPED AREA _____ 389 SQUARE FEET
 PLANT FACTOR _____ 0.3
 IRRIGATION EFFICIENCY _____ 0.90
 ETWU _____ 3,697 GALLONS/YR

2. DRIP IRRIGATION IN SHRUB/GROUNDCOVER AREAS WITH MODERATE WATER-USE PLANT MATERIAL:

LANDSCAPED AREA _____ 112 SQUARE FEET
 PLANT FACTOR _____ 0.5
 IRRIGATION EFFICIENCY _____ 0.90
 ETWU _____ 1,778 GALLONS/YR

3. SUB-SURFACE DRIP IRRIGATION ON LOW WATER-USE PALM:

LANDSCAPED AREA _____ 38 SQUARE FEET
 PLANT FACTOR _____ 0.3
 IRRIGATION EFFICIENCY _____ 0.90
 ETWU _____ 343 GALLONS/YR

4. TREE BUBBLER IRRIGATION FOR LOW WATER-USE TREES:

LANDSCAPED AREA _____ 48 SQUARE FEET
 PLANT FACTOR _____ 0.3
 IRRIGATION EFFICIENCY _____ .85
 ETWU _____ 484 GALLONS/YR

5. TREE BUBBLER IRRIGATION FOR MODERATE WATER-USE TREES:

LANDSCAPED AREA _____ 80 SQUARE FEET
 PLANT FACTOR _____ 0.5
 IRRIGATION EFFICIENCY _____ .85
 ETWU _____ 1,346 GALLONS/YR

TOTAL ETWU CALCULATION _____ 7,647 GALLONS/YR

CITY OF SONOMA
HYDROZONE TABLE

Hydrozone*	Zone or Valve Number	Irrigation Method**	Area (Sq. ft.)	% of Landscaped Area
MW	1	DRIP	44	7%
LW	2	DRIP	80	12%
LW	3	BUBBLER	48	7%
MW	4	BUBBLER	64	10%
LW	5	DRIP	80	12%
MW	6	BUBBLER	16	2%
MW	7	DRIP	68	10%
LW	8	DRIP	132	20%
LW	9	DRIP	96	14%
LW	10	DRIP	36	5%
Total			664	100%

Summary Hydrene Table

Hydrozone*	Total Sq. Ft.
High Water Use	0
Moderate Water Use	192
Low Water Use	472
Total	664

*Hydrozone
 HW=High Water Use Plants
 MW = Moderate Water Use Plants
 LW=Low Water Use Plants

**Irrigation Method:
 MS = Micro-Spray
 S = spray
 R = Ruler
 B = Bubbler
 D = Drip
 O = Other



BROWN RESIDENCE
 236 2nd St East
 Sonoma, CA 95476

DRAWN BY BK

SCALE 1/8" = 1'-0"

DATE ISSUE

2/13/2013 CLIENT REVIEW

2/19/2013 DRC SUBMITTAL

IRRIGATION SCHEDULE & CALCS

L-5

DICKSON & ASSOCIATES, INC.
 LANDSCAPE IRRIGATION
 MURRY DICKSON, AISC-FID
 TEL.(530) 847-8618 FAX.(530) 847-8513
 P.O. BOX 418
 PALO CEDRO, CALIFORNIA 95073
 © Dickson & Associates, Inc.



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 3

Meeting Date: 03/19/13

Applicant

Sam Turner (Gracie Construction)

Project Location

137-139 East Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: Circa 1880

Request

Consideration of a new paint color, a lighting plan, and a landscape plan for a restaurant.

Summary***Exterior Details:***

Paint color: The applicant is proposing to paint the body of the structure Benjamin Moore willow (CC542) and the trim, doors, and windows are proposed to be painted Benjamin Moore blacktop (2135-10) (see attached color brush outs).

Lattice: A twelve foot tall black painted metal lattice, planted with vines, is proposed on the east facing wall of the adjoining property (Della Santina's Trattoria building).

Gate: an Eight foot tall black painted metal gate is proposed to replace the existing gate between the subject property and the adjacent building to the west. In addition a seven foot tall black painted metal gate is proposed on the east property line, which will be planted with vines to screen the driveway area.

Exterior Lighting: A lighting plan is proposed in the form of down lights mounted in the olives trees and mounted on the gate. The applicant is proposing FX Luminair down lights with a 10 watt halogen lumen output (see attached specification sheets). The landscape lighting will be located on the front and street side of the property and shall be shielded to avoid light transmission beyond the property boundaries. In addition, the existing fixtures mounted on the western wall of the entry garden will be replaced with similar fixtures in a darker color to minimize their visibility. The applicant has indicated that the lighting would be illuminated from 9 a.m. to 11 p.m. seven days per week. Normal business hours for the restaurant are 9 a.m. to 11 p.m. seven days per week.

Required Findings: For projects within the Historic Overlay zone, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

Signs: Any proposed signs shall be subject to DRC review of staff review, as applicable.

Landscaping Plan: At this time the applicant is requesting review of a landscape plan (attached) for the property. The subject property is not required to comply with the Water Efficient Landscape Ordinance (as the property is a historical site registered in the California Register or the National Register of Historic Places). The applicant is proposing to plant two olive trees which would be supplemented with shrubs, consisting of sheared topiary balls of boxwood, lavender, and germander of different sizes, and a forty-two inch hedge along the front of the property. In addition, Pandorea jasmonoides vine or Star Jasmine will be planted on the trellis.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments:

1. *Lighting Plan*
2. *Site Plan*
3. *Landscape Plan*
4. *Building Elevations*
5. *Landscape Plan*
6. *Irrigation Plan*

cc: Yupa Garret
 139 East Napa Street
 Sonoma, CA 95476

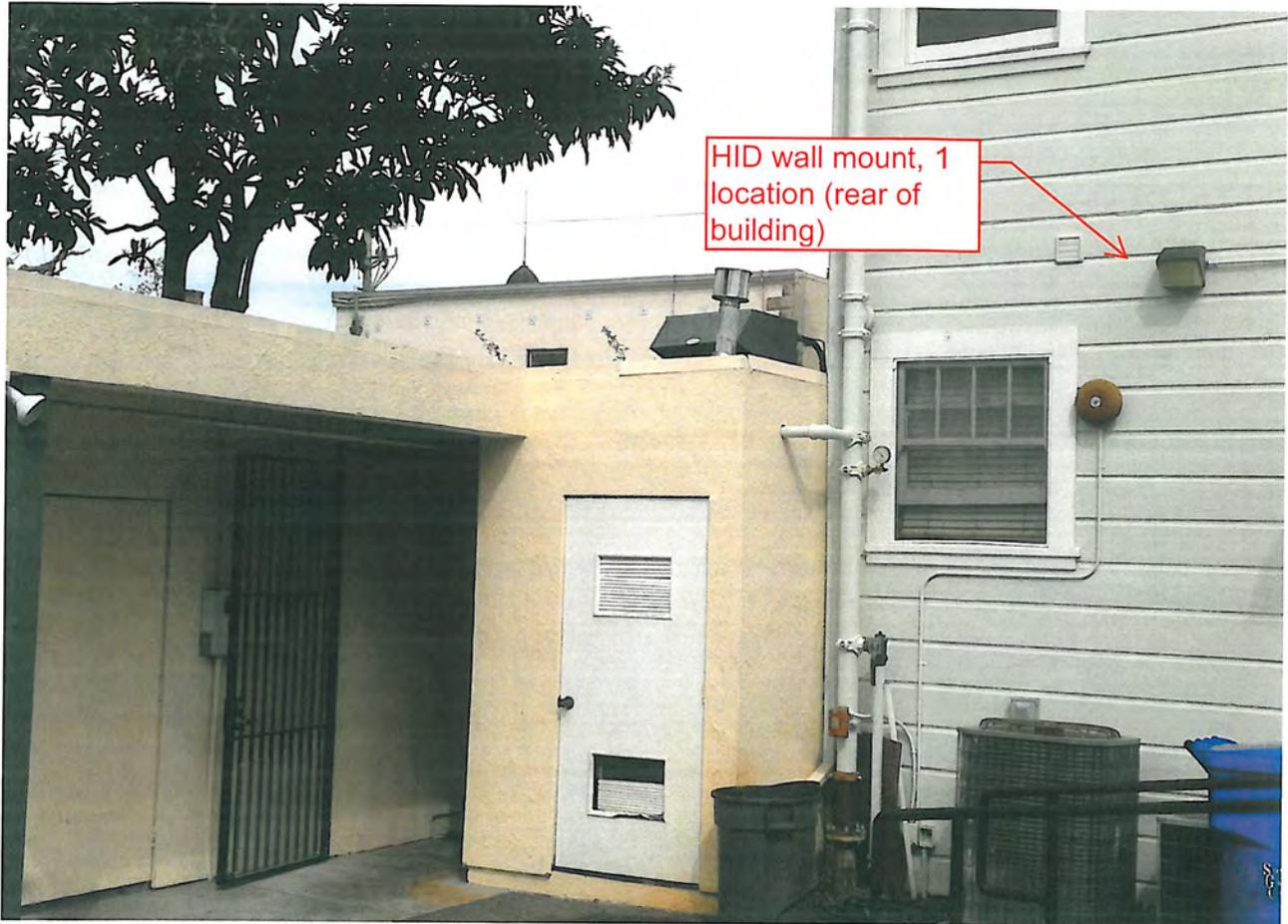
Sam Turner, via email

Patricia Cullinan, via email

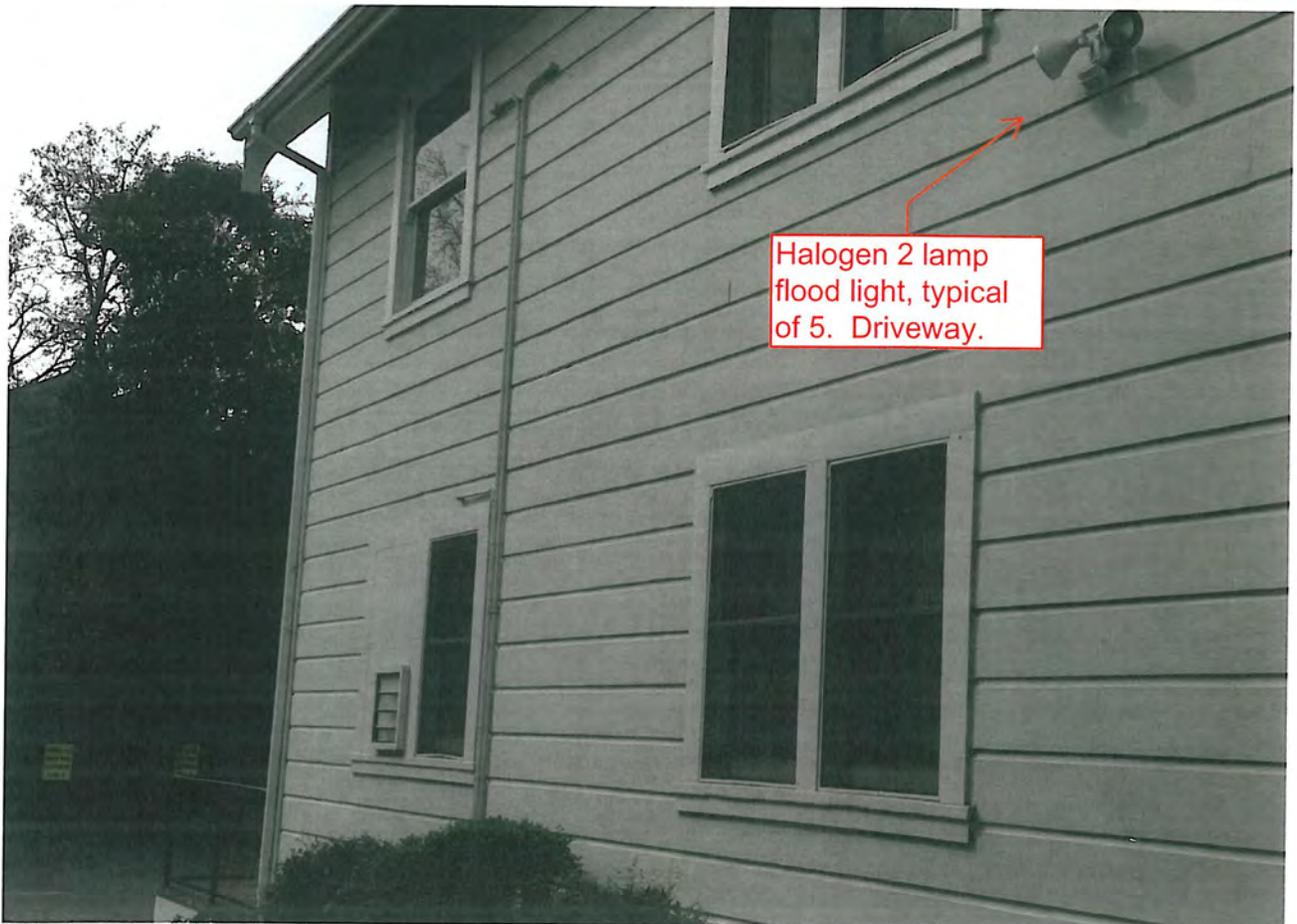
Pat Pulvirenti, via email

Diane Smith, via email

Yvonne Bowers, via email



HID wall mount, 1 location (rear of building)

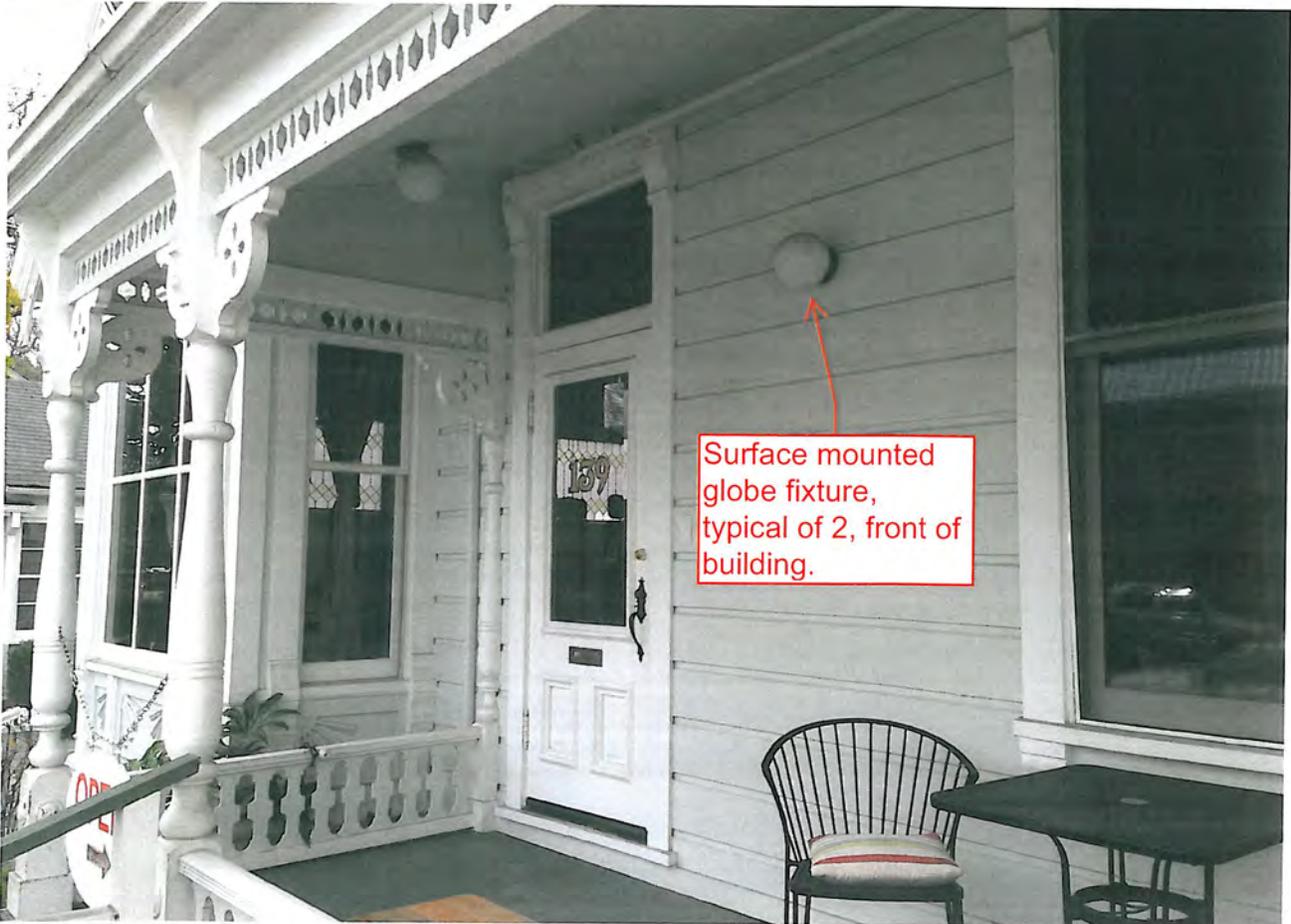


Halogen 2 lamp flood light, typical of 5. Driveway.



Landscape and building up lights in front planting area.

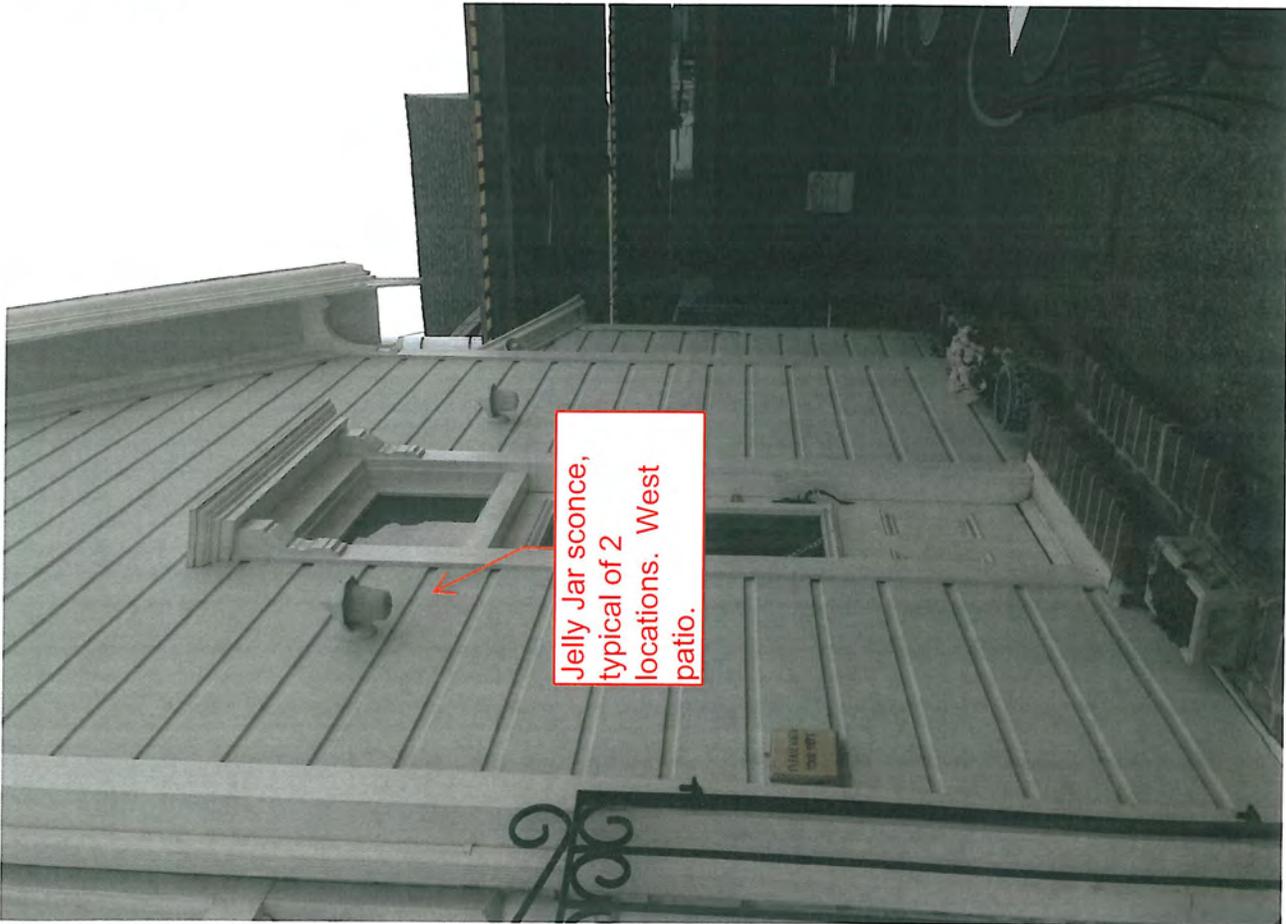
Exposed floor lamp up-light at sign.



Surface mounted globe fixture, typical of 2, front of building.



Post mounted lantern, typical of 4, West patio.



Jelly Jar sconce, typical of 2 locations. West patio.

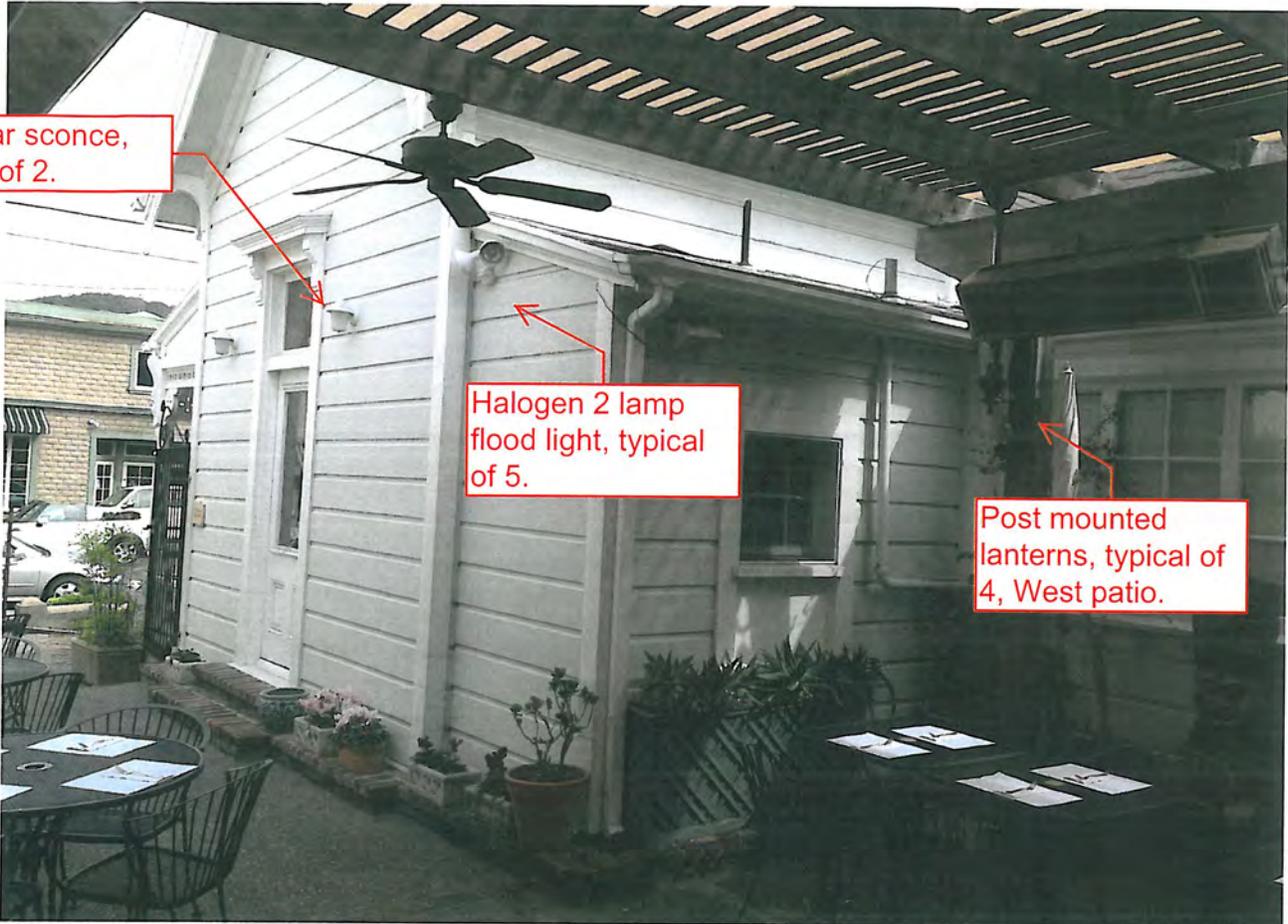


Halogen 2 lamp
flood light, typical
of 5. West patio/
front entry.



Craftsman style
wall sconce, typical
of 4, West patio.

Jelly Jar sconce, typical of 2.



Halogen 2 lamp flood light, typical of 5.

Post mounted lanterns, typical of 4, West patio.



Craftsman style sconce, typical of 4, West patio



Craftsman style wall sconce, typical of 4. West patio.



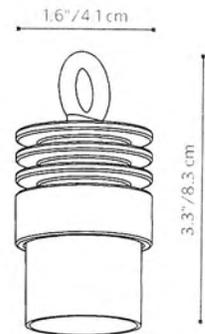
Post mounted lanterns, typical of 4, West patio.



To illuminate a space from above without the need for a large mount a LE can be hung to moonlight areas. Using a hook design, with the included four color filters, illuminate a seating area, under a table umbrella or even from the branch of a tree.

LE: Down Light

NUMBER OF LEDS:	1
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt
USEFUL LED LIFE (L70):	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V
VA TOTAL: (Use this number to size the transformer)	2.4
WATTS USED:	2.0
LUMENS PER WATT (EFFICACY)	22.6
MAX LUMENS:	55
CCT (Ra)	80.8





LE: Down

Low voltage down light for tree and gate use, Antique Tumbled on Brass (or similar)

FACTORY INSTALLED OPTIONS: Order 1 + 2 + 3

FIXTURE CODE	LAMP CODE	FINISH OPTIONS
1 LE	2 1 LED (50,000 avg. life hours)	3 XX (see options to right)

The LE includes a 1LED board, choice of finish and a stainless steel hanging cable and 26 ft. lead wire.

EXAMPLE: LE-1LED-BZ = LE - 1 LED - Bronze Metallic Finish

PHOTOMETRICS:

LE 1LED ILLUMINANCE AT A DISTANCE



Beam angle (α) calculated using LM-79 method for SS: Luminaires. Beam angle (α) defined as: two times the vertical angle at which the intensity is 50% of the maximum.

For information on ZD technology please refer to the Luxor page in the Lighting Control section.

METALS

- AB = Antique Bronze* (On Copper)
- AB = Antique Bronze* (On Brass)
- AT = Antique Tumbled* (On Copper)
- AT = Antique Tumbled* (On Brass)
- CU = Copper
- NP = Nickel Plate

POWDERCOAT

- WG = White Gloss
- FW = Flat White
- AL = Almond
- BZ = Bronze Metallic
- DG = Desert Granite
- WI = Weathered Iron
- VF = Verde Speckle
- SB = Sudano Brown
- FB = Flat Black

* May require longer lead time

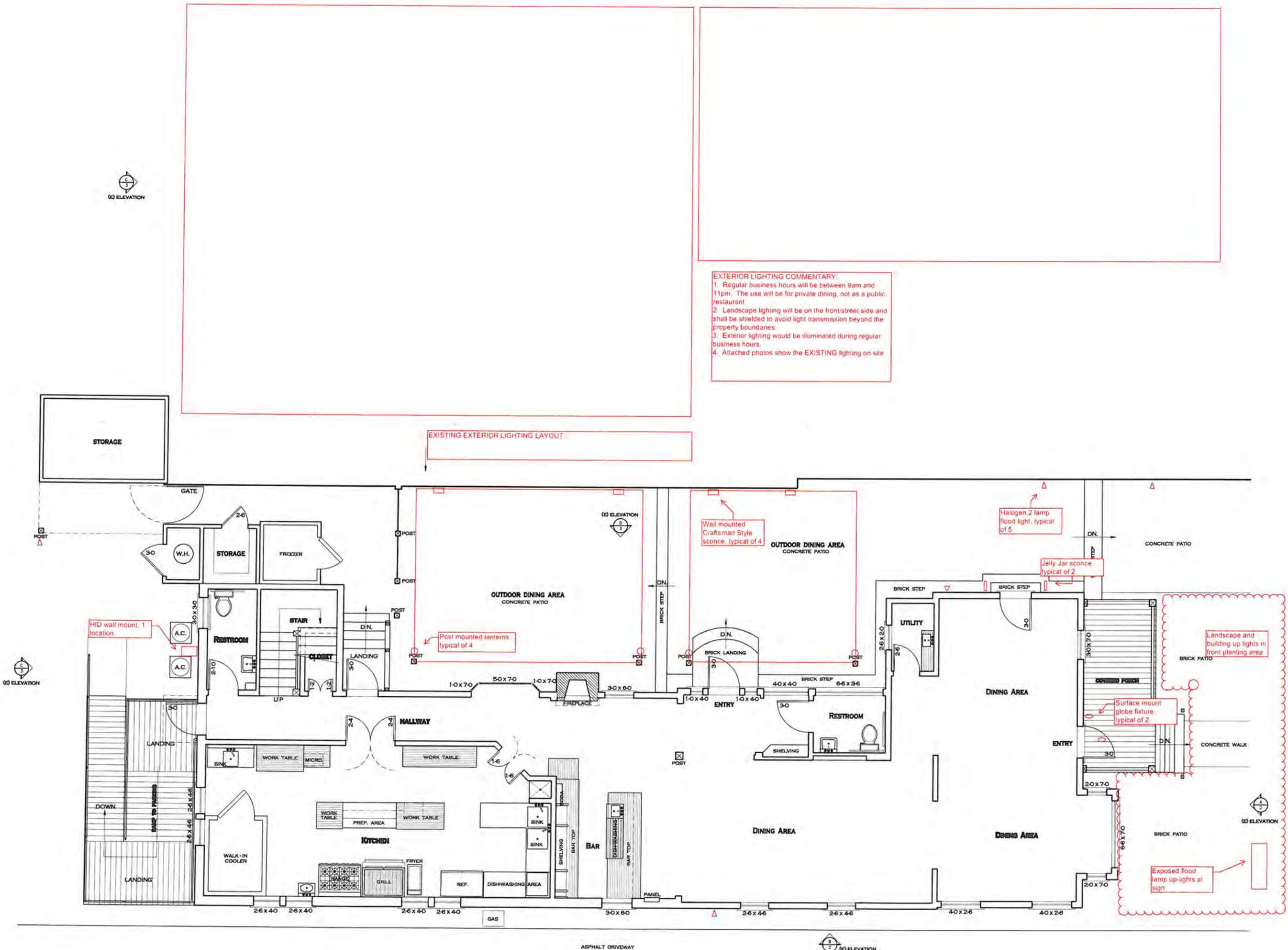
All LE down lights come standard with amber, green, blue and frosted filters

Revisions:

F I
G O

CONSTRUCTION DRAWINGS
FRED O'DONNELL
622 BROADWAY
P.O. BOX 898
SONOMA, CA. 95476
707.896.0108 WORK
707.896.0112 FAX
FREDODONNELL@GMAIL.COM
WWW.FREDODONNELL.COM

EXTERIOR LIGHTING COMMENTARY:
1. Regular business hours will be between 9am and 11pm. The use will be for private dining, not as a public restaurant.
2. Landscape lighting will be on the front/street side and shall be shielded to avoid light transmission beyond the property boundaries.
3. Exterior lighting would be illuminated during regular business hours.
4. Attached photos show the EXISTING lighting on site.



RINS THAI RESTAURANT
AS-Built Plans
139 East Napa Street
Sonoma, California

Date: FEBRUARY 2019
Scale: AS NOTED

Existing 1st and 2nd Floor Plans

1

PROJECT DATA:

Parcel APN: 018-261-005

Addresses: 137/139 East Napa Street

Zoning : C (commercial)

Overlays: Historic District, Downtown District

EXISTING AREAS:

Lot = 6,726 SF (County records)

Existing building footprint = 2,013 SF

Existing building square footage = 2,013 first floor, 821 second floor, 2,834 total.

PROPOSED AREAS:

No change to building footprint.

Existing F.A.R. = .42

New F.A.R. = .42

Allowed F.A.R. = 2.0

Existing Lot Coverage = .30

New Lot Coverage = .30

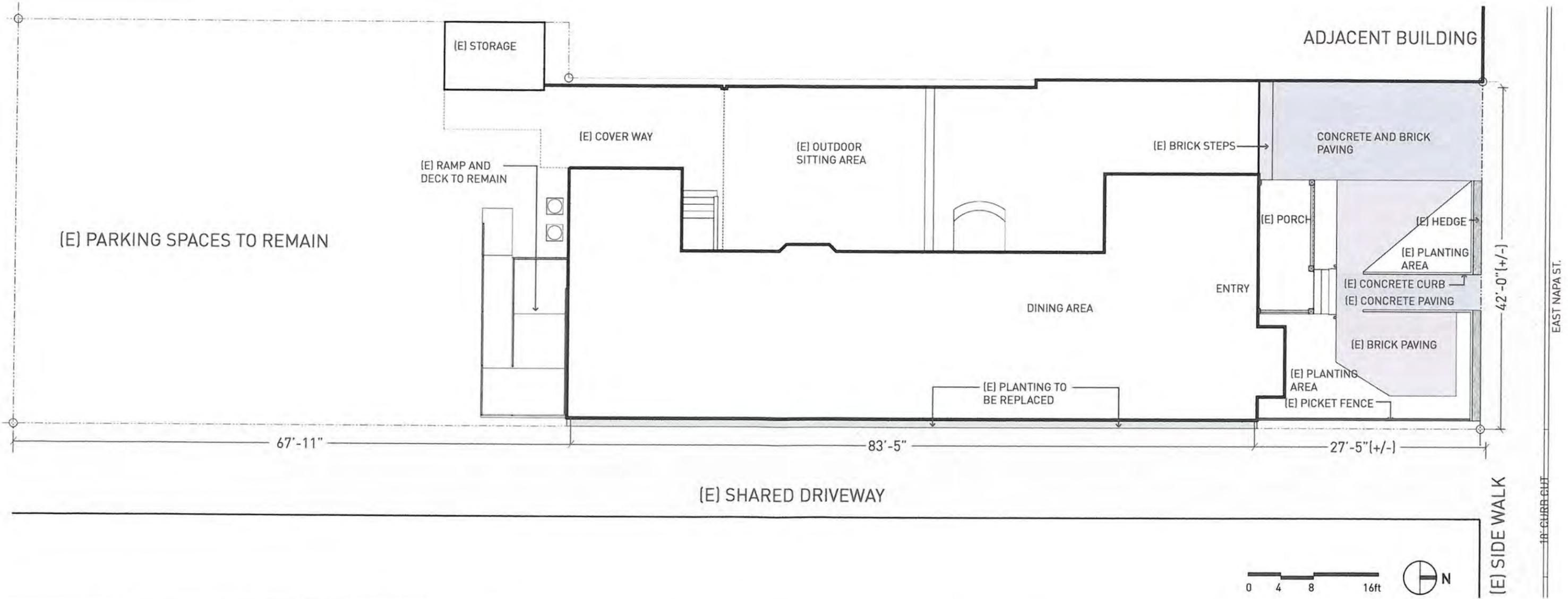
Allowed Lot Coverage = 100%

No additional restaurant/dining seating is being sought in this application.

HISTORIC OVERLAY DISTRICT NARRATIVE

It is the project team's opinion that all proposed work on the exterior of the structure is in keeping with the historic character of the existing building and the surrounding area. No historic or relevant exterior details or features are being proposed for change or deletion in this application which provides compliance with City of Sonoma Developmental Code Section 19.42, Historic Preservation and infill in the Historic Zone.

Additionally, the project complies with and complements the City of Sonoma Development Code Section 19.34.010 in an effort to 'preserve and enhance its historic character and to retain and promote its economic vitality as a commercial, cultural and civic center attractive to residents and visitors.'

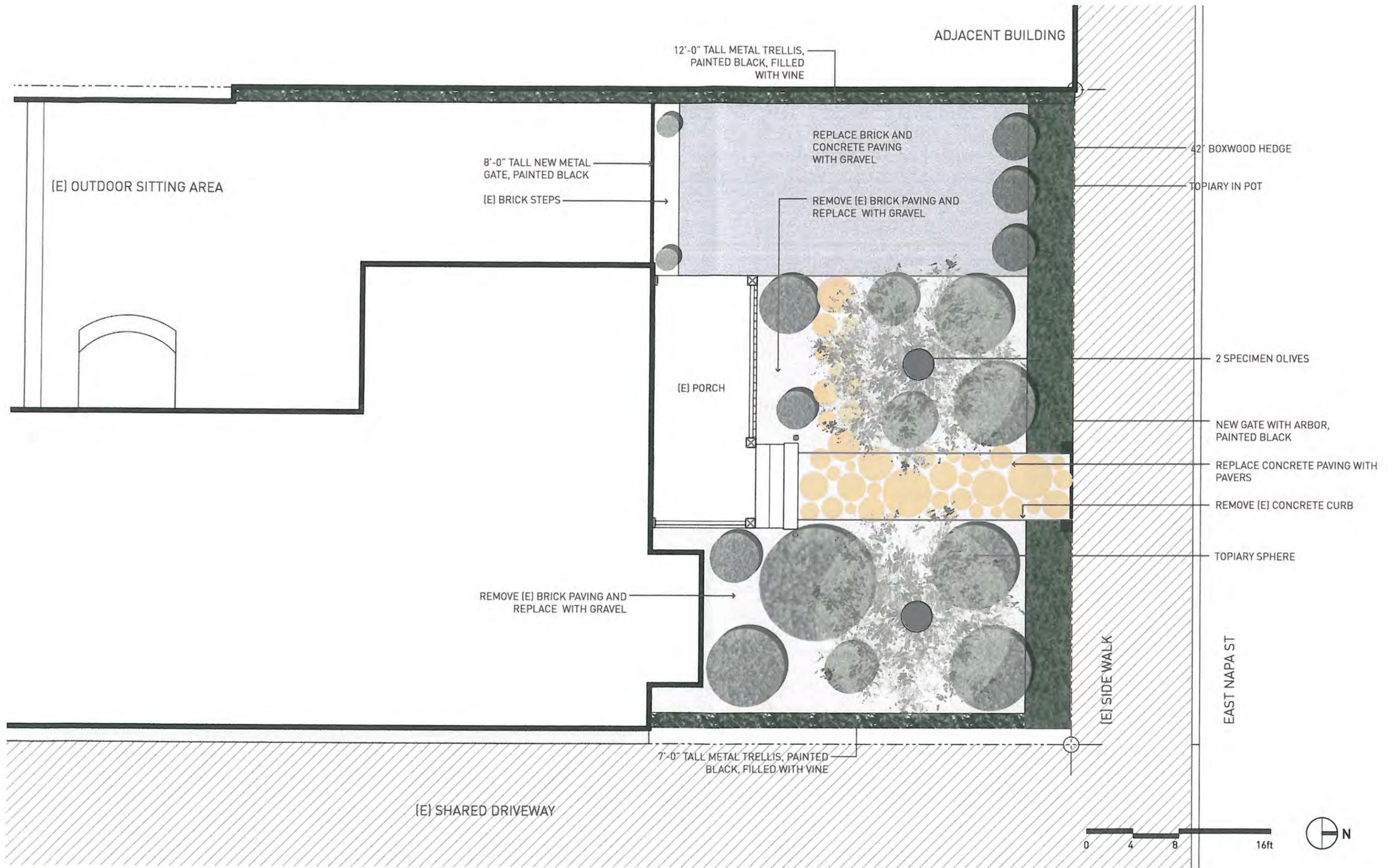


139 EAST NAPA ST. SONOMA, CALIFORNIA

DESIGN REVIEW SUBMITTAL, FEBURARY 19TH, 2013

SITE PLAN

FEB 19 2013



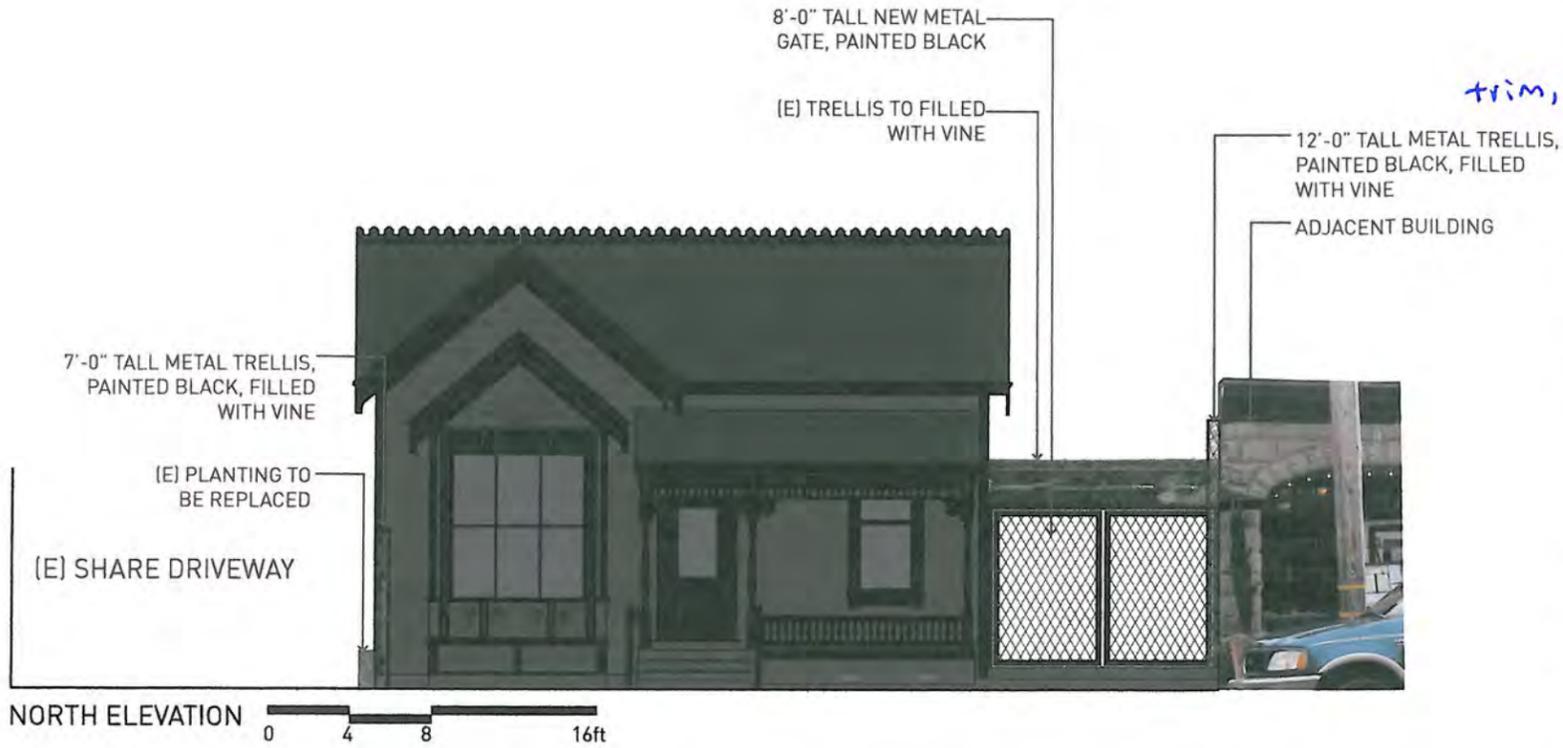
139 East Napa Street Design Narrative

The proposed changes to the exterior of this property include repainting the two story Victorian structure that has been operating as a Thai restaurant. The proposed colors are to be Benjamin Moore "Willow" for the body of the house, in harmony with the neighboring building on the west, trimmed with black at the doors and windows, as shown on the elevation.

We propose renovating the landscaping in the front yard to improve the property as it is viewed from the street and create a beautiful entry garden. The design is in keeping with the Victorian historical vocabulary, with a more restrained palette to compliment the architecture. The brick paving will be removed in the front yard and replaced with large planting areas, with two new specimen olive trees flanking the front door and a new entry path of concrete stepping stones. Below the olives will be a playful planting of sheared topiary balls of boxwood, lavender, and germander of different sizes. A forty-two inch tall boxwood hedge will replace the existing low boxwood hedge at the sidewalk and will surround a new entry gate of black metal lattice, inset in a simple metal arbor with the logo of Stone Edge Farm laser cut into the metal frame above the gate.

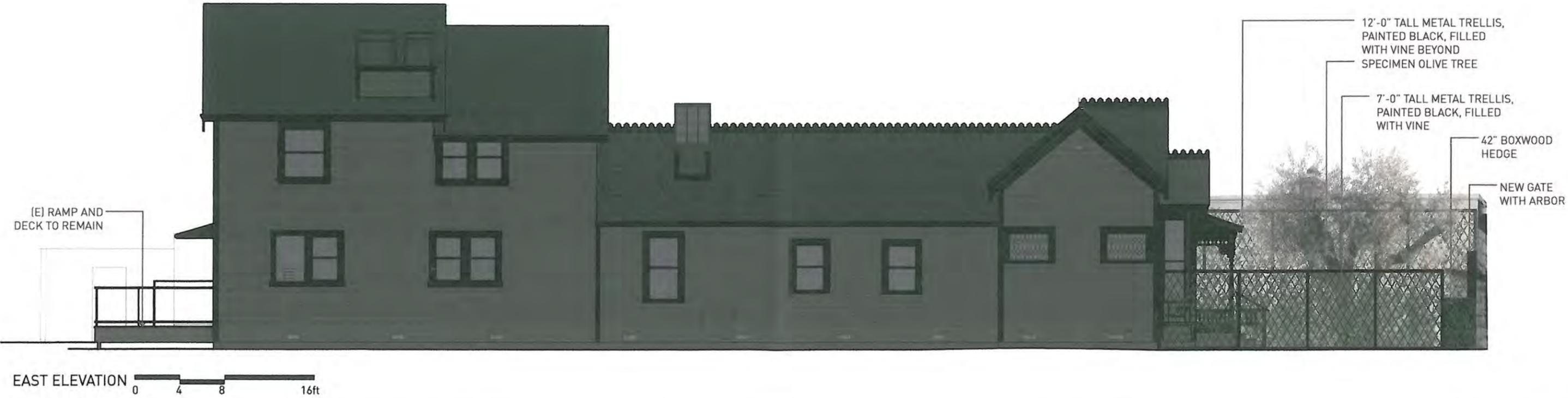
At the west property line, on a large blank wall on the side of Della Santina's Trattoria, we propose to install a 12 foot tall metal lattice, planted with vines to hide the side of the building. We propose to plant a Pandorea jasminoides vine or Star Jasmine on the trellis. The trellis design will be carried around to create an 8 foot tall gate, replacing the existing metal gate, at the outdoor dining area. This same design will also be used on to create a 7 foot fence on the east property line, planted with vines to screen the driveway.

Lighting is intended to be minimal and shielded with down lights mounted in the olives and gate. The existing fixtures mounted on the western wall of the entry garden will be replaced with similar fixtures in a darker color to minimize their visibility.



trim,

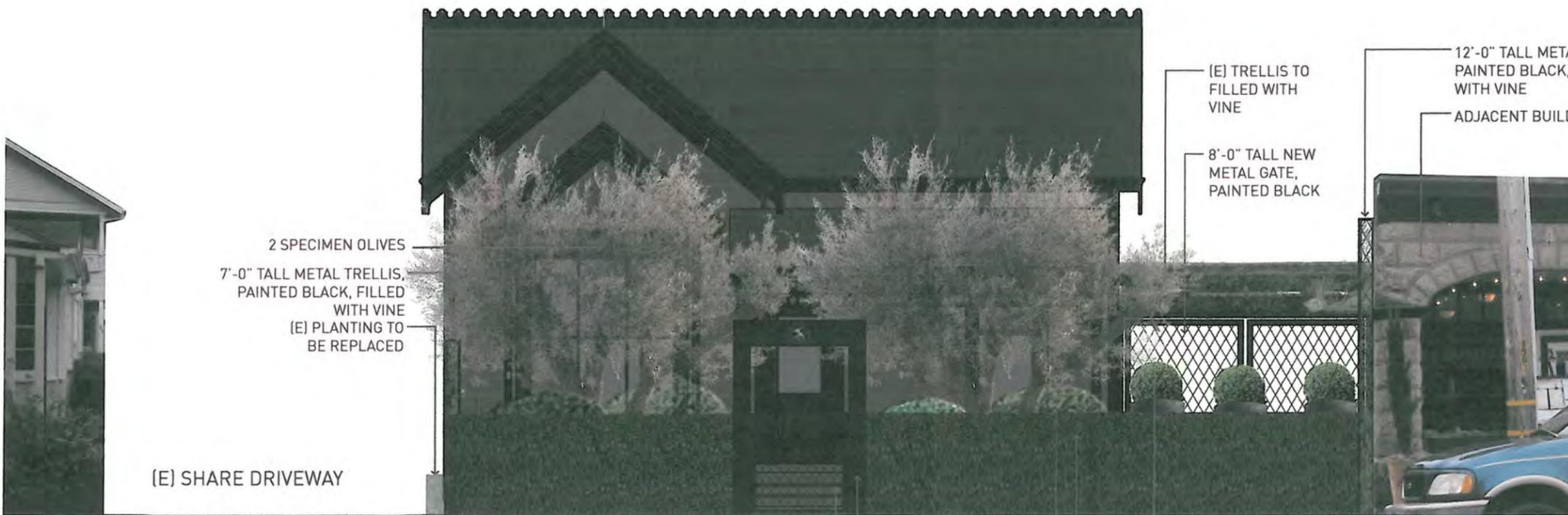
"Black top"





EXISTING NORTH STREET ELEVATION

0 4 8 12ft



(E) SHARE DRIVEWAY

2 SPECIMEN OLIVES
7'-0" TALL METAL TRELLIS,
PAINTED BLACK, FILLED
WITH VINE
(E) PLANTING TO
BE REPLACED

(E) TRELLIS TO
FILLED WITH
VINE
8'-0" TALL NEW
METAL GATE,
PAINTED BLACK

12'-0" TALL METAL TRELLIS,
PAINTED BLACK, FILLED
WITH VINE
ADJACENT BUILDING

NEW 42" TALL METAL
GATE, PAINTED BLACK

NEW 8'-8" TALL MET-
AL GATE WITH ARBOR,
PAINTED BLACK

TOPIARY IN POT
42" BOXWOOD HEDGE
TOPIARY SPHERE

PROPOSED NORTH STREET ELEVATION

0 4 8 12ft



139 EAST NAPA ST. SONOMA, CALIFORNIA

DESIGN REVIEW SUBMITTAL, FEBURARY 19TH, 2013

FRONT ELEVATIONS



139 EAST NAPA ST. SONOMA, CALIFORNIA

DESIGN REVIEW SUBMITTAL, FEBURARY 19TH, 2013

FRONT ELEVATIONS WITHIN 100FT CONTEXT



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 4

Meeting Date: 3/19/13

Applicant

John Malick & Associates

Project Location

248 France Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: 1939 (the original structure was expanded and remodeled in 1998-1999)

Request

Design review of a proposed remodel and addition to a single-family home.

Summary

Site Description: The subject property is a 15,000-square foot corner lot at the intersection of France Street and Donner Avenue currently developed with a ±2,100-square foot residence with loggia and attached two-car garage. The home was originally constructed in 1939 but significantly expanded and remodeled to its current form in 1998-1999. The property is not listed in the local Historic Resources Survey or the California or National Registers. The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Surrounding land uses include other R-L zoned properties developed with single-family homes.

Proposed Project: The project involves remodeling the existing home, including significant exterior alterations that would change the structure's Mediterranean architectural form to a farmhouse/clapboard cottage style. As part of the project, the open loggia would be enclosed and a gallery provided at the back of the home along with reconfiguration of the front entry/porch and other interior changes. The roof design would also change significantly consistent with the proposed architectural style, including pitch, height, and provision of gable ends. Exterior materials for the living portion of the structure include clapboard wood siding, custom wood doors and double-hung windows. The attached garage is differentiated to appear as a barn, utilizing vertical board and batten siding and a custom designed wood garage doors. Architectural details include exposed rafter tails, weathered sconce light fixtures, and copper cupola. Standing metal seam roofing would be used throughout. In total, the proposed changes (including enclosure of the loggia) would increase the floor area of the residence by 423 square feet. Further details can be found in the attached project narrative and accompanying materials.

Zoning Requirements: The applicable zoning standards of the Low Density Residential (R-L) zone are as follows:

Setbacks: The relatively minor changes to the building footprint do not raise any issues in terms of setback requirements. The front porch/entry modifications would occur behind the required 20-foot front yard setback and the small areas of addition at the rear of the home are setback significantly from the rear property line. The non-conforming building footprint located within the 20-foot street side setback off Donner Street would not change and the loggia enclosure and nearby bake over on the west side of the property would respect the required 7-foot side yard setback.

Coverage: The project would result in lot coverage of 20%, less than the 40% maximum allowed.

Floor Area Ratio (F.A.R.): The project would result in an F.A.R. of 0.20, less than the 0.35 maximum allowed.

Parking: One covered parking space is required for a single-family home. The existing two-car garage would continue to provide required parking for the property.

Height: The maximum building height within the R-L zone is 30 feet. The roof peaks associated with the garage and new family room would have a height of ≤23 feet, while the remainder of the home would not exceed 18 feet in height.

In summary, the project complies with the applicable zoning requirements.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the increase in floor area, change in roof design, and alterations to the front and street side elevations are subject to site plan and architectural review by the DRC because the original structure was constructed prior to 1945 and lies within the Historic Overlay Zone. Accordingly, the DRC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials. As a remodel/addition project, the exterior color scheme is not subject to the DRC's discretion. In review of the application the DRC must consider a number of factors and required findings (the applicable Code excerpts have been attached for reference).

With respect to these items staff would note that the subject property is not historically significant and the surrounding neighborhood reflects a wide variety of architecture and construction dates from the 20th century. In addition, the proposal would not affect any environmental features on or adjacent to the site. One of the more important aspects for the DRC to consider is how the proposal relates to the adjacent development.

Compliance with CEQA: The proposal is a discretionary project subject to the requirements of the California Environmental Quality Act (CEQA). Per the historic resource evaluation prepared by Preservation Architecture dated February 19, 2013 (attached) the property does not meet any of the criteria for listing on the California Register of Historical Resources. Accordingly, the residence is not considered an historical resource as defined under CEQA and, pursuant to Section 15301 of the CEQA Guidelines, the remodel/addition project is categorically exempt (Class 1 – Existing Facilities).

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

cc: John Malick & Associates (via email)
1195 Park Ave., Suite 102
Emeryville, CA 94608

Jim & Denny Hoelter
310 Hillside Ave.
Piedmont, CA 94611

Frances Foster
291 Patten Street
Sonoma, CA 95476

Attachments:

1. Code Excerpt
2. Project Narrative
3. Product Information on Exterior Materials and Fixtures
4. Historic Resource Evaluation prepared by Preservation Architecture dated 2/19/13
5. Site Plan, Floor Plans, Building Elevations, Photos of Existing Conditions, and Construction Details

Architect's Design Statement for home on 248 France Street, Sonoma, California

Our intent is to design a home which is compatible with the existing older development in the neighborhood, but reflective of the historic character of Sonoma's original homes.

The existing home sits on a 15,000 s.f. corner lot. An open air loggia was added to the rear of the home a few years ago. The new owner would like to enclose the loggia, create an enclosed glazed gallery at the rear of the house that connects the loggia to the bedroom wing, and move the existing street wall back to create a continuous porch along the street.

The changes to the enclosed area would be as follows:

Additions

Loggia	575 s.f.
Bake oven at kitchen	20 s.f.
Rear gallery	108 s.f.
Rear office	<u>29 s.f.</u>
Total Additions	732 s.f.

Removed Areas

Front porch	<239 s.f.>
Portion of rear bedroom	<u>< 70 s.f.></u>
Total Removed Areas	<309 s.f.>

Net increase in occupied area 423 s.f.

Therefore, the home's enclosed area will increase from:

Existing	2,517 s.f.
Addition	<u>423 s.f.</u>
Proposed	2,940 s.f.

Therefore, the FAR would increase

	<u>2,517</u>		
from	15,000	=	16.78%
	<u>2,940</u>		
to	15,000	=	19.6%

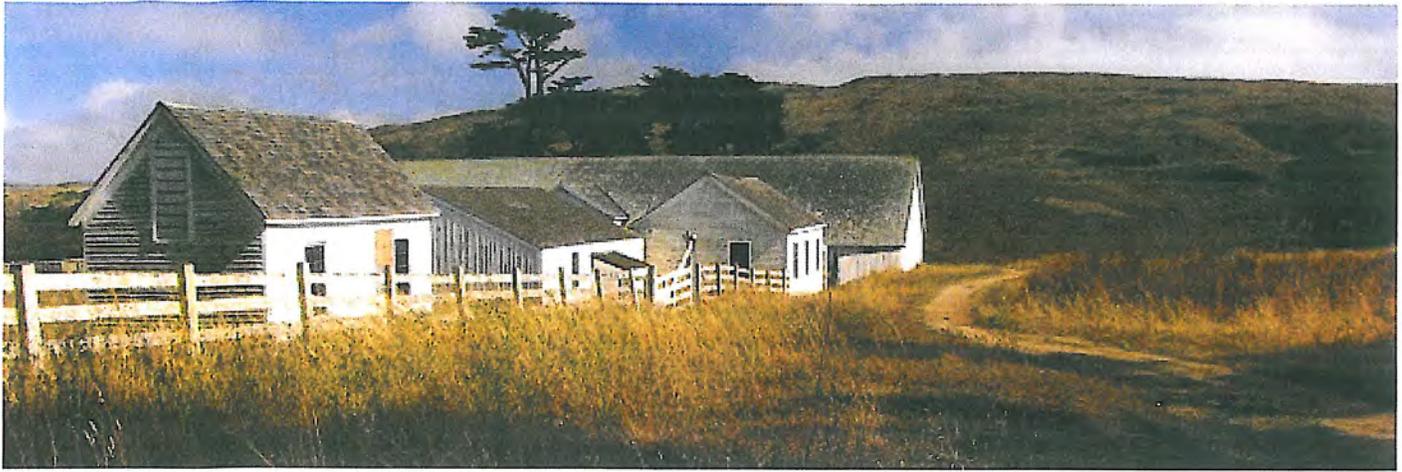
Although the current house has no pre-existing historical elements, the character of the proposed design is intended to evoke early farmhouses indigenous to California's agricultural areas and Sonoma County in particular.

The form of the house is a traditional grouping of simple farm buildings - a main house and an accessory barn (see 1). The barn is designed to disguise its use as a 2-car garage by incorporating a custom designed wooden bi-folding garage door system that appears to be a simple pair of central barn doors (see 2, 3). The "barn" is made subordinate to the home by its use of simple vertical board-and-batten siding and simplified detailing (see 4).

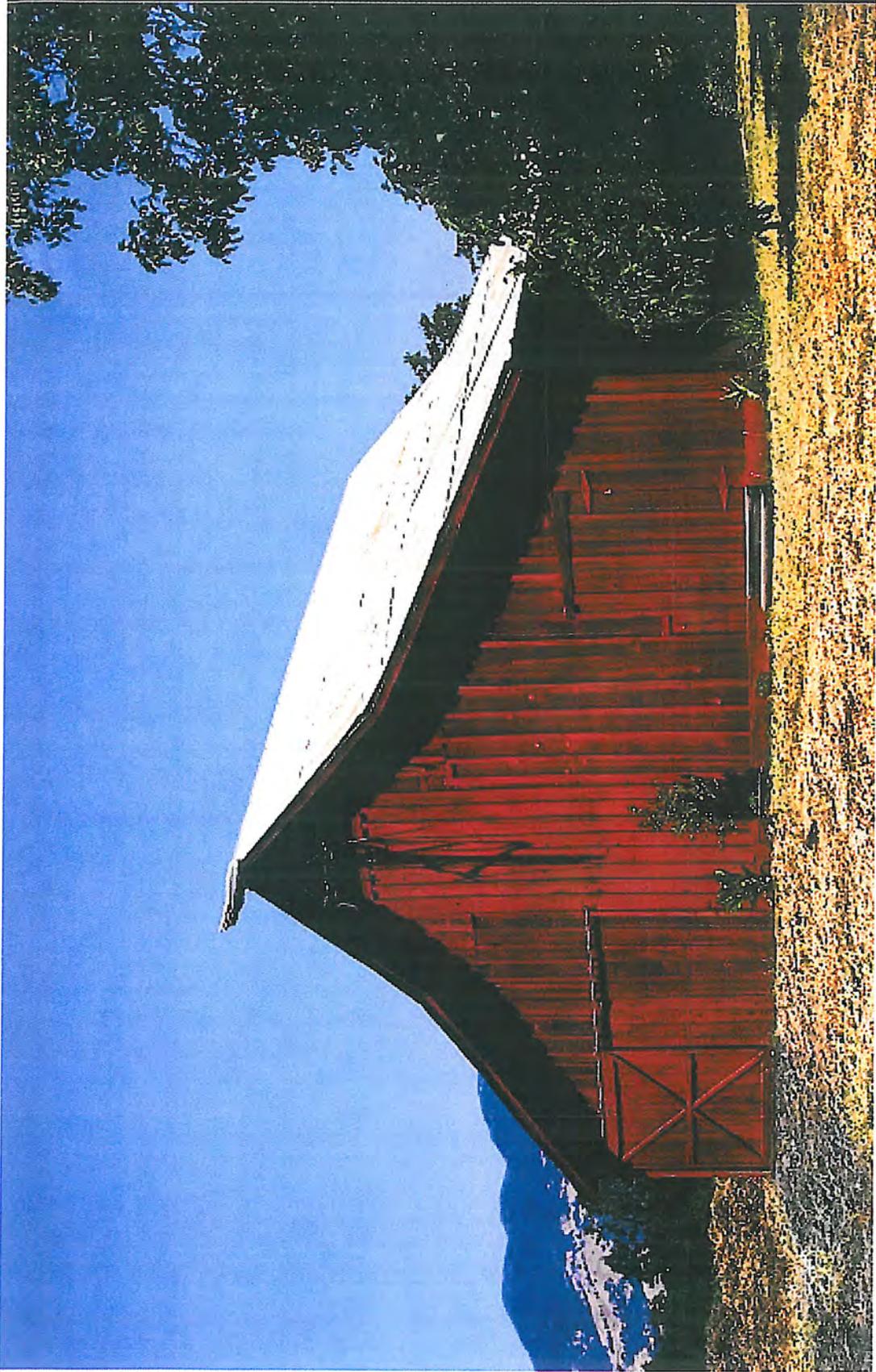
The home uses the vocabulary of a clapboard cottage with exposed rafter tails, and a south-facing porch enfronting the street (see 5). The standing seam metal roof slopes have been increased to be consistent with the style. By increasing the slope, the ridge heights increase as shown on sheet A100. At the rear of the home, a generous porch, that alternates between enclosed, screened and open, wraps around a classic garden courtyard beneath the broad limbs of an olive tree.

The windows and doors will be custom designed, painted, wood, double-glazed with 3/4" sticking over spacers.

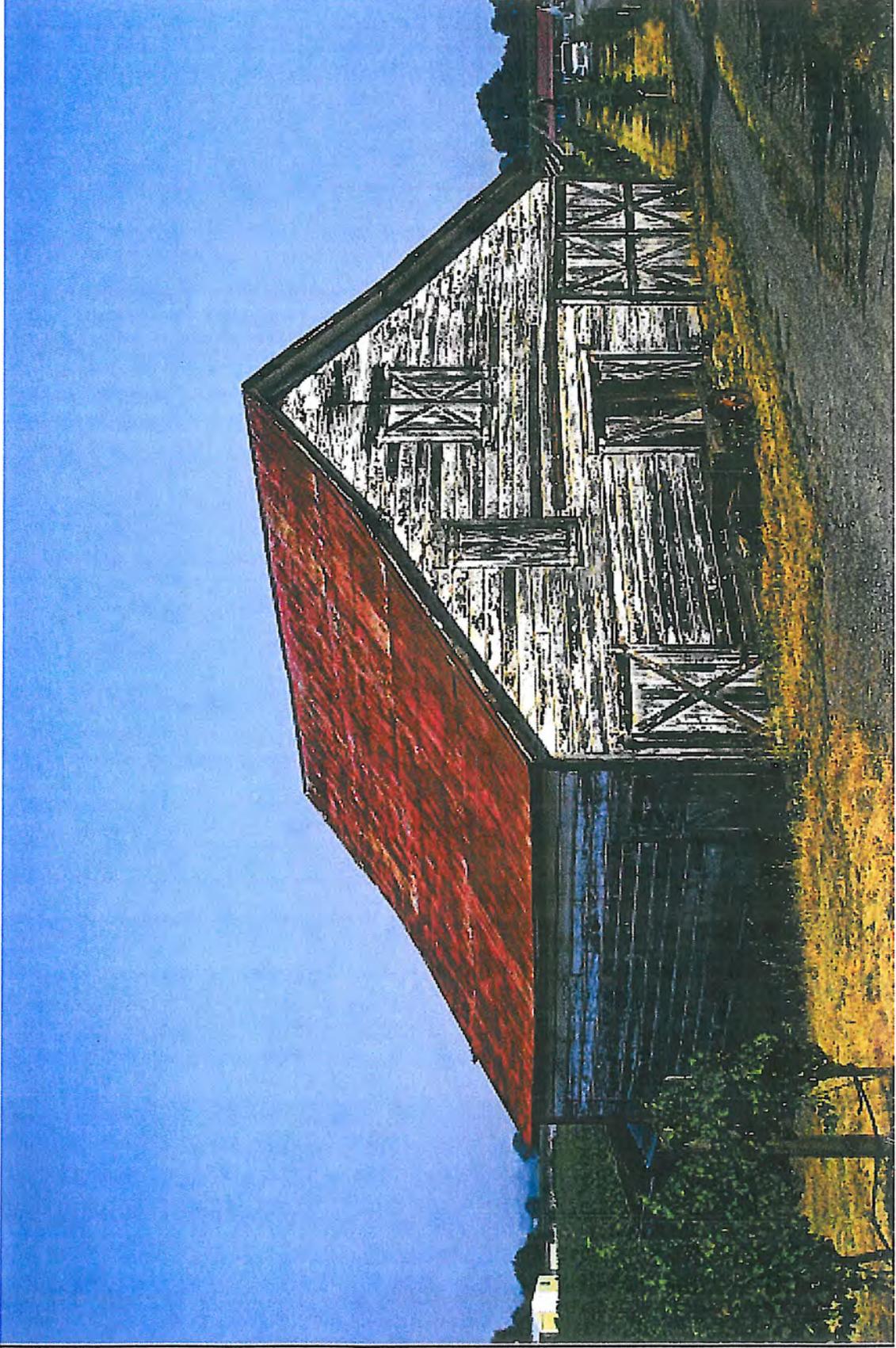
The balance of the gardens and all existing trees will be maintained, and the existing walkway will be relocated to the west to align with the new front which opens on to the street facing porch.



1) Traditional grouping of farm buildings.



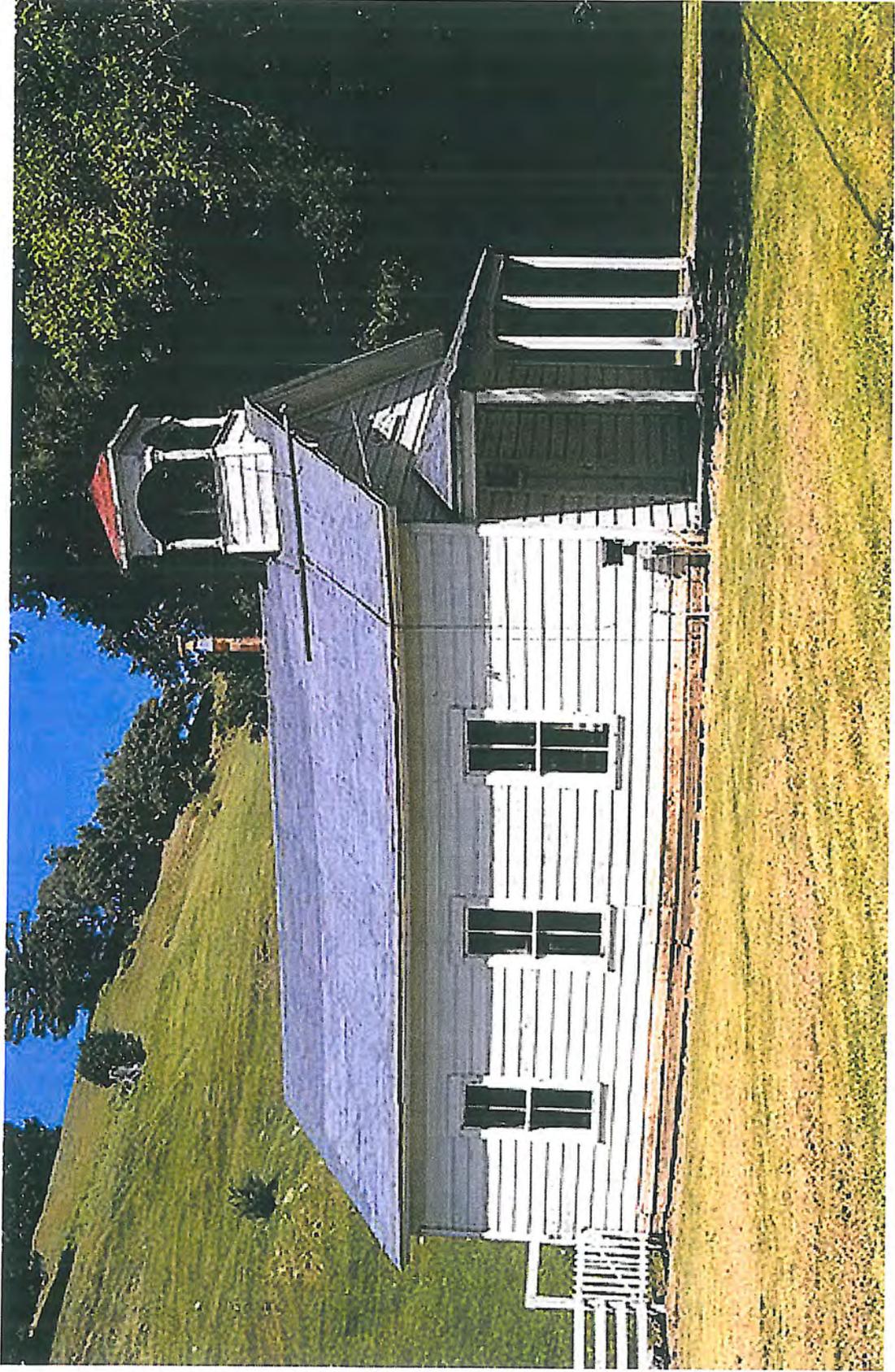
2) Barn examples



3) Barn examples



4) Example of subordination of barn to main house.



5) Example of cottage detailing.



VINTAGE BARN SCONCE WEATHERED ZINC

~~\$199 - \$289~~ **\$159 - \$289**

[Select Items On Special](#)

A reproduction of an enamel pendant that's been a fixture – literally – in barns across the country for the last century, this design classic deserves to be brought indoors. We preserved the functional design, and gave it a new look in a variety of finishes.

[Hide product details...](#)

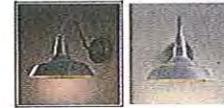
- Made of steel and aluminum
- Weathered zinc shade has weathered zinc cap
- Reflector finish matches exterior finish of shade
- 10" and 14" use one 60 max. bulb, not included
- 18" uses one 75W max. bulb, not included
- Hardwire
- Damp UL-listed
- 10" and 14" are *Catalog and Web only*

DIMENSIONS

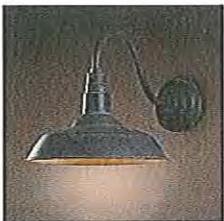
10" Sconce: 14¾"L x 10"W x 10"H

14" Sconce: 21½"L x 14"W x 13½"H

18" Sconce: 25"L x 18"W x 17¼"H



Finish Options



VINTAGE BARN SCONCE WEATHERED ZINC

~~\$199 - \$289~~ **\$159 - \$289** ITEM# 68050002 WZNC

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FINISH SIZE

AVAILABILITY & DELIVERY

Expect delivery on or before 03/13/13.

[Standard Delivery Shipping](#)

PRICE QUANTITY
~~\$199 ea~~ **Special \$159 ea**



INCANDESCENT EDISON FROST BULB (SET OF 2)

~~\$3~~ **Special \$2.50** ITEM# 68360104 BULB

[See all product details.](#)

WATTAGE

AVAILABILITY & DELIVERY

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PRICE QUANTITY
~~\$3 ea~~ **Special \$2.50 ea**

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CLICKLOCK STANDING SEAM

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ClickLock: Traditional Metal Roofing From A Specialty Roofing Manufacturer

When most homeowners begin thinking about a metal roof, all they can envision are the roofs they have seen on barns and commercial buildings. Those types of metal roofs typically have panels that run vertically up the roof. These types of metal panel roofs are called "Standing Seam" because their prominent visual feature is the raised interlocking seam which joins one panel to the next. Often called "commercial roofing," or "agricultural panel roofing," or even "barn roofing," these products do provide the great protection and durability for which metal is known. Classic's ClickLock Standing Seam provides the look of the products that you see everywhere on restaurants and farm outbuildings.

ClickLock has been engineered in narrow 12" panels for a clean, contemporary look that is architecturally scaled for the scale of any home rather than for the larger scale of a barn or shopping center. Manufactured from heavy-duty, rust-free aluminum, ClickLock stands apart from most standing seam panels that are steel. Additionally, in comparison to most agricultural panels, ClickLock has all concealed fasteners, eliminating failure-prone rubber washers beneath exposed screw heads.

For homeowners who want a metal roof with a traditional appearance, ClickLock is designed to be the best. The stainless fastening clips and screws ensure secure and lasting attachment with no chance for problems resulting from expansion and contraction. The trims used to complete a ClickLock roof have also been carefully designed for beauty and durability.

Barn Roofs and Farmhouse Roofs that Adorn Landscapes Across America

One thing to consider when looking for a standing seam roof is how it will be produced. Portable roll-formers make standing seam roofing easy to produce and many contractors use these field-formed systems. Unfortunately, easy does not mean better as the quality and exactness of the machinery can be compromised when moved from site to site. Additionally, unknowing contractors can use low-quality, cheap metal never intended for residential applications.

ClickLock, on the other hand, is produced with precise tolerances under controlled conditions in our main 120,000 square foot factory in Ohio. Using only the best first-run aluminum and quality Kynar 500 or Hylar 5000 coatings, ClickLock is truly top-of-the-line standing seam roofing for your home.

AVAILABLE COLORS

SEARCH OUR SITE...

ADDITIONAL INFORMATION:

[CLICKLOCK STANDING SEAM](#)

[SPECIFICATIONS](#)

[LIFETIME WARRANTY](#)

Beautiful

Available in many fade-resistant colors

Concealed fasteners for a clean and tailored look

Tall 1-3/4" seams for added distinction

Maintenance free: will not rust, crack, or rot

Resists streaking and staining

Never needs cleaning

Strong

Will not burn and protects against flying embers from wildfires or chimneys

Positive "snap lock" connection between panels

Durable

Sheds ice and snow with reflected heat from the sun

Will not absorb water

Will not rot or support insect infestation

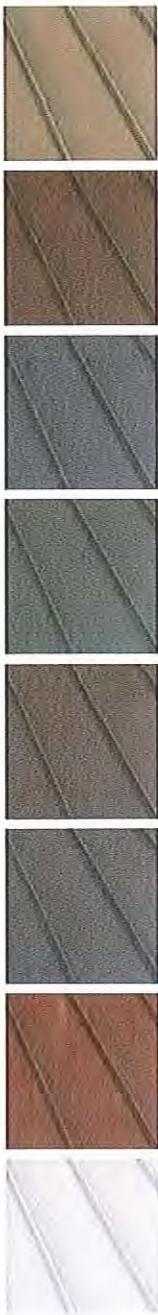
Limited Lifetime Warranty

Environmentally Smart

Reflective Pigment coatings keep attics naturally cooler, cutting energy costs

Made from 95% post-consumer recycled aluminum

Can usually be installed over existing roofs, reducing demand on landfills



NOT SURE STANDING SEAM IS THE LOOK YOU WANT?

At Classic Metal Roofing Systems, we hear from thousands of homeowners each year who want the durability and added value that a metal roof provides but they don't want their home's roof to look like one on a barn or shopping center. We understand their feelings completely. That's why, even though we produce the best standing seam available with ClickLock, our real passion lies with metal roofing products that have unique and special beauty to complement any home design. This is why we have engineered products like [Rustic Shingle](#), [Country Manor Shake](#), and [Oxford Shingle](#). These products provide all the benefits of metal roofing but with the beauty of traditional residential roofing products like dimensional shingles, slate, and wood shakes.

Homeowners Associations and Architectural Review Boards love our shingle, slate, and shake products. They want to allow their residents to enjoy the added property value that a metal roof provides, but they don't want to diminish the aesthetics of their communities with roof styles more commonly seen in agricultural and commercial applications. And, once they find out that the cost of beautiful products like [Rustic Shingle](#) or [Oxford Shingle](#) and [Country Manor Shake](#) is actually often less than that of a quality standing seam, their excitement only grows.

Whether you want a traditional metal roof look (which can work great especially in a rural setting!) or a look that fits well with the other homes in your neighborhood, Classic Metal Roofing Systems has you covered with the best that's available in today's metal roofing industry.



Specializing in Handcrafted Copper Products

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20"	\$2,195.00
24"	\$2,395.00
30"	\$2,795.00
36"	\$3,195.00

All necessary base flashings are included with all cupolas.

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Tulsa Web Design & SEO by [Ambitious Web](#)

K1-8J

House Reds FJ-EG Primed
"Cove" Siding

K1-8DF

Douglas Fir VG FJ-EG Primed
"Cove" Siding
1" x 8"

K1-10J

House Reds FJ-EG Primed
"Cove" Siding

K1-10DF

Douglas Fir C VG FJ-EG Primed
"Cove" Siding
1" x 10"

K4-6J

House Reds FJ-EG Primed "V"
Siding

K4-6DF

Douglas Fir C VG FJ-EG Primed
"V" Siding
1" x 6"

K4-8J

House Reds FJ-EG Primed
"Cove" Siding

2.00/6F

K4-8DF

Douglas Fir C VG FJ-EG Primed
"V" Siding
1" x 8"

K1-8J
K1-8DF

K1-10J
K1-10DF

K4-6J
-K4-6DF-

K4-8J
K4-8DF-

February 19, 2013

248 FRANCE STREET, SONOMA
Historic Resource Evaluation

Introduction

The subject property at 248 France Street in the City of Sonoma (see location and parcel maps, figs. 1-2) houses a single family residence with an attached garage. Sonoma County and City of Sonoma property records indicate that a residence was first built on this property in 1939. No other specific or original records have been located to corroborate this date of origin. No early records or original permits, plans or images depicting this structure have been located.

The property has not been identified as an historic resource by the City or the State (no listing on State Historic Resources Inventory). It is not located in an historic district. It is, however, located in the City of Sonoma's Historic Overlay Zone.

The purpose of this report is to summarize the history of the subject property and to complete an evaluation to determine if the structure thereon has any potential historical or historic architectural significance based on pertinent evaluation criteria.

Property History

Available information about this property is limited and concentrated in recent decades, specifically the late-1990s. At that time, the property was transacted several times, the lot was first split and then re-merged, and the residence was substantially altered as well as added to in several iterations. While documentation exists for those actions, no earlier or original permit records are available.

Likewise, at this juncture, the earliest identified deed transaction is in 1998, when David A. Berto sold the property to Karl Lindstrom. Deed searches backward from there failed to locate any earlier property transaction associated with Berto.

From 1950 to 1956, Sonoma County telephone directories list the name Celso and/or Emma Viviani at the 248 France Street address. Deed searches throughout the 1940s and 1950s did not turn up any records for the Vivianis relative to this property. Consequently, Viviani may have been a tenant rather than an owner.

Between the late 1930s and 1950, available copies of directories (at the Sonoma County History and Genealogy Library [SCHGL]) are from 1941 and 1944. Neither list street numbers, so it is not possible to pinpoint an occupant by address. (In 1944, there were seven listings for residences on France Street, and in 1941 just one listing. Donner Street could also have been an early address.)

Based on the names listed on France Street in the directories, it is possible to cross reference the 1940 Census, where there is a group of residents listed on East France Street. Unfortunately, the census takers did not list street address numbers. However, they typically list residents in street sequence.

The earliest maps of the City of Sonoma date to 1850. At that mapping, the subject parcel was subsumed by a larger block, extending west to east from Second to Third streets, and south to north from France to Patten streets. This typical block was subdivided into quadrants. The subject parcel was located in the southwestern quadrant, and which was numbered lot 78.

Versions of this same map are seen throughout the late-1800s, including in Illustrated Atlases for the City of Sonoma dating to 1879 and 1897 (at the SCHGL), and at the Sonoma County Assessor-Recorder, who have versions of these maps (in a breadboard form) along with the notation of property owners c1900 (figs.3-4). Based thereon, the directly adjacent property to the east (270 France Street) is identified under the surname Michelssen. The 1940 census includes a listing for an Emma Michelsen on East France Street. The preceding census listing – which may logically be the subject property (as there is no listing beyond the Michelsen property) – identifies the residents as Carlo, Emma and Maria Bertellotti, who are specifically noted as owners (rather than renters). Thus, by supposition, the Bertellottis may be the earliest and possibly original owner and residents of 248 France Street.

The only early graphic depiction of this property is the 1941 Sanborn map, which provides a plan view of the site and its structures (fig.5). It is shown as a large corner site with a short extension behind the adjacent property to the west (though Sanborn maps are not necessarily reliable for property line information). A 1-story, L-shaped dwelling is located at the France and Donner street corner. A 1-story detached accessory structure (likely a garage) stands alongside to the north, with a small structure (possibly a well house) between. Curiously, there is no address listed on France Street, but the address 523 is labeled on Donner Street. This plan appears to indicate the front of the house on Donner. Additionally curious is that this 1941 map labels the neighboring property directly to the west (230 France Street) with the address 523R – the rear of 523 Donner. (Tax records indicate that the house at 230 France Street dates to 1931.)

Finally, based on the aforementioned map noting property owners c.1900, the earliest identifiable property owner of the original block (lots 75-78) was George E. Chase.

In summary:

- The subject property was likely farmland from before the founding of Sonoma until its 20th century development;
- Was first mapped in 1850: a portion of lot 78;
- First built: 1939;
- Associated persons:
 - Bertellotti (tentative) – c1940s (census)
 - Viviani – c1950-1956 (telephone directories)
 - Berto – c?-1998 (deed)
 - Lindstrom – 1998 (deed)
 - Owsley – 1998-2011 (deed)
 - Van Wagner – 2011-present (deed)

Descriptions

Setting

The subject property is located on the City of Sonoma's east side, and in the southeastern quadrant of the City. This neighborhood, extending from Broadway to Fifth Street East and from East Napa Street south to East Macarthur Street, is predominately single-family residential. With the exception of scattered properties and some concentrations along the main roads (Broadway and East Napa), this quadrant was largely undeveloped farmland until the early-20th century. In fact, the subject and immediately surrounding blocks were largely unbuilt until the 1920s, and mostly thereafter. Of the adjoining houses on France, Donner and 2nd Streets, the largest concentration date from 1930-1950, with most centered in that period. So the setting is a World

War II era residential neighborhood of one-story suburban homes, many in the vernacular Ranch-style.

Even though there is a concentration of c1940 homes, the overall neighborhood has a wide range of 20th century homes and home-styles up to the present. At present, it is an established, high quality neighborhood with many improved homes and a range of newer ones. Despite the presence of older homes, including several from the 1900s and 1910s, much improvement and alteration is in evidence – the subject structure being a case in point (see discussion below) – so the neighborhood does not feel old. It feels renewed and contemporary.

Nonetheless, of the surrounding homes from the same period in time, several appear to be in early condition, without apparent alterations or additions.

Structure (figs.6-10)

Situated on the southern half of a 1/3 acre corner lot, the residence at 248 France Street is a single-family structure with approximately 2,000 square feet of living area on a single story. The structure fronts on France Street. From the front, the residence stands at the center and right side of the lot, with a front entry porch at the far right. An attached, 2-car garage stands to the left, with a short driveway off France. An enclosed patio-room extends into the rear yard behind the garage, and behind the patio-room is an in-the-ground swimming pool.

The house exterior is stucco clad and plaster trimmed in a minimally traditional style. It has wood or wood-like doors and windows. Roofs are low-hipped and shingle-clad.

As it exists, the character of the house is a modified Ranch-style, whereas the character of its ornamentation is Mediterranean/Italian.

Originally, the house was smaller – approximately 1,200 square feet – with a detached garage in the rear (north) yard, thus with access from the side street, Donner. There is no original or early records or documentation for the property, excepting the 1941 Sanborn map. Between then and 1998, there is no evidence of any alterations. In 1998 and 1999, a range of alterations and additions were completed, including:

- Relocation and alteration of the original garage structure (to its present attached location);
- Kitchen addition (between house and garage);
- Front porch addition;
- Rear patio-room addition;
- Swimming pool addition;
- Interior alterations.

While the original house remains in its original location and can be discerned by its roof lines, almost nothing (other than the floor plan and roof form) was left untouched by the 1990s work. In addition to the various additions, exterior finishes, windows and doors, trimwork and lighting, are recent. Though the garage is indicated to have been relocated, it does not appear to be an older structure, and its prominent front door is also recent. The fact is that there is little if any empirical evidence of an original/early home. The architectural character of the house largely dates to the late-1990s.

Evaluation

With respect to any potential historic significance, this effort concludes with an evaluation of the property and its structure relative to the California Register (CR) criteria for evaluating the

significance of historical resources. Each criterion is listed below, followed by relevant discussion and findings.

California Register of Historical Resources (CR)

To be eligible for listing on the CR, a resource must be historically significant at the local, state, or national level under one or more of the following four criteria:

1. *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;*

As detailed above, there are no identified events of importance to local or state history associated with this property. Any potentially identifiable events of interest are limited to private, family history.

The subject property is not distinctly representative of any development events or patterns important to the City or the region. It is one of relatively many residences developed in the City of Sonoma in the early-to-mid 20th century.

Thus, 248 France Street has no associations to events that have contributed to local, regional, state or national history, and therefore does not meet CR Criterion 1.

2. *It is associated with the lives of persons important to local, California, or national history;*

No persons of importance to local, regional, state or national history have been identified to have been directly associated with these properties or buildings.

One potential association of interest is to the family of Celso Viviani, who have been identified as occupants (and possible renters) of this house during the 1950s. In 1931, Celso Viviani (1886-1955) was one of the founders of the Sonoma Valley Cheese Factory. His son and grandson succeeded him in that business, and today the name Viviani is notable in Sonoma. However, there is no evidence that the Vivianis were associated with the origins of this house. In fact, coincident with its origins, the 1940 census lists them in residence on East Napa Street. Additionally, the founding of their cheese company was in 1931 (so, for example, it was not possibly conceived around a dining table in this house). Consequently, there is no identified potentially direct association of any importance between the Vivianis and this residential property.

While there is no readily available information about the Bertellottis, who may have been the original owners and perhaps originators of the house, death records (@rootsweb.org) list Carlo (1888-1946) along with several other Bertellottis in the Bay Area, including several whose mother's maiden name was Viviani. So there is a possible familial connection between Bertellotti and Viviani.

Even if the Viviani family were found to be directly involved in the development of this property, based on their historical importance – the founders of a multi-generation Sonoma business enterprise – without an important event linking the two, their association to a residence is not one of historical importance, whereas their association to a surviving place of business would be.

No other persons identified as having been associated with this residential property are of any identifiable importance.

Therefore, the residential property and building at 248 France Street has no direct associations to persons important to local, regional, state or national history.

3. *It embodies the distinctive characteristics of a type, period, region, or method or construction, or represents the work of a master, or possesses high artistic values;*

Very little is definitively known about the original 1939 residence. No original or early documentation or records have been located, nor has any architect, designer or builder been identified.

Moreover, as discussed above, the home has been modified in numerous ways, resulting in a residence without original or early architectural character.

Based on the lack of information about the original character of this property and the extent to which it has been recently altered, there is no evidence of original or early distinction.

Consequently, the structure at 248 France Street has no potential architectural or historic architectural interest on the basis of physical characteristics or due to any association to a builder or designer of potential importance.

As the existing structure does not embody distinctive stylistic or architectural characteristics or methodologies, or possess artistic value, or represent the work of any known architect or designer, then 248 France Street does not meet CR Criterion 3.

4. *It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.*

248 France Street has not yielded and does not appear to have the potential to yield any important historic information. Therefore, the property does not meet CR Criterion 4.

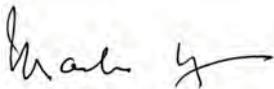
Conclusion

As detailed above, the property at 248 France Street in Sonoma does not appear to meet any criteria for listing on the CR, so therefore appears ineligible for the CR.

Further, and with respect to any potential significance in relation to a grouping of resources, while this effort does not attempt an historic district evaluation, based on a general reconnaissance of the immediate vicinity, no potential grouping is apparent. As noted, the neighborhood has a wide range of 20th century houses, so there is no evident concentration. Plus, the neighborhood does not feel aged, but is a high quality, contemporary environment, where most homes have been evidently improved, and where any historic architectural interest may be limited to individual resources (there are in fact a number of properties on surrounding streets that have been identified as historic resources via historic resource survey).

Finally, while additional research would reveal more detail about this property and its overall history – its detailed ownership history in particular – additional historical information will not change the primary findings and conclusion about the subject structure.

Signed:



Mark Hulbert
Preservation Architect

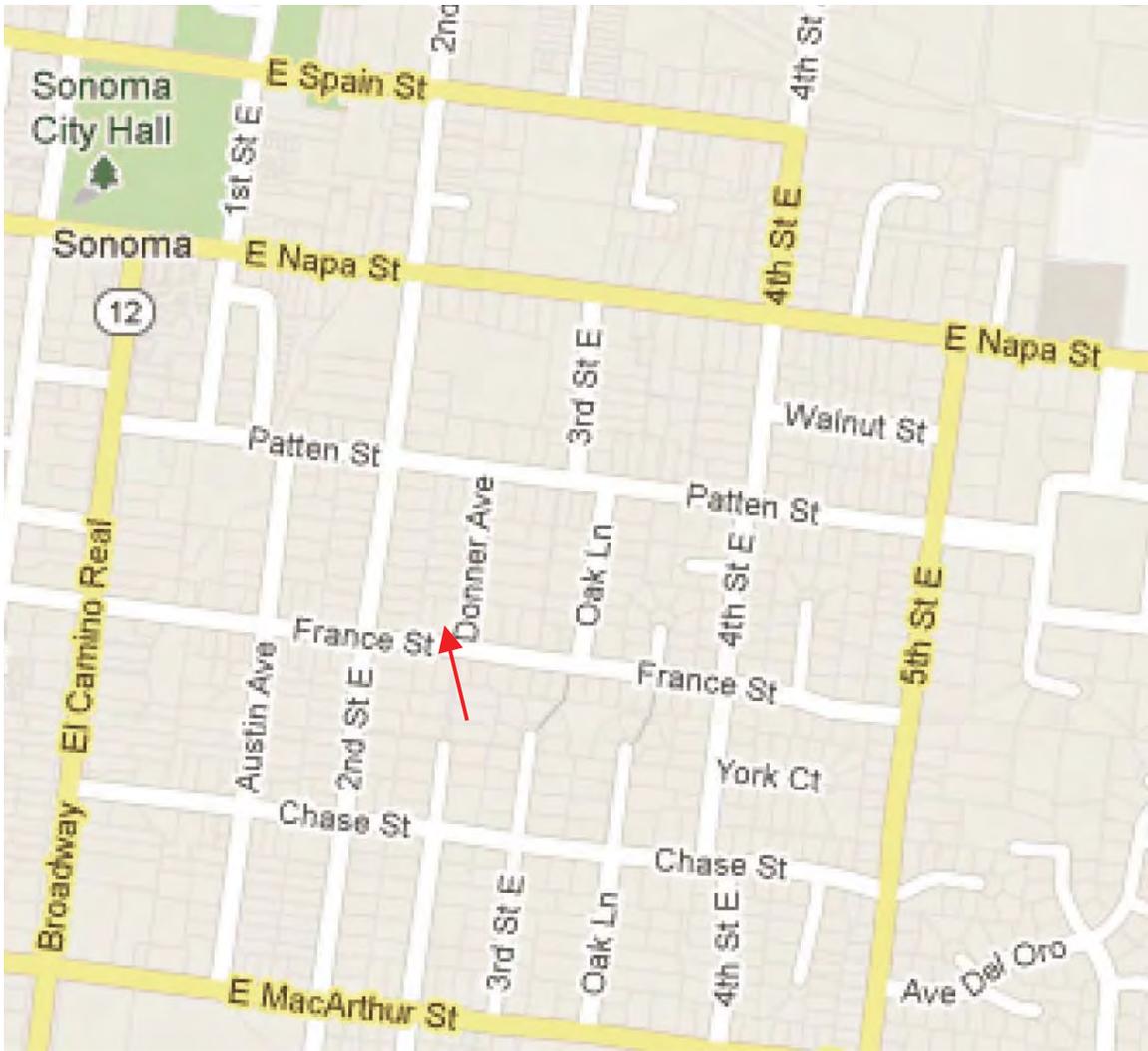


Fig.2 – 248 France Street, Sonoma – Map with red arrow indicating location (Google Maps)

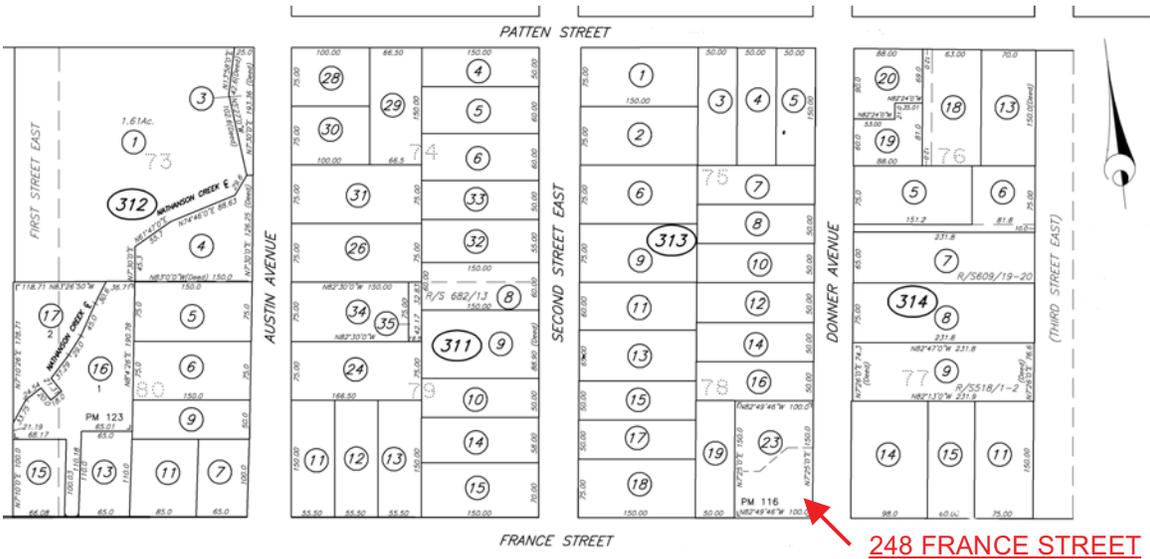


Fig.2 – 248 France Street, Sonoma – Assessor's Parcel Map

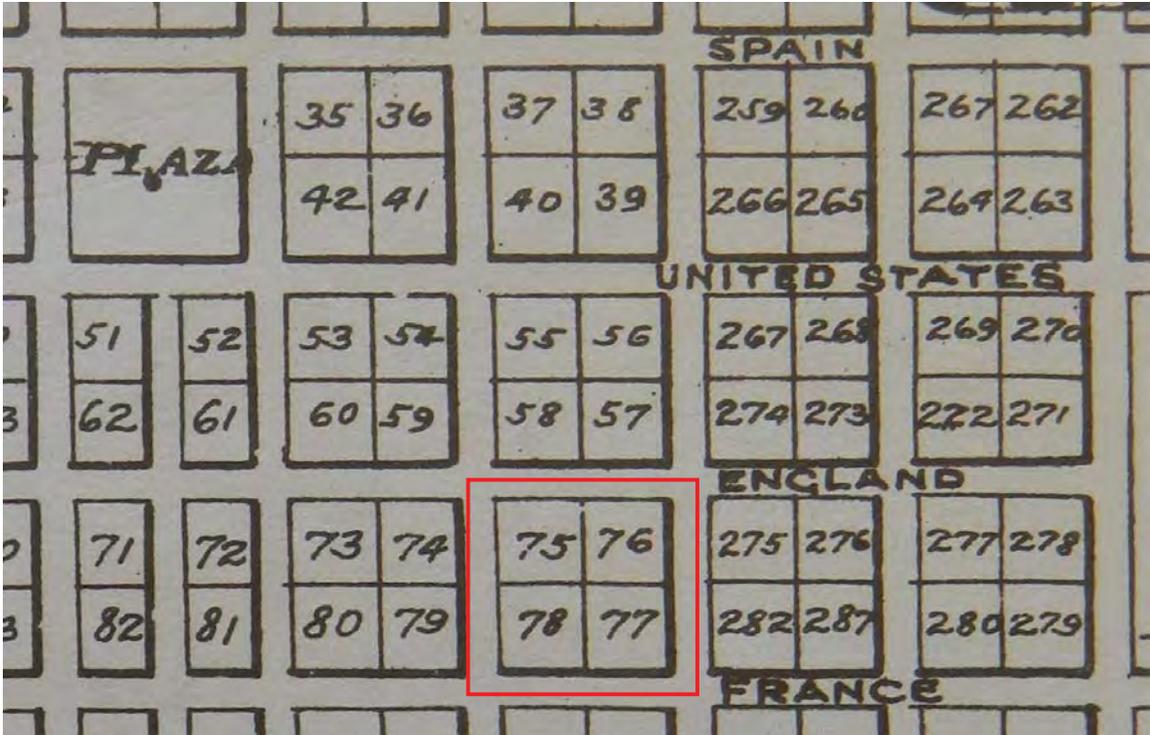


Fig.3 – 1897 Map of Sonoma (partial – from Illustrated Atlas of Sonoma County)
 Box (in red) indicates subject block and lots (see fig.4, below)

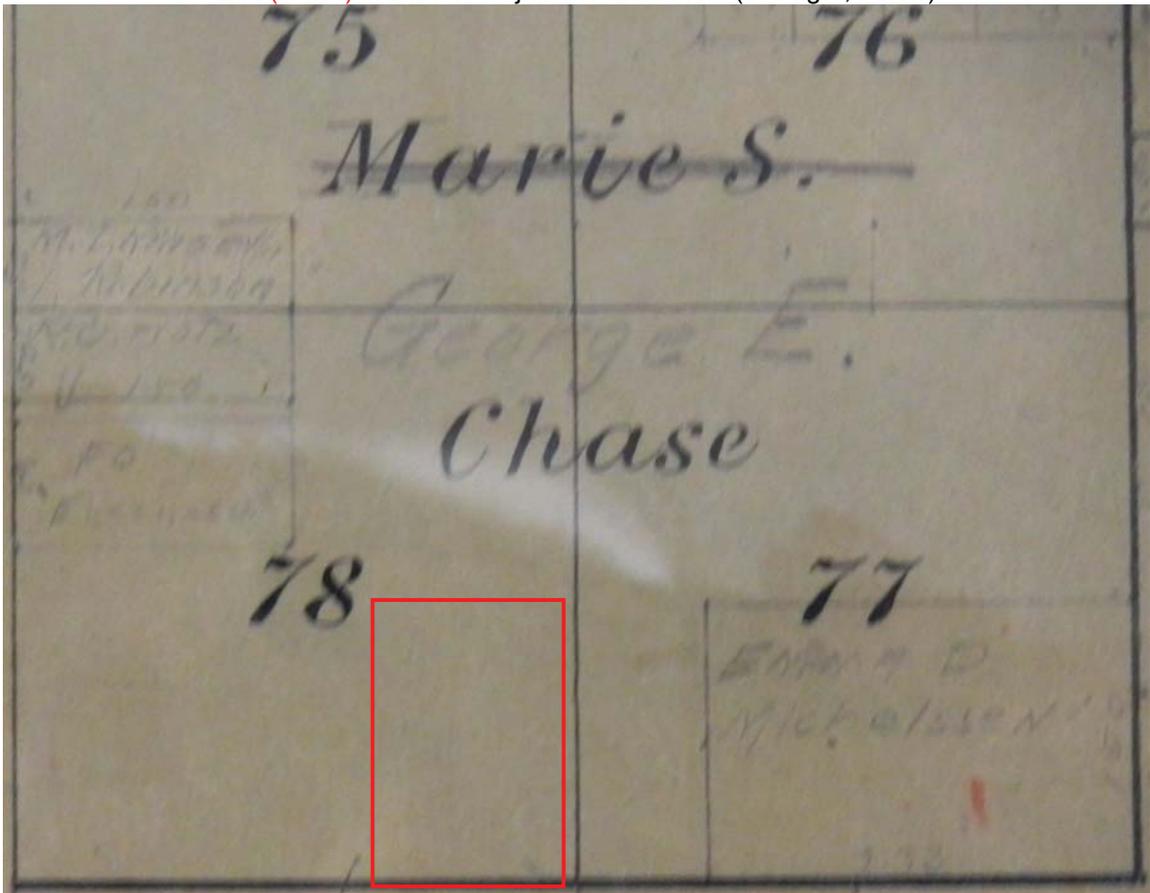


Fig.4 – Original Block with Lots 75-78, c1900 (from “Breadboard” Map at County Assessor)
 Box (in red) outlines subject lot (approximate)

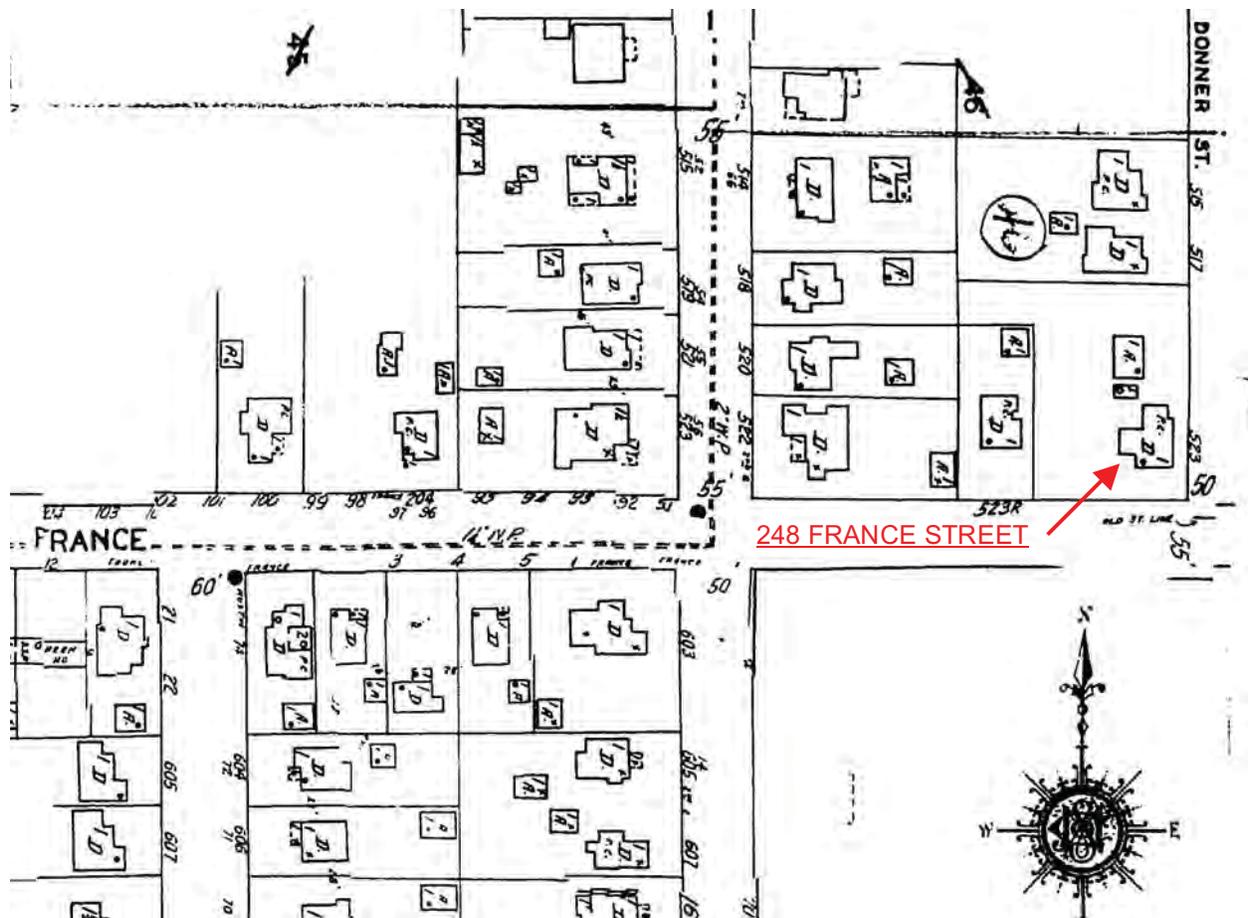


Fig.5 – 248 France Street, Sonoma – from 1941 Sanborn Map



Fig.6 – 248 France Street – Partial view of front (south)



Fig.7 – 248 France Street – Partial view of front (south)



Fig.8 – 248 France Street – Front (south) entry porch



Fig.9 – 248 France Street – Rear Yard with patio-room (center) and kitchen add (left)



Fig.10 – 248 France Street – Rear Yard with rear wall at house (part-left) and patio-room (right)



The
Hoelter
Residence

248 France Street
Sonoma, CA 95476

APN: 01843134023

Drawing Title _____

Site Plan Demo & Additions
Additions - Building Height

Scale 1/8"=1'-0"

Drawn By Im. cm

Job Number 485.1

Drawing Number _____

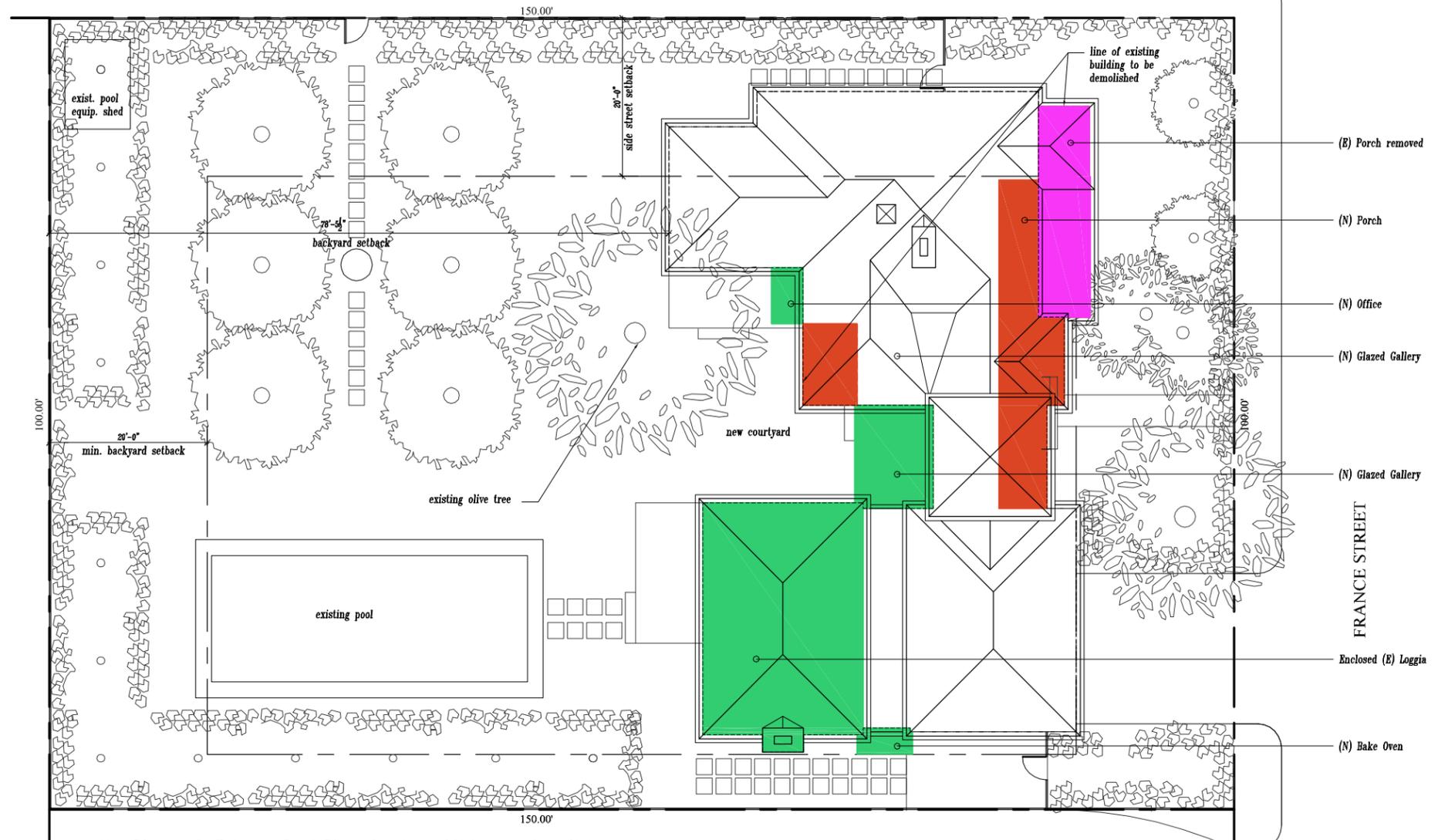
A100

LEGEND

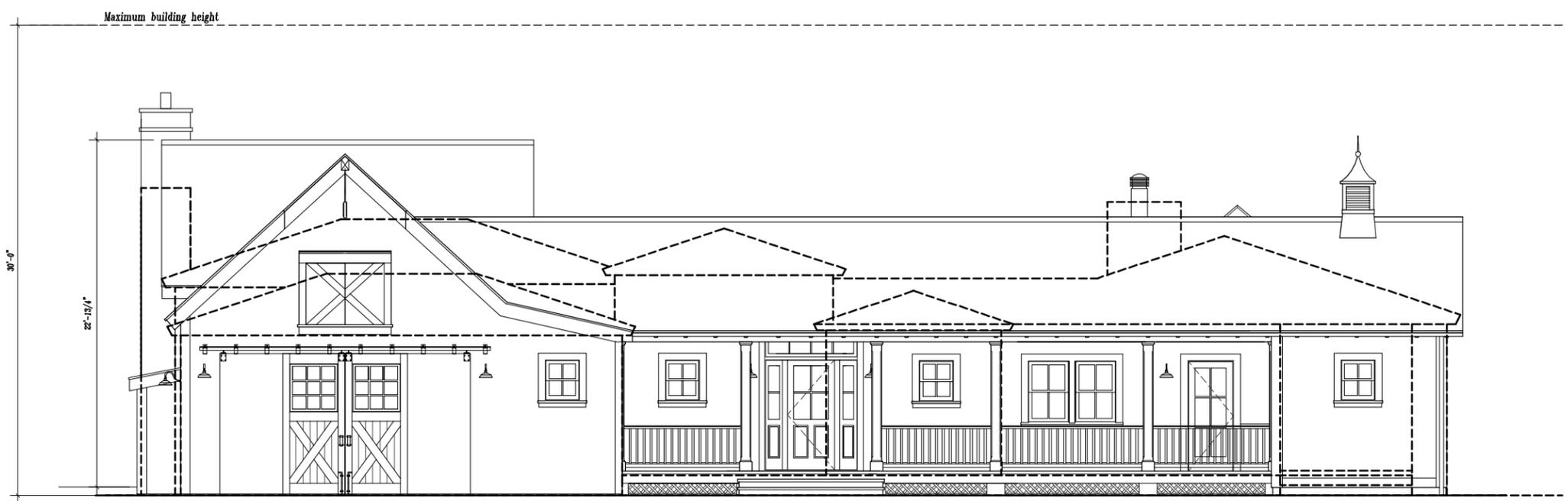
(E) Building Demo/ (N) Porch

(E) Porch demo

(N) Building/enclosure of existing space



1 Site Plan with Existing Roof Plan showing additions & demolition areas
Scale: 1/8" = 1'-0"



2 Proposed Elevation with existing roof line shown dashed
Scale: 1/8" = 1'-0"

DONNER STREET

JOHN MALICK & ASSOCIATES



Architecture · Planning

1195 Park Ave., Suite 102
Emeryville, California 94608
Tel: 510.595.8042 Fax: 510.595.8365



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Revisions _____ Date _____

Design Review Issue 02/19/2013

The Hoelter Residence

248 France Street
Sonoma, CA 95476

APN: 018-313-023

Drawing Title _____

Proposed Site Plan with Adjacent Lots

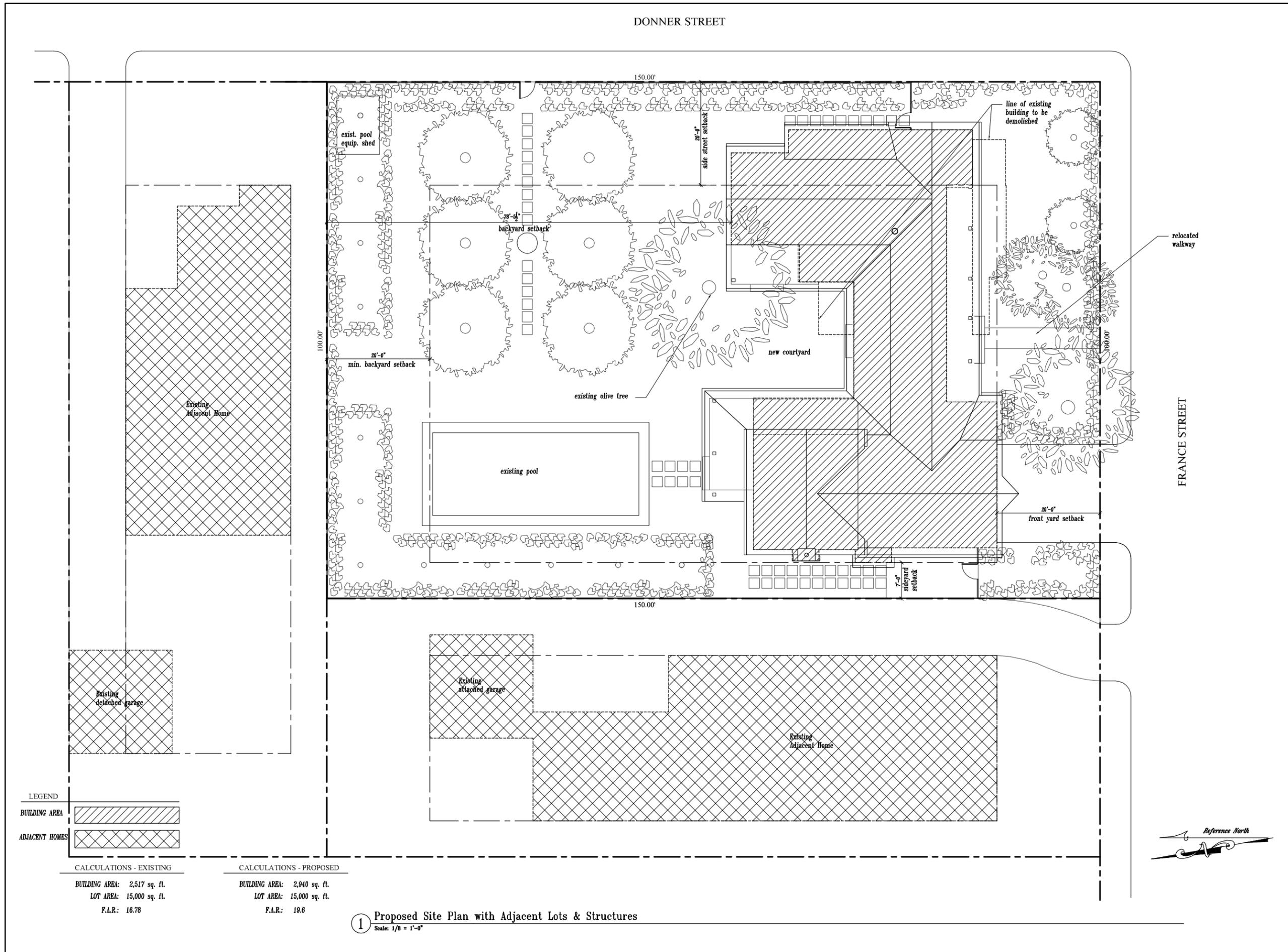
Scale 1/8"=1'-0"

Drawn By IM. cm

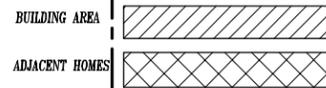
Job Number 485.1

Drawing Number _____

A101



LEGEND



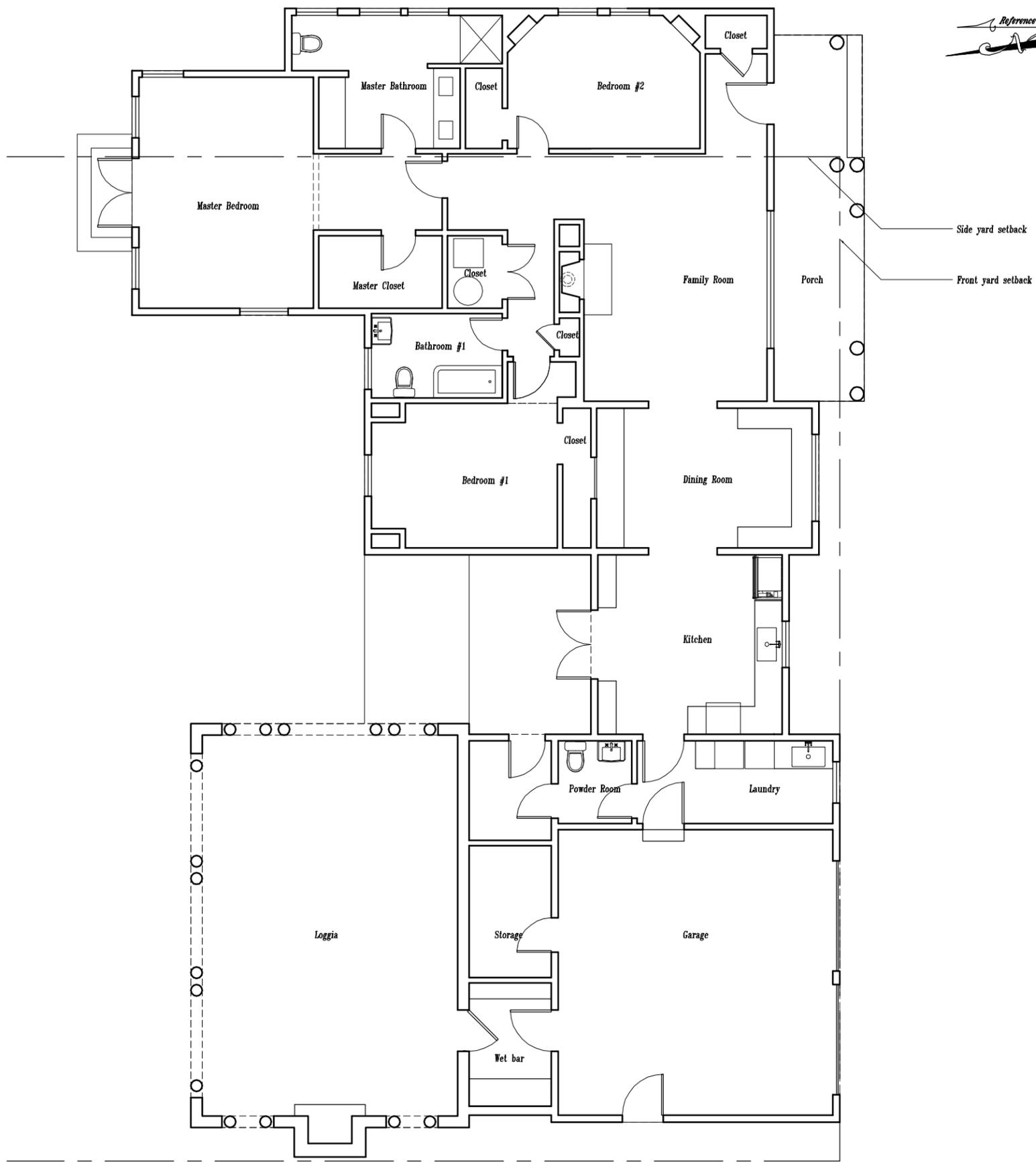
CALCULATIONS - EXISTING

BUILDING AREA: 2,517 sq. ft.
LOT AREA: 15,000 sq. ft.
F.A.R.: 16.78

CALCULATIONS - PROPOSED

BUILDING AREA: 2,940 sq. ft.
LOT AREA: 15,000 sq. ft.
F.A.R.: 19.6

1 Proposed Site Plan with Adjacent Lots & Structures
Scale: 1/8" = 1'-0"



JOHN MALICK
&
ASSOCIATES



Architecture - Planning

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Design Review Issue 02/19/2013

The
Hoelter
Residence

248 France Street
Sonoma, CA 95476

APN: 018-313-023

Drawing Title _____

Existing
Floor Plan

Scale 1/4"=1'-0"

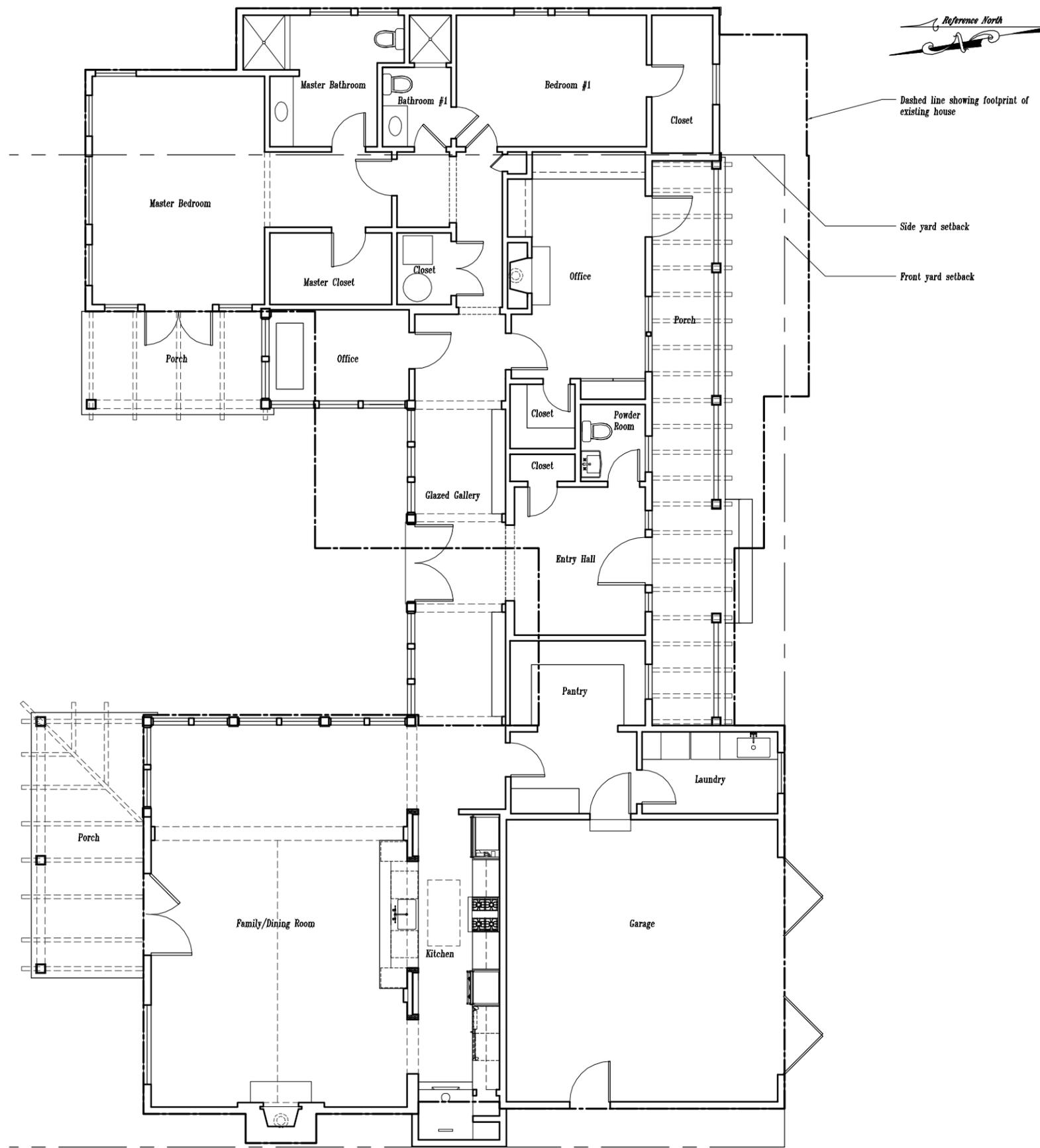
Drawn By IMI, ctm

Job Number 485.1

Drawing Number _____

A201

1 Existing Floor Plan
Scale: 1/4" = 1'-0"



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Revisions _____ Date _____

Design Review Issue 02/19/2013

The
Hoelter
Residence

248 France Street
Sonoma, CA 95476
APN: 018-313-023

Drawing Title _____

Proposed
Floor Plan

Scale 1/4"=1'-0"

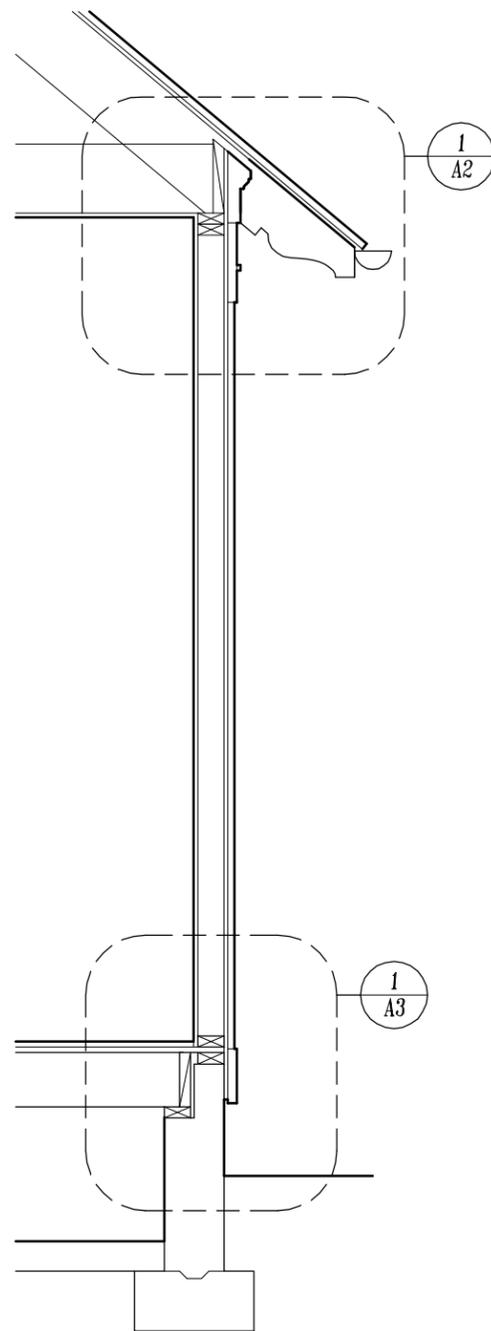
Drawn By IM. cm

Job Number 485.1

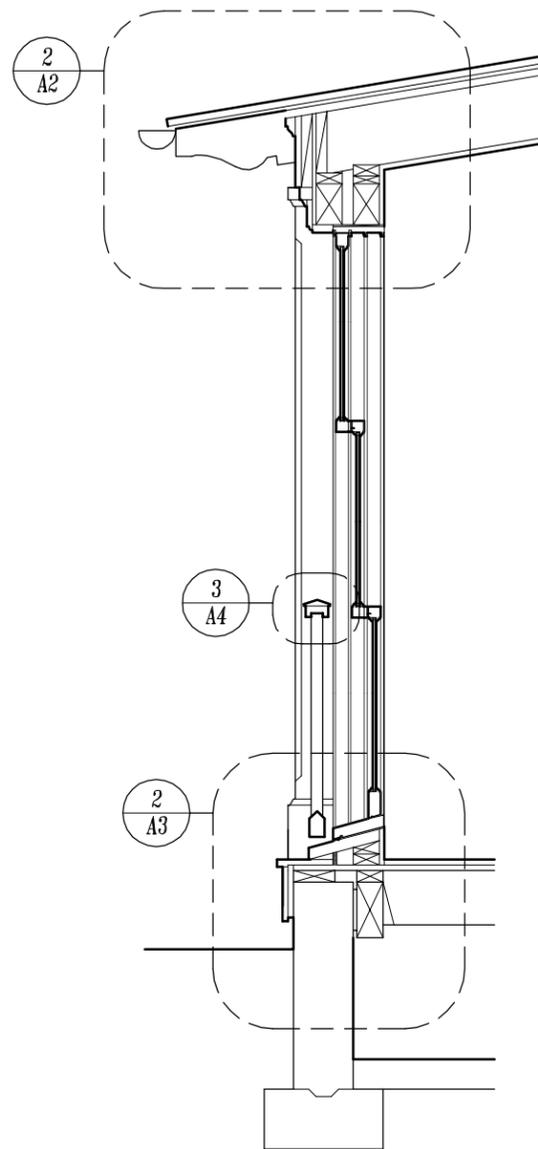
Drawing Number _____

A202

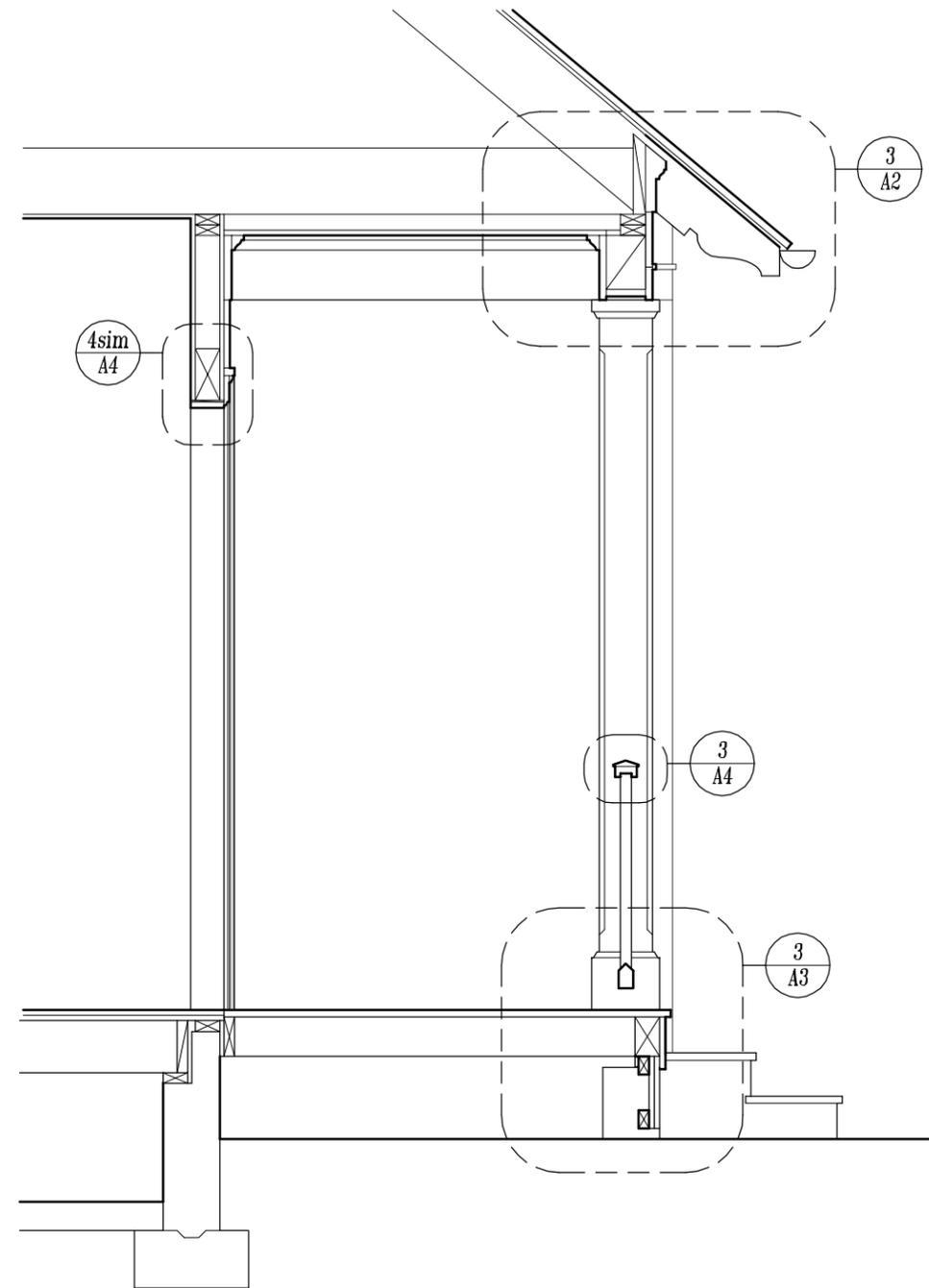
1 Proposed Floor Plan
Scale: 1/4" = 1'-0"



1 Typical Wall & Eave
Scale: 1/2" = 1'-0"



2 Enclosed Porch facing garden
Scale: 1/2" = 1'-0"



3 Front Porch
Scale: 1/2" = 1'-0"



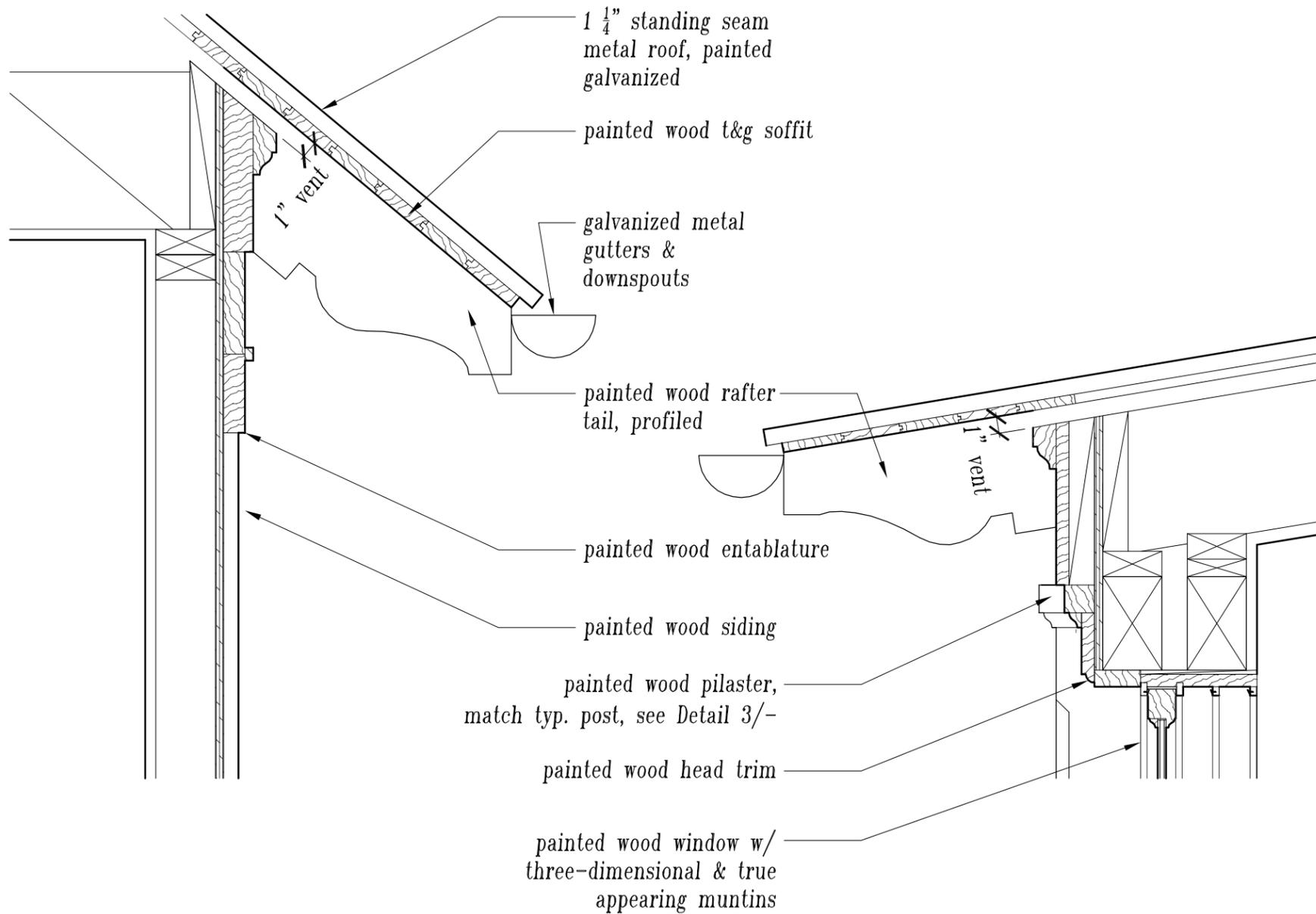
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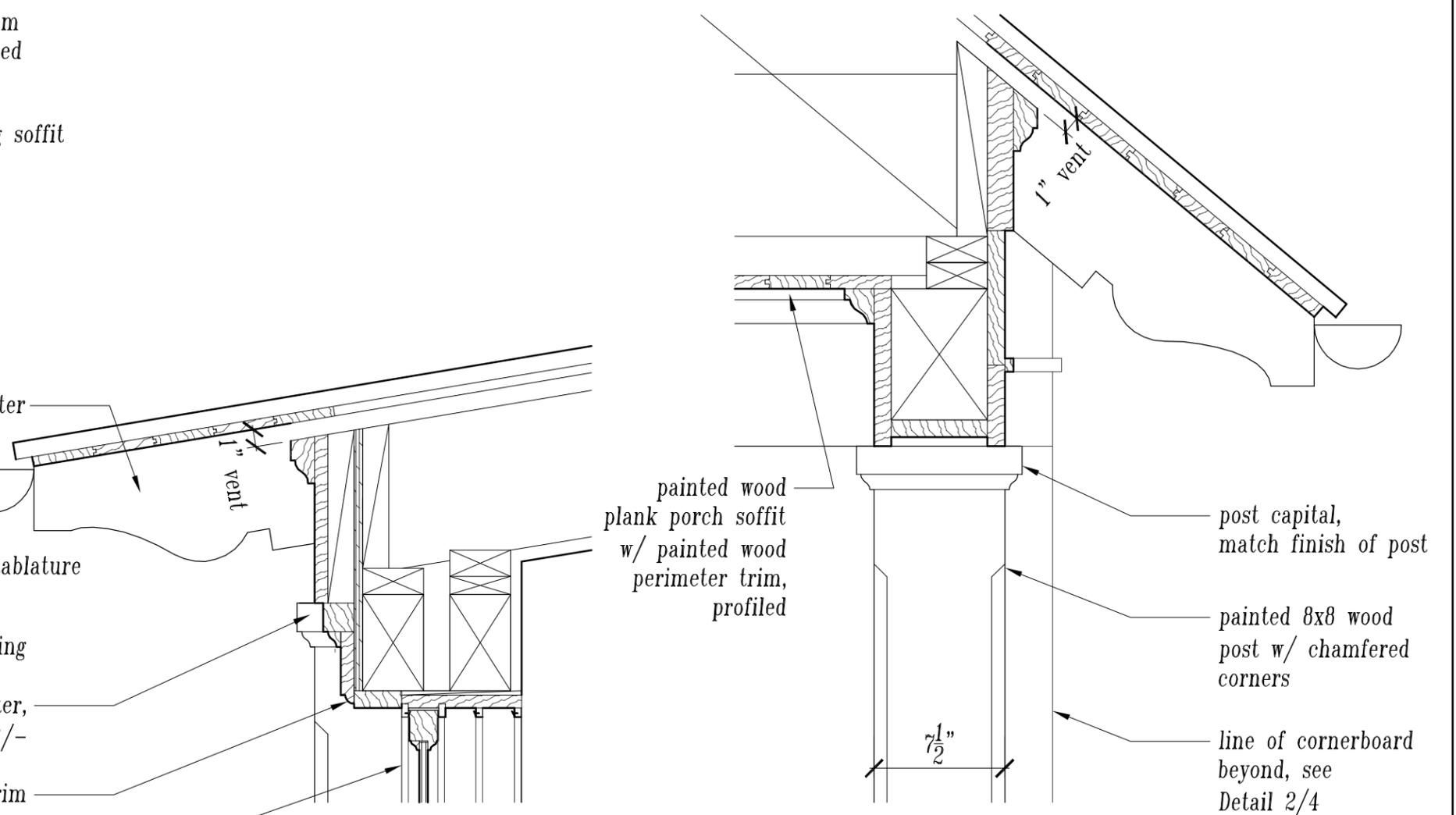
Building Details

Scale: As Noted
19 February 2013

Hoelter Residence



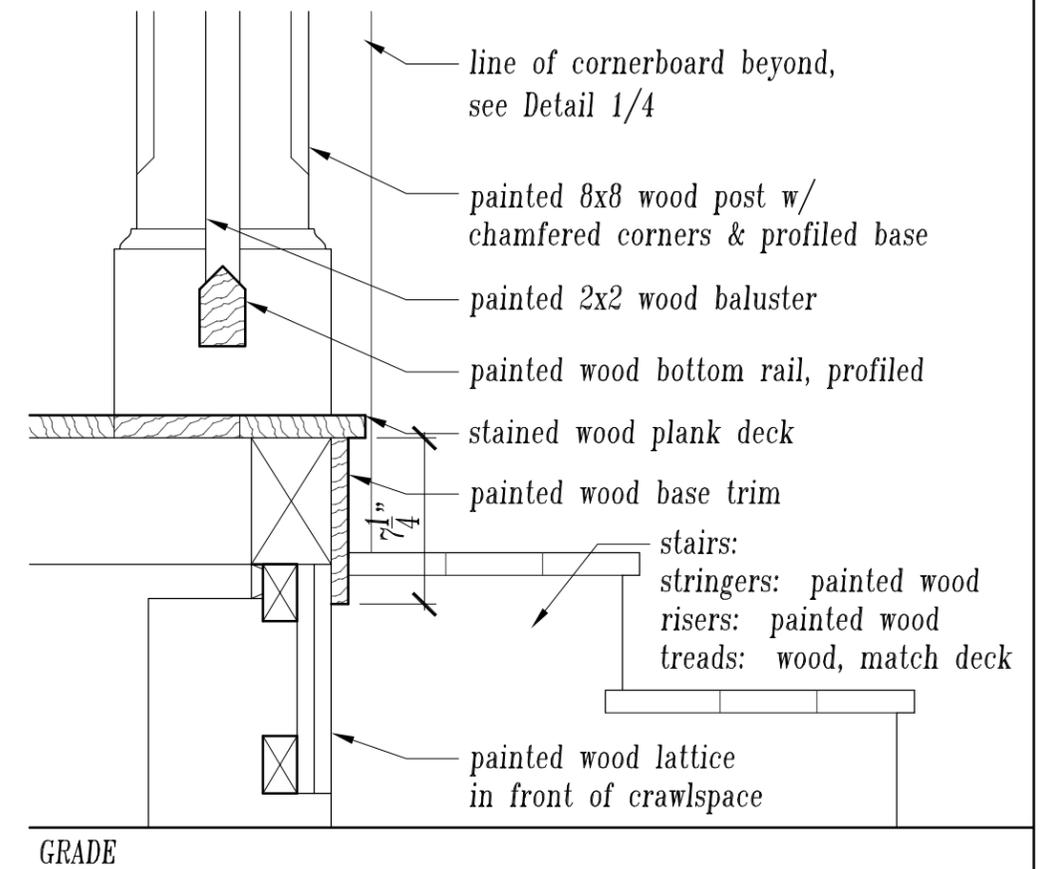
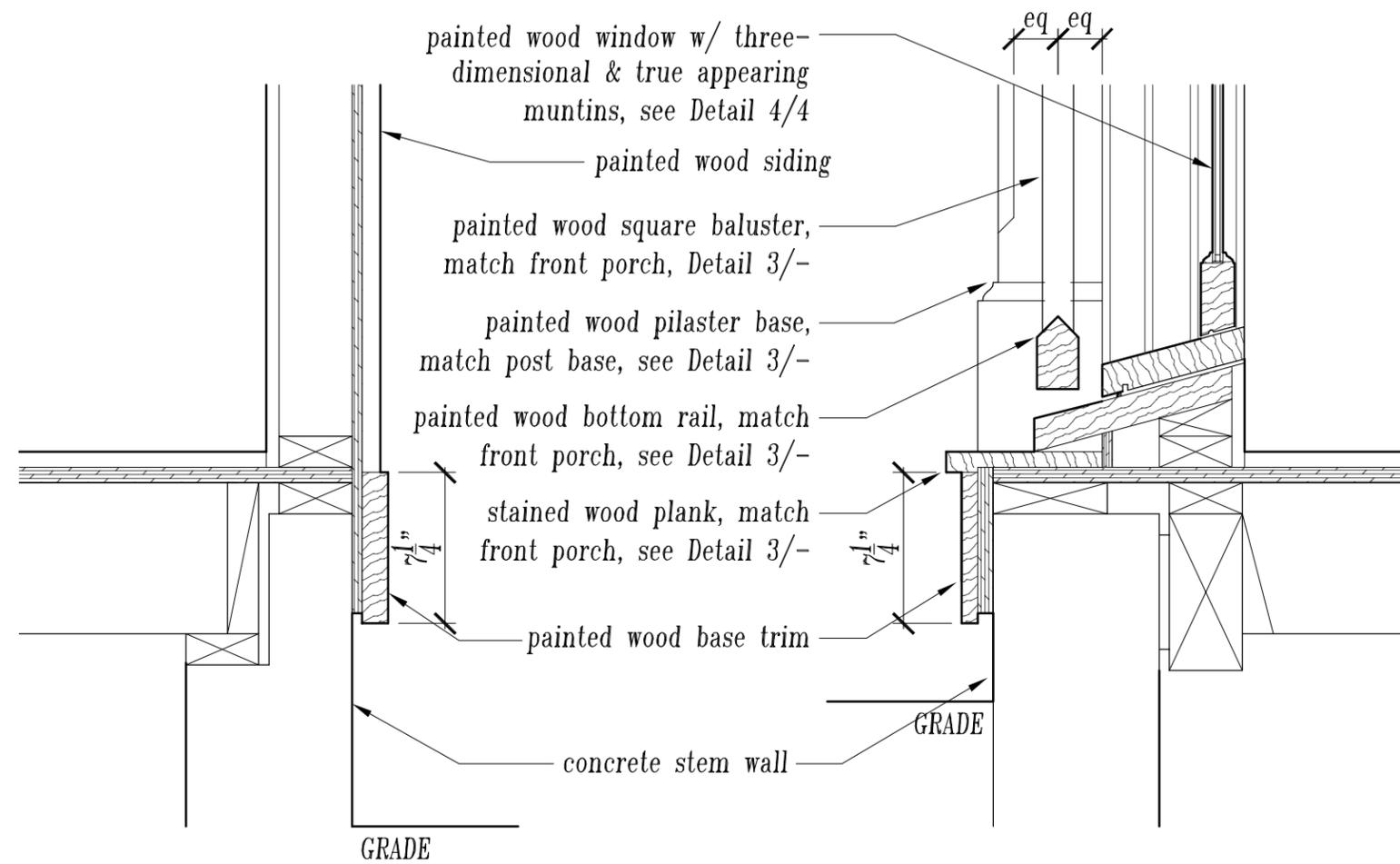
1 Typical Eave & Trim
Scale: 1 1/2" = 1'-0"



2 Enclosed Porch Eave & Trim
Scale: 1 1/2" = 1'-0"

3 Front Porch Eave, Trim, & Post
Scale: 1 1/2" = 1'-0"





1 Typical Sill
 Scale: 1 1/2" = 1'-0"

2 Enclosed Porch Sill
 Scale: 1 1/2" = 1'-0"

3 Front Porch Sill
 Scale: 1 1/2" = 1'-0"



JOHN MALICK & ASSOCIATES

1195 Park Ave., Suite 102
 Emeryville, California 94608
 Tel: 510.595.8042 Fax: 510.595.8365

Building Details

Scale: As Noted
 19 February 2013

Hoelter Residence



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 5

Meeting Date: 03/19/13

Applicant

Prema Behan/Three Sticks Wines

Project Location

143 West Spain Street/138 Church Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: Circa 1842
-

Request

Consideration of elevation details for a reconstructed storage building, existing guest house, the Vallejo-Catenada Adobe, a new wall, and a bike rack for a commercial building.

Summary

Background: On September 13, 2012, the Planning Commission considered and continued a Use Permit application to allow the adaptive re-use of a historic residence as an office with a limited wine tasting component. On September, 13, 2012, the Planning Commission considered and approved the Use Permit application. An appeal of this decision was filed, which was heard by the City Council on November 5, 2012. The City Council voted to uphold the decision of the Planning Commission.

At this time the applicant is requesting DRC consideration of architectural review for a reconstructed storage building, existing guest house, the Vallejo-Castenada Adobe, and a new wall. In addition, the applicant is requesting approval for a parking area, a bike rack, and a landscaping plan.

Exterior Materials & Details:

New wall: A five-foot tall stucco faced wall was approved by the City Council with the Use Permit application. The wall is proposed to be located three feet from the east facing elevation (adjacent to Church Street) and extend approximately 170 feet to the south. The wall would continue in a western direction and intersect with the existing wooden fence located on the property to west of the subject property. The purpose of the fence is to enclose the parking area and would feature two gates: a 16 foot sliding wood gate (driveway); and, gate that would lead to the garden area (garden) (both gates would be stained a brown color). The wall would be painted Benjamin Moore (mooreguard low lustre) China white in color (the same color as the existing wall).

New storage building: The existing garage is proposed to be reconstructed into a storage building. The exterior walls would consist of an adobe material and would be painted Benjamin Moore (mooreguard low lustre) China white in color. The roof material is proposed in the form of a fire-retardant wooden shake. A picture and sample of the roofing material will be presented at the DRC meeting.

Existing guest house: The north gable roof overhang will be cut back to eliminate unnecessary supports and ease circulation between various parts of the gardens. Two new lathe turned posts, similar to those on the Vallejo-Castenada Adobe, will support the west roof overhang.

Parking area: A seven-stall parking lot was approved by the City Council, which would be developed on the vacant parcel adjoining the residence on the south, accessed from the Church Street alley. The parking area would include bicycle parking and an electric vehicle charging station. Landscape screening and a wall is proposed to surround the parking area.

Vallejo-Castenada Adobe: The existing door to the garden will be replaced to meet ADA requirements. The new door will be constructed of steel and glass. A manufacture specification sheet will be presented at the DRC meeting. New roof material is proposed in the form of a fire-retardant wooden shake. A picture and sample of the roofing material will be presented at the DRC meeting. The existing kitchen exterior wood framed walls will be re-clad in vertical painted wood board and batten, painted Benjamin Moore (mooreguard low lustre) China white in color.

Exterior Lighting: A Lighting plan shall be reviewed by the DRC at a future meeting.

Bike Rack: A bike rack is proposed to be located in the parking area. The applicant shall indicate the type and color of the proposed bicycling parking at the DRC meeting.

Required Findings: For projects within the Historic Overlay zone, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

Signs: Any proposed signs shall be subject to DRC review of staff review, as applicable.

Landscaping Plan: At this time the applicant is requesting review of a landscape plan (attached) for the property. The applicant is proposing to plant eight olive trees, and six crepe myrtle trees, which would be supplemented with shrubs, hedges, and reused rose bushes.

Water Efficient Landscape Ordinance: Although not required (as the property is a historical site registered in the California Register or the National Register of Historic Places), but encouraged, the applicant has submitted WELO documentation. A legend listing proposed species and planting sizes is provided for reference. In addition, water budget calculations prepared by the landscape architect (attached) demonstrate compliance with Sonoma Municipal Code §14.32, Water Efficient Landscaping. The calculations indicate that the proposed landscaping would utilize 52,415 gallons or 70% of the associated annual water budget allotment of 74,780 gallons.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments:

1. *Project Narrative*
2. *City of Sonoma Maximum Applied Water Allowance Form, Estimated Total Water Use Calculations, and Hydrozone Table Form*
3. *Site Plan & Elevations*
4. *Landscape Plan*
5. *Irrigation Plan*

cc: Three Sticks Wines
Attn: Prema Behan
P.O. Box 1869
Sonoma, CA 95476

Three Sticks Wines
Attn: Bill Price
143 West Spain Street
Sonoma, CA 95476

Magrane Associates
Attn: Desiree Garon
827 Broadway
Sonoma, CA 95476

Sidney Hoover Architects AIA
169000 Norrbom Road
Sonoma, CA 95476

Patricia Cullinan, via email

Pat Pulvirenti, via email

Diane Smith, via email

Yvonne Bowers, via email

CITY OF SONOMA
MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Maximum Applied Water Allowance (MAWA) Calculations

The project's MAWA is calculated as follows:

$$\text{MAWA} = (\text{ETo})(0.62) \times [(\text{ETAF} \times \text{LA}) + (0.3 \times \text{SLA})]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$\text{MAWA} = 28.58 \times \left[(0.60 \times \frac{4,360}{\text{LA}}) + (0.3 \times \frac{52}{\text{SLA}}) \right] = \underline{74,780} \text{ gallons/year}$$

**CITY OF SONOMA
HYDROZONE TABLE FORM**

Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area	
High water use	/				
High water use					
Medium water use		Refer to Conceptual Irrigation Diagram Sheet CL-2 for individual valve hydrozone information			
Medium water use					
Low water use					
Low water use					
		Total		100%	

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use	0	0%
High water use		
Medium water use	690	16%
Medium water use		
Low water use	3,670*	84%
Low water use		
Total	4,360	100%

(*includes 1,570sf of very low water use plant material)

Submitted by: Desiree Garon (Print)

RLA # 5216

exp. 11/13

Desiree Garon (Signature)

2-19-13 (Date)

FEB 19 2013

Three Sticks Wines/Price Family Vineyards

Proposed Design & Landscaping Plans

143 West Spain Street & 138 Church Street

Sonoma, California

Project Narrative:

Three Sticks Wines and Price Family Vineyards, based in Sonoma since 1997, purchased the historic Vallejo-Casteñada Adobe: a historical residence located at 143 West Spain Street, Sonoma along with the adjoining vacant lot at 138 Church Street, Sonoma on November 6, 2012. It is our pleasure to present to you plans for architectural, landscaping & lighting design changes as they impact these properties.

Our Proposal for the Property

While preserving and enhancing the historical integrity of the adobe, it is our intention to provide our clientele an opportunity to enjoy award-winning wines in this beautiful, intimate, history-steeped environment.

There are currently two plans in existence. The plan that was unanimously approved by the Planning Commission and the City Council is our preferred plan and is presented to you here. We await final review and sign off by the Sonoma League for Historic Preservation as holders of the Historic Easement on the property. Their interests apply to changes proposed on the adobe parcel (143 West Spain) including the garage structure, the east side wall and all changes proposed to the Vallejo-Casteñada Adobe itself. The auto court to the rear, all changes to the garden and the Vallejo-Casteñada Adobe structure are the same for both plans. We present to you the full plan including garage alteration and extended alley wall.

The plan includes the reconstruction of the existing garage (currently in need of repair) into an out-building made from modern adobe which seamlessly blends into the perimeter walls. The plan was initially designed to address what we thought was an encroachment of the existing garage onto the city-owned alleyway. Upon further research via a field survey the garage does not encroach onto the alleyway but does encroach completely onto the required set-back area, equaling zero set back. The proposed plan provides for an elegant wall along the alleyway, designed to be consistent with the existing structures and to tie in with the walled, private auto court on the rear lot (138 Church Street).

A new **5' high concrete-block, stucco faced and painted Church Street alley wall** will be set back three feet from the property line. This wall will turn west and complete the enclosure of the auto court. A new curb and gutter will run the full length of the property line along the alley to protect the landscaping, enhance the alley and increase safety.

At the entrance to the parking area, there will be a **16' locally built sliding wood gate**, composed of recycled/weathered lumber, with numerous iron washers, bolts and nuts; and a channel rail on the inside face to guide the opening mechanism. The gate is similar in design to those found at missions and old buildings in California. The gate will be stained a similar color to the new trellis structures proposed for the gardens.

Inside the auto court, a **decorative wooden entrance gate** leads to the gardens and the ADA compliant pathway to the Vallejo-Casteñada Adobe. There will be a similar gate on West Spain Street for entrance to the garden. Both gates are locally made from recycled lumber with iron fasteners and studs. Each gate will have an intercom connection to the office.

A new **adobe storage building** is part of the proposed Church Street alley wall. It has a solid wooden entrance door from the alley and steel and glass French doors and windows opening towards the gardens. These architectural elements are similar to those in the Vallejo-Casteñada Adobe. The roof will be fire-resistant shake, similar to the new roof proposed for the Vallejo-Casteñada Adobe. The building will be built of adobe bricks, visible from inside the building to demonstrate the historic mission construction. A concrete bond beam will be hidden at the top of the adobe walls and steel post-tensioned rods will tie the walls to the foundation. The concrete slab foundation will be covered in tile, similar to that of the Vallejo-Casteñada Adobe. Exposed beams and a wood board ceiling will be similar to the Vallejo-Casteñada Adobe interior ceilings. The exterior will be painted stucco.

Part of the existing guest house will be remodeled to contain an **ADA-compliant toilet room**. This location for the ADA toilet was chosen in order to minimize construction impact on the Vallejo-Casteñada Adobe and to meet the ADA mandated requirements. The north **gable roof overhang** will be cut back to eliminate unnecessary supports and ease circulation between various parts of the gardens. **Two new lathe turned posts**, similar to those on the Vallejo-Casteñada Adobe, will support the west roof overhang.

The alternative to this plan excludes changes to the current out-building and structures on the property (garage and wall work) and reflects just the enhancements to the vacant lot (not subject to the Historic Easement), ADA changes to the garden and changes to the Vallejo-Casteñada Adobe.

We took very seriously our neighbors' concerns about a parking "lot" creating an eye-sore and potentially attracting late-night revelers from nearby bars. We have therefore designed an auto court that is aesthetically pleasing, enhances the existing vacant lot and would have plenty of security to deter vagrants (including a wall, a hedge, surrounding landscaping, a gate, and a security system). The area would be aesthetically appropriate, achieving consistency with the historic look and feel of the adobe and its existing walls and transform the alleyway into a safer and more beautiful byway. We will be adding curb and gutter along the alleyway to further increase safety and stability of the alleyway as well as increasing the width of the alley by three feet once we come into compliance with the 3' setback as the plan reflects.

The landscape design recommendations comply with applicable policies and regulations set forth in the Development Code, other City ordinances, and the General Plan. The design retains the Vallejo-

Casteñada Adobe's existing character while making the scale and style consistent with the surrounding neighborhood. Proposed landscape materials replace the existing modern wire-cut brick with natural stone, gravel and locally-sourced reclaimed timber. These are materials that were in general use at the time of the adobe's construction, but are to be presented in a complimentary manner, preserving the distinctive appearance of the Vallejo-Casteñada Adobe while providing a garden aesthetic that is appealing to visitors.

The landscape is consistent with the intent of applicable design guidelines set forth in the Development Code including height of perimeter fences and walls consistent with the Code, with walls at 5' in rear and side setbacks, 3.5' in the front setback and 30" at the intersection of the street and alley. Standard and Accessible parking and loading spaces are provided in the rear auto court consistent with section 19.48 of the Development Code. Plant material proposed is all "low water use" and will be irrigated by a fully-automated drip irrigation system. Once established, many of the plant species may be removed from the irrigation system entirely. A stone accessible ramp is an attractive garden element, providing ADA-compliant universal access from the upper to the lower terraces. Drainage will be addressed during the garden renovation to protect the Adobe from floods, through surface flow away from the adobe and permeable sand-set stone paving. Auto court paving will be permeable to allow stormwater to percolate back into the soil.

The project responds appropriately to the context of the adjacent development, as well as existing site conditions. The rear auto court will be buffered from the surrounding residential neighborhood by an approximately 2,000 square foot xeriscape garden. This space features low-water use perennial shrubs. Combined with native ornamental bunch grasses and gravel surfacing, the plantings will provide a small pocket oasis for the Church St. neighborhood and screen their views of the auto court. Changes visible from the right of way will be minimal as much of the front of the Adobe along Spain Street will remain essentially as-is.

The garden substantially preserves and enhances the qualities of the historic features on the site. The proposed plan re-uses all of the mature, antique roses found on the adobe site, as well as existing Crape Myrtles, Italian Cypress, mature Boxwood, and Pineapple Guava. The existing ivy-covered trellis posts (originally from the 1948 garden) will be prominently displayed and protected in the upper terrace seating area. Existing water features from the Demler's garden have been incorporated into the new design. Large, mature Olives will be brought in to give the garden a sense of permanence, seamlessly tying the garden and Adobe together. Overhead shade ramadas made of Corten steel, timber and grapestake replace the existing white-latticed structures in place.

The submitted conceptual landscape plan features a preliminary landscape lighting diagram. A fully-automated, low-voltage LED lighting system consisting of wall-wash downlights/sconces, specimen tree uplights, directional pathlights, underwater upspots in water features, and minimal downlighting is proposed.

We have a firm commitment to sustainability. We will have one electric car charging station in the auto court to encourage low impact commuting and a permeable paving material to enhance drainage and

prevent runoff. Sufficient bicycle parking, as required by the city, is included to encourage local members and employees to visit or commute without using their vehicles. We look forward to any further enhancements in the way of energy and resource efficiency that we can bring to the property.

Preserving the Vallejo-Casteñada Adobe

Our respect and reverence for this property extend well beyond our business interests. We are deeply committed to preserving the legacy that is Vallejo-Casteñada Adobe. We have worked with Sid Hoover and Penney Magrane to determine materials to be used throughout the project. With regard to the Vallejo-Casteñada Adobe building we propose to make the following changes:

- We must alter one doorway on the Vallejo-Casteñada Adobe in order to meet the ADA required measurements, thus triggering the need to replace the existing doors to match and suit the structure. The existing wood and glass doors leading from the Adobe to the gardens will thus be replaced with **new steel and glass doors**, similar in manufacturer to the classic steel windows found in the Adobe. It is anticipated that these doors will open the full width of the dining room.
- We will re-roof the adobe to protect it from water damage as demanded by the Caravaglia adobe home inspection. We will match the roofing material on the new adobe out-building and the small cottage. We propose a fire-retardant wooden shake, which echoes the material that would have been used on the home originally.
- The Vallejo-Casteñada Adobe's existing **kitchen exterior wood framed walls** will be re-clad in vertical painted wood board and battens similar to other exterior parts of the building. All the exposed plumbing will be contained inside the re-clad walls. The interior of the kitchen will remain as is.
- Where the current brick hardscape needs to be removed for ADA pathways and enhanced drainage we will replace with a natural stone paver that echoes the style of adobe architecture.

Mr. Robert Demler, the home's previous owner, serves as Advisory Chairman for the home. In addition to his role on the Sonoma League for Historic Preservation, he has a very personal investment in the home where he and his family resided for nearly 20 years. Recognizing our passion for the home and genuine commitment to its preservation, he accepted our company's proposal for purchasing the property and supports the plans that we have described above.

Mr. Demler knows that we will take great pains to ensure all work preserves the home's historical integrity. Such integrity is part and parcel to our company's culture.

The Home's Historical Significance

We know that, at its heart, this home belongs to Sonoma. Its breathtaking beauty and historical relevance belong to the people of this county. In addition to our wine interests, we will take special care to preserve the home. The spaces that we have redesigned bare this in mind and have minimal impact on the adobe itself. The process of completing this work will be done gently and with care. We have discussed with George McKale, Sonoma's Official City Historian and an Archeologist by trade, that he will

personally monitor the movement of earth from the property should there be any important archeological discoveries in the process. Additionally, we are committed to hosting a rotating display of historic artifacts for the public to view and that the home is available for public visits by school children, the League for Historic Preservation and any parties interested in the property's rich history.

Thank you in advance for your consideration of our plans. We welcome discussion of the project and look forward to hearing your feedback. We share your passion for the city of Sonoma and interest in protecting its legacy and diverse aesthetic. In partnership to preserve the Vallejo-Casteñada Adobe, we respectfully request your approval.

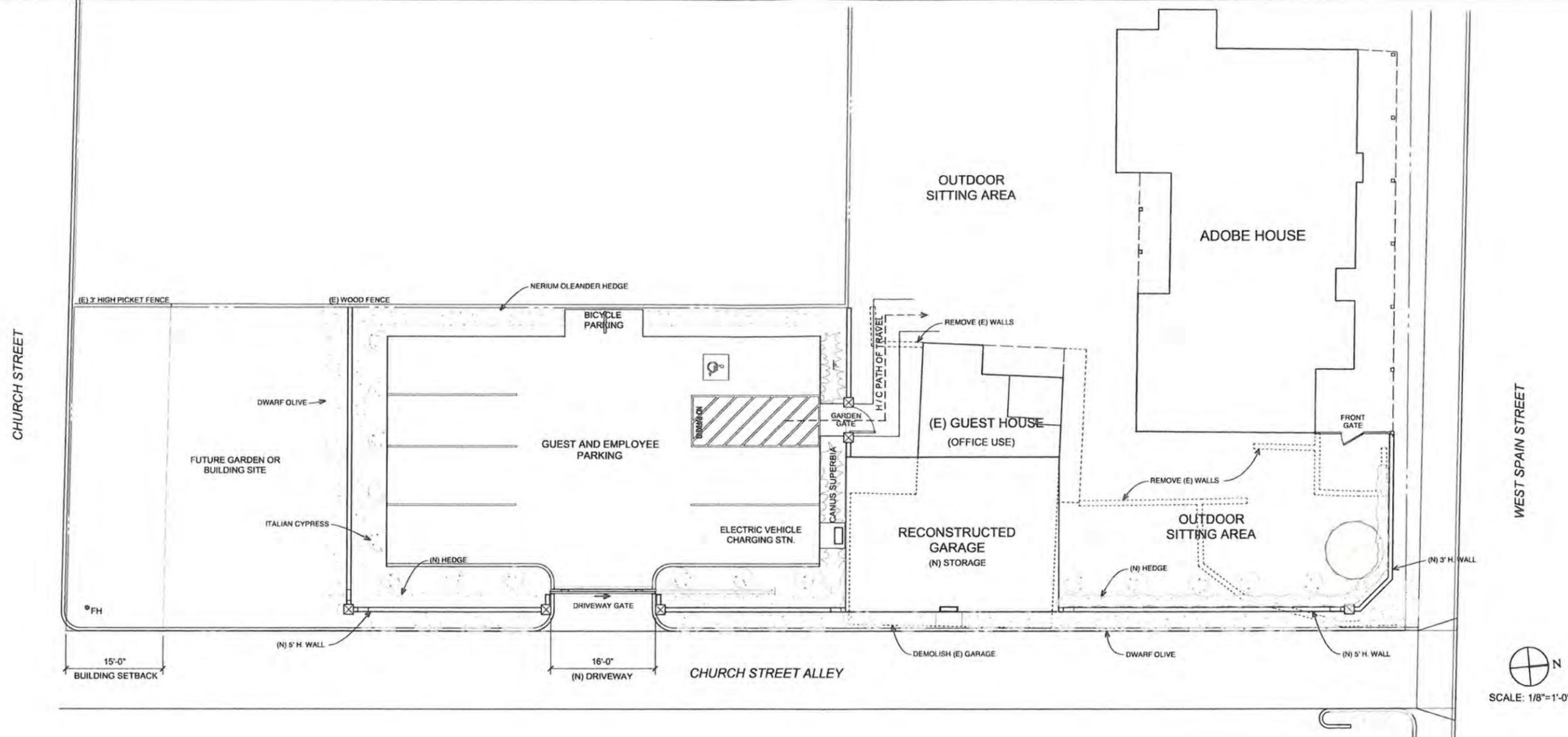
For questions please call me at 707-996-3328 ext. 101.

Signed: 

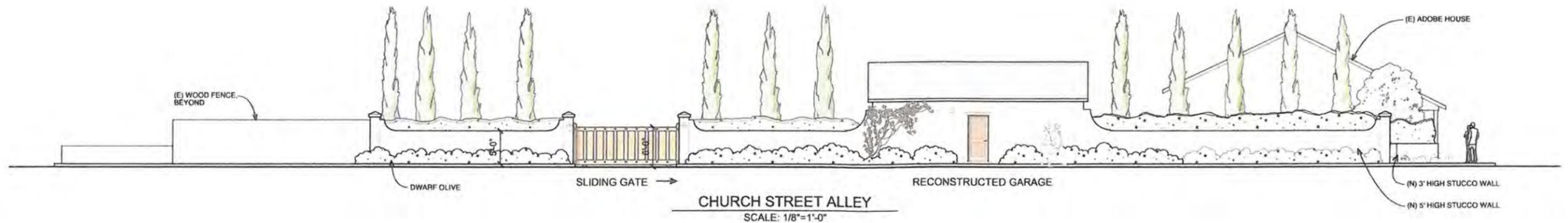
Prema Behan

COO/Three Sticks Wines

Date: 3/8/13



SCALE: 1/8"=1'-0"



CHURCH STREET ALLEY
SCALE: 1/8"=1'-0"

REVISIONS	BY

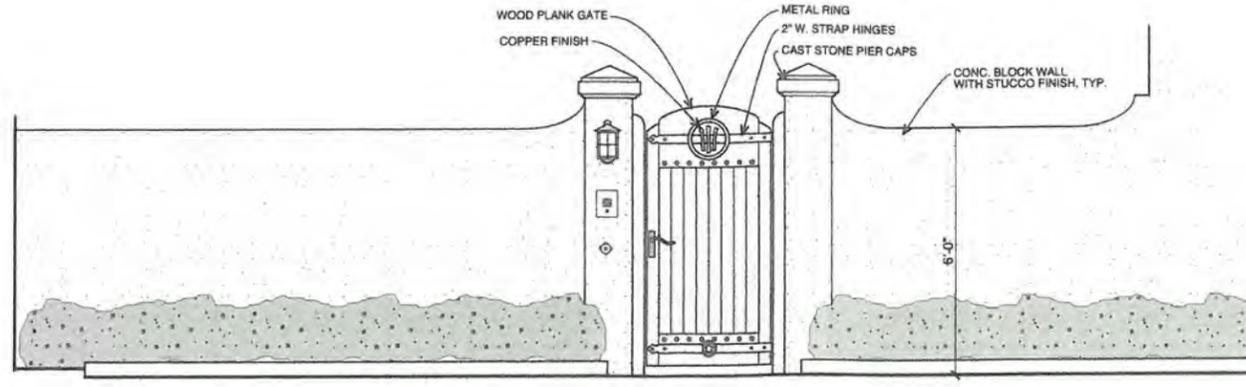
SIDNEY HOOVER ARCHITECTS AIA
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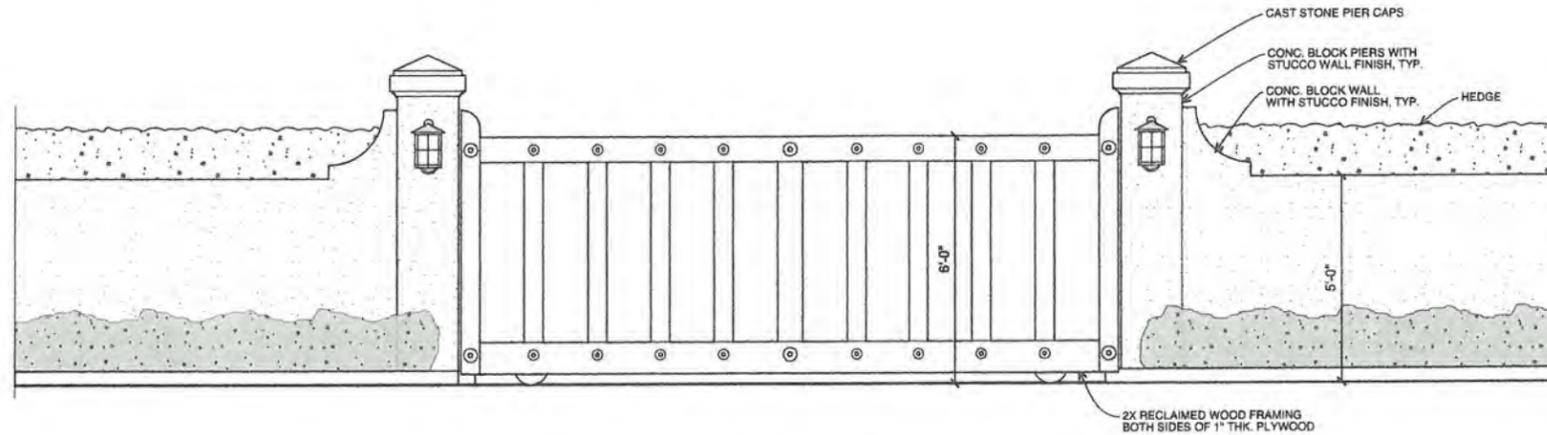
PRELIMINARY SITE PLAN
AND STREET ELEVATION

THREE STICKS WINERY
Proposed Street and Vacant Lot Design
143 West Spain Street
138 Church Street
Sonoma, California

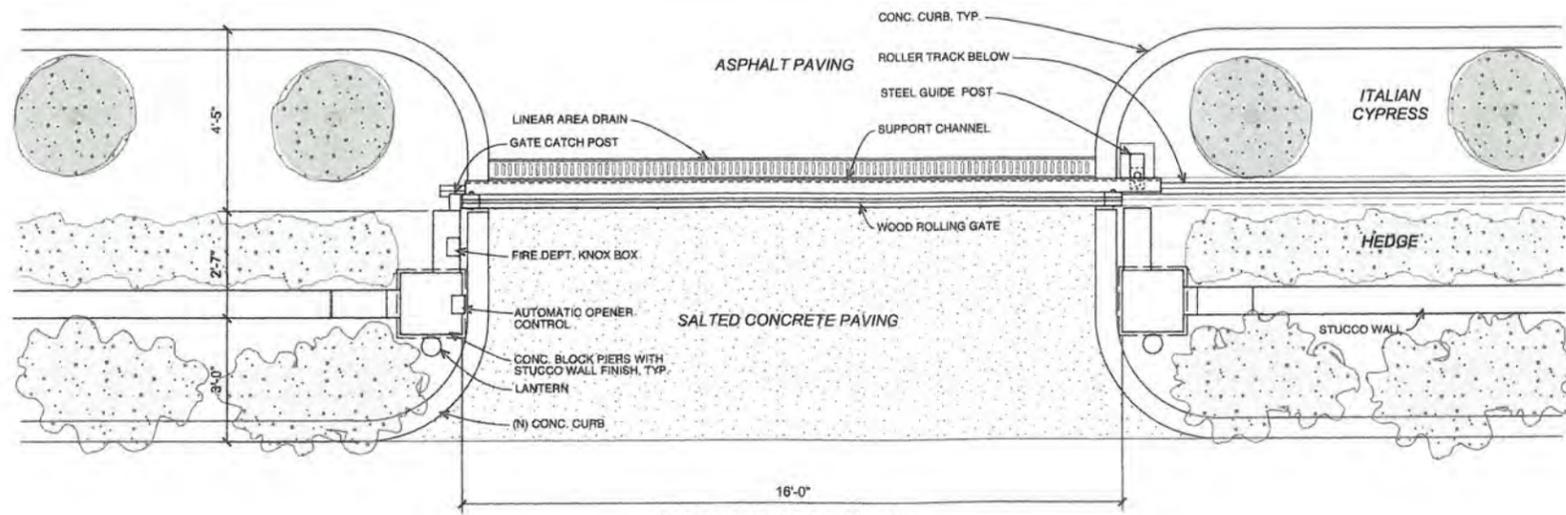
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Job
Sheet
A1.1
Of Sheets



GARDEN GATE ELEVATION
SCALE: 1/2" = 1'-0"



DRIVEWAY GATE ELEVATION
SCALE: 1/2" = 1'-0"



DRIVEWAY GATE PLAN
SCALE: 1/2" = 1'-0"



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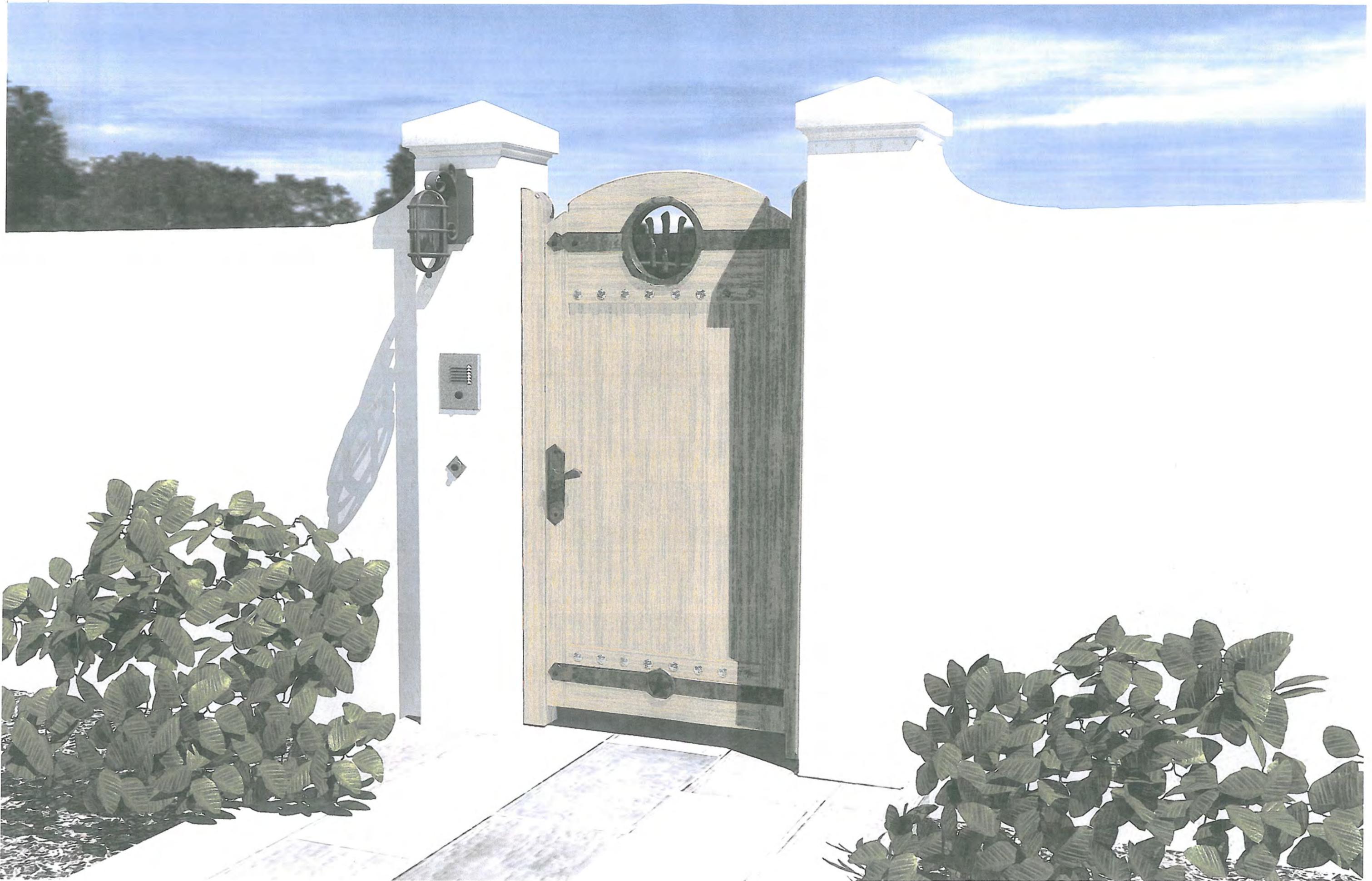
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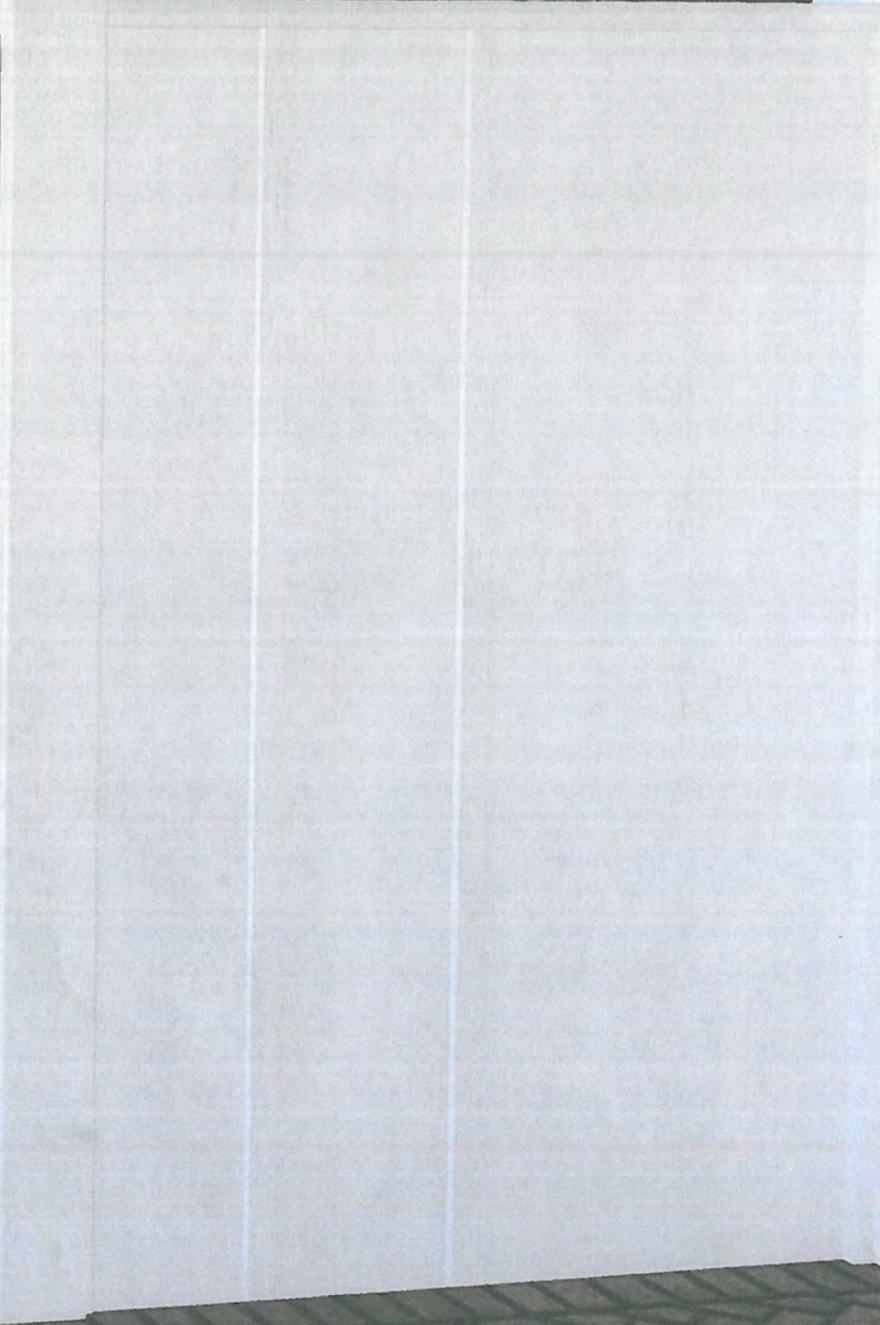
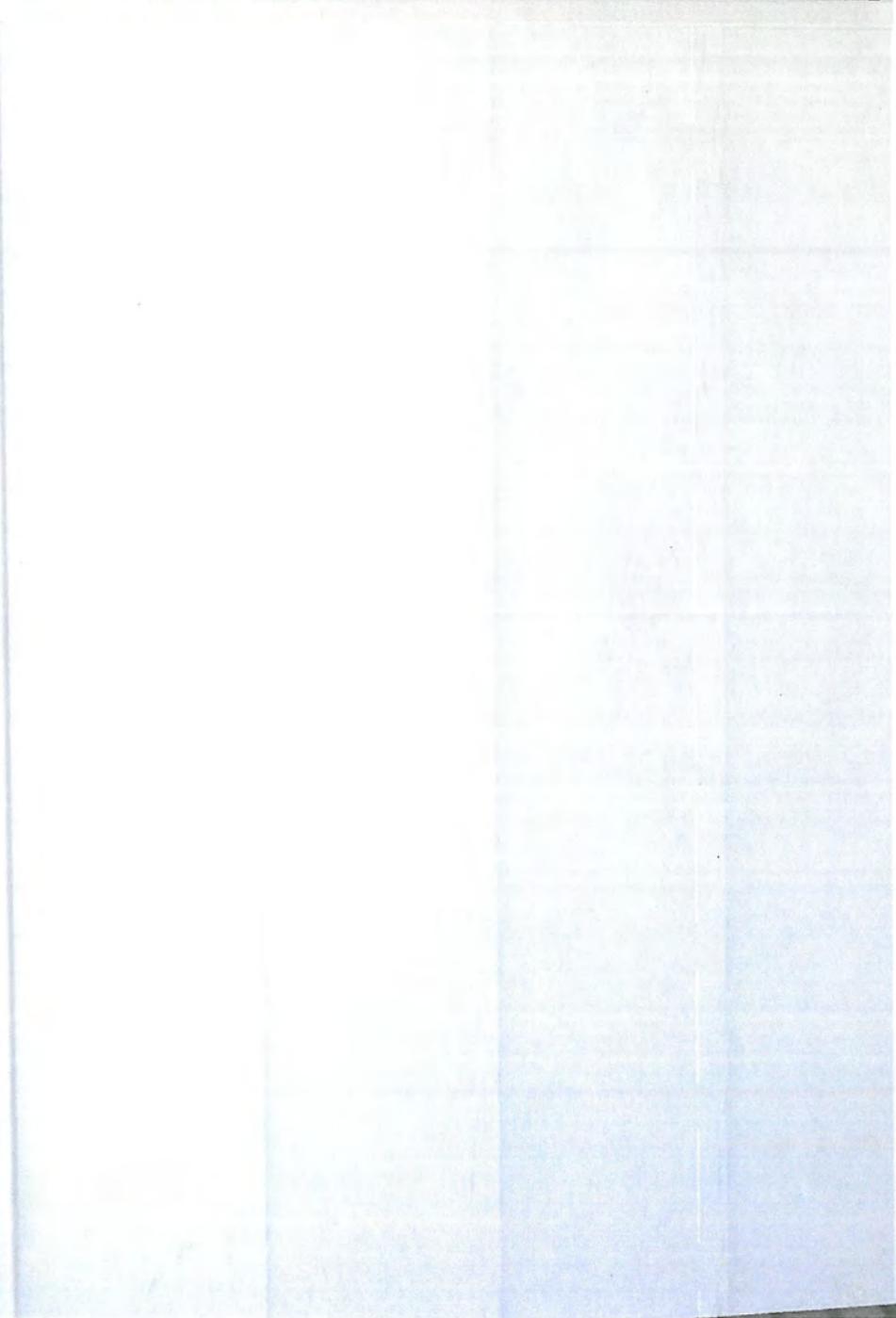
THREE STICKS WINERY
Proposed Street and Vacant Lot Design
143 West Spain Street
138 Church Street
Sonoma, California

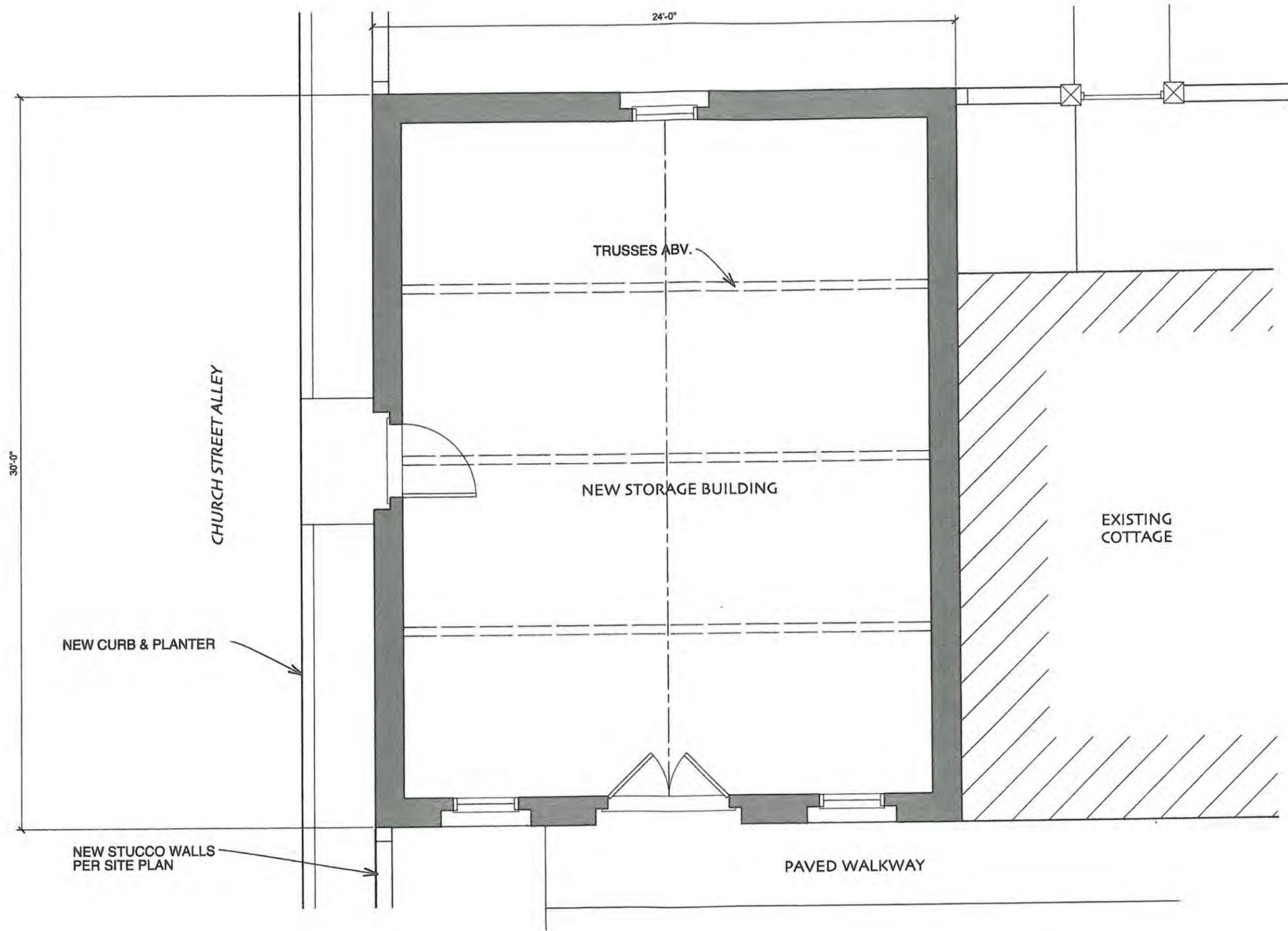
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Drawn	
Job	
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Of	Sheets



DRIVEWAY GATE







STORAGE BUILDING PLAN

SCALE: 1/4" = 1'-0"



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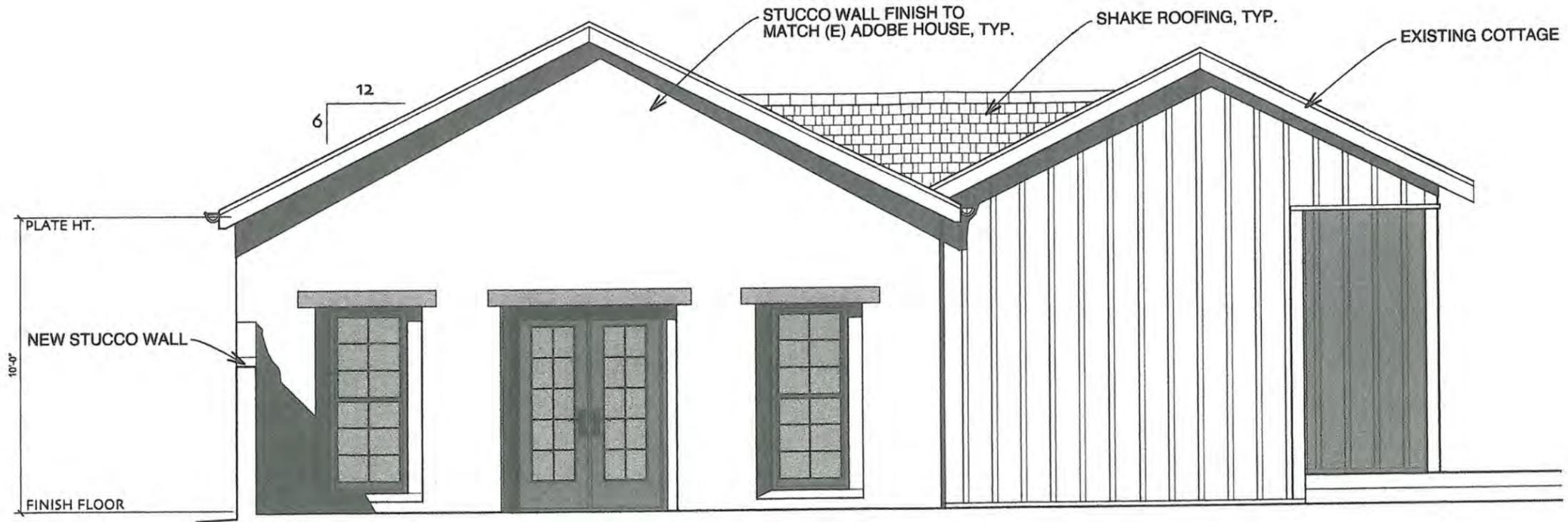


NEW STORAGE BUILDING
 FLOOR PLAN

THREE STICKS WINERY
 Proposed Street and Vacant Lot Design
 143 West Spain Street
 138 Church Street
 Sonoma, California

Date	2/19/13
Scale	AS NOTED
Drawn	
Job	
Sheet	
Of	

A1.4
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NORTH ELEVATION

NEW ADOBE STORAGE BUILDING

1/4"=1'-0"

REVISIONS	BY

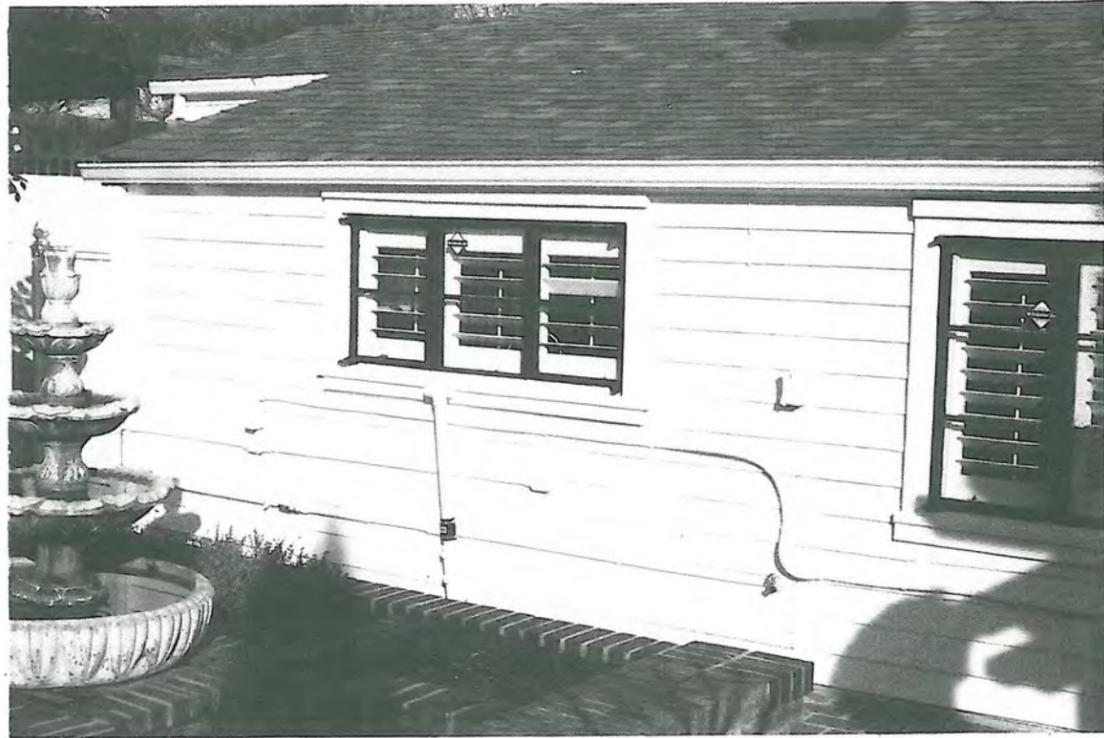
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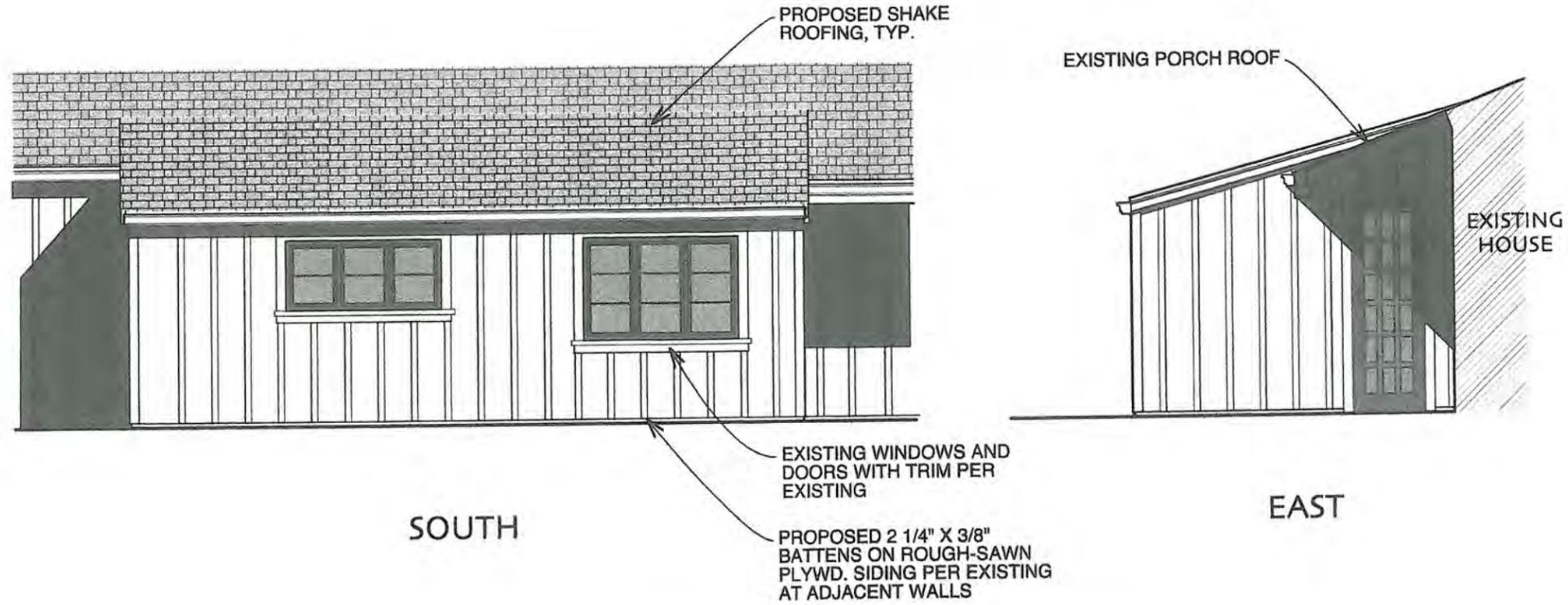


NEW STORAGE BUILDING
 EXTERIOR ELEVATION

THREE STICKS WINERY
 Proposed Street and Vacant Lot Design
 143 West Spain Street
 138 Church Street
 Sonoma, California

Date	2/19/13
Scale	AS NOTED
Drawn	
Job	
Sheet	A1.5
Of	Sheets





NEW SIDING AT EXISTING KITCHEN WALLS

1/4"=1'-0"

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KITCHEN WING
 EXTERIOR ELEVATIONS

THREE STICKS WINERY
 Proposed Street and Vacant Lot Design
 143 West Spain Street
 138 Church Street
 Sonoma, California

Date 2/18/13
 Scale AS NOTED
 Drawn
 Job
 Sheet
A1.3
 Of Sheets



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LIC. #437488

THREE STICKS WINERY

143 WEST SPAIN STREET
SONOMA, CA 95476



REVISIONS

DATE: Feb. 19, 2013

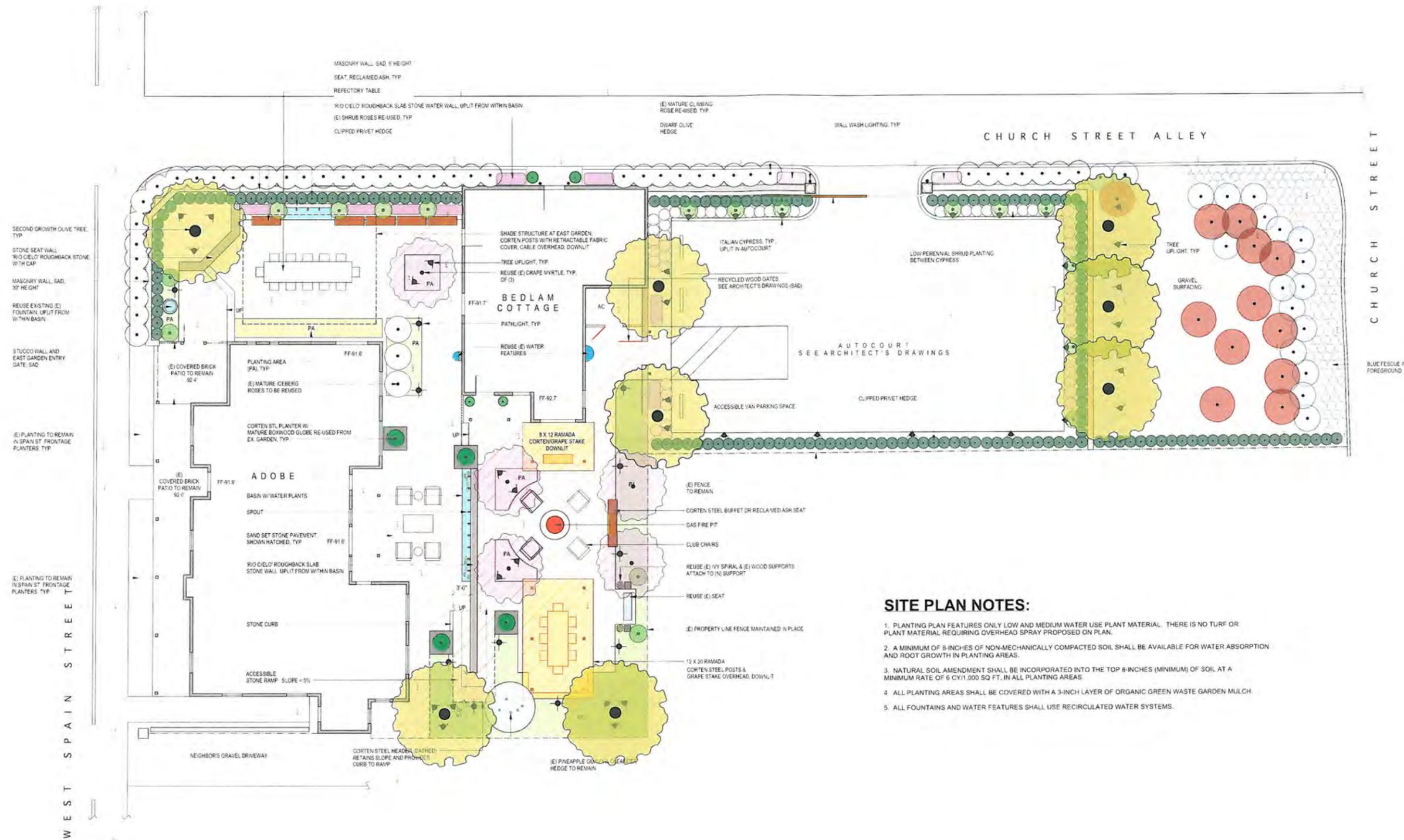
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DRAWN:

CONCEPTUAL
LANDSCAPE
PLAN

CL-1

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SITE PLAN NOTES:

1. PLANTING PLAN FEATURES ONLY LOW AND MEDIUM WATER USE PLANT MATERIAL. THERE IS NO TURF OR PLANT MATERIAL REQUIRING OVERHEAD SPRAY PROPOSED ON PLAN.
2. A MINIMUM OF 8-INCHES OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTING AREAS.
3. NATURAL SOIL AMENDMENT SHALL BE INCORPORATED INTO THE TOP 8-INCHES (MINIMUM) OF SOIL AT A MINIMUM RATE OF 6 CY/1,000 SQ FT. IN ALL PLANTING AREAS.
4. ALL PLANTING AREAS SHALL BE COVERED WITH A 3-INCH LAYER OF ORGANIC GREEN WASTE GARDEN MULCH.
5. ALL FOUNTAINS AND WATER FEATURES SHALL USE RECIRCULATED WATER SYSTEMS.

11x17 PLAN VERSION
NOT TO SCALE



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**THREE STICKS
WINERY**

143 WEST SPAIN STREET
SONOMA, CA 95476



REVISIONS

1/10/11

DATE: DEC. 11, 2012

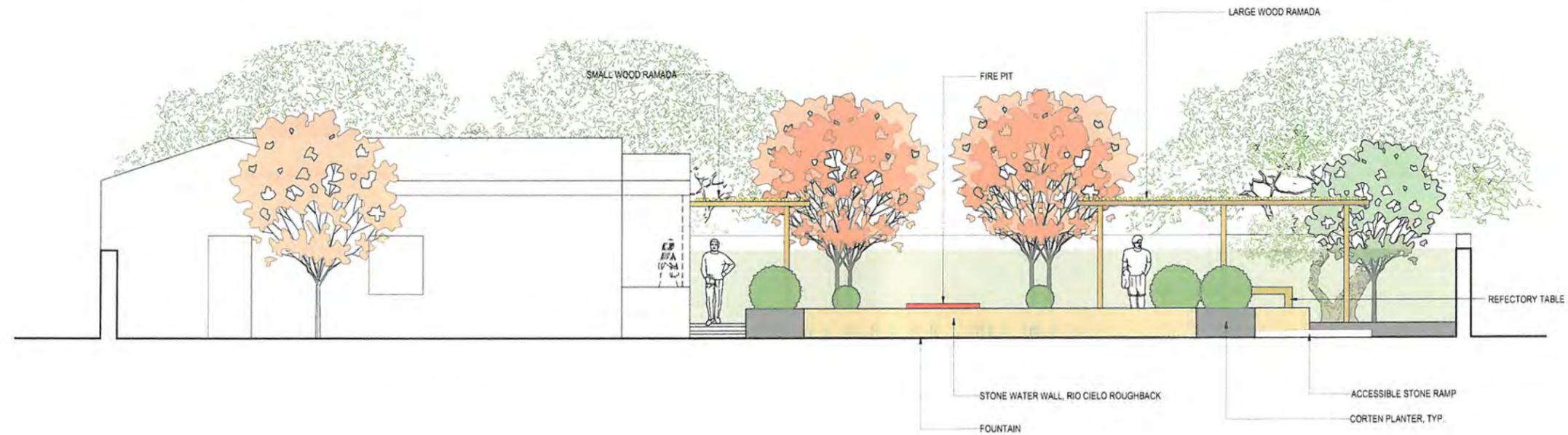
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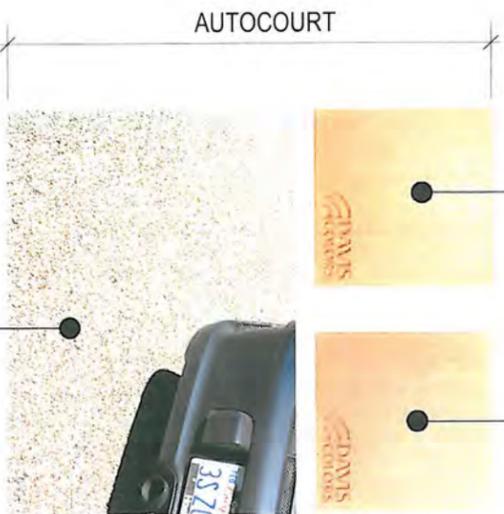
CONCEPTUAL
LANDSCAPE
ELEVATION

CL-2

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DAVIS COLOR, PALOMINO RANGE
AT ADA STALL, LOADING ZONE &
CURBS



TAN-HUED CHIP SEAL
PAVING SURFACE

WOOD GATES, BENCHES,
AND TABLES: RECLAIMED
ASH TIMBER



PLANTERS:
CORTEN STEEL



GARDEN PAVING ALTERNATIVE:
STABILIZED DECOMPOSED GRANITE WITH
RIO CIELO STONE BORDER - UNDER DINING
TERRACE OF UPPER AND EAST GARDEN



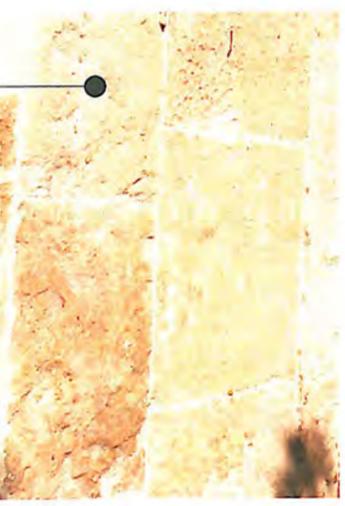
RAMADAS:
CORTEN STEEL POSTS
WITH GRAPE STAKES
OVERHEAD



VERTICAL SEAT WALLS,
CAPS & RISERS:
RIO CIELO ROUGHBACK STONE



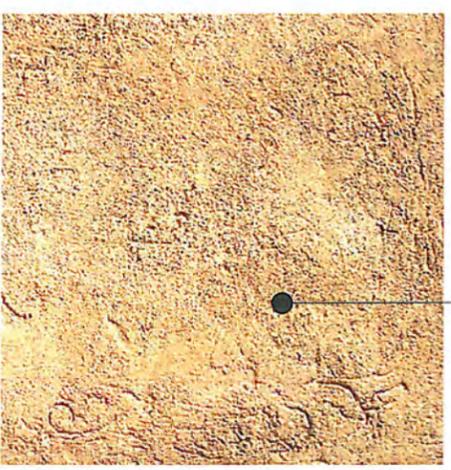
GARDEN PAVING STONE:
RIO CIELO COBBLE,
SAND-SET/PERMEABLE JOINTS,
SURFACED TO MEET ADA CODE



WATER FEATURES:
RIO CIELO ROUGHBACK
STONE WATER WALL, CAPS & BASINS
w/COPPER SPIGOTS or BUBBLERS



GARDEN PERIMETER WALLS:
INTEGRAL COLOR, ROUGH TEXTURE
CEMENT PLASTER. COLOR TO MATCH ADOBE



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date 3/19/13

sheet number M-1

project 143 W. Spain Street

drawn by

sheet title

Materials Finishes

scale

None

Three Sticks Winery Adobe

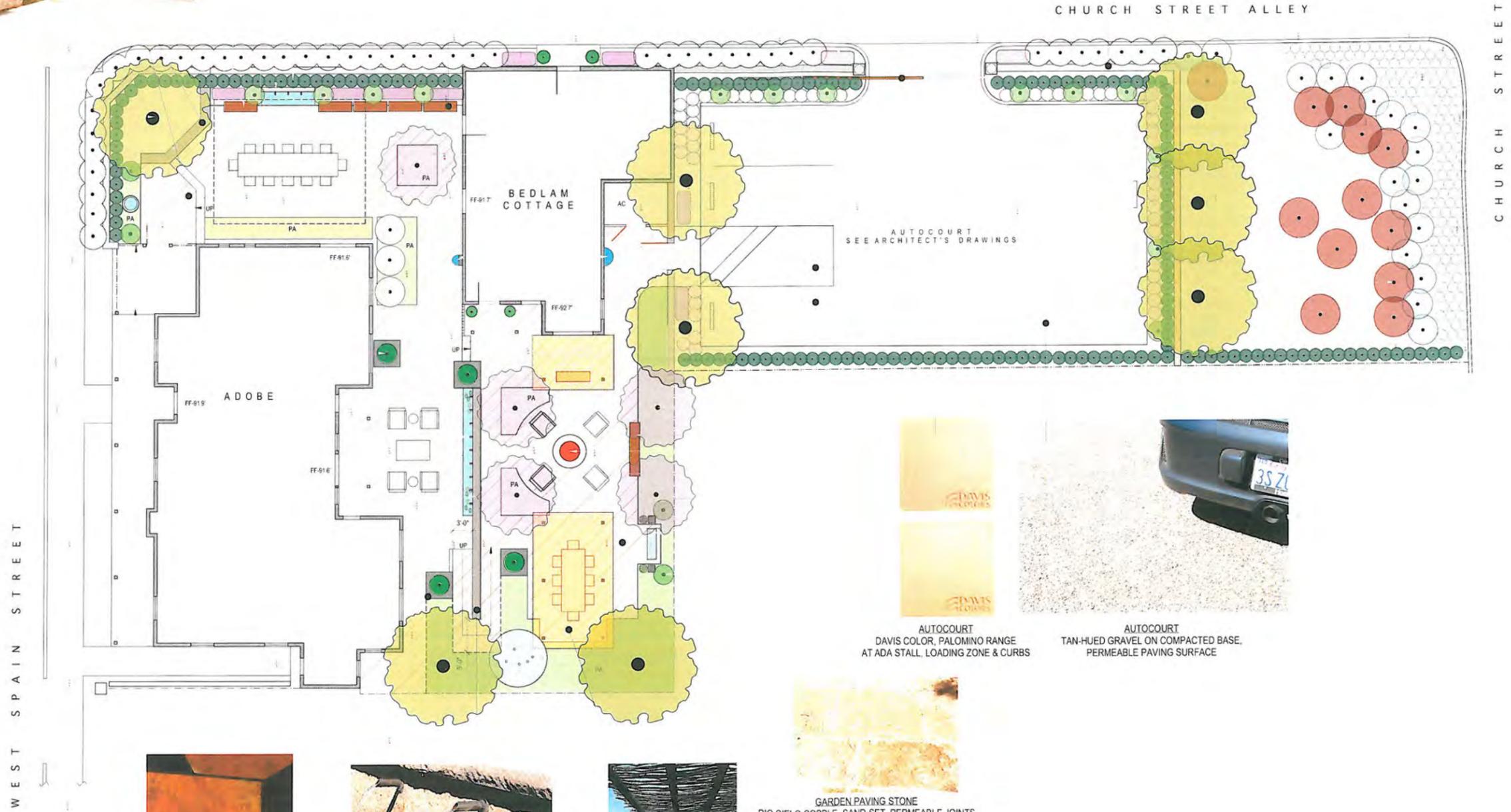
VERTICAL SEAT WALLS, CAPS & STEP RISERS
RIO CIELO ROUGHBACK STONE



WOOD GATES, BENCHES AND TABLES
RUSTIC RECLAIMED ASH



MASONRY WALLS
INTEGRAL COLOR, ROUGH TEXTURE
CEMENT PLASTER, COLOR TO MATCH ADOBE



WEST SPAIN STREET

CHURCH STREET ALLEY

CHURCH STREET



PLANTERS
CORTEN STEEL



WATER FEATURES (2)
RIO CIELO ROUGHBACK STONE WATER WALL, CAP & BASIN
W/ COPPER SPIGOTS



RAMADA
CORTEN STEEL POSTS
WIGRAPE STAKE OVERHEAD



GARDEN PAVING STONE
RIO CIELO COBBLE, SAND-SET, PERMEABLE JOINTS
SURFACED TO MEET ADA CODE



AUTOCOURT
DAVIS COLOR, PALOMINO RANGE
AT ADA STALL, LOADING ZONE & CURBS



AUTOCOURT
TAN-HUED GRAVEL ON COMPACTED BASE,
PERMEABLE PAVING SURFACE



MAGRANE
ASSOCIATES
LANDSCAPE
DESIGN

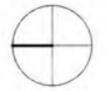
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THREE STICKS
WINERY

143 WEST SPAIN STREET
SONOMA, CA 95476



REVISIONS

DATE: Mar. 19, 2013
SCALE: 1/8"=1'-0"
DRAWN:

MATERIALS
MAP

M-2

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WATER WALL



EXISTING CRAPE MYRTLE TO BE RE-USED



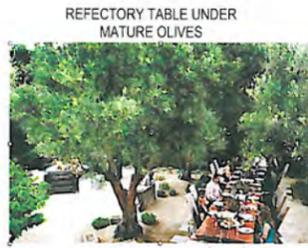
EXISTING HERITAGE ROSES TO BE RE-USED



OLIVE 'LITTLE OLLIE' HEDGE ALONG CHURCH STREET ALLEY



LOW WATER USE GRASSES AT CHURCH STREET GARDEN



REFECTORY TABLE UNDER MATURE OLIVES



MATURE OLIVES

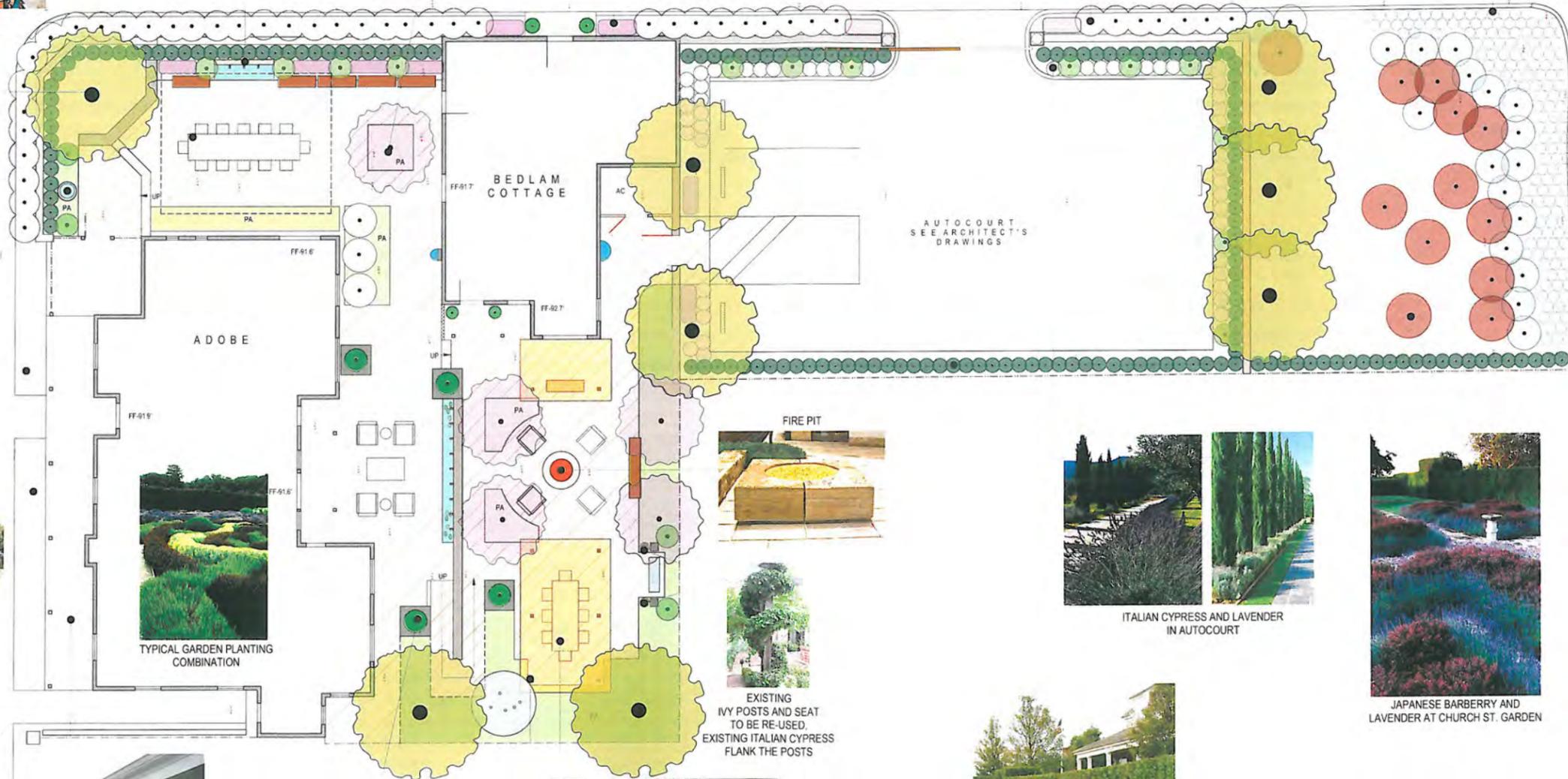


EXISTING GARDEN ELEMENTS TO BE RE-INCORPORATED



EXISTING GARDEN ALONG WEST SPAIN ST. FRONTAGE TO REMAIN

W. SPAIN STREET



FIRE PIT



ITALIAN CYPRESS AND LAVENDER IN AUTOCOURT



JAPANESE BARBERRY AND LAVENDER AT CHURCH ST. GARDEN



EXISTING IVY POSTS AND SEAT TO BE RE-USED. EXISTING ITALIAN CYPRESS FLANK THE POSTS



ASH REFECTORY TABLE



PRIVET HEDGE IN AUTOCOURT AND AT BACK OF MASONRY WALL



EXISTING BRICK TO REMAIN AT FRONT OF ADOBE



EXISTING BUXUS GLOBES TO BE RE-USED IN CORTEN PLANTERS



GRAPE STAKE RAMADA



MAGRANE ASSOCIATES LANDSCAPE DESIGN

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THREE STICKS WINERY

143 WEST SPAIN STREET SONOMA, CA 95476



REVISIONS

DATE: Mar. 19, 2013

SCALE: 1/8"=1'-0"

DRAWN:

MATERIALS CONCEPTUAL BOARD

M-3

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THREE STICKS WINERY

143 WEST SPAIN STREET
SONOMA, CA 95476



REVISIONS

DATE: Feb. 19, 2013

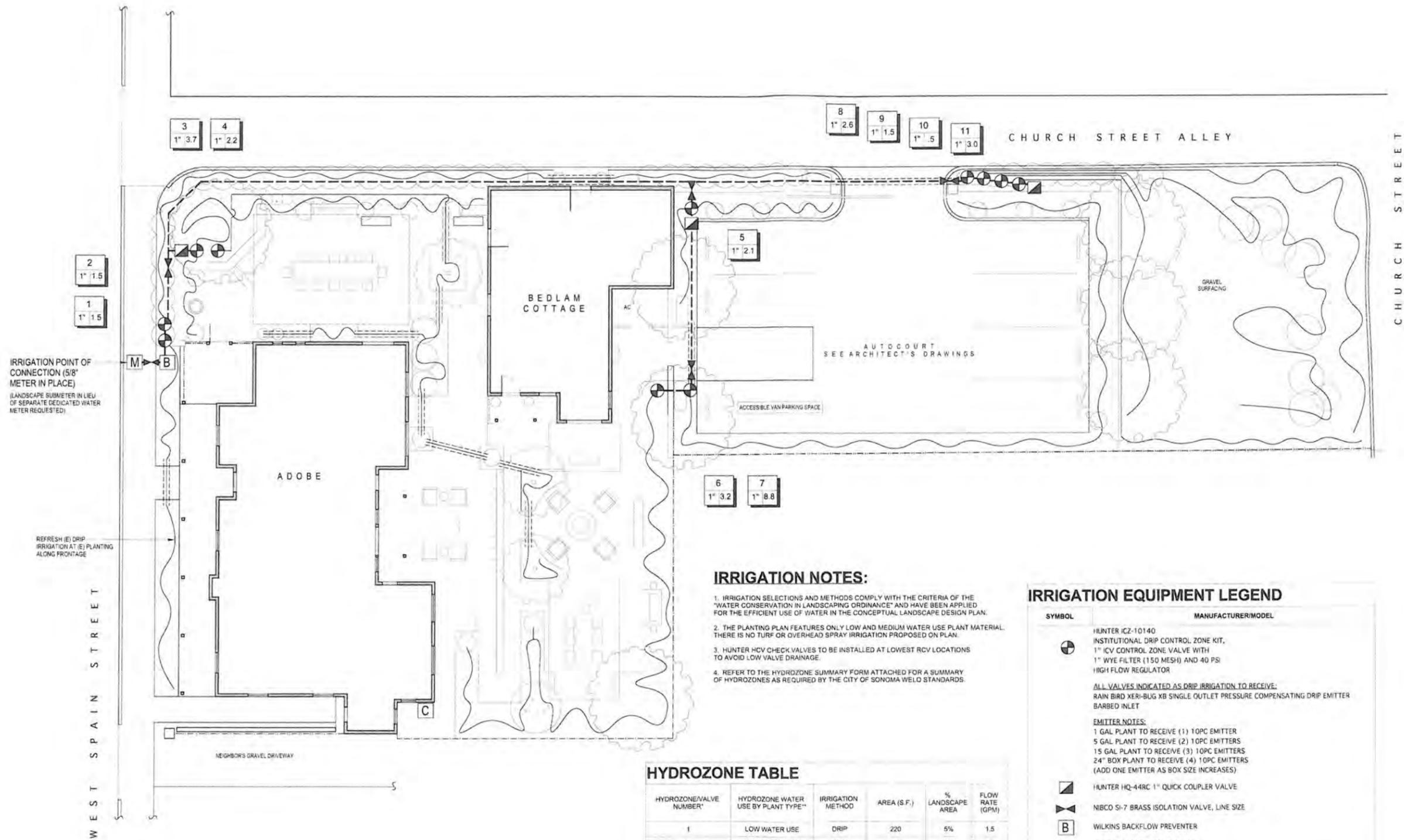
SCALE: 1/8"=1'-0"

DRAWN:

CONCEPTUAL IRRIGATION DIAGRAM

CL-2

60 1/2" x 11" x 1/2" (approximate) paper
Consulting engineer and/or landscape architect
used or disclosed without the written approval
of the landscape architect.



IRRIGATION NOTES:

- IRRIGATION SELECTIONS AND METHODS COMPLY WITH THE CRITERIA OF THE "WATER CONSERVATION IN LANDSCAPING ORDINANCE" AND HAVE BEEN APPLIED FOR THE EFFICIENT USE OF WATER IN THE CONCEPTUAL LANDSCAPE DESIGN PLAN.
- THE PLANTING PLAN FEATURES ONLY LOW AND MEDIUM WATER USE PLANT MATERIAL. THERE IS NO TURF OR OVERHEAD SPRAY IRRIGATION PROPOSED ON PLAN.
- HUNTER HCV CHECK VALVES TO BE INSTALLED AT LOWEST RCV LOCATIONS TO AVOID LOW VALVE DRAINAGE.
- REFER TO THE HYDROZONE SUMMARY FORM ATTACHED FOR A SUMMARY OF HYDROZONES AS REQUIRED BY THE CITY OF SONOMA WELD STANDARDS.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER/MODEL
	HUNTER ICZ-10140 INSTITUTIONAL DRIP CONTROL ZONE KIT, 1" ICV CONTROL ZONE VALVE WITH 1" WYE FILTER (150 MESH) AND 40 PSI HIGH FLOW REGULATOR
	ALL VALVES INDICATED AS DRIP IRRIGATION TO RECEIVE: RAIN BIRD XERI-BUG XB SINGLE OUTLET PRESSURE COMPENSATING DRIP EMITTER BARBED INLET
	HUNTER HQ-44RC 1" QUICK COUPLER VALVE
	NIBCO SI-7 BRASS ISOLATION VALVE, LINE SIZE
	WILKINS BACKFLOW PREVENTER
	HUNTER IC-600-M CONTROLLER CONFIGURED TO 12 STATIONS, IN STAINLESS WALL MOUNT CABINET ADD HUNTER FLOW-CLIK FLOW SENSOR ADD FCT SENSOR BODY LINE SIZED ADD RAIN SHUTOFF DEVICE HUNTER SG-MC MINI-CLIK
	EXISTING POTABLE WATER METER
	IRRIGATION LATERAL LINE: PVC SCH 40, 3/4" UNLESS OTHERWISE NOTED
	IRRIGATION MAINLINE: PVC SCH 40 1" SIZE
	PIPE SLEEVE: PVC SCH 40 CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION AS NEEDED
	VALVE CALLOUT
	VALVE NUMBER
	VALVE GPM
	VALVE SIZE

HYDROZONE TABLE

HYDROZONE/VALVE NUMBER*	HYDROZONE WATER USE BY PLANT TYPE**	IRRIGATION METHOD	AREA (S.F.)	% LANDSCAPE AREA	FLOW RATE (GPM)
1	LOW WATER USE	DRIP	220	5%	1.5
2	VERY LOW WATER USE	DRIP	460	11%	1.2
3	MEDIUM WATER USE	DRIP	350	8%	3.7
4	MEDIUM WATER USE	DRIP	340	8%	2.2
5	LOW WATER USE	DRIP	200	5%	2.1
6	LOW WATER USE	DRIP	630	14%	3.2
7	LOW WATER USE	DRIP	580	13%	8.8
8	LOW WATER USE	DRIP	370	8%	2.6
9	VERY LOW WATER USE	DRIP	900	21%	1.5
10	VERY LOW WATER USE	DRIP	210	5%	0.5
11	LOW WATER USE	DRIP	100	2%	1.3
TOTAL			4,360	100%	

* HYDROZONE NUMBER CORRESPONDS TO VALVE STATION NUMBER ON PLAN

** REGION 1 - UNIVERSITY OF CALIFORNIA LANDSCAPE COEFFICIENT METHOD

IRRIGATION DESIGN OPERATING PRESSURE AT 50 PSI

11x17 PLAN VERSION
NOT TO SCALE



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 6

Meeting Date: 3/19/13

Applicant

Stacy Eisenmann

Project Location

134 Church Street

Historical Significance

- Listed or Eligible for Listing on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed or Eligible for Listing on the California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: between 1911 and 1923

Request

Consideration of elevation details, exterior colors and materials, lighting, and landscaping for a wine tasting room on a commercial property (JAQK Cellars).

Summary

Site Description: The subject property is a ±6,800-square foot parcel fronting Church Street that benefits from a shared access and utility easement connecting to First Street West on the Plaza. The property is currently developed with an ±1,850-square foot, one-story building that contains a residential unit and retail art gallery, studio and frame shop. The structure was built sometime between 1911 and 1923 and has been determined eligible for listing on the California Register and National Register (refer to attached Historic Resource Evaluation & Design Analysis prepared by Jerri Holan, FAIA, dated January 21, 2013). The western portion of the property accommodates an informal gravel parking area and the Church Street frontage is not improved. The property is zoned Commercial (C) and lies within the Sonoma Plaza National Register District and the City's Historic Overlay Zone. Directly adjoining land uses include retail shops and a duplex (opposite alley).

Background: On February 14, 2013 the Planning Commission approved a Parking Exception and Use Permit allowing conversion of the building into a wine tasting room with offices and outdoor seating area for JAQK Cellars, plus a small residential unit. The project is now before the Design Review Commission for consideration of elevation details, exterior colors and materials, lighting, landscaping, and bicycle parking.

Exterior Materials & Details: The project involves renovating and remodeling the structure to accommodate a wine tasting room with offices for JAQK Cellars. The design intent is to be respectful of the original Victorian Bungalow structure in compliance with the Secretary of Interior's Standards, improve the exterior to provide an appealing presence from the public right of way, and make the necessary interior upgrades for the business program in compliance with Building Code requirements. The proposed building elevations are consistent with those approved by the Planning Commission in February. No changes to the building footprint or simple gable form are proposed. The existing gable vents, front porch, wood siding and corrugated metal roof will remain and repaired as necessary. The asphalt shingles currently located on the front porch and shed roofs would be replaced with corrugated metal roofing. Existing windows and doors, which are not original to the structure and vary in type, would be replaced with divided windows and undivided doors. New wood/door trim and sills would match the original gable vent trim and sill. A horizontal trellis is proposed on the east elevation and vertical cable trellises would be located on the north and south elevations to support climbing plants. Metal accents are incorporated in the design including the exterior wall sconces, trellis components, gutters and downspouts. Further details can be found in the attached project narrative and accompanying materials.

Exterior Colors: Three color scheme alternatives have been put forward for consideration, each consisting of a mid-tone body color and lighter trim color. The darker window sash and door color would provide further contrast.

Light Fixtures: Light fixtures would be limited to vintage barn sconces (14" and 18" diameter) mounted on the exterior building walls and recessed LED downlights integrated in the horizontal trellis on the east elevation. Fixture locations are identified on the site plan (Sheet A1.0) and specifications are provided.

Bicycle Parking: Bike racks are proposed in the southwest corner of the site to provide required bicycle parking. Two different types are presented for the DRC's consideration – bollard racks (preferred by applicant) and U racks. Specifications sheets are provided.

Landscape Plan: Two landscape plan alternatives are presented. Both include new fencing and climbing plants along the east property line as required for screening. A row of four privacy trees are also proposed on the north side of the deck/property. The primary difference between the two plans is that Scheme 1 proposes decomposed granite for parking areas on the east side of the property, while Scheme 2 proposes concrete pavers. To assist with drainage, decking is proposed for the outdoor patio and paths of travel to the front and rear of the property. The decking would consist of 2"x6" sealed redwood boards. A plant list is not provided or elevations of the new fencing and gate; however this information has been requested. Staff would note that the project is exempt from the water efficient landscape ordinance because the property is a historical resource.

Signs: Business signage is not included as part of this application and will be submitted at a later date subject to review and approval by Planning Department staff or the DRC as applicable.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). An historic resource evaluation of the property determined that the building is eligible for listing on the California Register and National Register and is therefore considered an historical resource under the California Environmental Quality Act (refer to attached Historic Resource Evaluation & Design Analysis prepared by Jerri Holan, FAIA, dated January 21, 2013).

Pursuant to Section 15331 of the CEQA Guidelines, the maintenance, repair, rehabilitation, restoration, and preservation of an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, the historic resource evaluation also analyzed the proposed remodel and rehabilitation plans for compliance with the Secretary of the Interior's Standards. This analysis concludes that the project conforms to the Standards. The report also recommended that the Historic Consultant 1) review the plans and specification during the building permit review stage; 2) meet with construction crew prior to any demolition work to review historic elements on site; and 3) observe building construction prior to final building approval. These recommendations were included in the conditions of approval so this additional oversight will occur as the project moves forward.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

cc: Stacy Eisenmann, Principal (via email)
Eisenmann Architecture
853 Ramona Ave., Albany CA 94706

Stephen & Laura Havlek (via email)
435 First Street West
Sonoma, CA 95476

Attachments:

1. *Project Narrative*
2. *Historic Resource Evaluation & Design Analysis prepared by Jerri Holan, FAIA, dated 1/21/13*
3. *Product Information/Specification Sheets*
4. *Color Samples*
5. *Architectural Drawings including Site Plan, Floor Plan, Building Elevations, and Construction Details*
6. *Preliminary Drainage Plans*
7. *Landscape Plans (Scheme 1 and 2)*

FILE COPY

DESIGN REVIEW APPLICANT STATEMENT

134 Church Street

Sonoma CA 95476
Hatch Holdings, LLC / JAQK Cellars
February 19, 2013

Assessor's Parcel Number: 018-202-074
Zoning: Commercial
Building: Type V
Occupancy: A-2 for the wine tasting room; B for the office; R-2 for the residence

1. APPLICANTS

Hatch Design, co-founded by Katie Jain and Joel Templin, is a branding and graphic design firm centered on the idea that the best design is honest, hands-on and human. Hatch helps new products and business get off the ground, and helps existing brands take on new life. Since opening their doors, Hatch has created brand identity, packaging, collateral, advertising, promotional and interactive design for global companies including American Eagle Outfitters, Apple, Coca-Cola, Harrah's, Hilton, Starbucks, Williams Sonoma and many others. Their work has been recognized for excellence in virtually every major branding and design competition around the world.

Hatch Design was also created to enable Katie and Joel to develop and grow their own brands. JAQK Cellars was their first official "hatchling." It is a partnership between them and acclaimed winemaker Craig MacLean, and enables them to follow their passion of great design and incredible wine. JAQK stands for Jack, Ace, Queen, King and is a brand dedicated to the idea of play.

As a testament to the quality of the wines, JAQK Cellars has been accepted into highly regarded restaurants around the country, as well as right here in Northern California at places like Meadowood, The Rutherford Grill, Spruce, and even Girl and the Fig. The packaging design has been recognized in virtually every major competition in the design category, and was also featured in the exhibit at the San Francisco Museum of Modern Art called "How Wine Became Modern". Not only were the wines acquired as part of the SFMOMA's permanent collection, Hatch Design was contracted to design and create all the SFMOMA's wine-related retail products sold in the museum's store during the exhibition.

JAQK Cellars sold its wines for one year through the wine co-op tasting room Sonoma-Enoteca on the Plaza. Their wines sold well, and that success provided the impetus to invest in the Sonoma community. Furthermore, JAQK's wines have developed a following through their wine club. Currently their clientele are directed to their San Francisco office, where they hold wine tastings on an appointment basis. With the proposed move to Church Street, this client base will be redirected to the Sonoma Plaza, benefitting other businesses in the community as well.

Joel and Katie consider this venture a long-term investment and are looking forward to a relationship with the Sonoma community. Joel maintains a home in Sonoma Valley. Additionally, JAQK's general manager, Debra Eagle, has lived in Sonoma for 20 years.

2. PROPOSED PROGRAM

- A. A wine tasting and retail room for JAQK Cellars, a small winery that produces approximately 3000 cases of wine per year. The Sonoma Plaza store will be used for:
- Wine tasting by the glass, to introduce and sell the JAQK Cellars brand to new consumers. JAQK Cellars has a Producer AP/02 license, and will apply for a duplicate license for the site when the use permit is approved.
 - Wine education.
 - The sale of non-wine retail merchandise. It is projected that 25-35% of the display in the wine tasting room will be dedicated to merchandise developed by the owners of JAQK, who are product designers.
- B. Office space with three desks where the store staff will handle:
- Client correspondence.
 - Sales follow-up via email, phone and post.
 - Marketing planning by the tasting room manager and marketing coordinator.
 - Banking and bookkeeping by the part-time bookkeeper.
 - Wine order and other retail order fulfillment/packaging.
 - General business management and team meetings.
 - The three desks will be occupied by the:
 - Tasting room manager
 - Marketing coordinator
 - Part-time bookkeeper
- C. A residence for use by the owners, who plan to rent it to the tasting room manager in the near term.

3. PROPOSED SCOPE OF CONSTRUCTION & DESIGN INTENT

The existing 1850 square foot building is currently in use as:

- Art Gallery (approx. 750 square feet)
- Residence (approx. 750 square feet)
- Art Studio and Frame Shop (approx. 350 square feet)

The proposed remodel will allow for:

- Wine Tasting Room, Private Wine Tasting Room & Services Spaces (approx. 1200 square feet)
- Office (approx. 200 square feet)
- Residence (approx. 450 square feet)

The design intent is to be respectful of the original Victorian Bungalow structure, to make exterior improvements that give an appealing presence from the public right of way, and to make the necessary interior updates to meet life safety codes for a successful program.

The design language proposes a blend of the existing materials found historically around the Sonoma Plaza with updated accents. As recommended by the historian, the existing wood siding and red corrugated metal roof will remain. At new door and window openings, the siding will be salvaged and reinstalled. The front porch and shed roof's asphalt shingles will be replaced with corrugated metal to match the main roof. Metal accents are incorporated into the design to reference the industrial nature of the building's past: a bottling works, a feed warehouse, and a machine shop. Those accents are found in the exterior wall sconces, the steel support of the horizontal trellis, the cabling and connectors of the vertical trellises, and the half round steel gutters and cylindrical downspouts.

The building envelope is to remain, keeping its simple single gabled lines. The only embellishment proposed is the horizontal trellis projection at the east side of the building. This detail provides texture and depth to an otherwise flat façade and helps identify the entry for guests approaching from First Street West. In the evening, the trellis doubles as a light feature with LED pucks recessed between the wood slats, shining down to where the deck meets the entrance.

The historian recommends replacing the doors and windows. None are original to the structure, and they vary in material, style and installation. The design includes windows better proportioned for a Victorian Bungalow, and with lite details in keeping with that time frame. The exterior doors are proposed to be undivided, to bring a more open and updated appearance to the architecture. This contrast between the divided windows and the undivided doors balances the feel between the then and now. As the historian has recommended, the window sashes and door panels are an integral colored fiberglass that will have a long life and can be painted in the future. The trim, sill and apron will be of painted wood to closely match the original details. The large gable vents, identified as original to the structure, will be restored. With the installation of a window behind them, the vents will be seen from the interior referencing the history of the building inside and out.

The exterior color pallet is a range of three neutrals located to create contrast between them: mid-toned wall color, light trim, & dark sashes/doors. This contrast enables each color to stand apart for more visual interest and adds a punch of brightness around the openings into the building. In addition, the neutral colors allow the existing red metal roof to be more pronounced, as well as mediates between the color of the two neighboring buildings which have a soft green with terra cotta accents and all white.

The grounds will be reorganized with a design that furthers the architecture while providing functionality. Decking was recommended by the Civil Engineer to be used as the "floor" of the outdoor space as well as the path from the front to the rear of the property. This is due to drainage. All decking will 2x6 redwood and sealed with Cabot's Australian Timber Oil to help preserve the wood and bring out its natural beauty. Accent beds of 3" river rock and areas of decomposed granite contrast the linear nature of the decking and supply a golden hue that will be further offset the color of the foliage and the architecture. The accessible parking off Church Street must be a solid material to meet ADA requirements. We are proposing concrete pavers. At this time, the design is exploring if the remaining parking should be pavers as well or if there is an opportunity to take advantage of the dynamic nature of the parking layout and have the parking spaces for staff and the residence be of decomposed granite. Stabilizer would be added to any area where there is no planting. Screening trees planted in front of the fence will help create privacy between the adjacent parking lot to the north and guest seating on the deck. Grasses and ground cover will soften the edges of the deck where there is room.

There is a natural place for bicycle racks on the Church Street side of the property, in a leftover space that cannot be used for parking. The preferred bicycle rack offers additional interest with its circular shape and ball post cap, however we are willing to install whichever rack the city finds appropriate. The rack will be bronze to match the doors & windows.

Hatch Design will provide highly detailed, custom graphics that are in accord with the building architecture and landscape design. Some examples of this would include business signage at First Street West directing guests to the wine tasting room (where there is an existing sign for the Red Wolf Gallery) and a wine menu posted at the outside of the building, as well as signage to meet code such as handicap signage or directions for egress. Examples of their graphic sense can be found at the JAQK Cellars website: <http://jaqkcellars.com>.

4. THE PROPOSED PROJECT SATISFIES THE FINDINGS FOR APPROVAL

1. Basic Findings:

- a. The project complies within the applicable policies and regulations as set forth in the Development Code, other City ordinances and the General Plan:
 - The project is not adding square footage beyond the existing building envelope.
 - The existing building envelope is within the required setbacks and height limits for the lot.
 - The lot is zoned for commercial use. It should be noted that the residential component is located at the Church Street side of the building to better act as a buffer between residential neighbors and the commercial component of the project.
- b. On balance the project is consistent with the intent of applicable design guidelines set forth in the Development Code:
 - The project will meet the exterior lighting guidelines set for in the Development Code.
 - The site will be landscaped per the Development Code to enhance the natural beauty of the surrounding views.
 - Open space around the building will be improved by the removal of clutter and Rubbermaid shed, to be enjoyed by the residents, staff and guests.
 - The exterior trash bins will be concealed on all sides with 7'-0 high wood fences or the wall of the building.
 - No live music is proposed.
 - No view corridors are blocked.
- c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features:
 - The proposed commercial use is consistent with the other small businesses around the Plaza (restaurants, specialty retail, bookstores and offices). Furthermore, their existing client base will bring additional revenue to other businesses in the community.
 - The project has a pedestrian friendly design.
 - The project does not prevent the use of any adjacent businesses.
 - The residential component of the project faces the residences on Church Street and the commercial component faces First Street.

2. Projects within the Historic Overlay District:

- a. The project will not impair the historic character of its surroundings and is architecturally compatible.
 - The design returns the character of the original building that has been lost through incompatible remodels.
 - The high design is architecturally harmonious with the adjacent buildings and is in keeping with the Sonoma vernacular.
- b. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
 - Identified historic architectural features are to be restored or if in bad shape, recreated.



HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

of

134 Church Street
Sonoma, California

January 21, 2013

Prepared for:

Eisenmann Architecture
Albany, CA

Prepared by:



JERRI HOLAN & ASSOCIATES, AIA
Architects ♦ Engineers ♦ Planners

Jerri Holan, FAIA
1393 Solano Avenue, Suite B
Albany, CA 94706

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HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

METHODOLOGY

In January, 2013, Eisenmann Architecture retained Jerri Holan & Associates to prepare an Historic Evaluation of the property located at 134 Church Street, Sonoma, California. The property consists of a single-story, 1,823 square-foot art gallery, frame shop, and residence on a 6,650 square-foot lot and is located in the Sonoma Plaza Historic District, in the heart of downtown Sonoma.

This report was prepared by Jerri Holan, FAIA, a preservation architect and architectural historian. Since 1991, Ms. Holan has been professionally qualified as a Preservation Architect and Architectural Historian per *The Secretary of the Interior's Standards and Guidelines for Historic Preservation*. Holan has also been certified with the State of California, Office of Historic Preservation, since 2004, as a Historical Resource Consultant. Jerri Holan has an advanced degree from the University of California, Berkeley, and is a Fulbright research scholar and a Fellow of the American Institute of Architects. Holan documented the property and existing conditions with photographs. She conducted research in City offices and consulted published histories. The following repositories were consulted as part of the research process:

- a) Sonoma Planning and Building Department;
- b) Historic Property Data File for Sonoma County;
- c) National Register of Historic Places, Registration Form for Sonoma Plaza, 1992.

DESCRIPTION OF RESOURCE



134 CHURCH STREET - WEST ELEVATION

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

The property is located in Sonoma's central historic business district in an older, residential neighborhood. The District is Mixed Use and the property is zoned for residential and commercial uses. The front "residential" elevation of the structure faces Church Street while a public easement leads to the rear "commercial" portion of the property from First Street West.



134 CHURCH STREET - EAST ELEVATION



ORIGINAL GABLE VENT

The building at 134 Church Street is a quaint, one-story structure, constructed with standard wood framing sometime between 1911 and 1923. It contains a concrete floor and has a typical single gable metal roof, wood siding, and a mix of window types including vinyl, steel, and wood windows. Fixed and sliding windows appear to be the dominate type. None of the existing doors and windows are original although most are proportional to the scale of the historic building. Some replacement windows are in original openings as evidenced by original trim work and sills. The front and rear gables have large attic gable vents which appear to be original with intact trim boards and sills. The metal roof might be original but is highly deteriorated and contains two fiberglass glazing panels, one on the north side and one on the south.

The front [west] elevation contains a columned, shed roof porch with asphalt shingles and wood balusters. The roof, columns, and balusters are not original. The rear [east] of the building – which is visible and accessible from Sonoma Plaza – exhibits a pair of [wood] french doors with sidelights and a transom and a bay window. None of these are original and appear to have been added when the residential property was partially converted to its current gallery use in 2000.

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

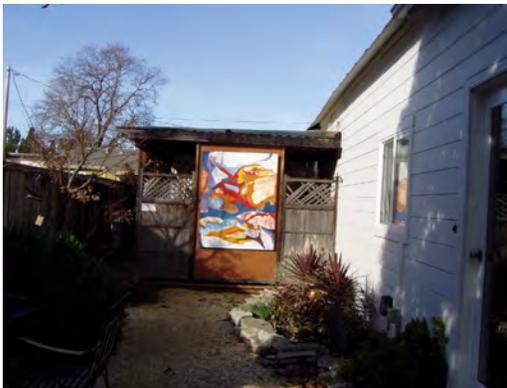


COLONNADE PORCH



BAY WINDOW & FRENCH DOORS

Common for this kind of building, the south side of the structure has a shed-like addition on the front portion which is not original. A covered, wood patio to the east of the addition is also not original. A portion of the original wood siding exists in the patio area. The south elevation is visible from the public easement. The north side of the structure – which is not visible from any public right-of-way – has three large windows on the southern half probably added with the gallery use. The remaining windows are not original but two central windows retain what appears to be original window trim which matches the original gable vents' trim. A portion of original wood siding exists on this wall.



SOUTH SIDE COVERED PATIO



***SOUTH SIDE ADDITION
& COVERED PATIO***

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California



***NORTH ELEVATION W/ORIGINAL
WINDOW TRIM***



***ORIGINAL WOOD SIDING
& PATCHING***

The structure appears to be in fair condition with original massing and roofline, no large additions or modifications, and simple detailing. It retains few original materials but has a good degree of integrity of scale that relates to the Historic Sonoma Plaza National Register District.

SONOMA HISTORICAL CONTEXT

The town of Sonoma was established when the Mexicans built Mission San Francisco Solano, the last in the chain of twenty-one California missions that stretched along the Camino Real. Sonoma is considered the birthplace of wine-making in California, dating back to the original vineyards of this Mission. Soon after it was built, the Mission was secularized by the Mexican government. In 1846, a small group of American settlers revolted against Mexico and raised the "Bear Flag Republic" flag in Sonoma's Plaza. Their declaration of independence lasted only 26 days; the U.S. Army claimed the territory at the start of the Mexican-American War. With the construction of monuments to the Bear Flag at the turn of the century, the Plaza became the focus of civic pride and in 1906, the City Hall was constructed in the center of the Plaza.

The Sonoma Plaza National Register Historic District was formed in 1992 and is a residential and commercial area with flat topography and a pattern of grid streets which extend out from the central Plaza. The commercial buildings are one to four stories while the residences are mostly single story with some two-story homes. The District's Period of Significance is 1835-1944 and it has the character of a small country town center. The Registration Form identifies 82 Contributing Buildings and 52 Non-contributing Buildings in the District. According to the Registration, buildings that contribute to the District retain architectural integrity to their construction date, have integrity of location, and have the ability to convey a sense of the history of the change and development of the District during its

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

Period of Significance. Non-contributing buildings are constructed after 1944, are highly altered, or have been relocated.

134 Church Street is listed as Non-Contributing Building #91 in the National Historic District.

HISTORY OF 134 CHURCH STREET

The parcel known as 134 Church Street, is a portion of Lot 34, Map of the former Pueblo of Sonoma. The house was constructed on the parcel between 1911 and 1923 according to Sanborn Maps. No records of the property exist prior to 1888.

In 1888, the Sanborn Map shows the property as a large parcel fronting First Street West. The parcel contains two large Wine Storage buildings. The building in the center of the property is in the approximate location as the current structure at 134 Church Street is today (*see Appendix A, p. 16*).

The property remains in this configuration until 1911 when the Sanborn Map shows that the central Wine Storage building no longer exists on the parcel (*see Appendix B, p. 17*).

In 1923, the Sanborn Map shows a “Bottling Works” building on the property. It is denoted as having one-story, a concrete floor and electric power. The size of the building is 27.5' x 60' (*see Appendix C, p. 18*). The building is in approximately the same location and is the same size as the current structure today. (A current survey of the existing building indicates the same location and 28' x 60' footprint.) Thus, the original structure was constructed sometime between 1911 and 1923.

In 1941, the Sanborn Map denotes the building as a “Feed Warehouse” with concrete floor. In 1953, the Sanborn Map shows the same building as a “Machine Shop” and shows the addition of Church Street (*see Appendix D, p. 19*).

According to the current Owners of the property, sometime in the 1960's, the large parcel was subdivided into three parcels and distributed among the previous Owners' children. At this time, the central parcel contained the structure at 134 Church Street. Sometime during this period, the building at 134 Church Street was rezoned to residential use. According to Sonoma Planning Department, in 2000, the residence was partially rezoned for a commercial frame gallery. Today, the structure remains a mixed-use building, with both commercial and residential functions.

CRITERIA FOR HISTORIC EVALUATION

The definition of a historic resource is contained in Section 21084.1 of the California Environmental Quality Act (CEQA) Statute as amended in January, 2005. For purposes of this

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

Evaluation, an historical resource is a resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources (CRHR). To be eligible for listing on the CRHR, a structure must usually be more than 50 years old, must have historic significance, and must retain its physical integrity. The CRHR evaluates the significance of a resource on the following four criteria:

- Criterion 1** - Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
- Criterion 2** - Associated with the lives of persons important to local, California or national history;
- Criterion 3** - Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values;
- Criterion 4** - Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

CRITERION 1 - Events

Under CRHR Criterion 1, archival research yielded information indicating that the subject property had association with the Sonoma Plaza Historic District and was an important contributor to the pattern of local commercial history and the cultural heritage of Sonoma, California. The original Wine Storage building on the parcel was indicative of Sonoma's wine industry though few details are known about its earliest owners. The current building on the site was constructed sometime between 1911 and 1923, during the Plaza's Period of Significance (1835-1944). Sonoma's central business district expanded between 1900 -1925 when commercial buildings within this area increased in number. The existing structure is a good example of Sonoma's small commercial building patterns of this period.

Consequently, under Criterion 1, the property is eligible for listing on the CRHR.

CRITERION 2 - Persons

Under CRHR Criterion 2, a property that is associated with the lives of persons important to local, California, or national history could be significant. Research conducted to date for 134 Church Street did not yield any substantial information regarding individuals related to this property. Research has not revealed any occupants or owners that had any lasting or significant impact on local, California or national history.

Consequently, the property is not eligible for listing on the CRHR under Criterion 2.

CRITERION 3 - Design/Construction

Under Criterion 3, a building that embodies distinctive characteristics of a type, period, region or method of construction could be deemed significant. The wood-framed, gable-roofed structure at

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

134 Church Street was constructed sometime between 1911 and 1923, during the Plaza's Period of Significance. With its wood siding and plain detailing, the existing one-story structure is a good example of a "Gable Front" small commercial building that was commonly constructed during this period in many rural small-towns throughout America. "Gable Fronts" were framed structures, usually clad in clapboard, and served as general stores, feed stores, or small implement stores. Gable Fronts utilized a simple design for unadorned buildings with an assortment of windows, usually traditional double-hung sash windows. The straight gable roof and the front gable end wall defined the form and most elements reinforced that shape. Fenestration was symmetrical and the entrance was on center with the apex of the gable. Most elevations carried no horizontal division and corners had narrow boards. A shed roof or awning typically covered the entrance area (pp. 235-236, Gottfried and Jennings, 2009).

A Gable Front store's shape and scale usually tied it to the local economy. The quaint structure at 134 Church Street in Sonoma has a bungalow's scale with simple proportions that typify a mixed residential and commercial neighborhood. As such, the cottage-like building embodies the characteristics of Sonoma's central historic district.

Consequently, under Criterion 3, the property is eligible for listing on the CRHR.

CRITERION 4 - Information

Under CRHR Criterion 4, a property might be significant if it has potential to yield information about the state or nation's prehistory or history. Archival research conducted within the scope of this Historical Evaluation provided no specific indication that the subject property has the potential to yield important information related to history or prehistory. Therefore, the property does not appear to be eligible for the CRHR under Criterion 4. However, further investigation may be necessary to determine significance beyond the scope of this Evaluation.

EVALUATION OF SIGNIFICANCE

The National Register identifies 134 Church Street **INCORRECTLY** and describes the building as a residence built outside the Period of Significance of 1835-1944. As a result, it is also listed by the California Office of Historic Preservation in their Historic Property Data File for Sonoma County (Property #087460) as a building NOT eligible for listing on the National Register of Historic Places.

However, the building is a commercial building and was constructed inside the Period of Significance between 1911 and 1923. According to the National Register Form, Contributing Buildings in the Historic District contribute to the small country town character of Sonoma's District, retain architectural integrity to their construction date, have integrity of location, and have the ability to convey a sense of the history of the change and development of the District during its Period of

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

Significance. 134 Church Street retains its early 20th Century architectural and physical integrity with no substantial changes, is in its original location, and conveys a sense of the changes in the District during its Significant Period: it originated in 1888 as a site for Wine Storage, developed as a Bottle Works building ca. 1923, operated as a Feed Warehouse in 1941, and by the end of the Period, sometime before 1953, was a Machine Shop in its original ca.1923 location.

In conclusion, it is Jerri Holan & Associate's professional opinion that 134 Church Street is a CONTRIBUTING building to the Sonoma Plaza National Register Historic District. The building is authentic and its remaining physical characteristics are significant. Therefore, it possesses a level of historic significance that would make it eligible for the National Register. As such, it is also eligible for listing on the CRHR and does qualify as a historic resource for the purposes of CEQA.

Historic significance under the CRHR is a two-tiered process. If a property is deemed to be historically significant with integrity, then a determination of any proposed changes must be conducted to examine any potential negative impacts on the Historic Resource.

Since 134 Church Street does possess significance, it is necessary to identify character-defining elements and to evaluate if the current proposal impacts these elements using national guidelines for historic properties. The current project proposes to convert the building's use from a gallery and residence to wine-tasting offices and a residence.

**THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE
TREATMENT OF HISTORIC PROPERTIES**

ANALYSIS OF PROPOSED PROJECT

Ms. Holan met with the Senior Planner at the City of Sonoma and reviewed the proposed rehabilitation plans for 134 Church Street dated January 15, 2013. Ms. Holan also met with the Project Architect on site, documented existing conditions with photographs, and reviewed proposed plans for the building's remodel in the context of *The Secretary of the Interior's Guidelines for "Rehabilitation" of Historic Buildings*. The Architect subsequently made minor revisions to the project and Holan reviewed plans by Eisenmann Architecture, dated January 18, 2013, which will be submitted to the City for consideration.

Based on these plans, Jerri Holan & Associates makes the following analysis of the proposed project in regard to *The Standards for Rehabilitation*:

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

Standard 1 - A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project proposes to change the commercial use of the building from a gallery to a wine-tasting office. This use meets this Rehabilitation Standard as the original use of the property, a commercial building, remains unchanged. The original use of this parcel was a wine storage warehouse and the proposed use recalls its early origin and reinforces Sonoma's significance as the birthplace of wine-making in California.

The existing and proposed residential use for this building is not original to the property but does not change the character-defining building materials, features, or spaces of the structure and is sympathetic to the nature of the Sonoma Plaza Historic District which is a mixed-use zone of both small commercial and residential buildings.

The building's existing envelope will remain intact, including its gable roof lines, east and west primary elevations, and wall siding. The south side addition is not original but does not change the character-defining building materials, features, or spaces of the structure. Such additions are common to gable-front buildings.

Standard 2 - The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

As proposed, the project meets this Standard as the historic character of 134 Church Street is being retained. All the character-defining elements of the building are preserved: its single-story massing, single gable roof line, gable vents, and wood-sided walls remain unchanged. No distinctive features or historic materials are being removed. While the existing doors and windows are not original, they are, in general, proportional to a building of this age. The proposed remodel project retains this scale with new panel-type doors and sash windows of similar proportions. Some interior spatial relationships have been rearranged, but the basic character of the single-story, gable front structure is preserved from both the Church Street and Plaza public right-of-ways.

Standard 3 - Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or element from other historic properties will not be undertaken.

The building is, and will remain, a record of its time, place, and use. The building has undergone few alterations and has been documented over time. No conjectural features are being added and the project

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS

134 Church Street, Sonoma, California

maintains its major gable front features (symmetrical gable elevations, metal gable roof, wood siding, and sash windows).

The following items are not original, are out of character, and should be removed: the bay window and transom french doors on the East Elevation; the decorative brackets on the Church Street porch posts; and the natural wood patio on the South Elevation.

Standard 4 - Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There have been no major changes to the original, ca. 1923 structure. The building has undergone few alterations and has been documented over time. It is not clear when the addition on the South Side was added, sometime after 1953, but it is typical for this kind of building. It has wood siding to match and is in context for a building of this age so might have historic significance of its own. The vinyl, steel and wood replacement doors and windows are not historically significant and do not need to be preserved.

Standard 5 - Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The proposed rehabilitation project meets this Standard as it preserves all of the distinctive Gable Front features and finishes including the gable metal roof, gable vents, wood siding, and sash windows.

The most important elements of this building appear on its character-defining Front (West) Elevation and these elements are all being preserved. Even though the doors, windows, and porch on the West Elevation are not original, their symmetrical configuration is typical for this kind of building. The current rehabilitation project appropriately retains this symmetry with new panel-type doors and sash windows. If any porch elements need to be replaced, they should be replaced in kind with wood features of similar proportions.



PROPOSED WEST ELEVATION

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

Standard 6 - Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Very little original historic material is left on this structure. What remains should be retained where ever possible. The original gable vents and trim remain in the east and west walls, and these should be retained and refinished. If the metal roof needs to be replaced, it should be replaced in kind as metal roofs were typical for small commercial buildings of this period. Some original wood siding exists on the north and south walls and where feasible, it should be repaired rather than replaced. The narrow wood corner boards should be repaired where possible, replaced in kind where not.

Due to the building's age, all original doors and windows have been replaced with inappropriate vinyl, steel, or wood units. New replacement windows are appropriately sash windows of similar proportions to the existing windows. Wood windows would be preferred, but fiberglass windows would be acceptable as no original wood windows exist to match. New doors should be panel doors, typical of the period, wood or fiberglass. Trim and sills around new doors and windows should be wood and similar in size to the original trim around the gable vents and north windows.

New light fixtures and exterior signage should be sympathetic to the period of the building.

Standard 7 - Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatments are being proposed.

Standard 8 - Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

There are no archeological resources being endangered as a result of this rehabilitation.

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

Standard 9 - New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion and massing to protect the integrity of the property and its environment.

The project does not propose any additions to the existing structure, it is mainly a rehabilitation of the interior spaces with exterior alterations. The proposed alterations are compatible in size, scale, and materials to the original structure. As recommended by the Standards, the new work does not duplicate the exact form, material, style and detailing of the historic structure so that new construction and materials are easily distinguished from historic ones.

The East Elevation of the structure is highly modified and there is no record of what it's original disposition was. Historically, this Elevation was the building's primary elevation until the construction of Church Street, ca. 1953, behind it. The current bay window is inappropriate and the large, glazed transom french doors are out of proportion to the gable wall. However, it would be inaccurate to recreate a historical facade with no evidence of origins. The current remodel proposes to replace the irregular bay and french doors with a group of almost symmetrical french doors. This design does not provide a false sense of history and sympathetically conveys a contemporary opening in the historic building while still respecting its gable-front symmetry.



PROPOSED EAST ELEVATION

The remodel also proposes to install a skylight on the southern portion of the roof to replace the existing fiberglass skylight. It is recommended that the skylight's profile be as low as possible to retain the existing character of the roof plane.

The remodel work is clearly distinct from the original structure, and there is no loss or obstruction of historic materials or features. The remodel is compatible in terms of mass, materials, and relationship

HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

of solids to voids. The historic appearance of the original building is not radically changed and the structure remains comparable in size to other buildings in the historic district.

Standard 10 - New additions and related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The project meets this Standard because the original massing, footprint, and materials of the historic structure remain unchanged and there are no additions being proposed for the building. New doors and windows can be removed without impacting the form and integrity of the original structure.

ANALYSIS CONCLUSION

After reviewing this project, it is Ms. Holan's professional opinion that it is in conformance to *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Rehabilitating Historic Buildings*. It is recommended that the plans and specifications be reviewed by the Historical Consultant during building permit review for continued conformance to *The Standards*.

Additional recommendations are that the Historic Consultant meet with the construction crew prior to demolition to review historic elements on site and that the Consultant observe building construction prior to final building approval.

* * * * *

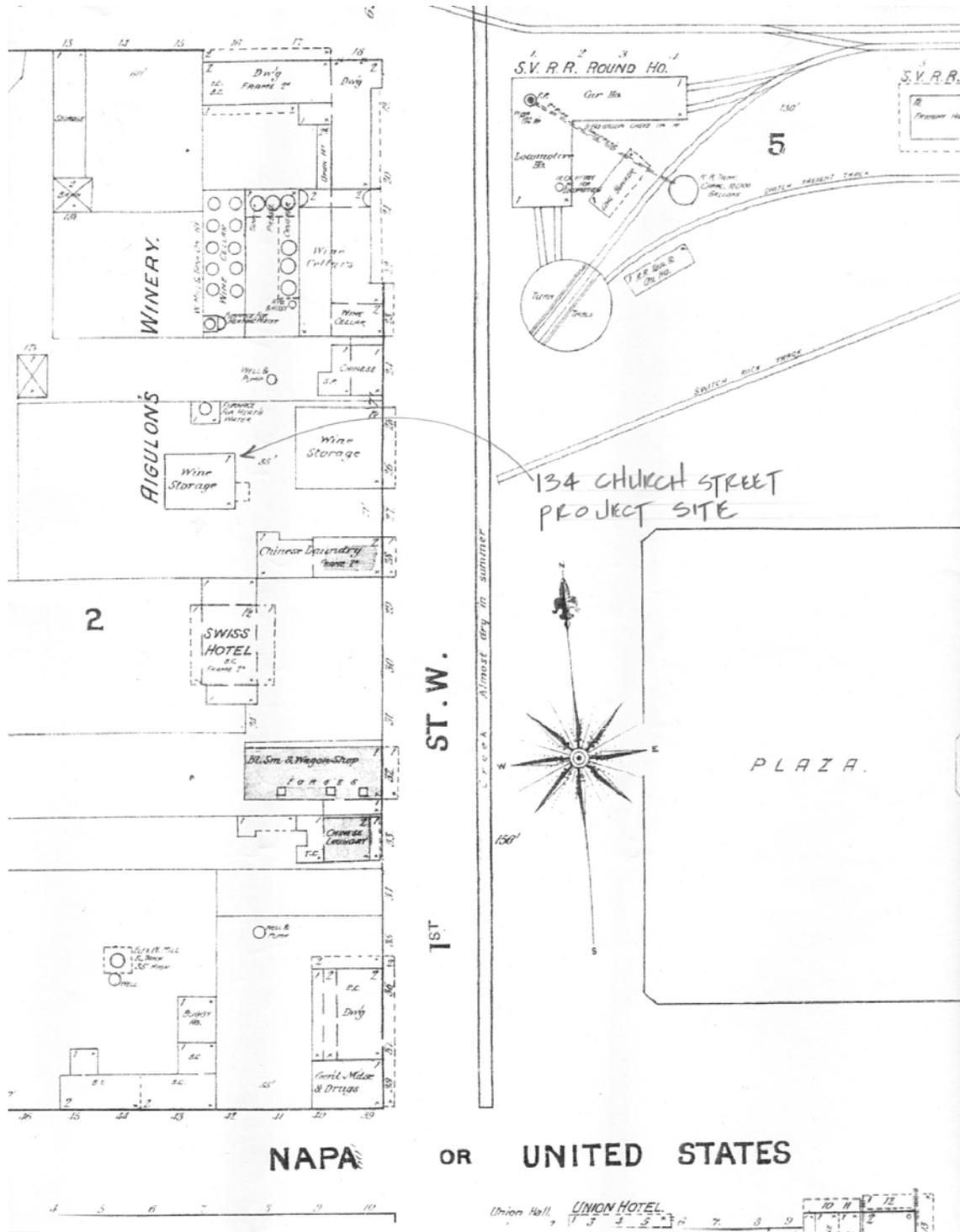
BIBLIOGRAPHY

GOTTFRIED, Herbert and Jan Jennings, *American Vernacular Buildings and Interiors, 1870-1960*, W.W. Norton & Company, New York, 2009.

WEEKS, Kay D. and Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Rehabilitating Historic Buildings*, U.S. Department of the Interior, National Park Service, Washington, D.C., 1995.

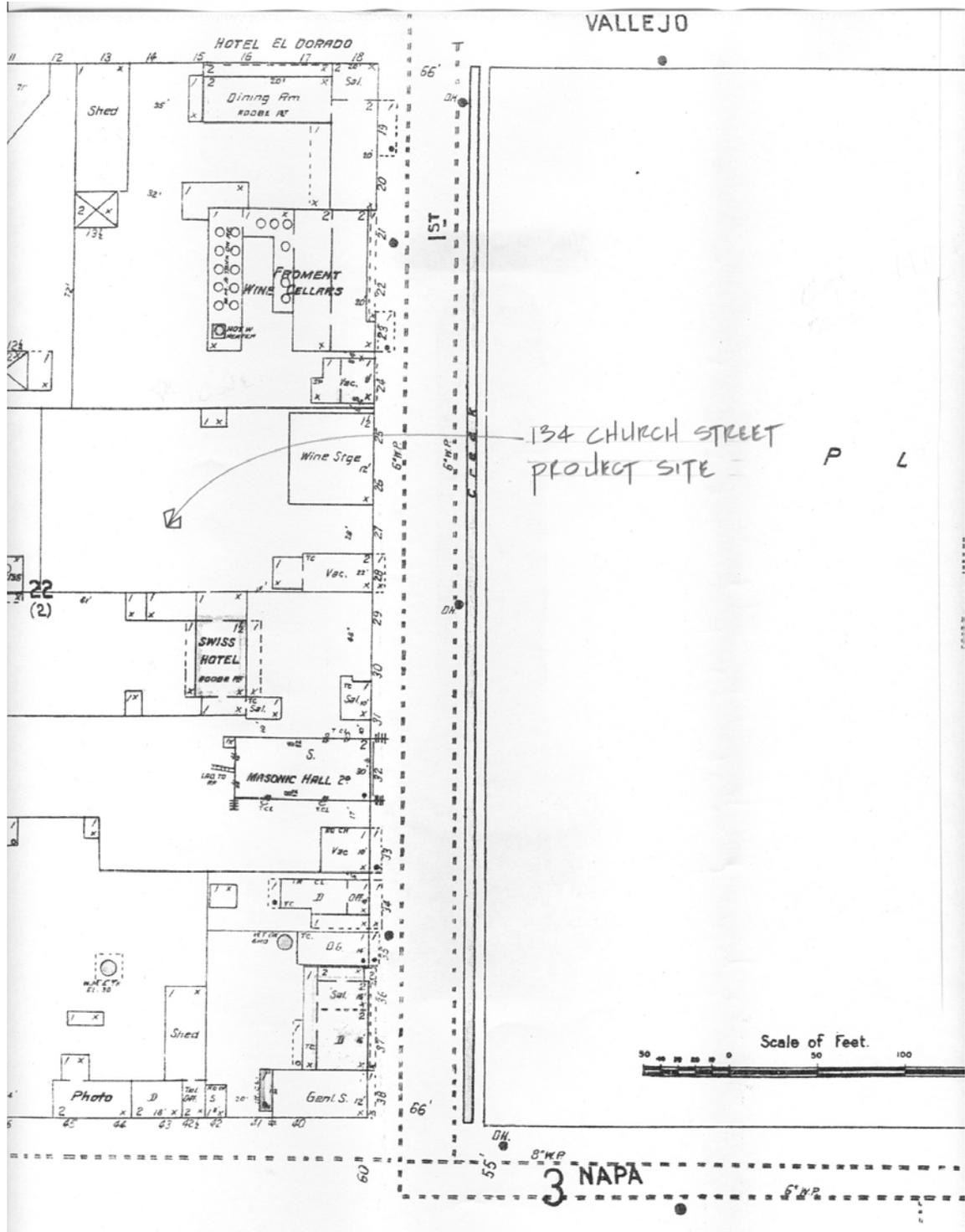
HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
 134 Church Street, Sonoma, California

APPENDIX A - 1888 SANBORN MAP



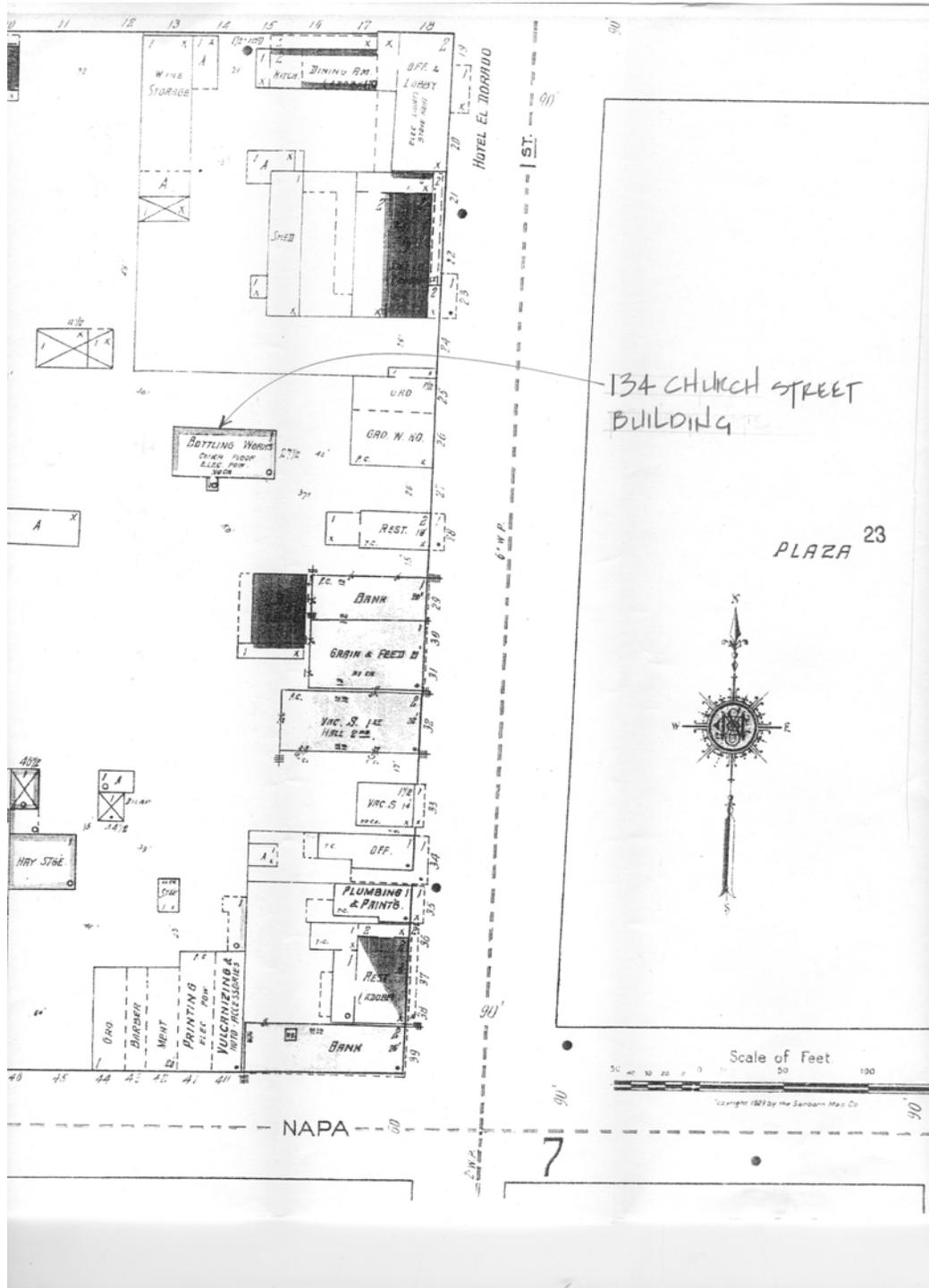
HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

APPENDIX B - 1911 SANBORN MAP



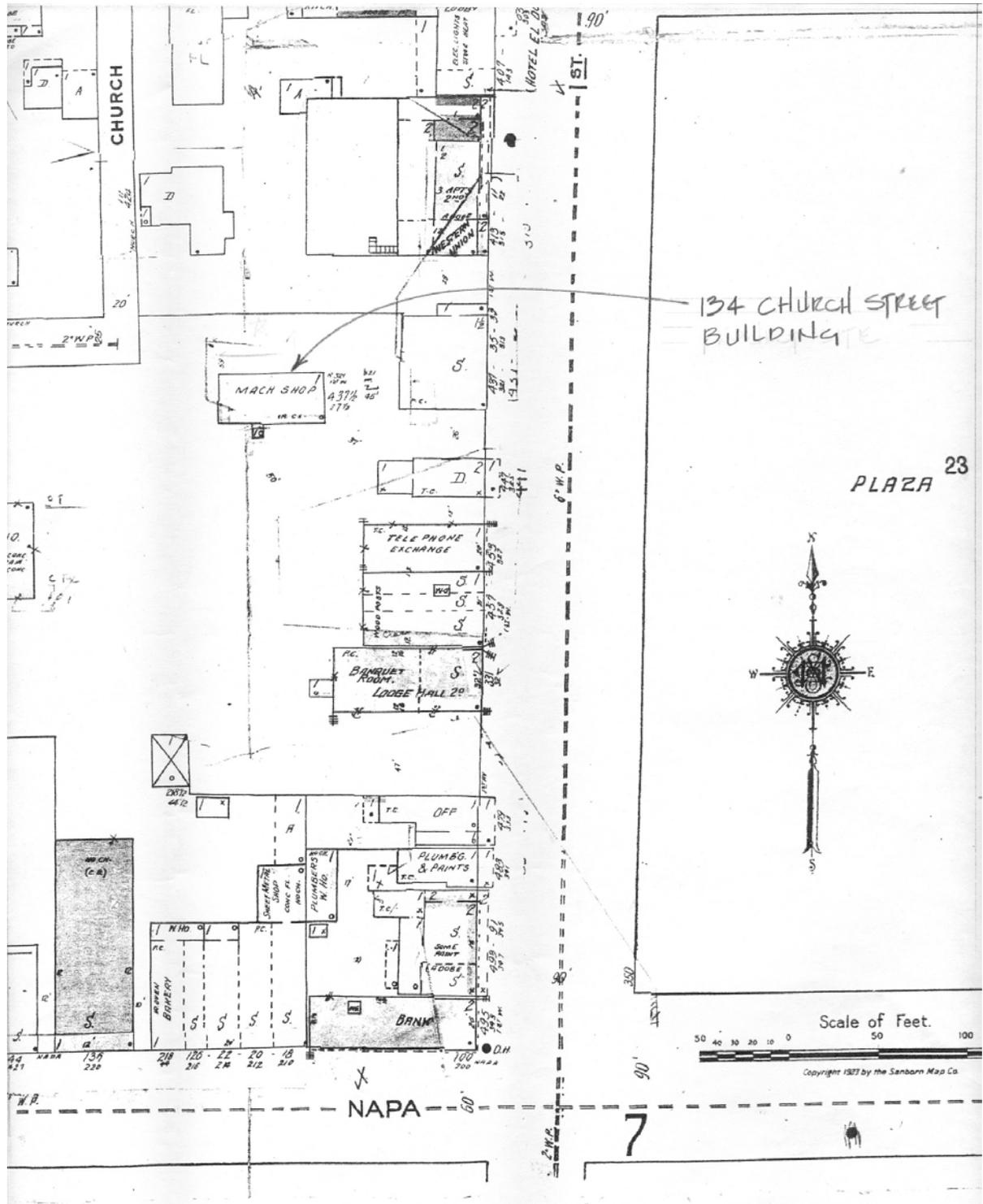
HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

APPENDIX C - 1923 SANBORN MAP



HISTORIC RESOURCE EVALUATION & DESIGN ANALYSIS
134 Church Street, Sonoma, California

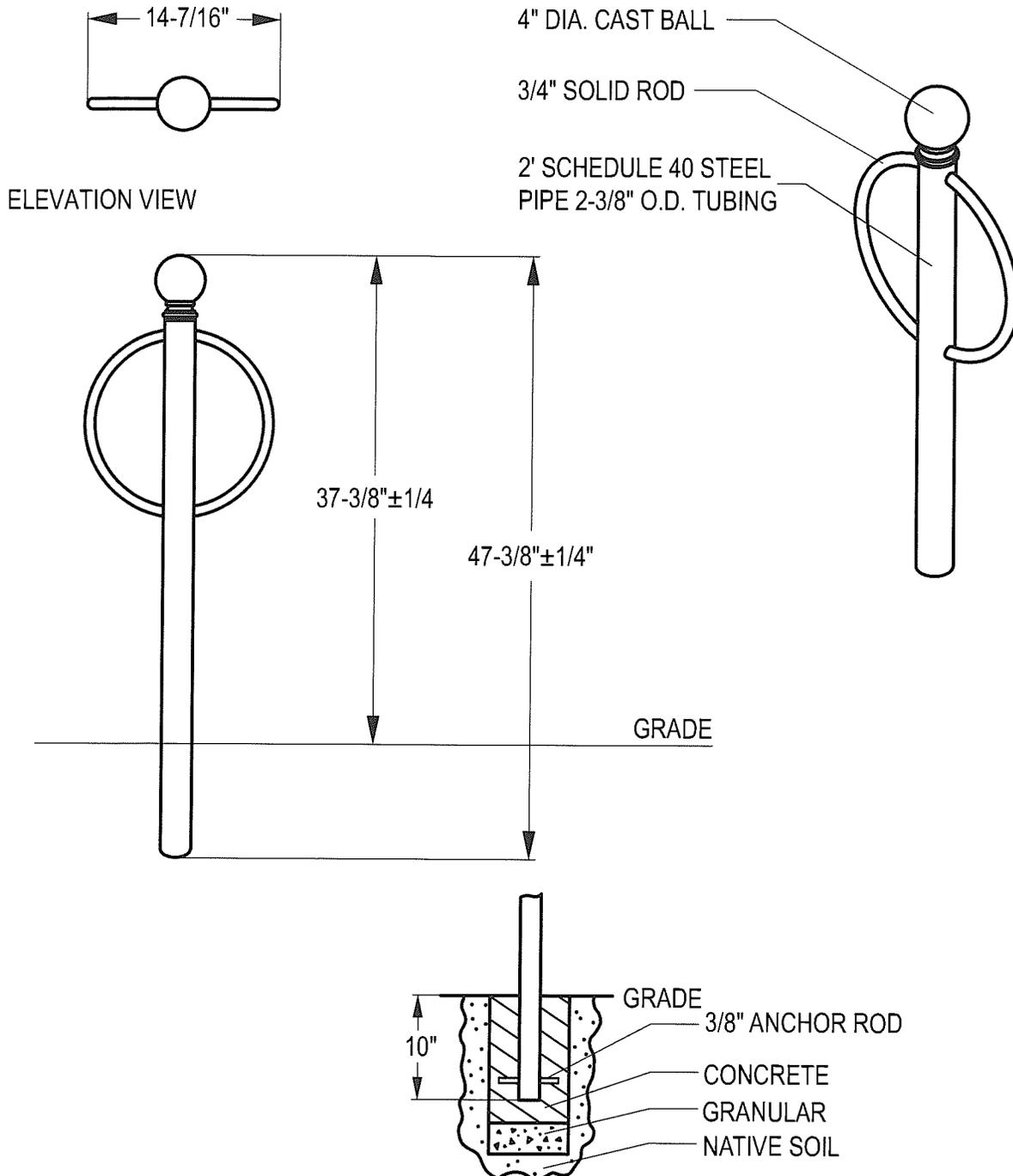
APPENDIX D - 1953 SANBORN MAP



Model # BOLCL-2-IG-P

Dimension Sheet

CLASSIC BOLLARD w/BALL CAP | 2 LOOPS 2 BIKES

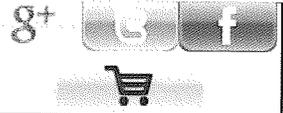




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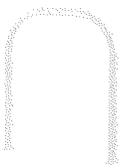
'U' Rack | Bicycle Storage Rack



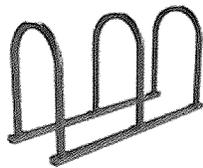
Secure and Easy Bicycle Storage

The 'U' Rack provides economical, safe and convenient bicycle storage which is ideal for apartment buildings, retail outlets, office malls or other settings where appearance is important but economy is a consideration.

Matching Products



Extended 'U' Rack
Bike Storage Racks



U Racks on Rails
Bicycle Storage Racks



Model U190-SF-P

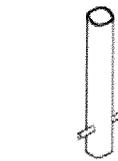
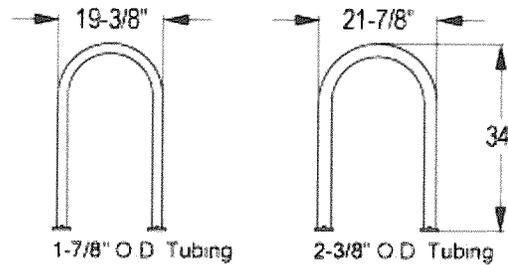
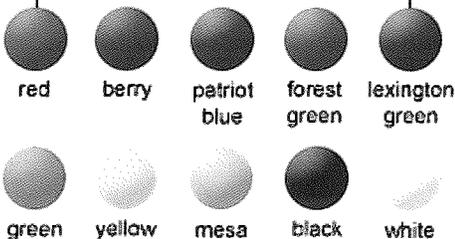
Meets Class II guidelines by providing exceptional support for the whole bicycle, frame and wheel, using just a single U-lock. This storage rack supports each bicycle in a stable upright position and holds up to two bicycles, one on each side. Constructed with 1-7/8" O.D. or 2-3/8" O.D. Schedule 40 steel tubing.

Choose from the best selling finish styles of galvanized, powder-coated or stainless steel to create the ideal bicycle storage rack to meet all the needs and requirements it's environment demands.

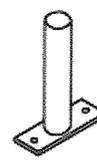
Galvanized Finish

The hot dip galvanizing process results in an effective corrosion resistant surface with multi-varied spangle appearance.

Powder-Coated Color Options



In-ground Mount



Surface Mount



Grout Cover
(Two Piece)

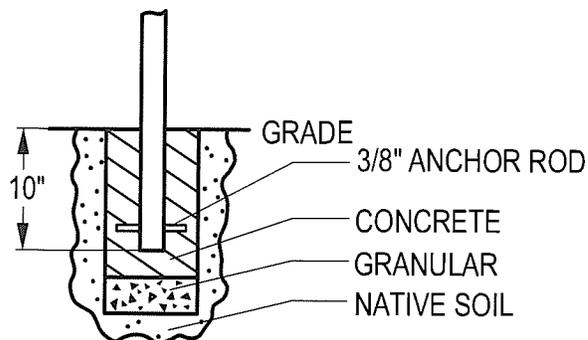
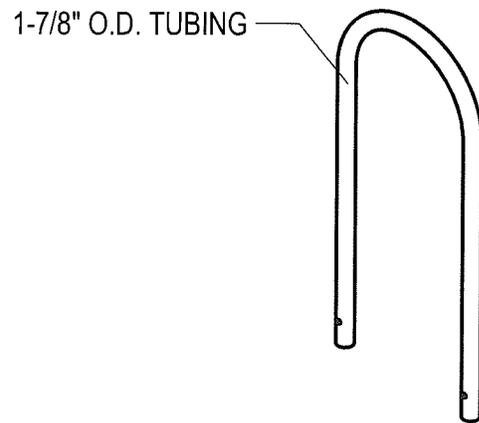
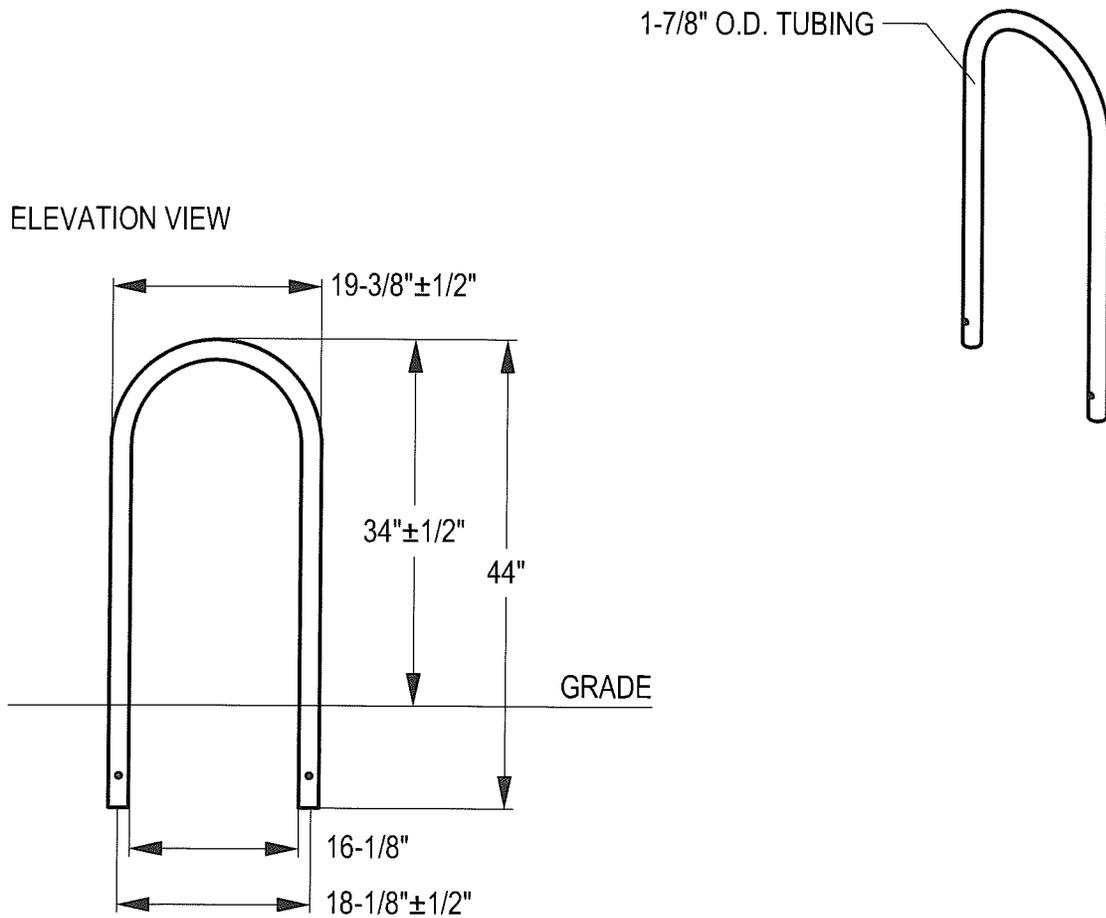
Optional Grout Covers

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Model # U190-IG-P

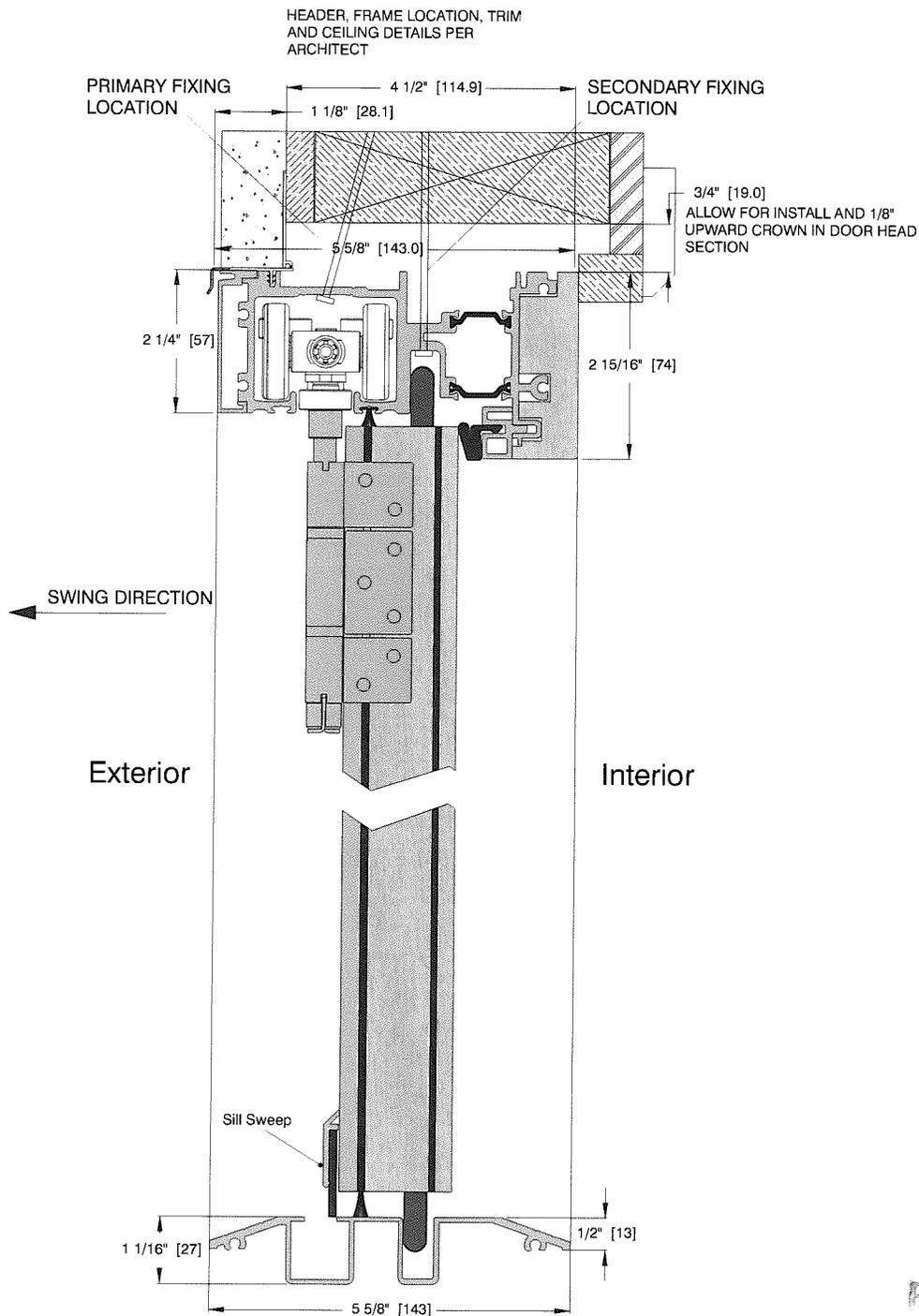
Dimension Sheet

U RACK | 1 LOOP 3 BIKES



CLAD OUTSWING

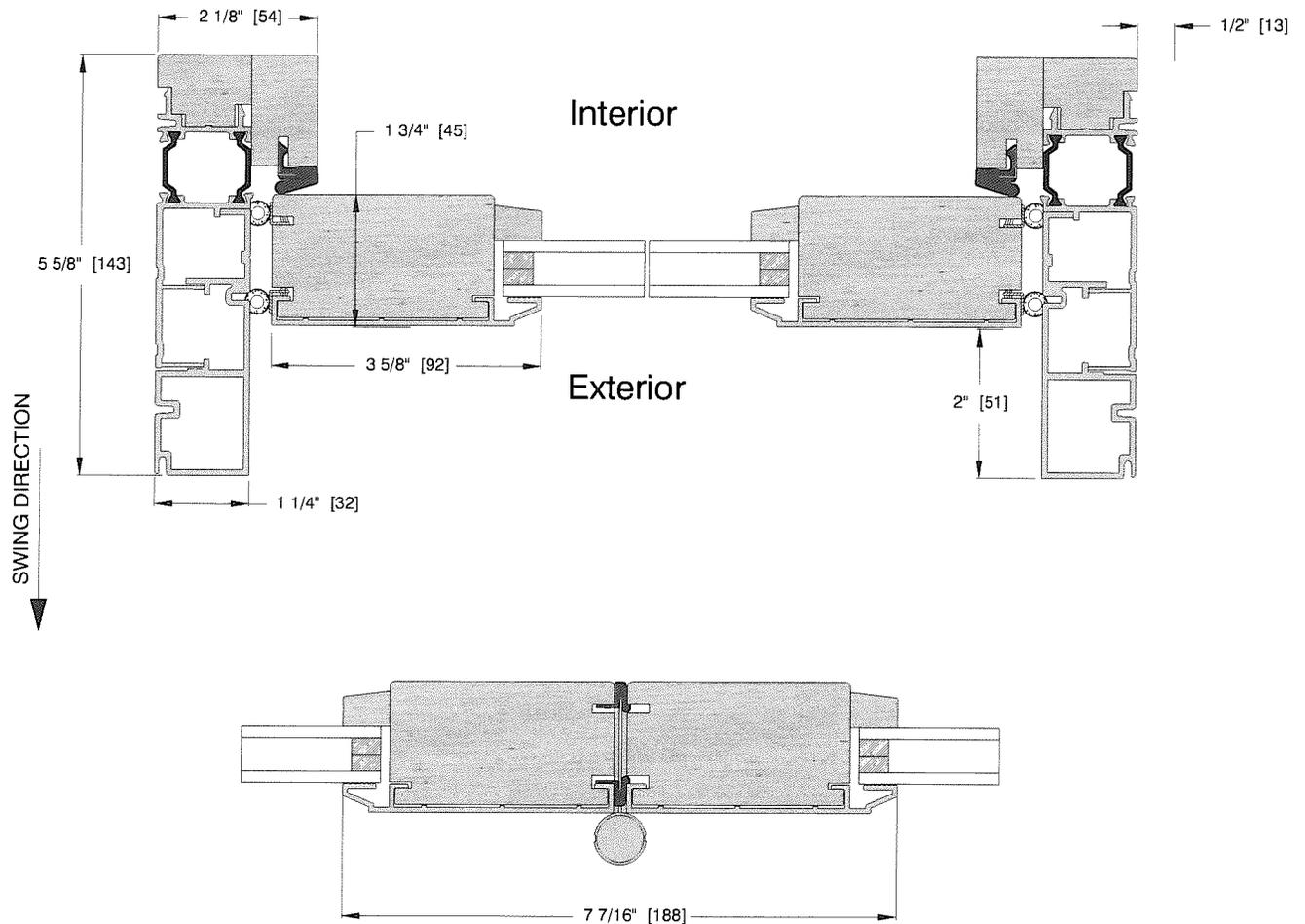
The LaCantina Doors Clad outswing system with the commercial ramp sill is an option for when interior and exterior floor levels are the same and a maximum sill height from finish floor of 1/2" is required. Surface mounted sweeps applied to the face of the bottom of the panel are provided. Adequate overhangs are recommended to reduce the risk of water infiltration.



FEB 22 2013

CLAD OUTSWING

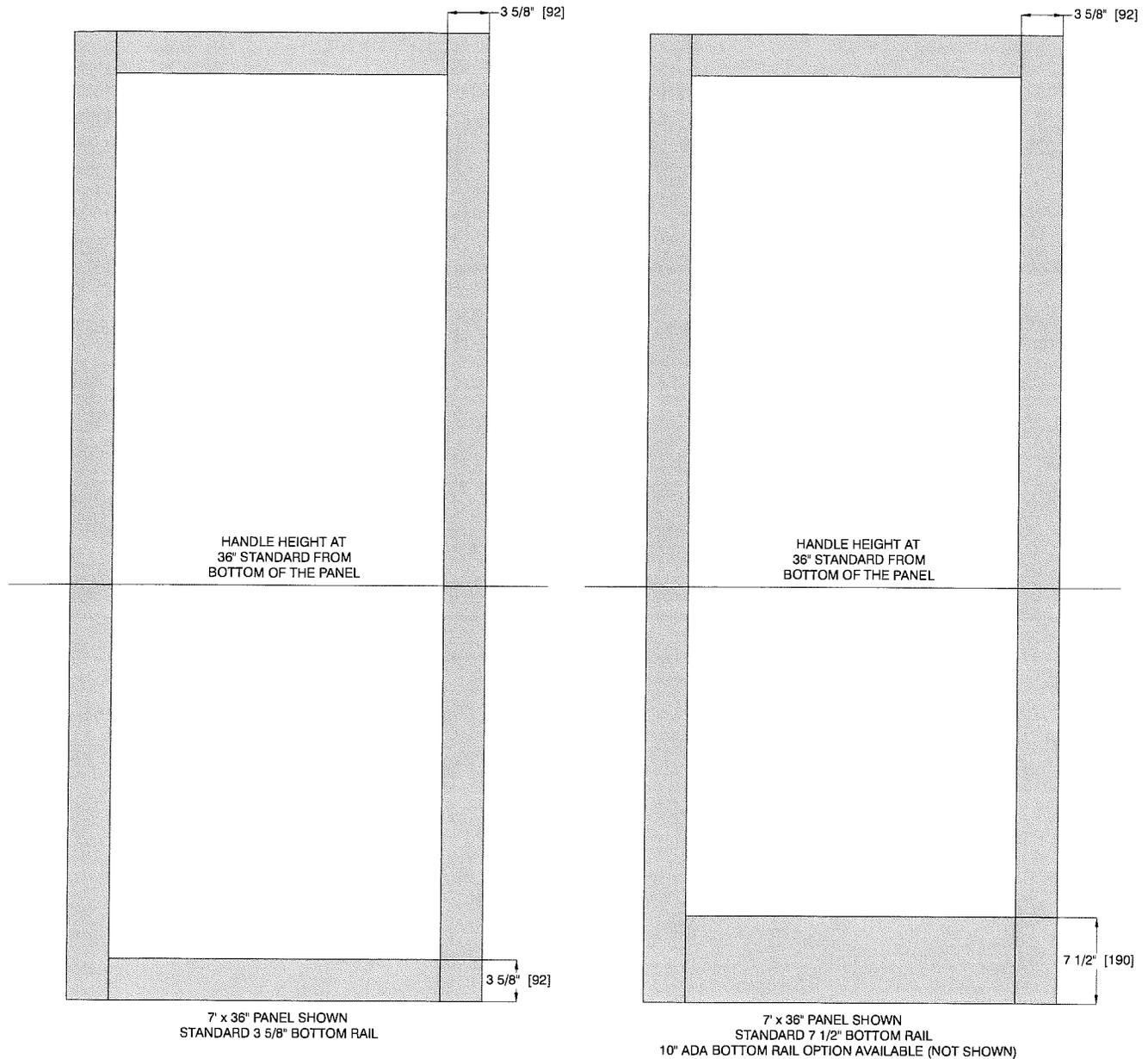
LaCantina Doors Clad outswing frame depth is 5 5/8" as standard, suitable for common 2 x 4 framing with stucco and drywall. The Clad frame depth can be extended with jamb extensions interior for thicker wall conditions or desired trim detail interior. The location of the LaCantina Doors frame in the wall condition will also depend on the trim detail desired. We offer optional 2" wood jamb extensions supplied separately. We do not supply brick mould or casings.



CLAD

The LaCantina Doors Clad panel featuring its narrow 3 5/8" stile and rail using a single lite with no horizontal mullions. Panel is 1 3/4" [44.5 mm] thick, solid LVL core and extruded aluminum exterior cladding. The Clad panel when over 96" tall requires a 7 1/2" bottom rail. Simulated dividing lites (SDL) available.

Per panel weight estimate
 39" x 8' = 110 lbs
 39" x 10' = 136 lbs

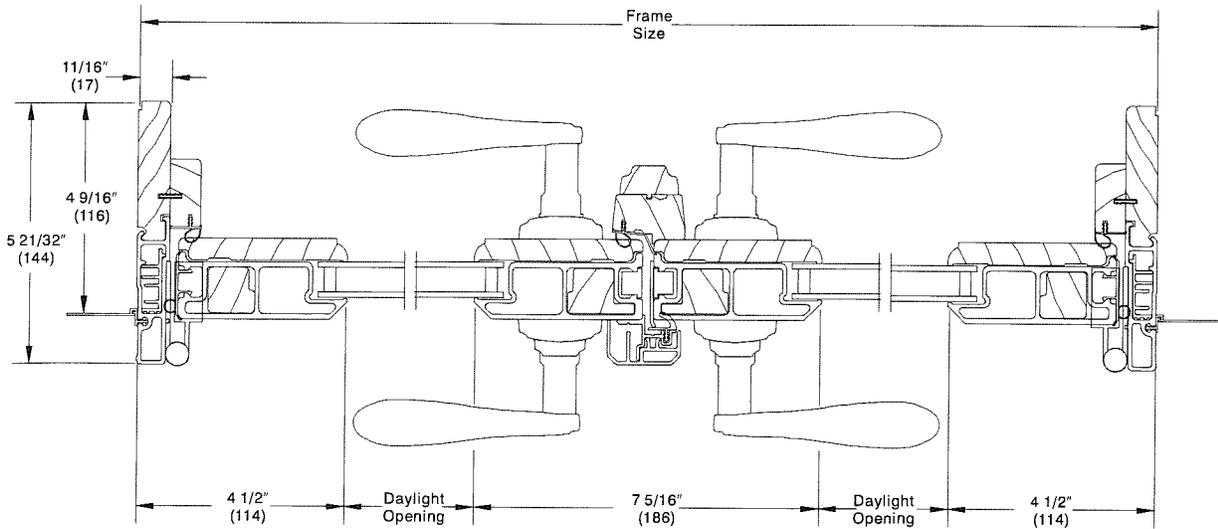
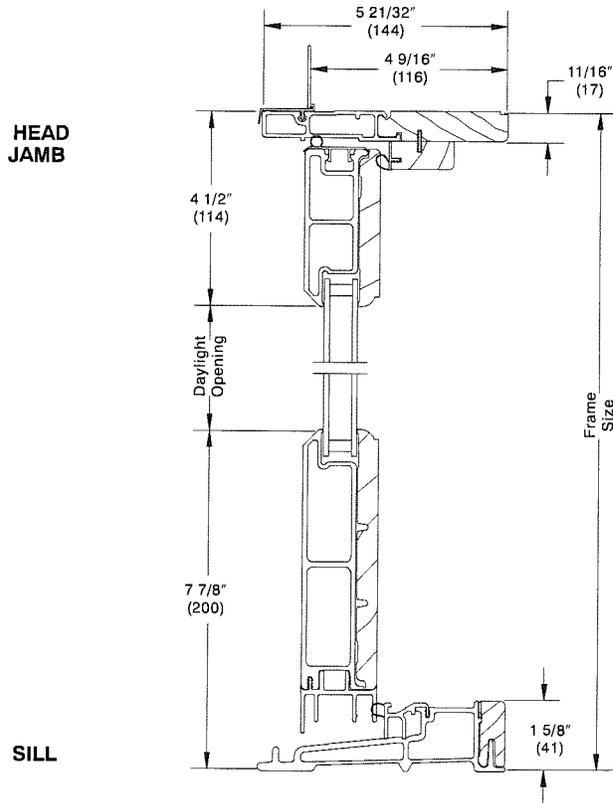


AS VIEWED FROM THE EXTERIOR

OUTSWING FRENCH DOOR

SECTION DETAILS – 4 9/16" JAMB – XXR OPERATOR Scale 3" = 1' 0"

STANDARD GLAZING

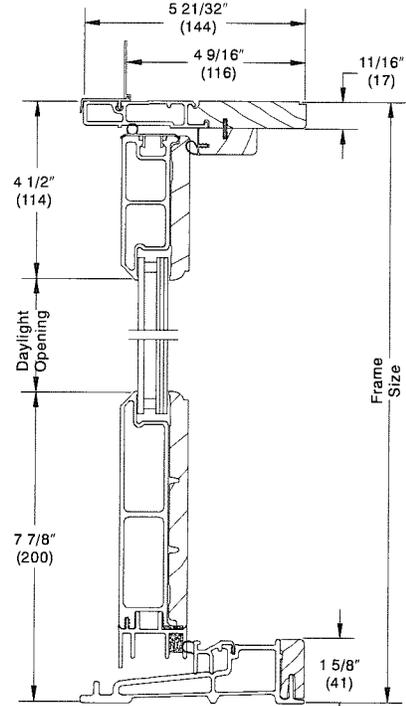
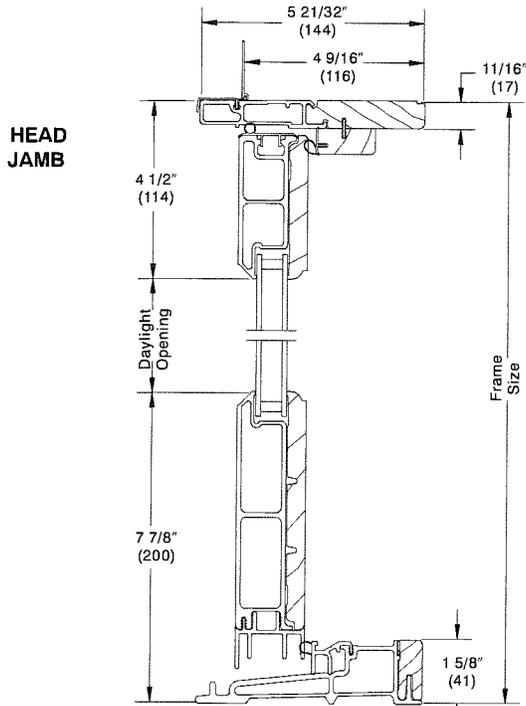


2 PANEL JAMB – XXR

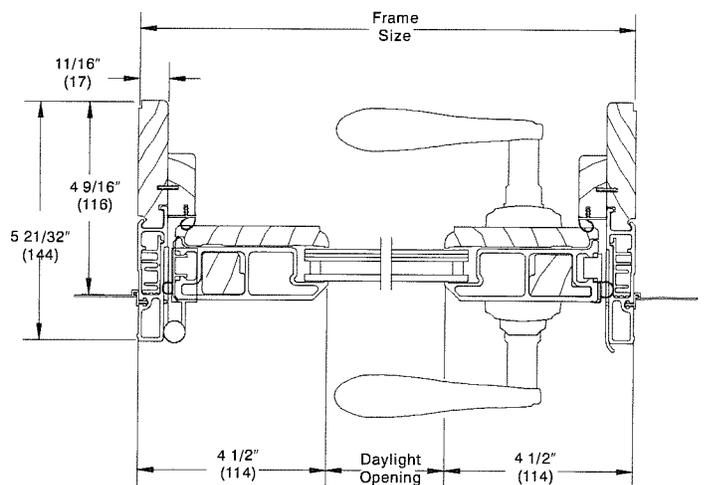
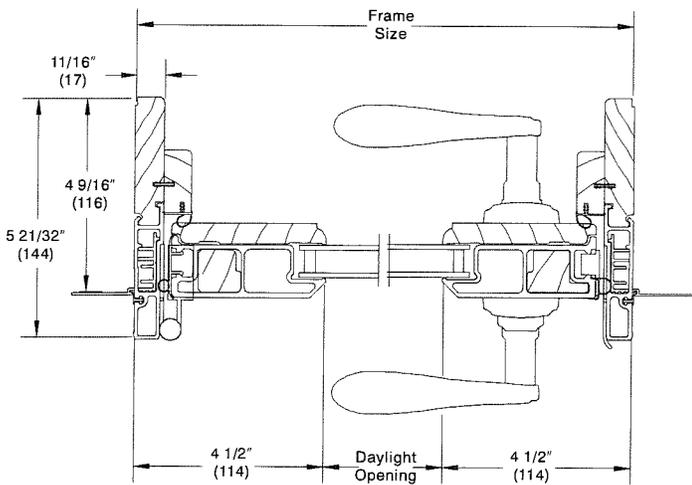
FEB 22 2013

STANDARD GLAZING

IMPACT GLAZING

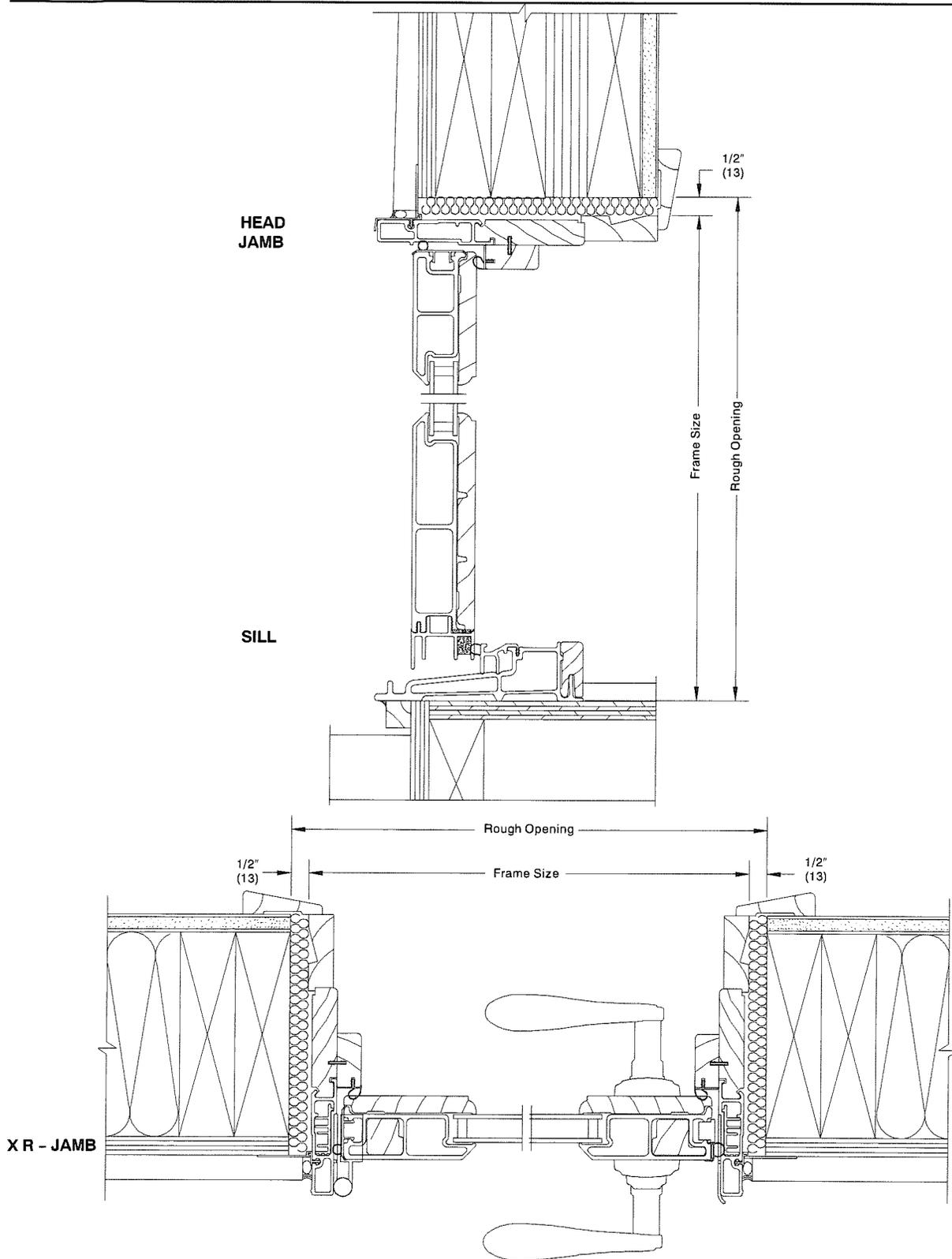


SILL



SINGLE PANEL JAMB - XR

INSTALLATION SUGGESTION Scale 3" = 1' 0"



NOTE:

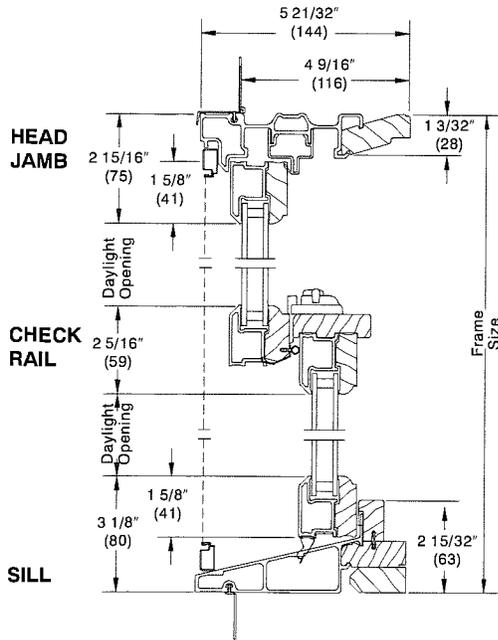
WOOD SIDING WITH 2 X 6 FRAME CONSTRUCTION

The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.

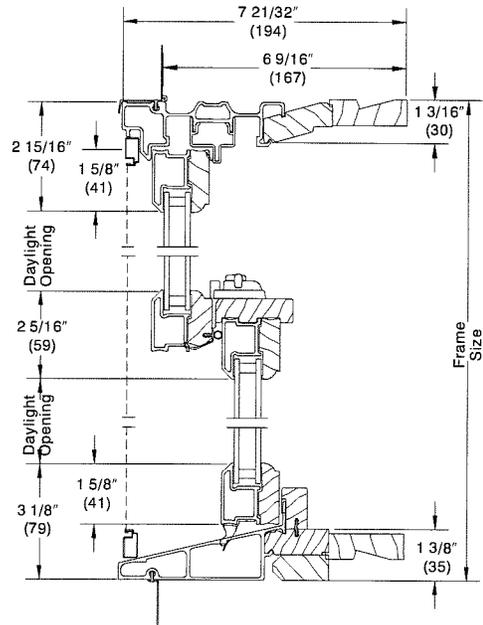
SECTION DETAILS: Not to Scale

STANDARD GLAZED

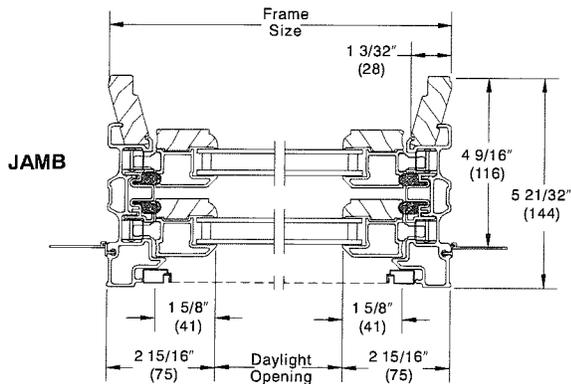
OPERATING - 4 9/16"



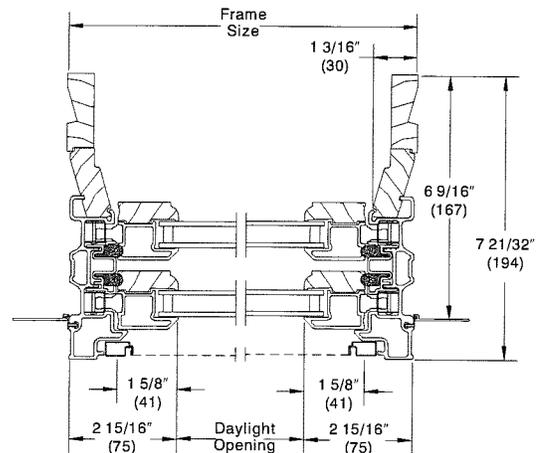
OPERATING - 6 9/16"



4 9/16" JAMBS

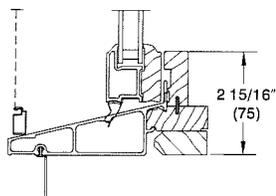


6 9/16" JAMBS

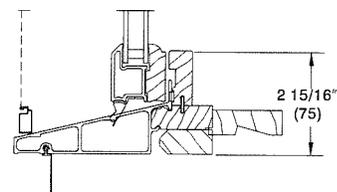


HIGH PERFORMANCE

4 9/16" JAMBS



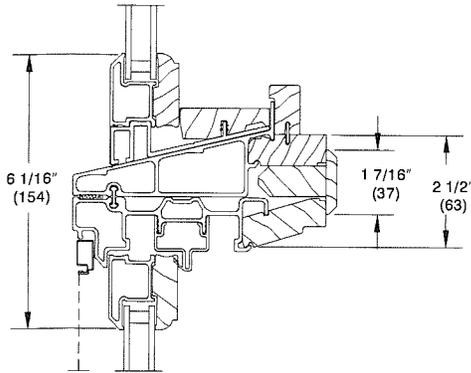
6 9/16" JAMBS



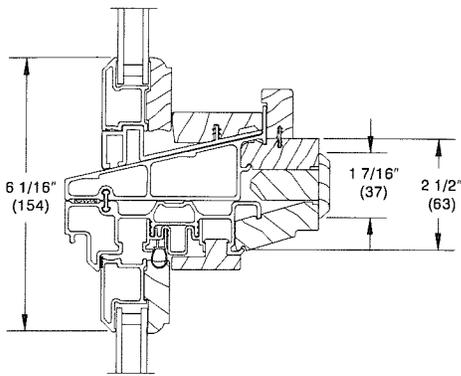
FEB 22 2013

SECTION DETAILS - MULLIONS SCALE: 3" = 1'0"

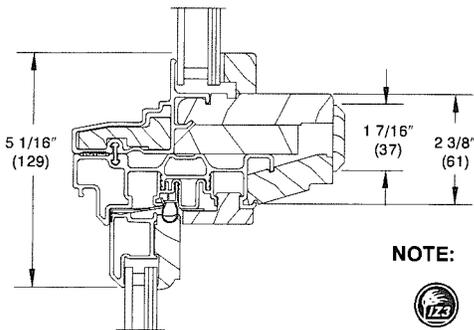
MULLIONS



**HORIZONTAL TRANSOM
OVER OPERATING UNIT**



**HORIZONTAL TRANSOM
OVER PICTURE UNIT**

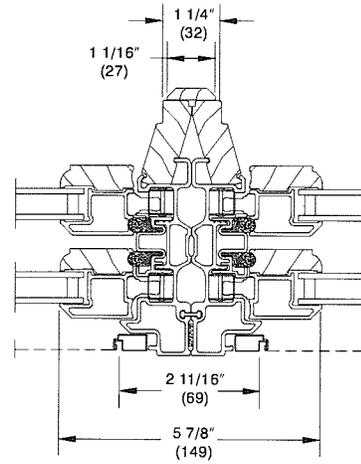


**HORIZONTAL DG TRANSOM
OVER PICTURE UNIT - IMPACT**

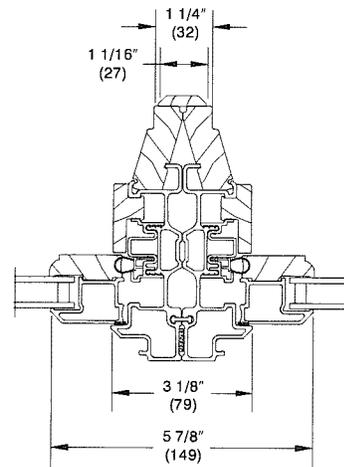
NOTE:



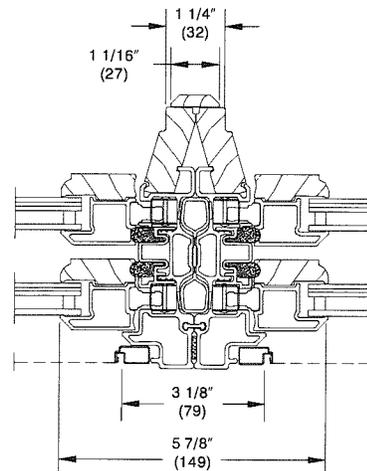
Logo represents units that are certified for Impact glazing with a wind zone 3



VERTICAL DOUBLE HUNG UNITS 2 WIDE



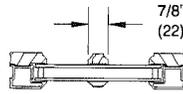
VERTICAL PICTURE UNIT 2 WIDE



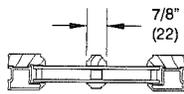
**VERTICAL DOUBLE HUNG UNITS
2 WIDE - IMPACT**

DIVIDED LITE OPTIONS Not to Scale

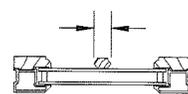
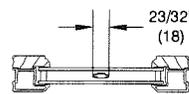
DIVIDED LITE OPTIONS



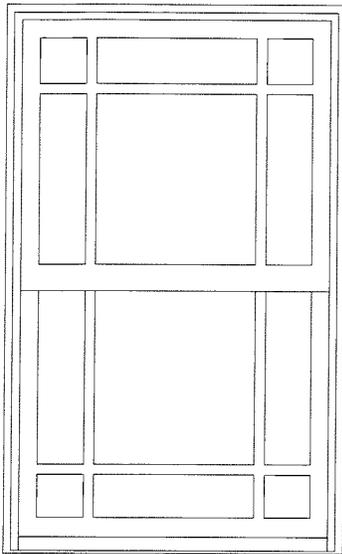
Simulated Divided Lite



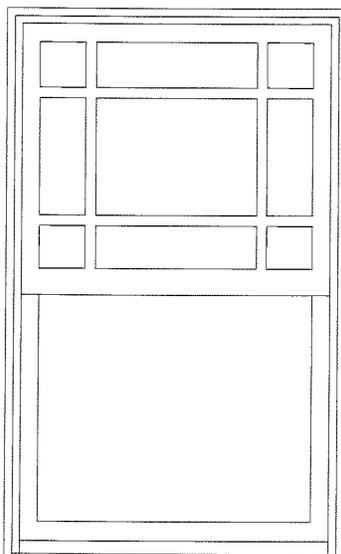
Simulated Divided Lite Aluminum Grille Between Wood Removable Grill Glass w/Spacer Bar



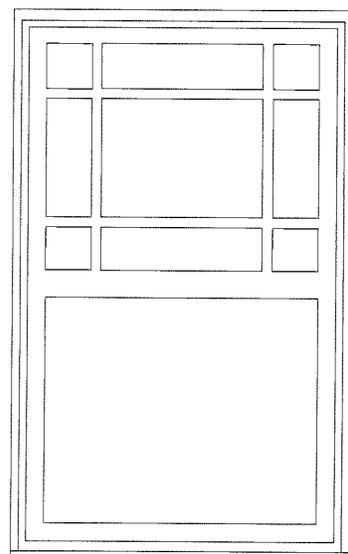
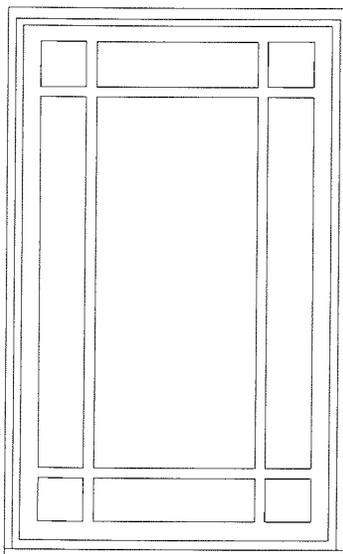
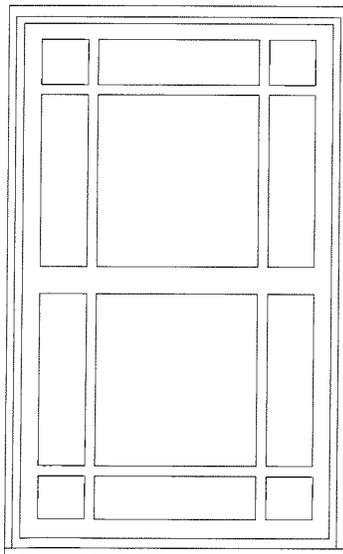
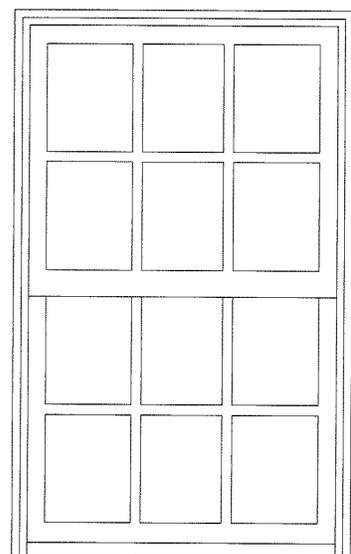
Wood Removable Grill Glass



* Optional 6 lite Prairie cut for GBG or SDL.



* Optional 9 lite Prairie cut for GBG or SDL.



NOTE: GBGs are not available on Impact IZ3 units.

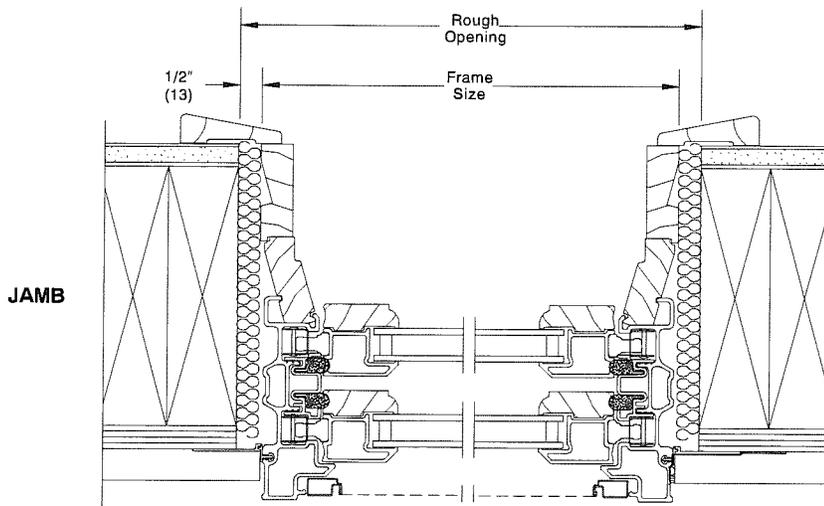
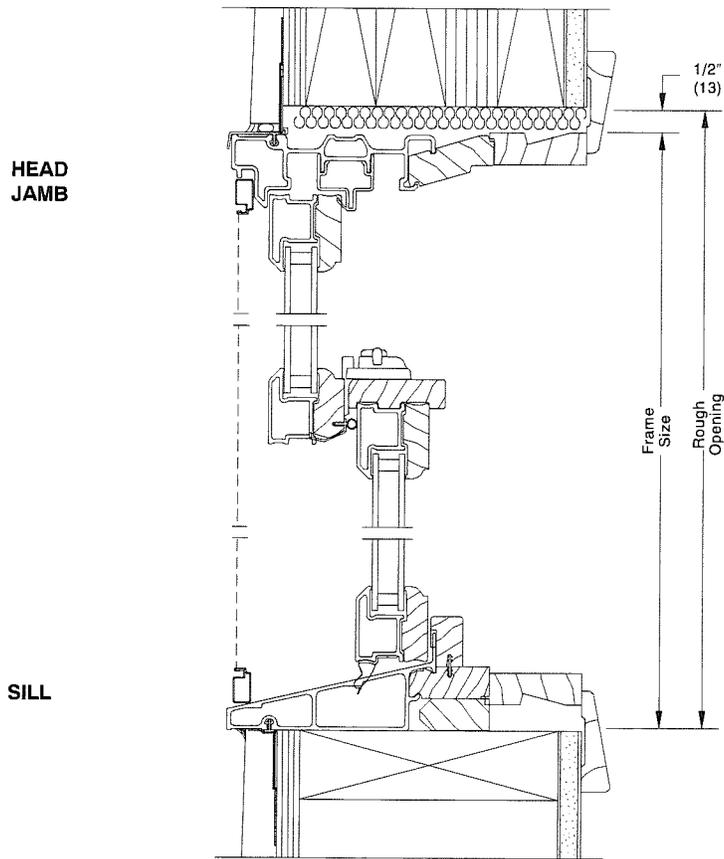
NOTE: SDL with spacer bars are not available on Impact IZ3 units.

NOTE: 4" DLO lite cut minimum for 7/8" pattern.

* Prairie lite cuts are **not** available on IDHTR In-sash Double Hung Transoms due to size limitations.

Conversion Formula:

$$\frac{\text{Total DLO} - \text{Total bar width}}{\text{Number of lites}} = \text{Individual DLO}$$



WOOD SIDING WITH 2X6 FRAME CONSTRUCTION

NOTE: The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.

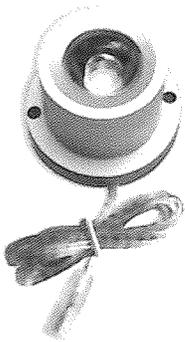
NOTE: Double Hung Unit shown with jamb extension.

NOTE: Picture unit Installation similar.

products

Home > Products > Features > SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT



[OVERVIEW](#) [TECH SPECS](#) [WIRING DIAGRAMS](#) [DIMENSIONS](#) [ACCESSORIES](#)

The SUNSPOT Module Light is a plug-and-play, compact LED light fixture that is sold by the module, allowing you to install as many lights virtually anywhere you need to. This light module features a waterproof plug that connects to a 12V Plug-In Adapter with the LED Light Bar Adapter Cable, and connects to a 12V Hard-Wired Driver using the Waterproof Solder Connector. This IP68-rated module is perfect for use in wet locations such as decks and railings, in displays and exhibits, and for small spotlighting. It is available with either a light beam angle of 15° that provides more focused spot light, or with the wider 45° beam angle, which has more of a flood light spread.

Due to its compact size (roughly 1.1 inches high and only 1.5 inches wide), the SUNSPOT Module can be used in tight places. You can have as many or as few bulbs as you like in applications such as:

- Patios and decks
- Stairways and aisles
- Marker lighting
- Indoor and outdoor signs
- Shadow boxes and light boxes
- Glass tables and cabinets
- Vending and gaming machines
- Display cases and shop windows

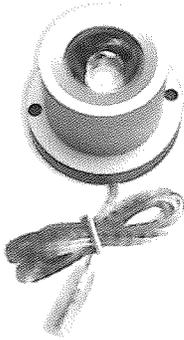
SUNSPOT Module Lights are the perfect tool for the Do-It-Yourself-er, letting you decide how much and exactly where the light for your project will be, with minimal setup.

products

Home > Products > Features > SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT

[OVERVIEW](#) |
 [TECH SPECS](#) |
 [WIRING DIAGRAMS](#) |
 [DIMENSIONS](#) |
 [ACCESSORIES](#)



Not Dimmable
Sold by: module
Weight: 3 oz.
Diameter (housing): 1.2 in.
Diameter (base): 1.55 in.
Height: 1.1 in.
Cable Length: 36 in.
Connector Type: female waterproof plug
Bulbs per module: 1
Available Beam Angles: 15°, 45°
Voltage: 12V DC
Power Consumption: 3W
Available Colors: warm white, cool white, red, green, blue, amber, purple
CRI: 72 (warm white), 77 (cool white)

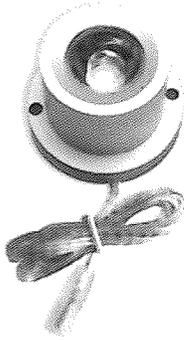
beam angle	item #	color	color temp.	lumens	power consumption	# of LEDs
45°	DI-1440	warm white	2800k	80	3W	1
45°	DI-1441	cool white	5750k	98	3W	1
15°	DI-1442	warm white	2800k	80	3W	1
15°	DI-1443	cool white	5750k	98	3W	1
45°	DI-1430	red	625nm	n/a	3W	1
45°	DI-1431	green	530nm	n/a	3W	1
45°	DI-1432	blue	465nm	n/a	3W	1
45°	DI-1433	amber	595nm	n/a	3W	1
45°	DI-1434	purple	405nm	n/a	3W	1

products

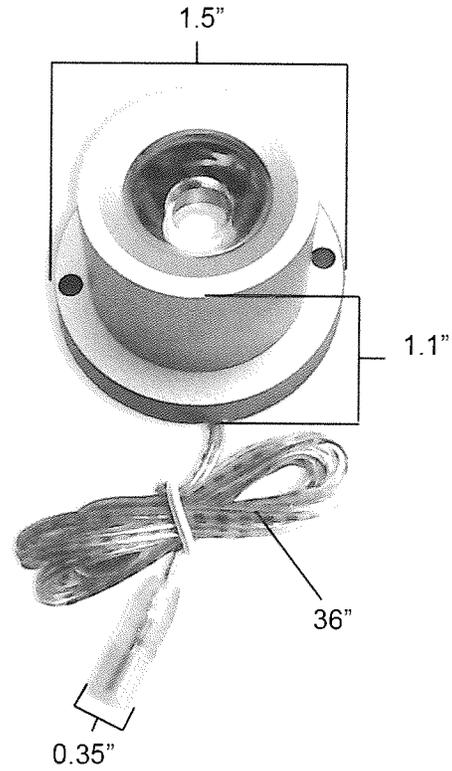
Home > Products > Features > SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT

[OVERVIEW](#) [TECH SPECS](#) [WIRING DIAGRAMS](#) [DIMENSIONS](#) [ACCESSORIES](#)



AC





VINTAGE BARN SCONCE SLATE GREY

\$199 - \$289

A reproduction of an enamel pendant that's been a fixture – literally – in barns across the country for the last century, this design classic deserves to be brought indoors. We preserved the functional design, and gave it a new look in a variety of finishes.

Hide product details...

- Made of steel and aluminum
- Matte slate grey shade has distressed aluminum cap
- Reflector finished with glossy antique white enamel to intensify the light
- 10" and 14" use one 60 max. bulb, not included
- 18" uses one 75W max. bulb, not included
- Hardwire
- Damp UL-listed
- *Catalog and Web only*

DIMENSIONS

- 10" Sconce: 14 $\frac{3}{4}$ " L x 10" W x 10" H
- 14" Sconce: 21 $\frac{1}{2}$ " L x 14" W x 13 $\frac{1}{2}$ " H
- 18" Sconce: 25" L x 18" W x 17 $\frac{3}{4}$ " H





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- 18" uses one 75W max. bulb, not included
- Hardwire
- Damp UL-listed
- *Catalog and Web only*

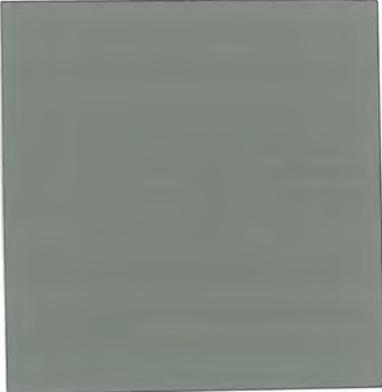
DIMENSIONS

- 10" Sconce: 14¼" L x 10"W x 10"H
- 14" Sconce: 21½" L x 14"W x 13½"H
- 18" Sconce: 25" L x 18"W x 17¾"H



EISENMANN ARCHITECTURE

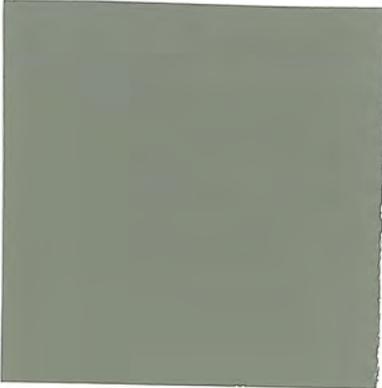
PAINT SELECTIONS - JAQK CELLARS



SET 1
SIDING - CHELSEA GREY (HC-168)



SET 1
TRIM - REVERE PEWTER (HC-172)



SET 2
SIDING - COPLEY GREY (HC-104)



SET 2
TRIM - LANCASTER WHITEWASH (HC-174)



SET 3
SIDING - SHENANDOAH TAUPE (AC-36)



SET 3
TRIM - EDGEComb GRAY (HC-173)

FEB 22 2013

CHURCH STREET

LOT 1

WOOD FRAME BUILDING
134 CHURCH STREET
LOT AREA = 6,650± SQ. FT.
LOT 3

LOT 2

FIRST STREET WEST

ELEVATIONS ARE BASED ON AN ASSUMED DATUM. THE FINISH FLOOR AT THE FRONT DOOR AT CHURCH STREET IS TAKEN AS 100.00'.

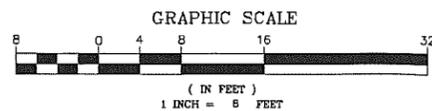
LEGEND

- B.S. BASE OF STEPS
- C.O. CLEAN OUT
- CONC. CONCRETE
- D/W DRIVEWAY
- E.P. EDGE OF PAVEMENT
- F.F. FINISH FLOOR
- F.H. FIRE HYDRANT
- F/L FLOW LINE
- M.H. MANHOLE
- OHW OVERHEAD WIRES
- W.M. WATER METER
- FOUND 1/2" REBAR, NO CAP
- ⊗ FOUND TAG: RCE 14946

SURVEYOR'S NOTES:

OTHER EASEMENTS MAY EXIST OVER THE PROPERTY. A TITLE REPORT IS NOT AVAILABLE.

REFERENCE R/S 340-27



BOUNDARY AND TOPOGRAPHIC SURVEY

PORTION OF LOT 34, MAP OF THE FORMER PUEBLO OF SONOMA LOCATED AT 134 CHURCH STREET CITY OF SONOMA, COUNTY OF SONOMA, CALIFORNIA
DECEMBER, 2012 SCALE: 1" = 8'

MORAN ENGINEERING, INC.

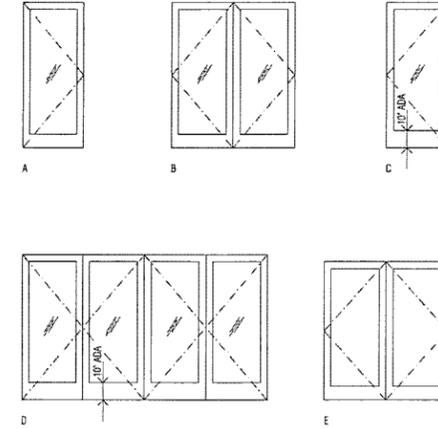
CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

DOOR SCHEDULE

ID	ROOM	DESCRIPTION	TYPE	(E) SIZE (WXH)	(N) SIZE (WXH)	(E) FRAME MATERIAL/FINISH	(N) FRAME MATERIAL/FINISH	(E) DOOR MATERIAL/FINISH	(N) DOOR MATERIAL/FINISH	ROUGH OPENING (WXH)	HARDWARE TYPE	HARDWARE FINISH	MANUFACTURER
1													
2													
3													
4													
5													
6													
7													
8													
9													
10													
11													
12	BEDROOM	EXTERIOR SWING	A	-	2'-6" X 6'-8"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	MARVIN INTEGRITY
13	OFFICE	EXTERIOR SWING	A	3'-0" X 6'-6"	3'-0" X 7'-0"	WD, PAINT	WD, PAINT	WD, PAINT	FIBERGLASS	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	MARVIN INTEGRITY
14	PRIVATE WINE + CONF.	DOUBLE EXTERIOR SWING	B	-	6'-0" X 7'-0"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	MARVIN INTEGRITY
15	WINE TASTING ROOM	EXTERIOR SWING	C	-	3'-0" X 7'-0"	-	WD, PAINT	-	ALUM. CLAD	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	LACANTINA
16	WINE TASTING ROOM	4 PANEL FOLDING DOOR SYSTEM	D	10'-0" X 8'-2"	12'-0" X 7'-0"	WD, PAINT	WD, PAINT	WD, PAINT	ALUM. CLAD	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	LACANTINA
17	WINE CASE STORAGE	DOUBLE EXTERIOR SWING	E	-	6'-0" X 6'-8"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	MARVIN INTEGRITY
18	LIVING ROOM	EXTERIOR SWING	A	3'-0" X 6'-6"	3'-0" X 6'-8"	WD, PAINT	WD, PAINT	WD, PAINT	FIBERGLASS	PER MANUFACT.	ENTRANCE/KEYED	OIL RUBBED BRONZE	MARVIN INTEGRITY

WINDOW SCHEDULE MARVIN WOOD UNLESS OTHERWISE NOTED

ID	ROOM	DESCRIPTION	TYPE	(E) SIZE (WXH)	(N) SIZE (WXH)	(E) FRAME MATERIAL/FINISH	(N) FRAME MATERIAL/FINISH	(E) SASH MATERIAL/FINISH	(N) SASH MATERIAL/FINISH	ROUGH OPENING (WXH)	HARDWARE TYPE	HARDWARE FINISH	MANUFACTURER
1	WINE TASTING ROOM	FIXED WINDOW SYSTEM	-	-	15'-0" X 1'-6"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	(5X) 3'-0" X 1'-6" MARVIN INTEGRITY
2	WINE PREP	CASEMENT/FIXED WINDOW SYSTEM	-	-	14'-4 1/2" X 2'-0"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	(7X) 2'-0" X 2'-0" MARVIN INTEGRITY
3	WOMEN'S	HOPPER	-	2'-4 1/2" X 2'-6"	2'-4 1/2" X 2'-6"	WD	WD, PAINT	ALUM.	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
4	MEN'S	HOPPER	-	-	2'-4 1/2" X 2'-6"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
5	BATHROOM	DOUBLE HUNG	-	-	2'-0" X 3'-0"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
6	BATHROOM	DOUBLE HUNG	-	-	2'-6" X 4'-0"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
7	LIVING ROOM	PICTURE	-	-	4'-0" X 4'-6"	-	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
8	KITCHEN	2X DOUBLE HUNG	-	6'-6" X 4'-2"	(2X) 2'-6" X 4'-6"	WD	WD, PAINT	VINYL	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
9	BEDROOM	2X DOUBLE HUNG	-	4'-6" X 7 1/2" X 1'-5"	(2X) 2'-6" X 4'-6"	WD	WD, PAINT	VINYL	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
10	OFFICE	DOUBLE HUNG	-	3'-10" X 3'-0"	4'-0" X 4'-0"	WD	WD, PAINT	VINYL	FIBERGLASS	PER MANUFACT.	LOCKING	TBD	MARVIN INTEGRITY
11	WINE TASTING ROOM	FIXED	-	2'-0" X 5'-5 1/2"	3'-0" X 5'-5 1/2"	WD	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	-	TBD	EXISTING ATTIC VENT TO RECEIVE INTERIOR WINDOW
12	LIVING ROOM	FIXED	-	3'-0" X 5'-5 1/2"	3'-0" X 5'-5 1/2"	WD	WD, PAINT	-	FIBERGLASS	PER MANUFACT.	-	TBD	EXISTING ATTIC VENT TO RECEIVE INTERIOR WINDOW



architect

EISENMANN ARCHITECTURE

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 email stacy@eisenmannarchitecture.com

stamp



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project

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 415 531 4251
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 katie@hatchst.com

issue

PLANNING COMMISSION 02.14.13
 DESIGN REVIEW 02.19.13

scale

1/8" = 1'-0"

date

02.19.13

title sheet number

SCHEDULES

A0.1

architect

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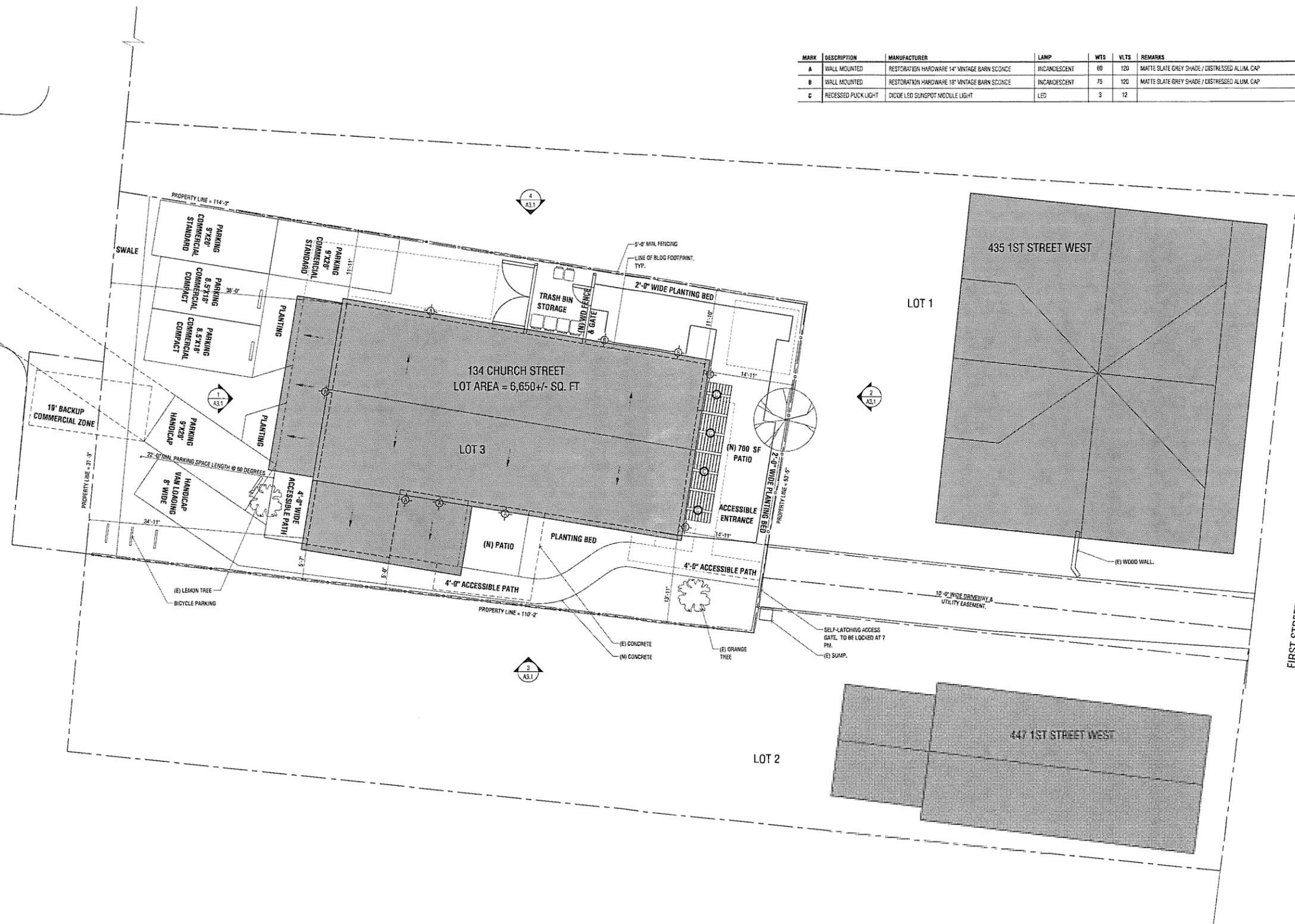
SITE PLAN



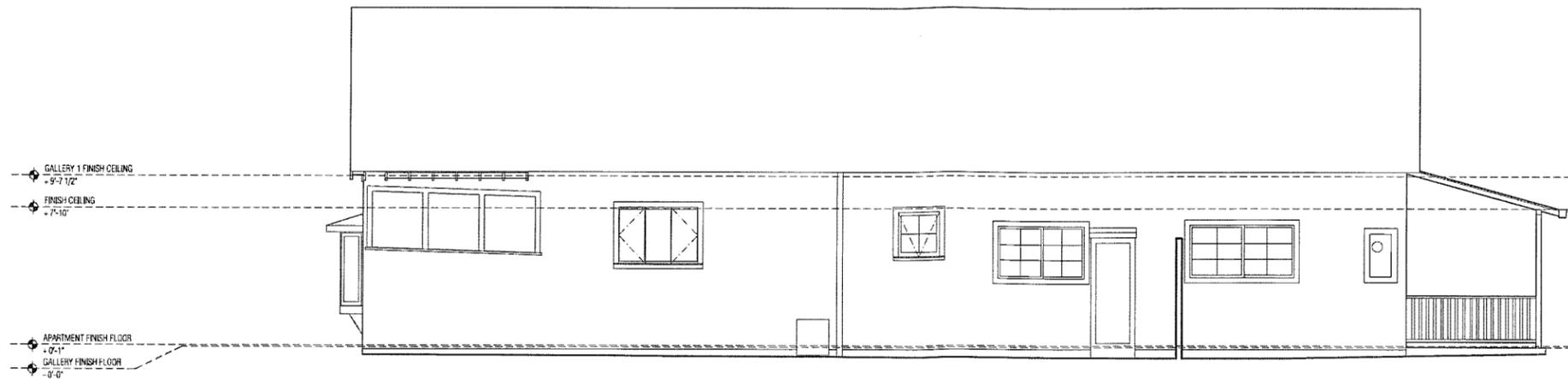
A1.0

MARK	DESCRIPTION	MANUFACTURER	LAMP	WTS	VLTS	REMARKS
A	WALL MOUNTED	RESTORATION HARDWARE 14" VINTAGE BARN SCONCE	INCANDESCENT	80	120	MATTE SLATE GREY SHADE / DISTRESSED ALUM. CAP
B	WALL MOUNTED	RESTORATION HARDWARE 18" VINTAGE BARN SCONCE	INCANDESCENT	75	120	MATTE SLATE GREY SHADE / DISTRESSED ALUM. CAP
C	RECESSED PLUCK LIGHT	DIODE LED SUNSPOT MODULE LIGHT	LED	3	12	

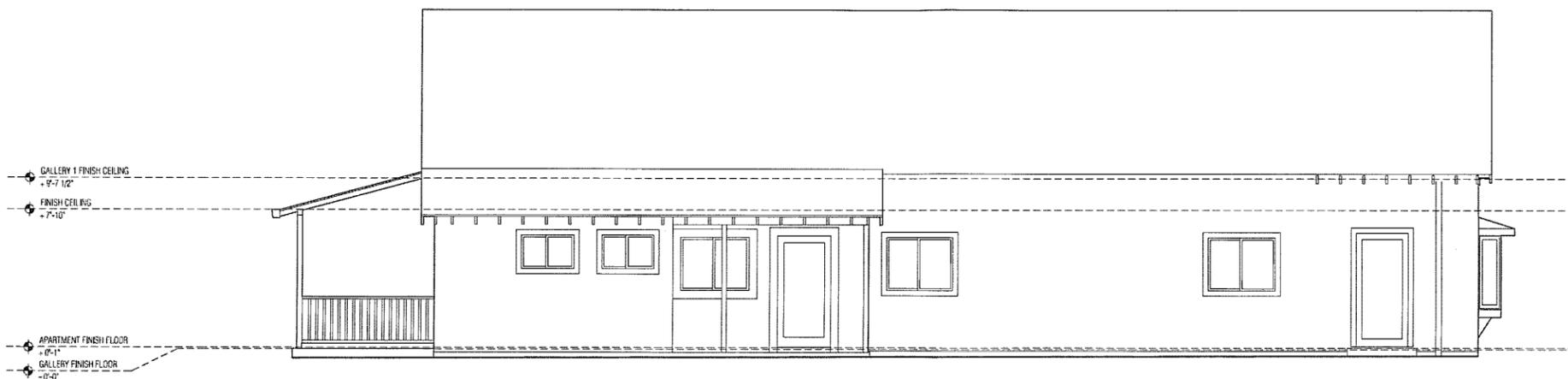
CHURCH STREET



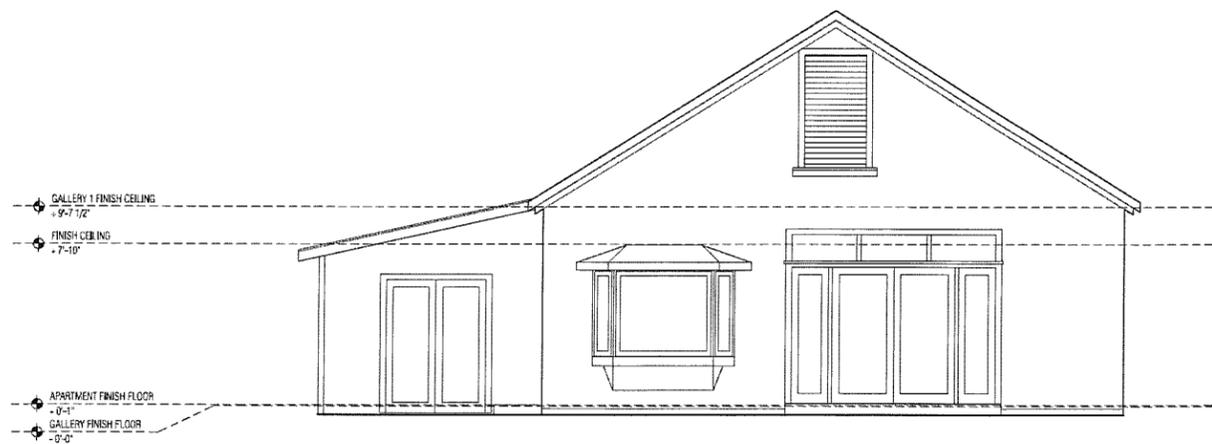
FIRST STREET WEST



4 EXISTING NORTH ELEVATION



3 EXISTING SOUTH ELEVATION



2 EXISTING EAST ELEVATION



1 EXISTING WEST ELEVATION

architect

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ARCHITECTURE**

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DESIGN REVIEW 02.19.13

scale

1/4" = 1'-0"

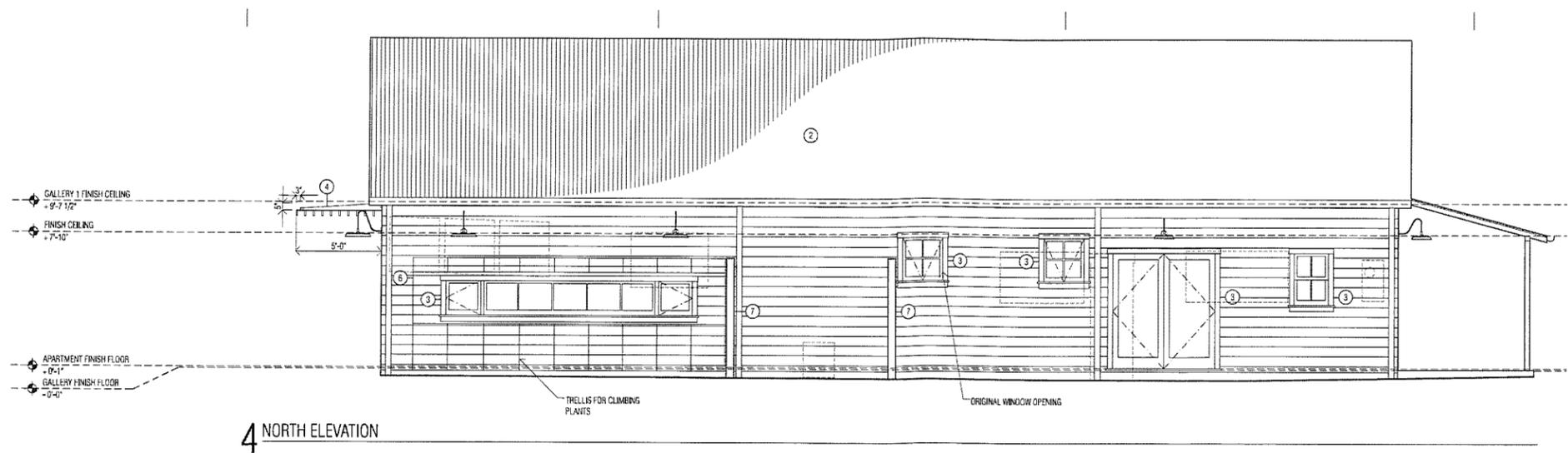
date

02.19.13

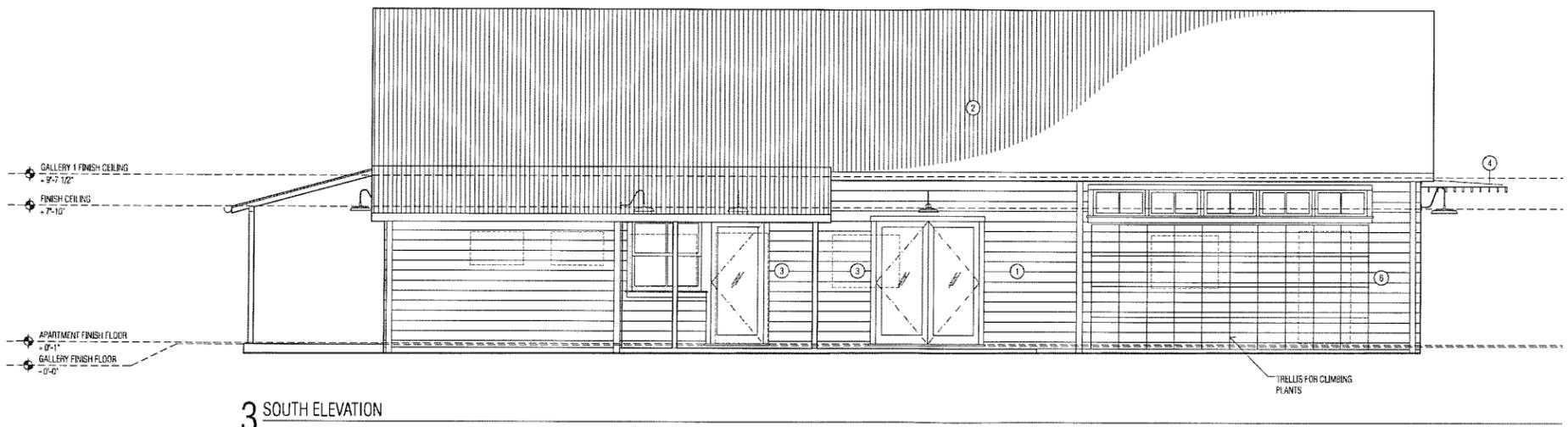
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EXISTING ELEVATIONS

A3.0



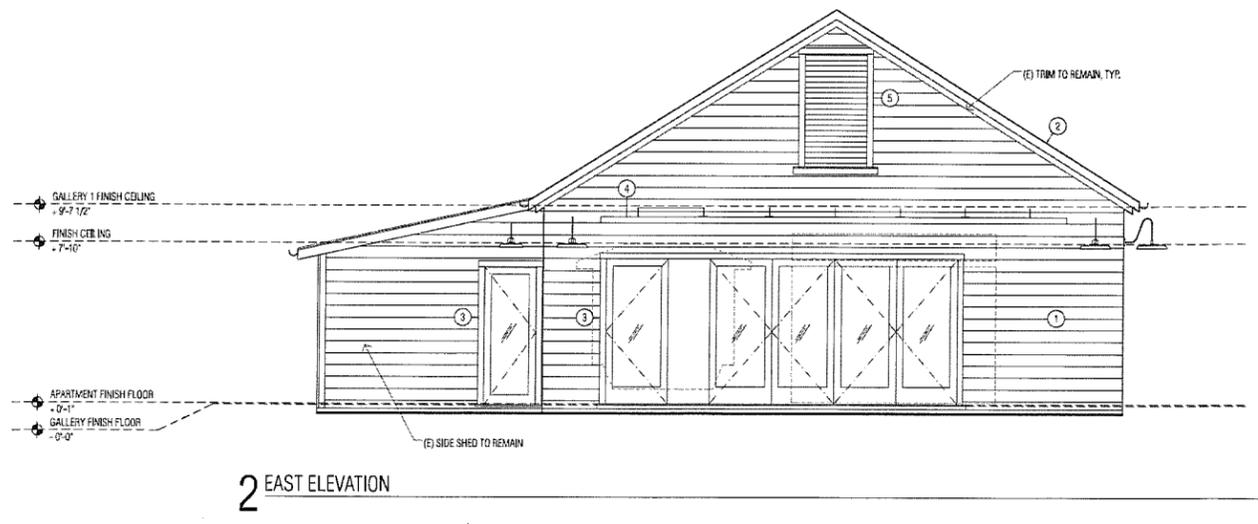
4 NORTH ELEVATION



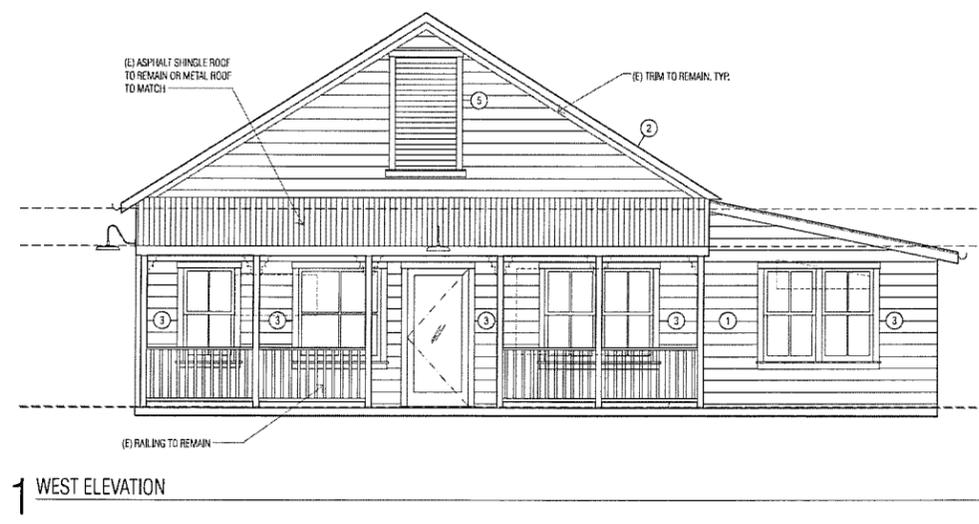
3 SOUTH ELEVATION

KEY NOTES - EXTERIOR

- (E) WD. SHIP LAP SIDING, SALVAGE AND REINSTALL TO MATCH. PRIME + 2 COATS PAINT.
- (E) CORRUGATED METAL ROOFING TO REMAIN.
- WD. TRIM TO MATCH ORIGINAL. SEE TRIM AT GABLE VENT.
- (N) WOOD & STEEL TRELLIS.
- (E) GABLE VENT. INSTALL WINDOW BEHIND LOUVERS.
- CABLE RAIL TRELLIS FOR CLIMBING PLANTS. FEENEY OR SIM. QUALITY.
- (N) WD. FENCE. MAX. 7'-0" HEIGHT.



2 EAST ELEVATION



1 WEST ELEVATION

architect

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02.19.13

title sheet number

EXTERIOR ELEVATIONS

A3.1

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ISSUE

PLANNING COMMISSION 02.14.13
DESIGN REVIEW 02.19.13

scale

AS NOTED

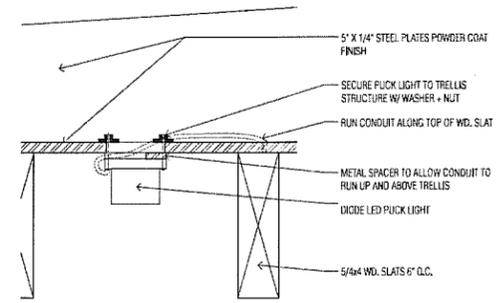
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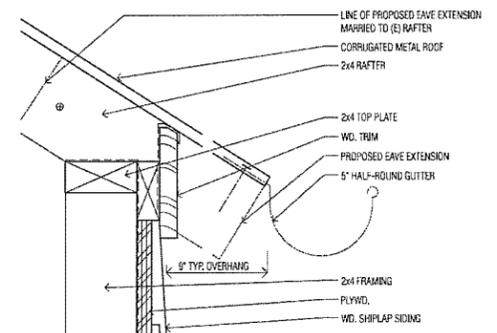
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DETAILS

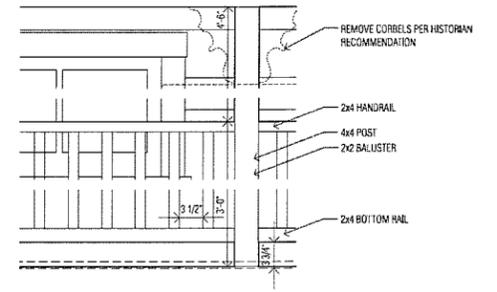
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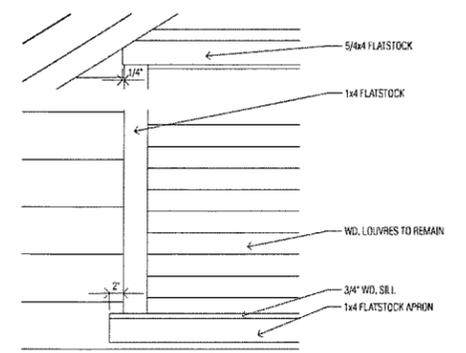
4 PUCK LIGHT @ TRELLIS
6\"/>



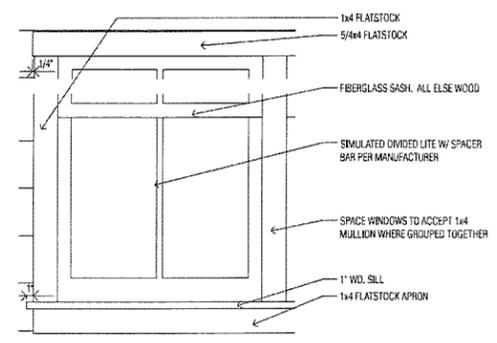
3 GUTTER @ EAVE
1\"/>



2 WOOD RAILING @ FRONT PORCH
1\"/>



5 EXISTING TRIM @ ATTIC VENT
1\"/>



1 TYPICAL NEW WINDOW TRIM
1\"/>

DRAINAGE NOTES:

GENERAL NOTES

The owner is responsible for the implementation and maintenance of these site drainage guidelines. Good site drainage may reduce the possibilities of localized foundation movement, but area-wide slope movement is still a possibility and these drainage recommendations do not guarantee against possible slope movement or foundation movement.

The Owner and the Owner's selected contractor/builder ("the Builder") are responsible for all required site drainage work and all site work not specifically tied into the residence, or covered in this plan; site drainage improvements are needed to provide a long-lasting and complete repair of the subject structure. All construction and drainage facilities are to be installed and maintained by the Owner or the Builder. Site surface drainage generally flows to the rear SUMP on this hillside property; all roof water and water from any catch basins are to be piped to the street and into the public gutter using 3-inch diameter (min.) non-perforated HDPE plastic piping (or equal).

Ultimate trench depths shall be established in the field and per field conditions and KSCPE.

The Builder is responsible for all trench shoring and site safety during the construction period. The Owner is responsible for the maintenance of the (N) drainage system and the (E) site improvements. PLEASE REFER TO "SITE PROTECTION REQUIREMENTS" ON PAGE D.

All landscaping and drainage work shall be per the Owner's specifications - i.e., not within the scope of this plan ("N.I.S."), unless otherwise noted ("U.O.N.").

Subsurface drainage is to be installed per the requirements of the Project Engineer, Kenneth S. Chainey, P.E. ("KSCPE"), and the attached foundation plan and drainage plan.

Sewer drainage shall be made of cast iron, per county standards. Use ductile iron pipe ("D.I.P.") or equivalent to tie the (N) sanitary drainage into the (E) sewer system. All work to be done per the 2010 California Building Code ("CBC" 10") and the 2010 California Plumbing Code ("CPC" 10").

The Owner shall pump excess water to the front roadway IF the rear yard "drainage discharge system" is not acceptable to the rear (down-slope) neighbors.

Sheet Flow off site is okay if it does not affect down-slope neighbors.

TYPICAL DRAINAGE SWALES

- (N) and (E) drainage swales provide a channel for surface water to flow to the storm drain system.
- The Builder is responsible for setting all grades for (N) swales.
- The Owner and the Builder shall landscape without disrupting the site drainage.
- Earthen swales shall be 3 feet wide (typ.), U.O.N. (i.e., if space limitations require smaller dimensions).
- Steeply sloped drainage swales better-slope drainage swales at 3% (±), although 2% (min.) may be acceptable with the Engineer's approval in the field. PROVIDE DRAINAGE SWALES BELOW DECK.
- Drainage swales can be improved with pavement or liners. REFER TO TYPICAL SECTIONS (N).
- Drainage swales, which will receive ground cover, shall slope a minimum of 3%. REFER TO L.S.A. PLAN.
- Drainage swales are not needed at patio areas with other drainage provisions.
- Subdrains (a.k.a. "French Drains") may be located below drainage swales, but may not be connected to the swales. The swales may not drain into the ground or into perforated pipe; subdrains are intended for groundwater removal, not for surface water removal. Cap all subdrains with clay soil or equivalent (N.I.S.); omit soil cap if a slab is to be cast over the subdrain.

TYPICAL DOWNSPOUT NOTES

- Roof downspouts shall extend at least 1 inch into a 4-inch (dia.) non-perforated drainage pipe. 2% SLOPE MIN.
- Bury rainwater discharge pipes 6 inches (min.); compact all soil backfill by hand using a tamper.
- Rainwater discharge shall not flow into subdrain discharge piping. DISCHARGE RUNOFF INTO DRAINAGE.

TYPICAL CATCH BASIN NOTES

- Typically, a catch basin is a Christy™ V9 Drain Box (10 1/2 inches by 17 1/2 inches). SEE DETAIL 1 OR 2.
- Catch basins may also serve as clean-out points; provide (N) catch basins at all low points around the A.O.W. PLEASE REFER TO THE "DRAINAGE PLAN" ON SHEET D.
- Use plastic-coated (tops) concrete boxes, U.O.N. or approved by the Owner. REFER TO SHEET D.
- Bury all outlet pipes and cap all cleanout points. The Owner is responsible for all future maintenance of the (N) and (E) catch basins and site drainage facilities. PLASTIC CBS ARE "OK" BELOW IN DECKS.
- Excavate the (N) catch basin pit at least 16 inches deeper than the grade - i.e., at the low points in the landscaped areas were runoff water collects. PLASTIC CBS ARE "OK" AWAY FROM "ROADWAYS".
- During installation, cut, saw, or remove as little of the box walls as possible; do not cut into the thick edge. BUILDER IS RESPONSIBLE FOR "LONG TERM" QUALITY OF THE WORK.
- Cast concrete around the base of the box to form a sediment trap, and to anchor the box. U.O.N.
- Recess the top of the (N) catch basin (below the grade near the box) approximately 1-inch within a few inches of the box in soil area without foot traffic. SLOPE PAVEMENT TO CBS AT 2% TO 3%.
- Sediment traps shall be approximately 3 inches deeper than the inlet, U.O.N. REFER TO SECTIONS.
- HDPE, PVC, ABS (Acrylonitrile Butadiene Styrene) plastic or equivalent pipe may be used unless the Building Department requires otherwise. Use only non-perforated drainpipes for draining surface water away from (N) catch basins. SLOPE NON-PERF. PIPES AT 2% (MIN.) = 1/4" PER L.F.

- A typical concrete catch basin detail has been provided (see plans), or the Builder may select his own brand of catch basin, depending upon location and need, and the approval of KSCPE. Sediment traps and leaf graters are required for all (N) catch basins. Provide cleanout points at 50-foot intervals and at 90-degree or other major bends in the pipe; provide caps for all cleanout points. REFER TO "CONTRACT".
- The Builder is responsible for field-setting all pipe and grate elevations, per this plan. SEE 1
- Slope outlet pipes down at a minimum of 2% (1/4-inch per foot) away from the box.
- Grade should slope 3% (min.) where ground cover is dense.
- Slope inlet pipes toward the box at a minimum of 2%, U.O.N. or approved in the field by KSCPE.
- Cast a concrete apron around the perimeter of the box if one is required (please refer to the plans).
- If a (N) catch basin is to be tied into the (E) buried system of surface drainage pipes, then a 3-inch (dia.) outlet pipe may be used (with a 3-inch atrium grate) instead of the 4-inch sizes as shown in typical cross-section drawings.

- Install a "T" or "Y" along the (E) pipe, per the plan view.
- Seal all connections between the (N) and (E) piping in a watertight manner; some pipe junctions are to be made with a "Connector Box" (only if shown, or if approved by The Design Engineer at the request of the Builder). The drainpipes are to penetrate the sidewall of the connector boxes only as allowed in this plan.
- Pipe ends in junction boxes are to extend at least 1 inch into the interior. Seal between the pipe and box with concrete, U.O.N.
- Atrium graters are not recommended for high-flow junction boxes.
- The (N) connector boxes may also serve as a catch basin if specified. Use concrete lids on junction boxes only if specified. Otherwise, provide a cast iron grate on all (N) boxes (catch basin inlets).
- (E) Pipes shall be determined to be clear and functional before being connected to any (N) pipes; if any (E) pipes are clogged and found to be unsalvageable, (N) 4-inch (dia.) buried pipes shall be installed, per this plan set.

TYPICAL CHANNEL DRAIN NOTES

- Install all (N) channel drains with "polycast installation chair supports" to maintain proper positioning while casting the concrete cradle beams - refer to the manufacturer's installation materials (directions).
- KSCPE shall be contacted if The Builder believes that a standard residential channel cannot be used. Slopes of less than 2% may be allowed if approved by KSCPE and The City or The County.
- Install "Channel Drains" at an elevation below the adjacent grade, U.O.N. or allowed by KSCPE.
- The (N) concrete cradle beam shall be 4 inches thick (min.) below and 3 inches thick (min.) on the sides (6-by-6 inches in cross-section).
- Channel drain grates shall be light-duty, galvanized grates, U.O.N. and shall be acceptable to vehicle weight loads.
- Use 3/4-inch MSA concrete (2500 psi min.) and broom-finish or finish per city requirements. The Owner shall seal any future seams between the (E) pavement and the (N) channel drain installation. The (N) channel drain shall slope to follow the (E) slope of the front edge of the driveway.
- Provide #4 rebar dowels from the (E) foundation (6 inches deep) at 18 inches O.C., and dowel into the edges of the salvaged (E) concrete border at the saw-cut edges; Slope the slab (at 2% typ.) towards the (N) channel drain.
- For typical channel drain installation, place two bars of #4 rebar on top and two on bottom of the 14-inch (±) wide (N) concrete cradle; see plans for exact locations and dimensions.
- All channel drains shall be fitted with standard end caps, end cap outlets, and/or bottom outlets as required by field conditions - i.e., the elevations of the (E) drainpipes, which will be used for channel drain discharge may dictate the need for a site (end) or bottom outlet. A pre-sloped drain shall be used if The Builder cannot set the minimum 2% slope (1/4-inch per foot) in the field.
- Grate locks are not within the scope of this plan - grates must be removed for channel cleaning on a periodic basis. The Owner is responsible for channel and pipe flushing and other necessary maintenance once all construction included herein has been completed.

TYPICAL SUBDRAIN NOTES

- Do not excavate within the 45-degree line from the bottom of the (E) footing. SEE 2
- Do not undermine the (E) foundation. Verify depth of footing in the field.
- The Builder is to provide (N) subdrains as deep as is required in order to prevent interior seepage.
- Acceptable pipe: High-Density Poly-Ethylene (HDPE) or Poly-Vinyl Chloride (PVC). Use a better quality pipe below pavements for long-term performance, and for ease of cleaning in the future. Bury all pipes, U.O.N. to protect the plastic from the Ultra-Violet rays of the sun. Use PVC SDR-35 pipe below any pavement at a 12-inch (min.) depth.
- Filter cloth (drain cloth) is to be a non-woven, polyester, or synthetic fabric. Possible brand names include: Trevira, Bidim, Phillips, Amoco, Carthage Mills (must specify it is for drainage), geotextile (typ.).
- 4-inch perforated subdrain pipe, holes pointed downward, shall set upon a bed of drain rock a minimum of 2-inch thick (typ.). SLOPE PIPE @ 1% (MIN.) FOR SUBDRAINS (1/8" PER L.F.).

Capped clean-out points for major corners in the surface and subsurface drainage systems are recommended. A gravel sub-drain may be used as an alternative to the prefabricated sub drain panels. However, the engineer may be contacted for an additional drainage inspection and a possible plan revision if the panel drains are not utilized. A typical section for "under-slab" sub-drainage has also been provided. *ADVANCE EDGE OF DRAINAGE SYSTEM.

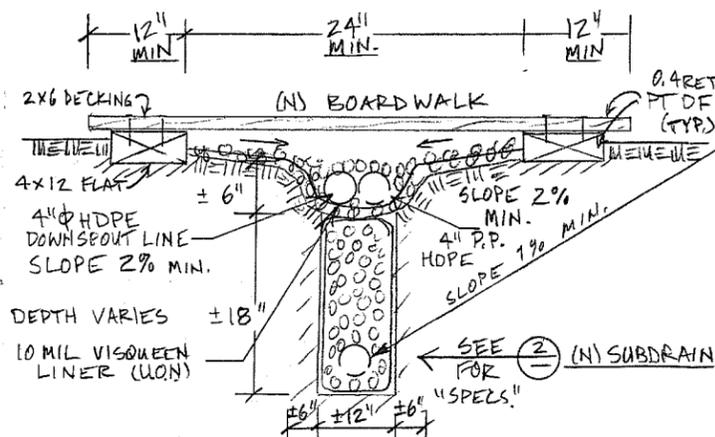
The field material for the subsurface drainage piping is specified as 3/4-inch drain rock. Filter fabric shall be used to wrap and protect all drain rock where it is adjacent to soil. Filter fabric in under-slab drains shall fully encapsulate the drain rock, and shall overlap 12 inches (min.) as shown in the drawings. If subdrain panels are used, follow the directions of The Engineer.

Compacted 3/4-inch drain rock shall be clean, rounded stream run gravel, compacted to 95% or equal.

SUMP PUMP NOTES

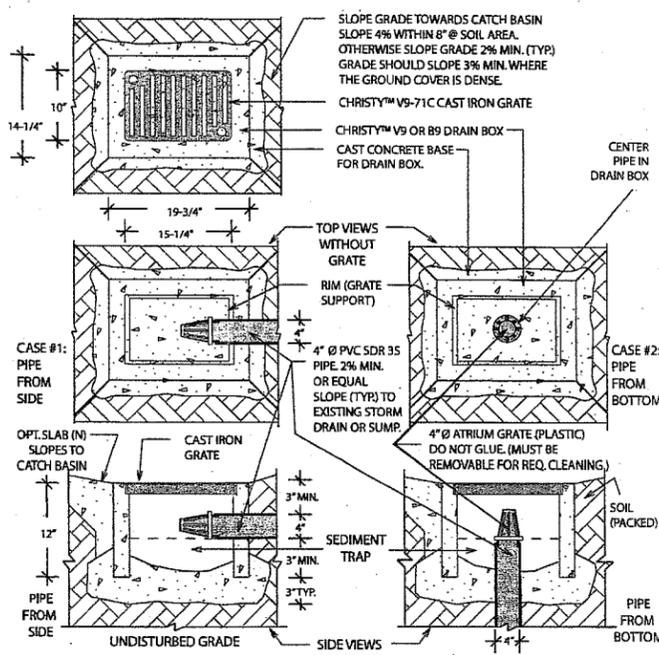
- Ground water levels may rise during the rainy season on this moderately sloping lot, causing saturation of the surrounding soils. The rear sump is intended to collect and discharge the seepage water to the front gutter. An overflow pipe into the rear yard is needed to prevent the inundation of the sub-drains if, for some reason, the pump ceases to operate.
- The sewage ejector sump is self-contained and sealed from moisture intrusion from seepage. This sump is surrounded in drain rock and protected by filter fabric.
- The builder shall provide a GFI-protected, 110-volt duplex outlet for the (N) sump pump system. A (N) weatherproof, lockable, exterior grade box shall be mounted on the (E) FENCE near the (N) sump at the right side of the building. An electrical conduit shall run from the box to the sump pump down the wall and below the (N) slab walkway. The plug for the (N) pump shall be able to be pulled through the conduit and into the box for easy connection. While the (N) sump pump shall be a quality pump (refer to the general pump specifications), future pump replacement may be needed and this should not require significant electrical work.

- General pump specifications: 1/2-HP (min.) Automatic submersible Recommendation: Zoeller™ brand "Mighty Mate"™ or better.
- Provide a check valve (one-way flow valve) in the 1 1/2-inch diameter discharge pipe, made of Schedule-80 PVC plastic (or equivalent) immediately above the pump, in the sump. This buried pipe will convey the water collected in the sump to the existing discharge pipe which drains * at the front-right corner of the lot. Provide a 3/8-inch pressure relief hole in the short section of pipe between the pump and the check valve (follow the manufacturer's directions). *SAVE (E) FENCE MOUNTED PIPE.

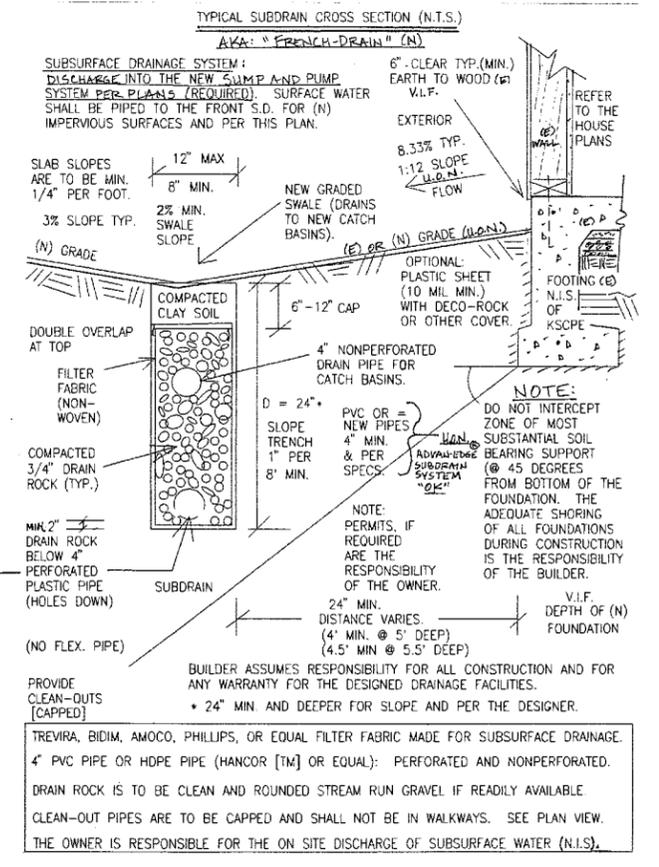


3 "SUBDRAIN" (N) SECTION @ BOARDWALK N.T.S.

CHRISTY™ V9 DRAIN BOX 10-5/8" x 17-1/4" x 12" (TYP.) & CHRISTY™ V9-71C GRATE (CAST IRON) 10" x 15-1/4" x 1-5/8" (TYP.) GRATE IS REMOVABLE FOR REQ. PERIODIC MAINTENANCE. CONTRACTOR IS TO INSTALL CHRISTY™ CATCH BASIN (OR EQUAL IF APPROVED BY PROJ. ENGINEER) AT LOCATIONS SHOWN ON ON DRAINAGE PLAN SHEET (UNLESS OTHERWISE NOTED BY ENGINEER). AVOID EXISTING MAJOR PLANTS PER PLAN VIEW. ASPHALT PARKING AREAS & CONCRETE SIDEWALKS ARE TO BE REPLACED AS NEEDED FOR DRAIN PIPES. EXCAVATE PIT FOR CATCH BASIN AT LEAST 16" DEEPER THAN GRADE (AT THE LOW POINTS IN THE LANDSCAPED AREAS WHERE RUNOFF WATER COLLECTS). COMPACT ALL SOIL OR ROCK BACKFILL TO AVOID FUTURE SETTLING OF BOX OR SLAB. CAST CONCRETE AROUND THE BASE OF THE BOX TO FORM SEDIMENT TRAP AND TO ANCHOR THE BOX. BOTH V9 & B9 DRAIN BOX ARE ACCEPTABLE.



1 CATCH BASIN DETAILS (TYP.) N.T.S.



2 "SUBDRAIN" (N) SECTION N.T.S.

REVISIONS	BY

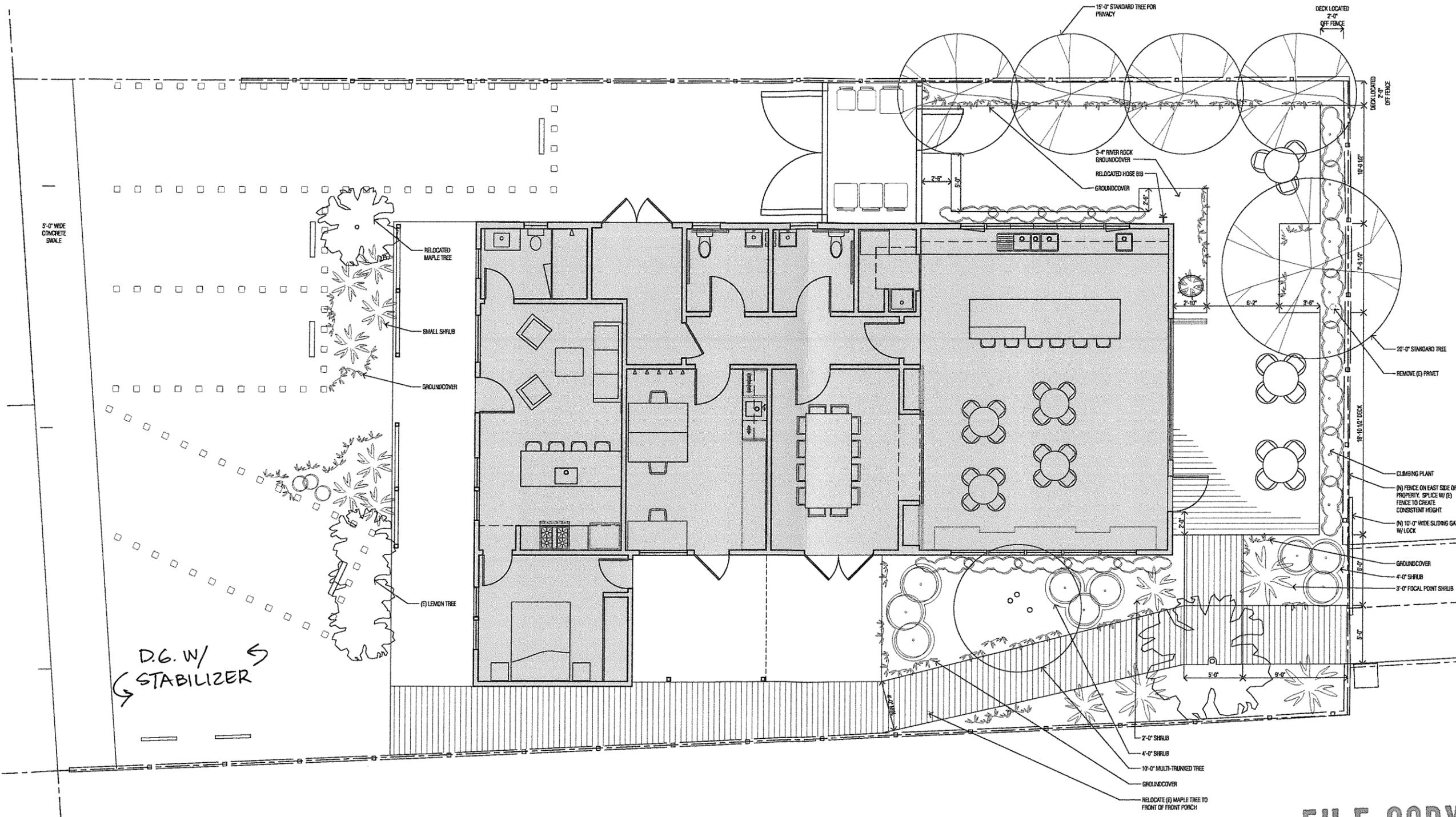
KENNETH S. CHAINEY, P.E.
 PROFESSIONAL CIVIL ENGINEER
 R.C.E.# 41887
 6329 BONITA COURT
 RICHMOND, CA 94806
 (510) 234-0503

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 134 CHURCH STREET
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 Client: Stacy Eisenmann Arch.
 Date: 01/16/13
 Builder: T.B.A.
 Phone (w) 510-568-8442

GENERAL SPECIFICATIONS (CONT.)
 (N) DRAINAGE SECTIONS
 CONCRETE SPECIFICATIONS
 DECK / PATIO SPECIFICATIONS

Date: 1/16/13
 Scale: AS NOTED
 Drawn: K.S.C.P.E.
 Job: SEA CS-13-1
 Sheet: D3
 Of: Sheets

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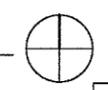
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LANDSCAPE PLAN SCHEME 1

FILE COPY



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MAR 01 2013

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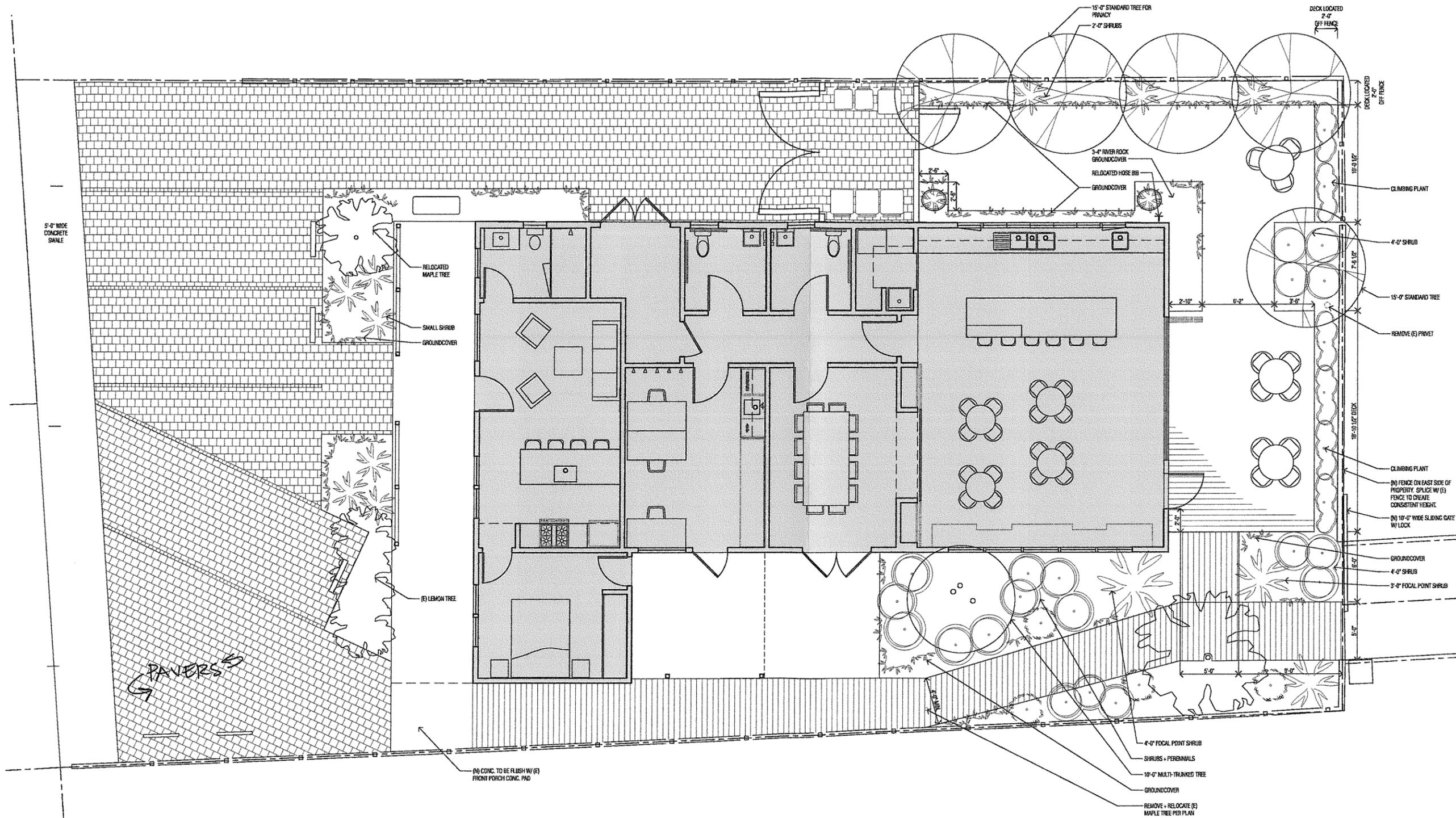
1/4" = 1'-0"

Date

02.19.13

Title sheet number

LANDSCAPE PLAN SCHEME 2



1 LANDSCAPE DESIGN PLAN
scheme 2



A1.2