



**City of Sonoma
Design Review Commission
AGENDA**

**Special Meeting of March 26, 2013 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: **No new items will be heard by the Design Review Commission after 10:30 PM**, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Tom Anderson, Chair

Commissioners: Kelso Barnett
Robert McDonald
Micaelia Randolph
Leslie Tippell
Jeff Baptista (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

CORRESPONDENCE

ITEM #1 – Sign Review

REQUEST:

Consideration of four window signs for a convenience store (7-Eleven).

Applicant:

Igbal Lodhi

Staff: Wendy Atkins

Project Location:

194 West Napa Street

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:
Downtown District

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

ITEM #2 – Sign Review

REQUEST:

Consideration of a freestanding sign for a commercial property (Cinnamon Bear Creekside Inn).

Applicant:

Sonoma Signs/Cinnamon Bear Creekside Inn

Staff: Wendy Atkins

Project Location:

19455 Sonoma Highway

General Plan Designation:

Commercial (C)

Zoning:

Planning Area:
West Napa/Sonoma Corridor

Base: Commercial (C)

Overlay: None

RECOMMENDED ACTION:

Commission discretion.

ITEM #3 – Design Review <u>REQUEST:</u> Design review for a vacation rental. <u>Applicant:</u> Byron Jones and Julie Morrison Staff: Wendy Atkins	<u>Project Location:</u> 20079 Broadway <u>General Plan Designation:</u> Mixed Use (MU) <u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor <u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)	<u>RECOMMENDED ACTION:</u> Commission discretion.
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ITEM #4 – Design Review <u>REQUEST:</u> Design review of a new awning for a commercial building (R ² Wine Company). <u>Applicant:</u> R ² Wine Company Staff: Wendy Atkins	<u>Project Location:</u> 654 Broadway <u>General Plan Designation:</u> Mixed Use (MU) <u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor <u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)	<u>RECOMMENDED ACTION:</u> Commission discretion.
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ITEM #5 – Design Review <u>REQUEST:</u> Design review of a proposed remodel and addition to a single-family home. <u>Applicant:</u> Victor Conforti, Architect Staff: Wendy Atkins	<u>Project Location:</u> 298 First Street West <u>General Plan Designation:</u> Medium Density Residential (MR) <u>Zoning:</u> <u>Planning Area:</u> Northeast Area <u>Base:</u> Medium Density Residential (R-M) <u>Overlay:</u> Historic (/H)	<u>RECOMMENDED ACTION:</u> Commission discretion.
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ITEM #6 – Design Review <u>REQUEST:</u> Design review of a new awning and new paint colors for a commercial building (Perlé). <u>Applicant:</u> Robert Sanders Staff: Wendy Atkins	<u>Project Location:</u> 124 West Napa Street <u>General Plan Designation:</u> Commercial (C) <u>Zoning:</u> <u>Planning Area:</u> Downtown District <u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)	<u>RECOMMENDED ACTION:</u> Commission discretion.
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ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on March 22, 2013.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 1

Meeting Date: 03/26/13

Applicant

Igbal Lodhi

Project Location

194 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1973
-

Request

Consideration of four window signs for a convenience store (7-Eleven).

Summary

The applicant is requesting approval of two window signs and two promotional window signs for the 7-Eleven convenience store located at 194 West Napa Street. Staff would note that this application was submitted in response to a code enforcement action.

Window signs: The applicant is requesting the DRC consider approving the following window signs:

- One each “Citybank” plastic and metal style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches (2.92 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 10.6 percent of the area of the window.
- One each “lottery” plastic and metal style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 10.6 percent of the area of the window.
- Promotion window sign: The sign would have a height of 18 inches and a width of 30 inches (3.75 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 13.6 percent of the area of the window.
- Promotion window sign: The sign would have a height of 44 inches and a width of 28 inches (8.55 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 31 percent of the area of the window.

It should be noted that additional window signs exist on the building that have not been included as part of this application. The applicant should remove the window signs not included in the application immediately.

Window sign Regulations (§18.20.200): Permanent or temporary window signs shall not cover more than 20 percent of the aggregate area of each window facing a public right-of-way. Permanent window signs shall require review by the DRC, and shall be included in the total aggregate sign area allowable for the site. Display of temporary window signage shall not exceed 90 days per year. The 8.55 square foot promotion window sign is not consistent with this requirement in that it covers 31 percent of the area of the window. The applicant is requesting a variance from this standard.

Illumination: Interiorly illuminated signs, where permitted, shall not exceed 27 square feet in area. The illuminated window signs are consistent with this requirement.

Aggregate Sign Area: Based on the property’s primary frontage on West Napa Street (88 feet) and secondary frontage for Second Street West (131 feet), the maximum aggregate sign area allowed for the parcel is 67.4 square feet. The proposal would result in a total aggregate sign area of ±64.14 square feet, including the existing monument sign (24 square feet), existing wall sign (22 square feet), and window signs (18.14 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this standard.

Number of Signs: Only one freestanding sign is allowed per property and a maximum of two signs are permitted for any one business (§18.16.012 and §18.16.010). The proposal is not consistent with these requirements in that one freestanding sign, one wall sign, one pole sign, and four window signs are proposed for the property.

Variances: As noted above, the proposal would exceed the number of signs normally allowed for a business and exceed the allowable coverage for one of the window signs. The DRC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments:

1. Project narrative
2. Sign drawings

cc: Igbal Lodhi
P.O. Box 3551
Napa, CA 95476

William Schultz
P.O. Box 711
Dallas, TX 75221-0711

Robert Wade, via email

Olin Smith, via email

Wendy Atkins

From: Smith, Olan <Olan.Smith@7-11.com>
Sent: Friday, March 15, 2013 1:29 PM
To: Wendy Atkins
Subject: RE: 194 West Napa Street

Categories: Planning

Wendy,

Thank you in advance for your assistance the other day on the phone. Please note that 7-Eleven has removed both the merchandising sign that was affixed to the light pole and the portable freestanding sign and we will not be seeking any request to add these signs as part of our permanent signage and can be removed from the request. As a result we are making no request with respect any permanent signage other than what is deemed window signs in the excerpt below.

Bullet Point 1 and 2 remain as written below. Our request would be the same as the excerpt below except for I am requesting a variance on the Promotional window banner signs, which could be as many as (3) at any given time, with dimensions that may vary from month to month as they are sent out new each month. Some of our signage may come in at dimensions as noted in bullet point 3 or in the dimensions of bullet point 4. So ultimately I am requesting a variance on the % of coverage the sign may have versus total Window space available. We would be willing to place signage in the best location on the windows that gives maximum site line into the store IE: far upper corner of each window to which a banner would be posted.

Please let me know if you need further information from me to reissue this request?

Window signs: The applicant is requesting the DRC consider approving the following window signs:

- One each "Citybank" plastic and metal style internally illuminated window sign: The sign would have a height of 35 inches and a width of 35 inches (2.92 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 10.6 percent of the area of the window.
- One each "lottery" plastic and metal style internally illuminated window sign: The sign would have a height of 35 inches and a width of 35 inches (2.92 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 10.6 percent of the area of the window.
- Promotion window sign: The sign would have a height of 18 inches and a width of 30 inches (3.75 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 13.6 percent of the area of the window.
- Promotion window sign: The sign would have a height of 44 inches and a width of 28 inches (8.55 square feet). The window area is 5 feet tall by 5.5 feet wide (27.5 square feet). The window sign would cover 31 percent of the area of the window.

Thanks,

Olan Smith,
RFM, North Pacific and Canada
916-397-9103 Cell

RECEIVED

MAR 15 2013

CITY OF SONOMA

"Commit" and work with a "Sense of Urgency"

From: Wendy Atkins [<mailto:WendyA@sonomacity.org>]

Sent: Thursday, March 14, 2013 10:54 AM

To: Smith, Olan

Subject: 194 West Napa Street

Hi Olan,

Thank you for talking with me today. I have attached the staff report that was completed for the February Design Review Commission (DRC) meeting. I will be writing a new staff report for the March 26th DRC meeting and will copy you on the agenda and staff report. The DRC meeting will take place at 6:30 on March 26th at 177 First Street East.

Wendy Atkins
Associate Planner
Stormwater Coordinator
City of Sonoma
No. 1 The Plaza
Sonoma, CA 95476
(707) 933-2204
watkins@sonomacity.org

7-11

Store # 16268
194 W. Napa St.
Sonoma, CA
Owner: Iqbal Lodhi

FILE COPY

ATM and Lottery Signs

- 2 signs
- 35" x 12"
- Total of ~3ft2 Each sign
 - Needed to provide awareness of services offered inside, and advertise the lottery prize amount available, often the only source of that information for our guests.



Monthly Promotional Offering

- Not-Illuminated
- Single Sided
- Rotated every 30 days
- Need
 - New Item Awareness/ Promotional Offerings
- Sign 1
- 30"x18" = 3.75 Ft. Sq.



Sign 2

28" x 44" = 8.28 Ft. Sq.





City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 2

Meeting Date: 03/26/13

Applicant

Sonoma Signs/Cinnamon Bear Creekside Inn

Project Location

19455 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: Between 1900 and 1930

Request

Consideration of a new monument a commercial building (Cinnamon Bear Creekside Inn).

Summary

Monument sign: A new, two-sided monument sign 16.6 square feet in area per side (3 feet tall by 5.5 feet wide) is proposed in front of the property. The sign would be located perpendicular to Sonoma Highway, north of the driveway entrance. The sign would be constructed of a ¾ inch black MDO wood sign face, ½ inch thick acrylic metallic gold dimensional letters, and black enamel coated aluminum finals. The sign rider would consist of a ¾ inch black MDO wood sign face with black and gold flat vinyl background graphics. The sign would be mounted on enamel coated aluminum square tube posts, black in color.

Illumination: Illuminated signs are considered generally inappropriate except for businesses that normally operate in the evening hours, which is the case for the Cinnamon Bear Creekside Inn. As indicated in the attached pictures, four above ground flood lights would uplight the sign (two on each side of the sign). The applicant has indicated that the wattage bulbs used in the light would range from 25 to 50 watts and the sign would be illuminated from sunset to 12 a.m. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Aggregate Sign Area: Based on the property's frontage on Sonoma Highway (152 feet), the maximum aggregate sign area allowed for the parcel is 66.8 square feet. The total aggregate sign area for the property would be ±24.9 square feet, including the proposed monument sign. The proposal is consistent with this requirement. It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021).

Size Limitations: Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is consistent with this requirement.

Sign Height: Monument signs are limited to a maximum height of 12 feet (§18.20.120). The proposed freestanding sign would have a maximum height of 6 feet.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with these requirements.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *Sign pictures*

cc: Sonoma Signs
 254 First Street East
 Sonoma, CA 95476

Russell and Mary Ann Harrison
1564 Larkfield Avenue
Westlake Village, CA 91362-4241

Cinnamon Bear Creekside Inn
19455 Sonoma Highway
Sonoma, CA 95476

Cinnamon Bear Creekside Inn
19455 Sonoma Hwy
Sonoma • California

EXISTING:



PROPOSED:



INSIDE THE CINNAMON BEAR CREEKSIDE INN:



Located at 19455 Sonoma Hwy, Cinnamon Bear Creekside Inn is requesting approval for a monument sign replacement.

Offering a quaint Bed & Breakfast experience at Cinnamon Bear Creekside Inn, the new monument sign will reflect the style of the property & business operations. The new sign will be identical to the existing sign in size and footprint.

The new Monument Sign will feature premium black and gold graphics, dimensional letters ("Cinnamon Bear Creekside Inn"), an attractive sign rider to advertise their Bed & Breakfast services, and ornamental iron hardware & post-top finials.

We thank you in advance for your consideration and approval of this sign replacement.

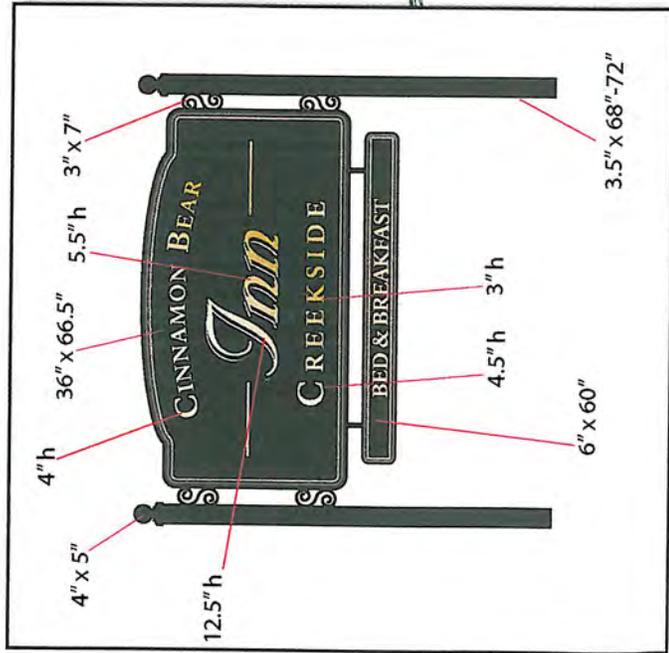
PROPOSED:



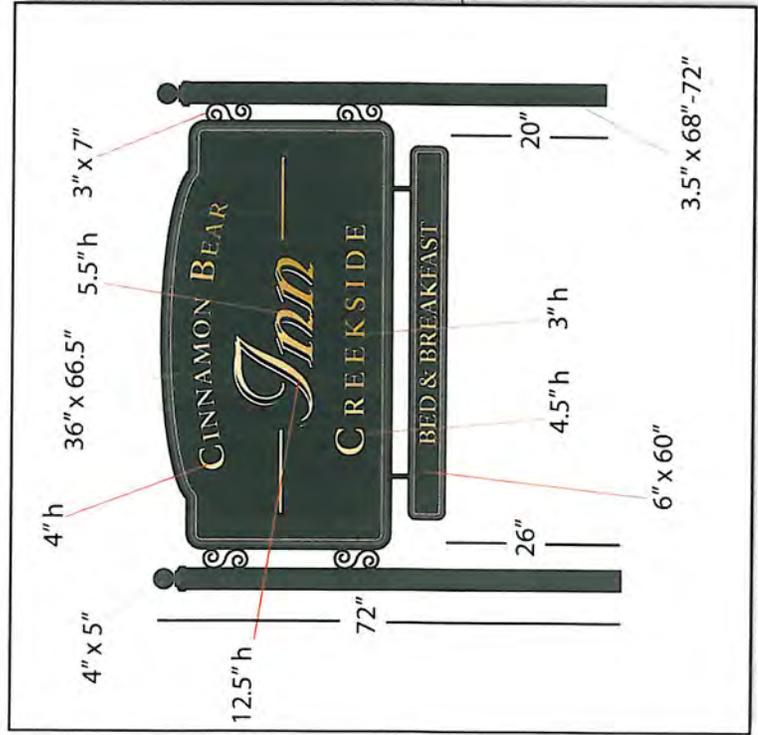
EXISTING:



OVERALL DIMENSIONS MATCH EXISTING SIGN: 79" w x 72" h
SIGN FACE DIMENSIONS: 66.5" w x 36" h



OVERALL DIMENSIONS MATCH EXISTING SIGN: 79" w x 72" h
 SIGN FACE DIMENSIONS: 66.5" w x 36" h



OVERALL DIMENSIONS: 79" w x 72" h (Matches Existing Sign)
 SIGN FACE DIMENSIONS: 66.5" w x 36" h
 Aluminum Square Tube Posts, Enamel Coated Black
 Aluminum Finales, Enamel Coated Black
 3/4" MDO Wood Sign Face
 Black & Gold Vinyl Background Graphics
 1/2" Thick Acrylic Metallic Gold Dimensional Letters
 SIGN RIDER: 3/4" MDO Wood Sign Face
 Black & Gold Flat Vinyl Background Graphics



CLIENT'S EXISTING LIGHTING HARDWARE
Proposed Hours of Illumination:

Sunset to Midnight (To accommodate late evening guest check-in's)



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 3
Meeting Date: 3/26/13

Applicant	Project Location
Byron Jones and Julie Morrison	20079 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)
(Year build 1949)

Request

Consideration of design review for a vacation rental.

Background

On February 14, 2013, the Planning Commission considered and approved an application for a Use Permit to convert a commercial building into a two-bedroom vacation rental including a 350 square-foot addition at the rear of the building.

Summary

The applicants are proposing to renovate the building to bring it up to current building codes and to create a vacation rental.

Design Review: The applicants are proposing to redesign the front façade to feature a recessed entry. In addition, the windows are proposed to be raised from the ground level to provide privacy while still providing light and a view to the interior of the loft. The exterior finish materials are proposed to be a cement plaster wall finish, clear gazed aluminum store front windows, and a group off freestanding planters at the base. The doors are proposed to be solid wood plank style with obscure glass sidelights.

Paint color: The applicant is proposing to paint the main body of the structure Benjamin Moore dry sage (2142-40), the area below the windows would be painted Benjamin Moore Topaz (070), and the entry element would be painted Benjamin Moore eggplant (1379) (see attached color brush outs).

Windows and doors: The applicant is proposing to replace the existing windows and doors with Bonelii 200 series store front windows and doors (see attached specification sheets).

Lighting: Outdoor lighting is proposed in the recessed entry. Four H4 LED adjustable square gimbals are proposed (see attached specification sheets). The applicant has indicated the proposed hours of illumination for all of the gimbals would be from sunset to 1 a.m. and the normal operating hours for the business are 24-hours per day.

Required Findings: For projects within the Historic Overlay zone, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

Signs: Any proposed signs shall be subject to DRC review of staff review, as applicable.

Other permits required: In addition to the requirements of this title, all signs and lighting shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code,

shall obtain a building permit prior to installation. A building permit shall be required for the installation of the new awing.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *Site plan and elevations*
2. *Exterior paint color options(new exterior paint)*
3. *Lighting specification sheets*
4. *Doors and windows specification sheets*

cc: Byron Jones and Julie Morrison
 690 Lincoln Avenue
 Palo Alto, CA 94301-3235

Marcus & Willers Architects, via email

LoftSonoma

Benjamin Moore
Color Samples

Dry Sage	2142-40
Eggplant	1379
Topaz	070

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





LoftSonoma

20079 Broadway, Sonoma, California

Bonelli
2000 Series Store Front
Windows and Doors

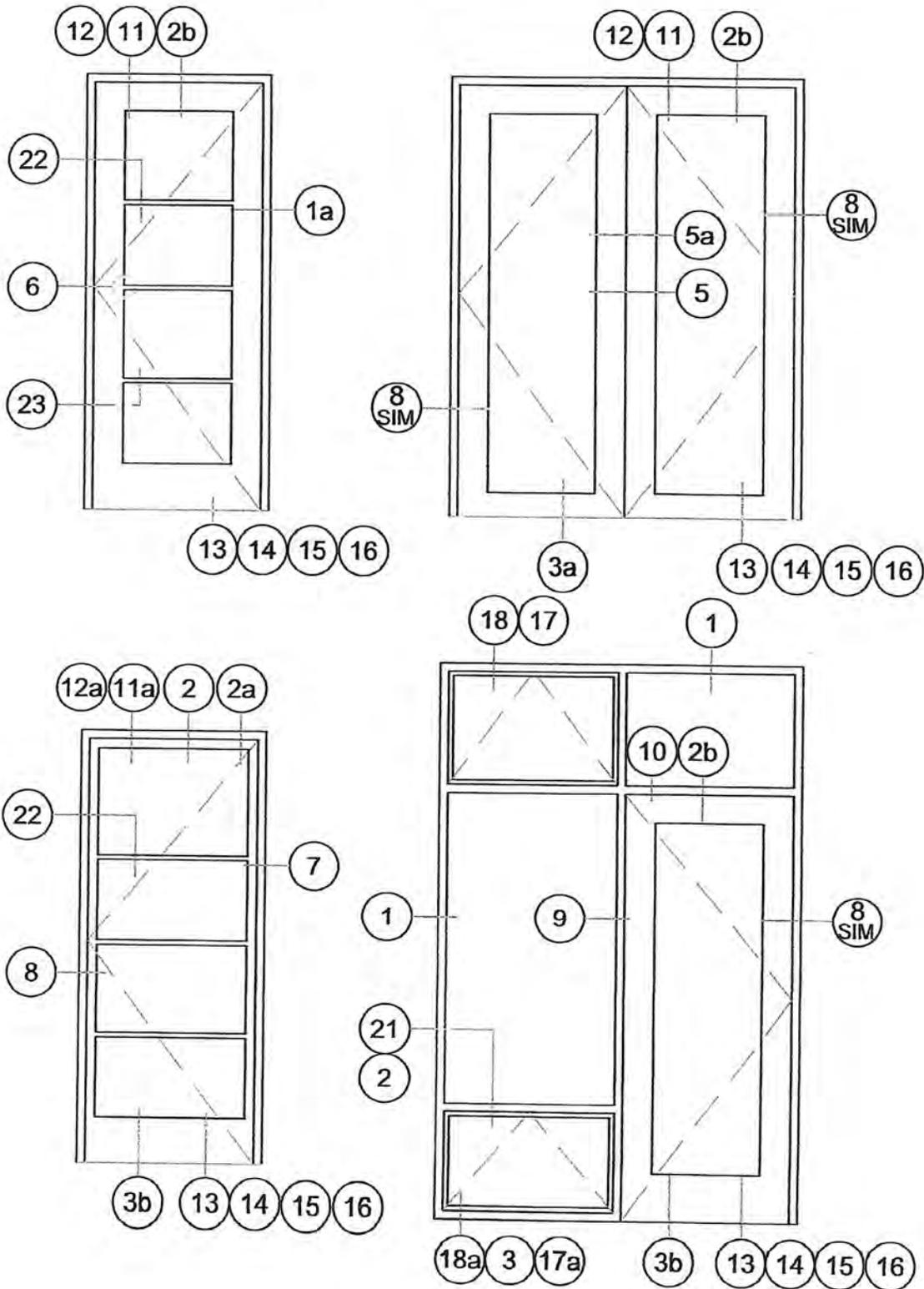
MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396

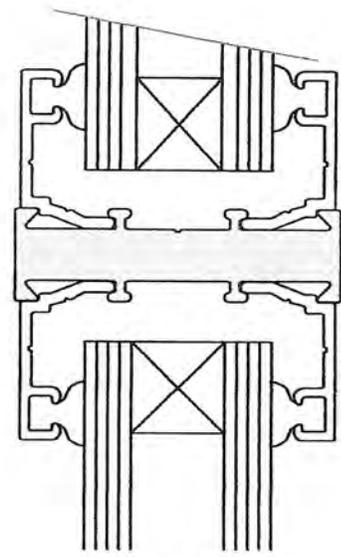
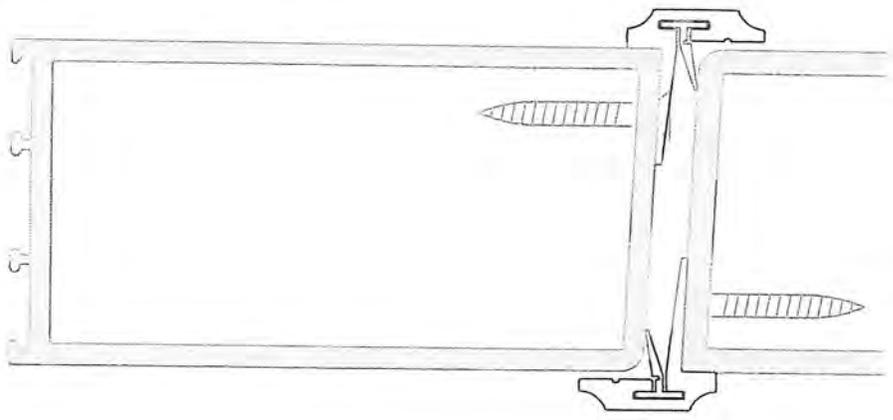


MAR 18 2013

2000 SERIES 2" X 4- $\frac{1}{2}$ " NAIL ON WINDOW WITH 1" GLAZING
 2001 SERIES 2" X 4- $\frac{1}{2}$ " EQUAL LEG WINDOW WITH 1" GLAZING



5a MEDIUM STILE WITH BONELLI ASTRAGAL AT MEETING RAIL

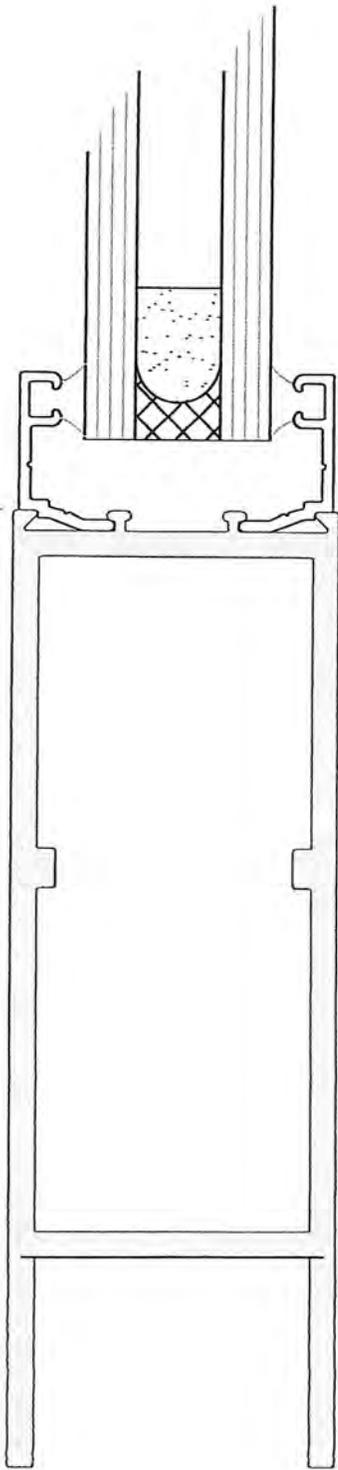


23 2000 SERIES MUNTIN BAR

2000 SERIES DOORS

BONELLI
ENTERPRISES

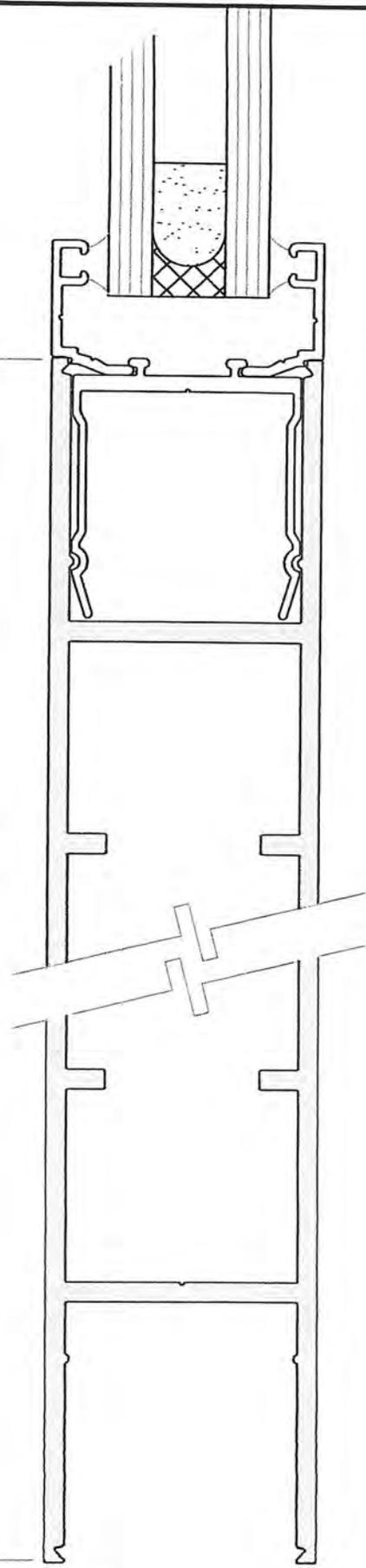
3-1/8" AT NARROW OR 5-1/8" AT MEDIUM AND WIDE STILE



3a

BOTTOM RAIL WIDE STILE

10" KICKPLATE

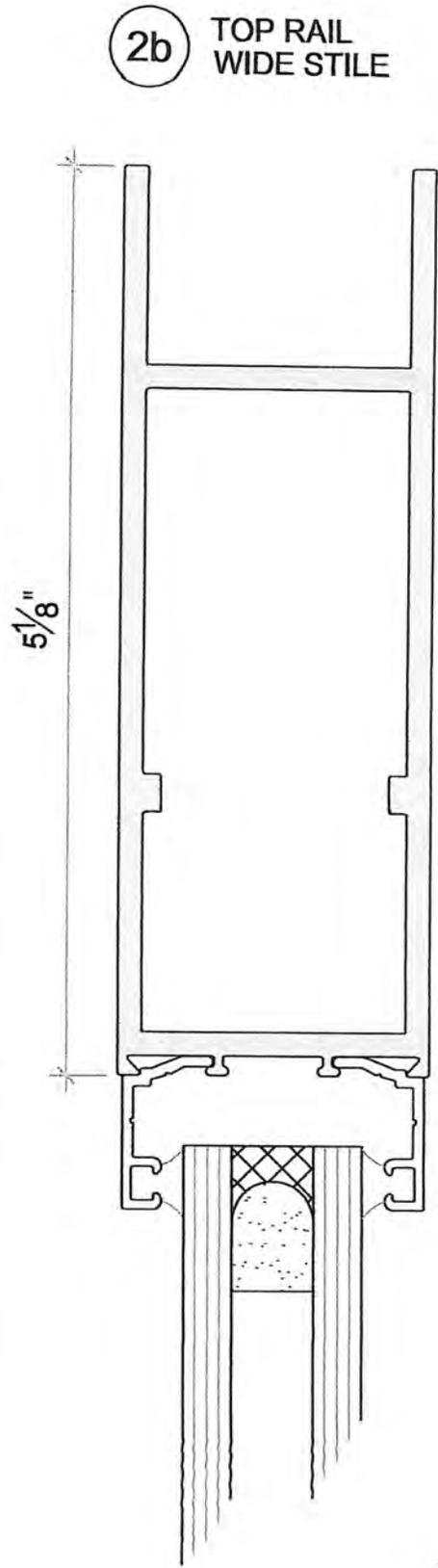
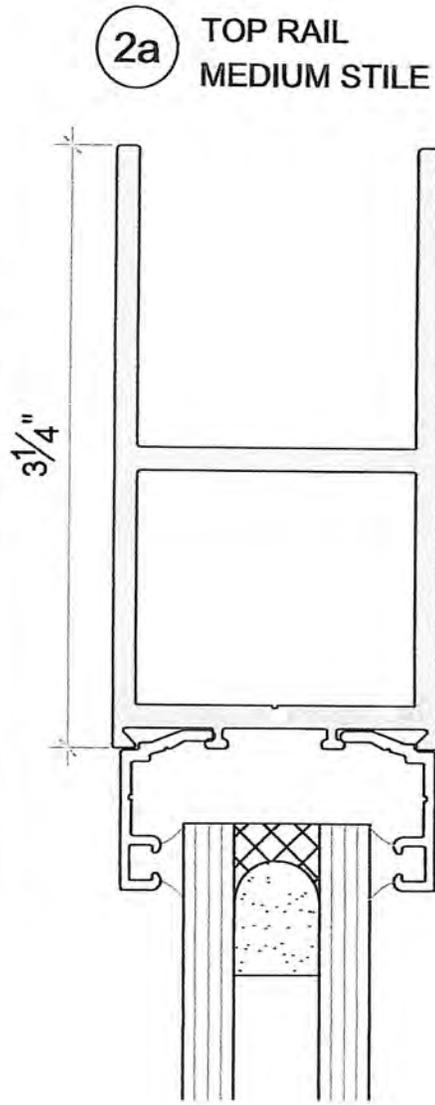
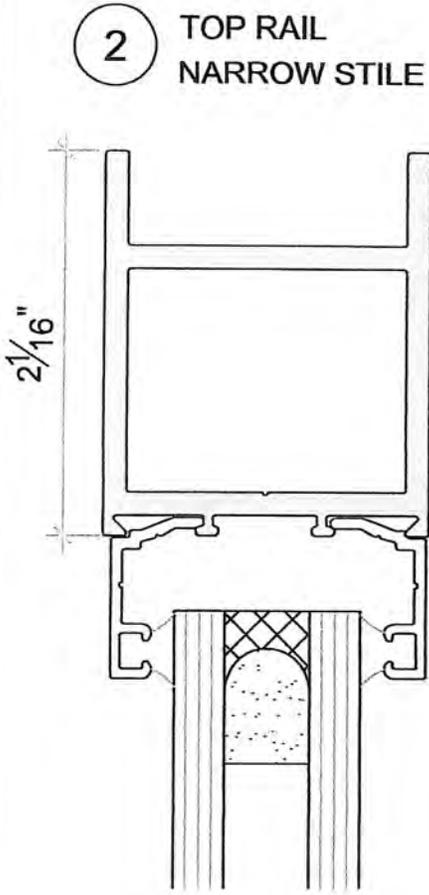


3b

10" KICKPLATE

2000 SERIES DOOR BOTTOM RAILS

BONELLI ENTERPRISES



NAIL-FIN
NOT USED AT
2001 SERIES

4 1/2"

2 1/16"

1 HEAD / JAMB
SIM. AT FIXED

2"

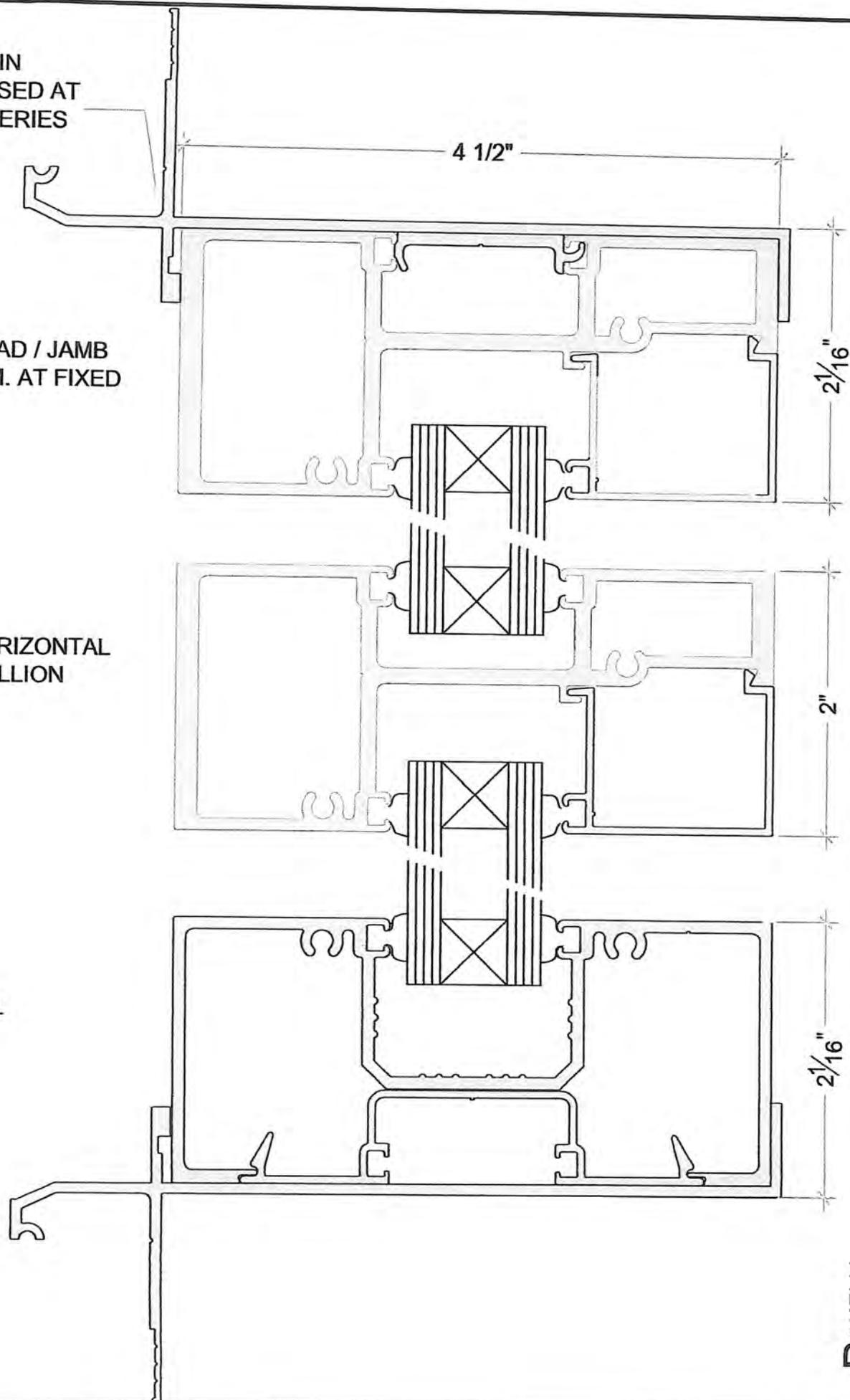
2 HORIZONTAL
MULLION

2 1/16"

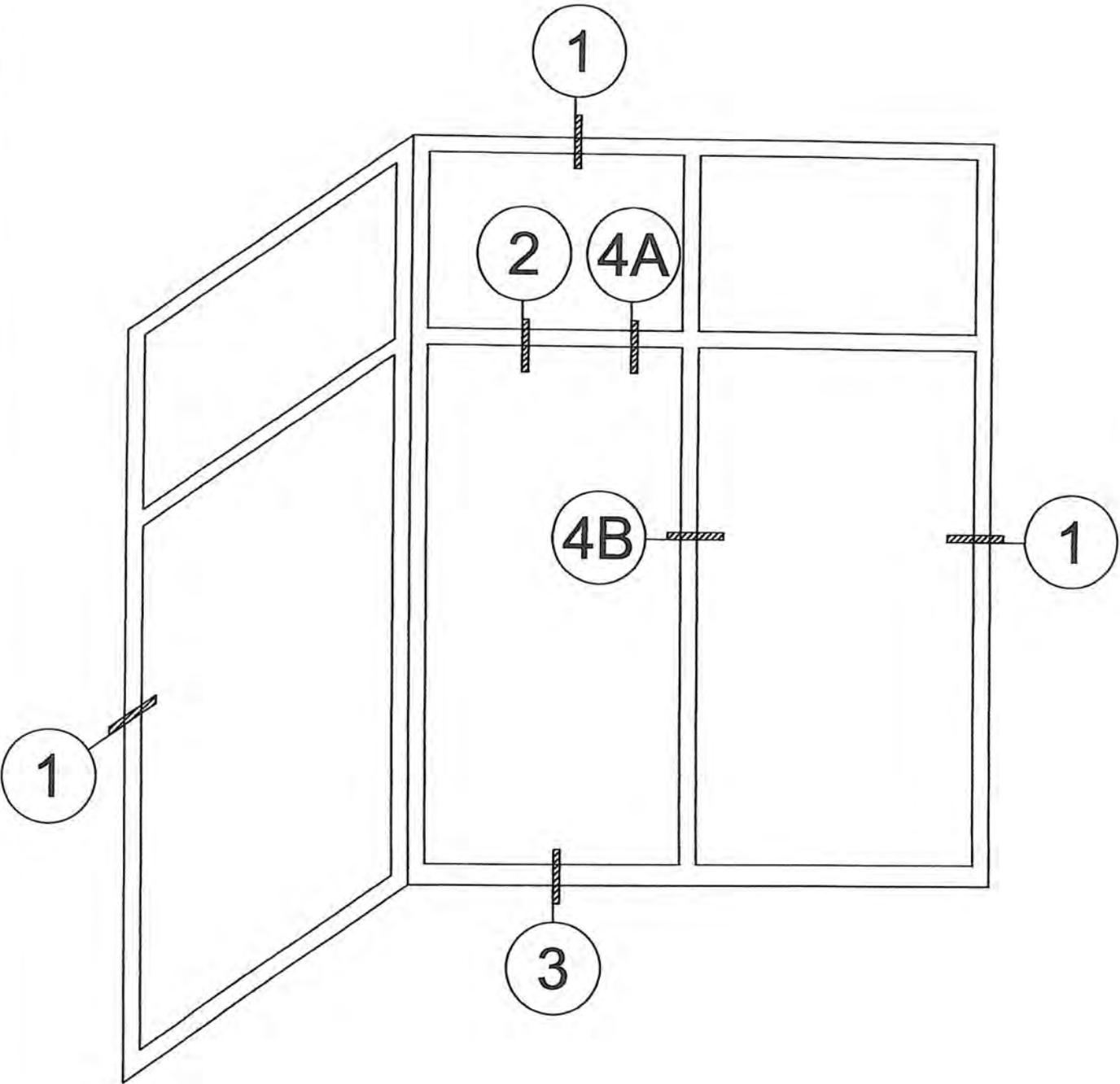
3 SILL

2000 SERIES NAIL ON FIXED WINDOWS

BONELLI
ENTERPRISES



2000 SERIES 2" X 4-1/2" NAIL ON WINDOW WITH 1" GLAZING
2001 SERIES 2" X 4-1/2" EQUAL LEG WINDOW WITH 1" GLAZING



DESCRIPTION - H4 LED ADJUSTABLE SQUARE GIMBALS

Halo H4 LED Adjustable Square Gimbals, ELSG4058xxxx series, combine an adjustable square gimbal trim and LED light engine. The H4 LED adjustable gimbal family features 35° tilt and offers interchangeable optics with three beam distributions of 25°, 35°, and 50°; in addition the choice of four color temperatures 2700 K, 3000 K, 3500 K, 4000 K. Three high-quality trim finishes of White, Satin Nickel, and Tuscan Bronze are offered. Halo LED offers high quality, fit, finish, and performance in an energy-efficient, high-efficacy gimbal.

Catalog #		Type	
Project	LOFTSONOMA	Date	
Comments	ENTRY x 4		
Prepared by	MWA		3/18/13

SPECIFICATION FEATURES

MECHANICAL

Heat Sink

- Durable aluminum construction.
- Conducts heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling housings.

Square Gimbal

- Precision designed fit and finish
- Die-cast aluminum with snap-in front loading ring allowing interchange of beam forming reflectors
- Gimbal front ring holds one lens media. Clear glass lens is included. Optional lens media such as L111 soft focus may be used in place of clear glass lens.
- 35° tilt adjustment with friction fit to heat sink.
- Smooth travel from nadir to 35°
- Works with the upper heat sink for thermal conduction away from the LED.

MOUNTING

Friction Blades

- Precision formed steel spring blades provide retention of the ELSG4058xxxx series of light engines in the H4 LED series housings.
- Friction blade design allows the light engine to be installed in any position within the housing aperture (360 degrees).
- Tether security cable included on the light engine for attachment to the housing during installation, as recommended and when required by code.

ELECTRICAL

LED Connection

- LED connector is a non-screw base plug-in connector offering easy installation with any of the H4 LED series housings.
- LED connector meets California Title-24 high-efficacy luminaire requirement for a non-screw base socket, and where required to qualify as a high-efficacy luminaire.

Finish Options

ELSG405827WH White
 ELSG405827SN Satin Nickel
 ELSG405827TBZ Tuscan Bronze

OPTICS

- Three beam distribution options with interchangeable round beam forming reflectors
- Reflector options: 25°, 35°, 50° beam angle
- Gimbal is supplied with 25° reflector pre-installed
- Clear glass cover lens included with gimbal. One optional accessory lens may be used in place of clear lens.
- Reflector and lens are accessible behind the gimbal's snap-in front ring.

Optical Accessory Reflector Kit -- TL412RK

- Includes all three reflector options
- 25° beam angle reflector (one is included with gimbal)
- 35° beam angle reflector
- 50° beam angle reflector

COLOR SPECIFICATION & QUALITY STANDARDS

- Halo employs a tight chromaticity specification and LED color binning process to ensure LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) consistency over the useful life of the LED.
- Halo LED chromaticity specification exceeds ENERGY STAR® SSL color standards (as per ANS IC78.377-2008).
- Every Halo LED Module is quality tested and performance measured on the production line, and then serialized to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement process further ensures color and lumen consistency to meet stringent Cooper Lighting specifications and exceed ENERGY STAR® SSL standards.

- Halo LED Modules and light engines include Color Rendering Index and Correlated Color Temperature in the model number.

Example: ELSG405827WH

8 27
 >80 CRI 2700 K nominal CCT

QUALIFICATION

- Up to 598 lumens (with 2700 K color temperature) - Refer to Photometric and Compliance Summary Chart
- Halo LED offers the widest choice of four correlated color temperatures in recessed LED downlighting, including: 2700 K, 3000 K, 3500 K, 4000 K
- 80 CRI
- L70/50 Lumen Maintenance 70% lumens / 50,000 hours
- Up to 43.7 Lumens per Watt
- LED consists of multiple LED die in a chip-on-board array to create one virtual source that provides a uniform and productive "cone of light"
- Can be used to meet State of California Title 24 and International Energy Conservation Code - IECC High Efficacy requirements
- LED emits no ultraviolet and minimal infrared wavelengths
- H4 LED is ROHS compliant
- Damp location listed with H455/H456 LED housing
- Electrical/Energy Data refer to H455/H456 LED housings (LED driver is fixed on housing)

Dimming

- The HALO H4 LED luminaires are dimmable. Refer to housing specifications for dimming notes, and refer to dimmer manufacturers for compatibility.

Warranty

Cooper Lighting provides a five year limited warranty on Halo LED Luminaires which includes the LED Recessed Housing, LED Light Engine, and LED trims. (Subject to all of the limitations set forth in Cooper Lighting Terms and Conditions of sale. Refer to www.cooperlighting.com.)



H4 LED Square Gimbal 2700 K

ELSG405827WH
 ELSG405827SN
 ELSG405827TBZ

4-Inch LED Adjustable Square Gimbal Trim & Light Engine

FOR USE WITH H455 and H456 Series 4" LED Housings

High Efficacy LED



ELSG405827WH
 ELSG405827SN
 ELSG405827TBZ
 4" Square Gimbal Light Engine - 2700 K

Typical 2700 K Performance Values

Lumens: up to 598
 Lumens per watt: up to 43.7
 Color Rendering Index (CRI, Ra): 80



Qualified and Compliant. Refer to CEC (T24) Appliance Database for listings.

H4 LED Square Gimbal Photometric and Compliance Summary

H4 LED Adjustable Square Gimbal Collection		H4 LED Square Gimbal 2700 K				H4 LED Square Gimbal 3000 K				H4 LED Square Gimbal 3500 K				H4 LED Square Gimbal 4000 K											
		ELSG405827 (WH / SN / TBZ)				ELSG405830 (WH / SN / TBZ)				ELSG405835 (WH / SN / TBZ)				ELSG405840 (WH / SN / TBZ)											
Trim Type	Photometric Test Trim Model*	LUMENS (1)		ENERGY STAR (2)		California T24 (3)		IECC (4)		LUMENS (1)		ENERGY STAR (2)		California T24 (3)		IECC (4)									
		4" SQUARE ADJUSTABLE GIMBAL Trim - Light Engine	ELG405830TBZ	598								636	X	X	X	X	X	X	X	703	X	X	X	X	X

Square adjustable gimbals share the same reflector optics as their round adjustable gimbal counterparts. Representative photometry for the square gimbals as shown are using equivalent round gimbal models.

- (1) Adjustable gimbals tested with standard 25 degree beam reflector (measured at Nadir). Tested in accordance with IES Photometric Measurement Standards to represent relative SSL fixture performance. Field results may vary.
- *Values are scaled, for other color temperatures, from IESNA LM-79-08 test data.
- (2) Halo is committed to providing the latest in qualification testing to ENERGY STAR® standards. Refer to the ENERGY STAR® Luminaire Qualified Products List for listings. As an ENERGY STAR® Partner, Cooper Lighting adheres to the stringent standards of ENERGY STAR® and maintains the highest level of compliance qualification.
- (3) California Title 24, registered with State of California LED Fixture database. Refer to CEC Appliance Database for listings.
- (4) International Energy Conservation Code

Gimbal Finish Codes
 WH = White
 SN = Satin Nickel
 TBZ = Tuscan Bronze

NEWCOMB STREET

SIDEWALK

ACCESS DRIVE
62' 4"

PROJECT DATA

EXISTING AREAS
LOT = 4,152 S.F.
EX. BLDG. = 1,238 S.F.

PROPOSED AREAS
BLDG. = 1,588 S.F.
PATIOS = 202 S.F.
COVERED ENTRY = 55 S.F.
PLANTER = 32 S.F.

EX. FAR = .32
NEW FAR = .39
ALLOWED FAR = 1.0

EX LOT COVERAGE = .32
NEW LOT COVERAGE = .39
ALLOWED LOT COVERAGE = .60

Easement Area
Shaded

8' 0" 10' 0" 10' 0"

64' 6"

19' 0"

PATIO PATIO

BEDROOM BEDROOM

Area of
addition

BODEN
PLUMBING

KITCHEN

DINING

LIVING

51' 4"

13' 10"

32' 0"

SIDEWALK

BROADWAY / HWY 12

SITE PLAN 16" = 1'-0"



PROJECT NARRATIVE FOR CONDITIONAL USE PERMIT

APPLICANTS: Byron Jones & Julie Morrison (husband & wife)

PROJECT LOCATION: 20079 Broadway
PROJECT TYPE: Vacation Rental

OVERVIEW: Applicants are seeking a conditional use permit to utilize an existing building located at 20079 Broadway for a vacation rental.

BACKGROUND: The existing building was reportedly built in 1949. In recent years, it has been offered for rent as a retail store, and has undergone frequent tenant turn-over and vacancy periods. It was vacant, and generally blighted, when the Applicants purchased the property in December, 2012

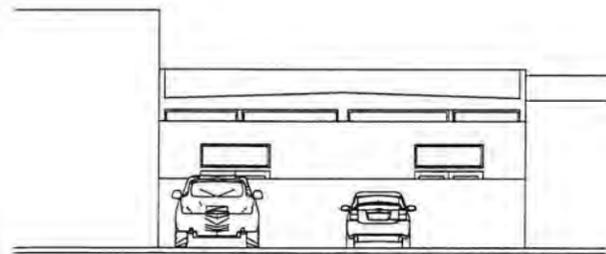
PROPOSAL: The applicants are proposing to renovate the building to bring it up to current building codes and to create a vacation rental. The vacation rental will have two bedrooms and two baths and will be fully accessible. The building footprint will be enlarged by 350 sq. ft. at the rear of the building. Building height will not change and all planned additions will be equal to or below the existing the roof height. The street elevation and rear elevation of the building will be redesigned.

ZONING: The property is zoned Mixed Use. Vacation rentals are allowed with a use permit. The proposed changes comply with all setback, FAR and coverage requirements.

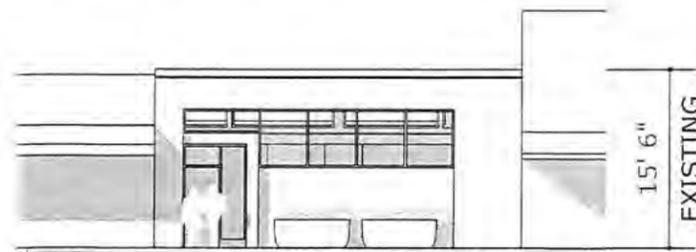
PARKING: The two required parking spaces will be provided by two uncovered parking spaces at the rear of the property, one van accessible parking space and one additional standard space.

OTHER: There will be no full-time employees on site. The owners/managers will manage the property and rental services from off-site locations.

OPERATIONAL REQUIREMENTS: As a condition of approval, applicants will obtain a Sonoma Business License, register and pay Sonoma Transient Occupancy Tax, and comply with Sonoma Fire and Life Safety requirements



REAR ELEVATION



FRONT ELEVATION

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396



LoftSonoma 20079 Broadway, Sonoma, California

PLANNING COMMISSION AND DESIGN REVIEW SUBMITTAL JANUARY, 22 2013

FEB 06 2013



EXISTING



PROPOSED

Project Design Narrative

Proposal

The applicants are proposing to convert an existing commercial building from a retail use into a vacation rental. The vacation rentals will present a modern loft aesthetic in keeping with the conversion of a commercial building to a residential type use. The renovation will bring the building up to current building codes as well remodel the front and rear facades of the building. The building footprint will be enlarged by 350 sq. ft. at the rear of the building. Building height will not change and all planned additions will be equal to or below the existing the roof height. Parking will remain at the rear of the building.

Materials

The front façade has been redesigned to feature a recessed entry. The windows have been raised from the ground level to provide privacy while still providing light and view to the interior of the loft. The exterior finish materials will be cement plaster wall finish, clear glazed aluminum store front windows and a group of freestanding planters at the base. The doors will be solid wood plank style doors with obscure glass sidelights.

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396



LoftSonoma 20079 Broadway, Sonoma, California

PLANNING COMMISSION AND DESIGN REVIEW SUBMITTAL JANUARY, 22 2013



PROPOSED FACADE

OBSCURE GLASS
SIDELIGHTS
SOLID WOOD
PLANK STYLE
DOOR

FREESTANDING PLANTERS

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA
707 996 2396





City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 4

Meeting Date: 03/26/13

Applicant

R² Wine Company

Project Location

654 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (See notes)
 - Listed on California Register of Historic Resources (See notes)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1956
-

Request

Consideration of a new awning for a commercial building (R² Wine Company).

Background

On October 14, 2010, the Planning Commission considered and approved a Use Permit to establish a wine tasting room at 654 Broadway with limited outdoor seating. The conditions of approval limit the outdoor seating to two café tables with a total of four seats in the outdoor area in front of the building.

Summary

Awning: The proposal involves installation of a red canvas fabric awning on a metal white pipe frame above the outdoor seating area of the building. In terms of compatibility, the exterior color scheme of the building is beige with white trim. Photographs of the existing conditions are attached. The proposed awning is approximately 9 inches tall and would encompass an area of 130 feet (10 feet by 13 feet). With regard to Building Code requirements, portions of any awning shall be at least 8 feet above any public walkway (Building Code §3206.4). In addition, awnings may extend over public property not more than 7 feet from the face of a supporting building, but no portion shall extend nearer than 2 feet to the face of the nearest curb line measured horizontally (Building Code §3206.3). The proposal complies with these standards in that the awning would provide 8 feet of clearance above the public walkway, and would not be attached to the face of the building. The purpose of the awning is to provide sun protection. Staff would note that this application was submitted in response to a code enforcement action.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or ModificationsAttachments

1. *Project narrative*
2. *Photograph of building*
3. *Site Plan*

cc: R2 Wine Company
654 Broadway
Sonoma, CA 95476

Sylvia Bernard
756 Donner Avenue
Sonoma, CA 95476

February 12, 2013

To: City of Sonoma

From: R² Wine Company – Roger Roessler

Re: Awning Approval – Design Review

Location: 654 Broadway, Sonoma, CA

Purpose: R² Wine Company would like to replace the previously used umbrellas on its patio with a removable solid frame awning. There were numerous issues with the umbrellas including having to replace them often as they deteriorated quickly from the winds and constant use at the location.

The awning frame will be made of metal white pipe that can withstand the winds. It can be removed at any time during the year when it might not be of use. The material is a red shade, chosen to match the color scheme of the sign which had previously been approved by design review. The architectural look is in keeping with the low profile roof lines. The attached site plan shows the dimensions and the included photos give a clear indication of the look and feel.

Not only will the awning provide shade for our patio patrons, but it also is a great enhancement to the look of the space as seen in the photos. One of the other major benefits is its impact on the heat buildup within the tasting room itself. By reducing it, there will be significant savings on our utilities and it allows us to keep our wines at temperature much more economically.

Thank you,



Roger Roessler
Managing Partner
R² Wine Company

654 BROADWAY

SONOMA

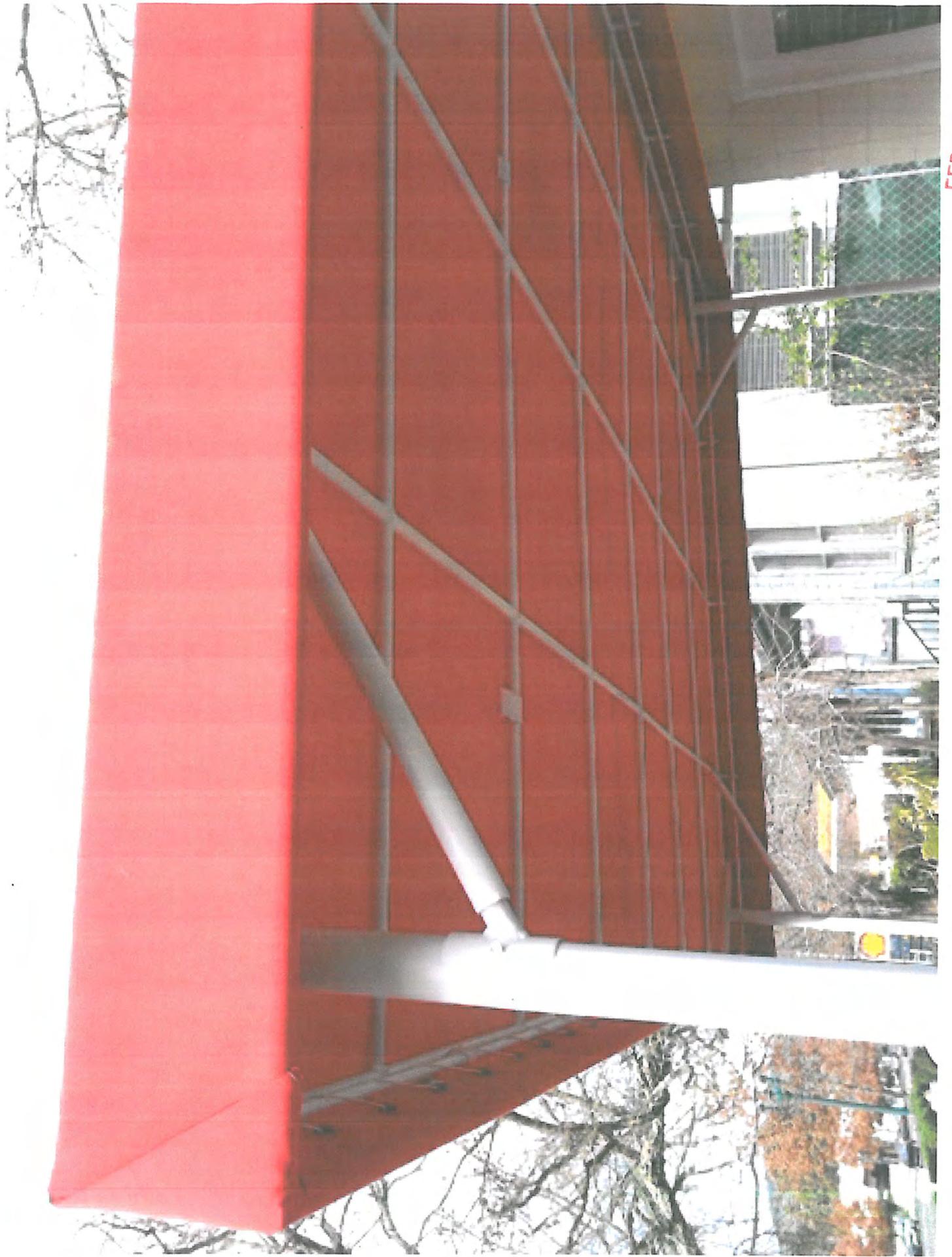
CALIFORNIA

95476

T: 707.933.1330

F: 707.933.1180





FEB 19 2013



FEB 19 2013



ADJACENT BUILDING

10'

21'-4"

16'-0"

40'-0"

39'-9"

5'±

9'-0"

8'-0"

9'-0"

5'±



STREET LIGHT

SIDEWALK

NEW SIGN PER SEPARAT PERMIT

PATIO

AWNING LOCATION

OFFICE CONVERTED TO WINE TASTING ROOM



MAPLE

SIGN PER 1129B.4



WHEEL STOP



WHEEL STOP

SYMBOL PER 1129B.4



NO PARKING

12" H LETTERS

MAIN ENTRY

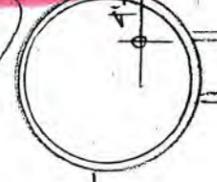
PORCH

DIRECTIONAL SIGNS

DIRECTIONAL SIGNS PER SECTION 117B.5.1, ITEM 6 & 117B.5.8.1.

TRUNCATED DOME PAD PER 1127B.5.7

ACCESSIBLE ROUTE PER 1127B.1



TRUNCATED DOME PAD PER 1127B.5.7

DIRECTIONAL SIGN ON POST

3" MIN

DIRECTIONAL SIGN

45" MIN. PAINTED PATH OF TRAVEL PER 1127B.1 PAINTED ON A.C.

VAN ACCESSIBLE PARKING SPA & AISLE PER 1129B

DRIVEWAY (GRAVEL)

CURB CUT

DRIVEWAY

RAMP

ADJACENT BUILDING

SITE PLAN @ 1/8"

5'-0"±



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 5

Meeting Date: 3/26/13

Applicant

Victor Conforti, Architect

Project Location

298 First Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: Circa 1900
-

Request

Design review of a proposed remodel and addition to a single-family home.

Summary

Site Description: The subject property is a 22,200-square foot lot located midblock between the Sonoma City Trail and West Spain Street currently developed with a ±1,048-square foot residence. The home was originally constructed circa 1900 but it was moved from its original location, the building footprint was reoriented, and numerous alteration and additions have been made to the structure over the years. The property is listed in the local Historic Resources Survey and listed on the California Register of Historic Resources. It is not listed on the National Register. The property is zoned Medium Density Residential (R-M) and lies within the City's Historic Overlay Zone. Surrounding land uses include other R-M zoned properties developed with single-family homes, Depot Park, and the Depot Park Museum.

Proposed Project: The project involves remodeling the existing home, adding a 1,560 square foot addition, and a 792 square-foot detached three-car garage. The exterior of the existing portion of the residence will remain essentially as it is currently constructed, with the exception of the east elevation where the new addition will be attached. In addition, a new window will be added to the north facing elevation (for the kitchen) that would replace an existing door, and a small covered porch will be removed on the east facing elevation. Architectural details include carriage-style wall-mounted light fixtures for the house and new entry, gooseneck galvanized finish lamps for the garage, Jeld-Wen custom wood clad double hung windows, and Jeld-Wen custom wood clad doors. Siding and trim will consist of the following: drop siding with 8 ½ inch exposure (addition); 1x6 V-Rustic horizontal siding (garage); and, 1x trim and 2x water table (addition and garage). Charcoal colored composition shingle roofing would be used throughout. In total, the proposed would increase the floor area of the residence by 1,952 square feet. Further details can be found in the attached project narrative and accompanying materials.

Zoning Requirements: The applicable zoning standards of the Medium Density Residential (R-L) zone are as follows:

Setbacks: The additions to the building footprint do not raise any issues in terms of setback requirements. The addition to the rear is setback significantly from the rear property line. The new garage meets the setback requirements for accessory structures.

Coverage: The project would result in lot coverage of 14%, less than the 60% maximum allowed.

Floor Area Ratio (F.A.R.): The project would result in an F.A.R. of 0.14, less than the 0.50 maximum allowed.

Parking: One covered parking space is required for a single-family home. The proposed three-car garage would meet the required parking for the property.

Height: The maximum building height within the R-M zone is 30 feet. The roof peaks associated with the new addition would have a height of ±16 feet.

In summary, the project complies with the applicable zoning requirements.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the increase in floor area, addition, and new garage are subject to site plan and architectural review by the DRC because the original structure was constructed prior to 1945 and lies within the Historic Overlay Zone. Accordingly, the DRC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials. As a remodel/addition project, the exterior color scheme is not subject to the DRC's discretion. In review of the application the DRC must consider a number of factors and required findings (the applicable Code excerpts have been attached for reference).

With respect to these items staff would note that the subject property is not historically significant and the surrounding neighborhood reflects a wide variety of architecture and construction dates from the 20th century. In addition, the proposal would not affect any environmental features on or adjacent to the site. One of the more important aspects for the DRC to consider is how the proposal relates to the adjacent development.

Compliance with CEQA: The proposal is a discretionary project subject to the requirements of the California Environmental Quality Act (CEQA). Per the historic resource evaluation prepared by Baseline Consulting dated January 31, 2013 (attached) the property does not meet any of the criteria for listing on the California Register of Historical Resources. Accordingly, the residence is not considered an historical resource as defined under CEQA and, pursuant to Section 15301 of the CEQA Guidelines, the remodel/addition project is categorically exempt (Class 1 – Existing Facilities).

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

cc: Victor Conforti, Architect
755 Broadway
Sonoma, CA 95476

Tom and Ingrid Dunlap
1021 White Oak Drive
Santa Rosa, CA 95409-6134

Baseline Consulting
Attn: Arthur Dawson
13750 Arnold Drive, Suite 3
Glen Ellen, CA95442

Attachments:

1. Code Excerpt
2. Project Narrative
3. Product Information on Exterior Materials and Fixtures, and Construction Details
4. Historic Resource Evaluation prepared by Baseline Consulting dated 1/31/13
5. Historic Resources Inventory
6. Site Plan, Floor Plans, Building Elevations

19.54.080 Site design and architectural review.

F. Factors to Be Considered.

1. In the course of site design and architectural review, the consideration of the review authority shall include the following factors:

- a. The historical significance, if any, of the site or buildings or other features on the site;
- b. Environmental features on or adjacent to the site;
- c. The context of uses and architecture established by adjacent development;
- d. The location, design, site plan configuration, and effect of the proposed development.

These factors shall be considered in relation to the development standards and design guidelines of this development code, other applicable ordinances of the city, and applicable General Plan policies.

G. Findings, Decision. The review authority may approve, approve subject to conditions, or disapprove an application for site design and architectural review. The review authority may approve an application, with or without conditions, only if it first makes the findings set forth below.

1. **Basic Findings.** In order to approve any application for site design and architectural review, the review authority must make the following findings:

- a. The project complies with applicable policies and regulations, as set forth in this development code (except for approved variances and exceptions), other city ordinances, and the General Plan;
- b. On balance, the project is consistent with the intent of applicable design guidelines set forth in this development code; and
- c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

2. **Projects within the Historic Overlay District.** In addition to the basic findings set forth in subsection (G)(1) of this section, the review authority must make the following additional findings for any project located within the Historic Overlay district:

- a. The project will not impair the historic character of its surroundings;
- b. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site; and
- c. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC, Historic Preservation and Infill in the Historic Zone.

19.42.030 Guidelines for preservation and adaptive reuse.

A. Purpose. The purpose of these guidelines is to implement General Plan policies related to the preservation and adaptive reuse of officially designated historic structures throughout the city and of structures having potential historical value within the city's Historic Overlay zone.

B. Applicability. These guidelines are to be utilized during the development/design review process as criteria against which to review new construction within the Historic Overlay district requiring discretionary approval and adaptive reuse projects.

C. Preservation and Rehabilitation of Existing Structures. In general, preservation and rehabilitation efforts should aim toward protecting the essential architectural features of a structure that help to identify its individual style and thereby further its contribution to the historic character of the surrounding neighborhood.

1. General Rehabilitation Principles.

a. Historic structures should be recognized for their own time and style. Rehabilitation should not try to create a preconceived concept of history, but should reuse existing or appropriate features.

b. Rehabilitation of historic structures should try to retain and restore original elements first. If damage or deterioration is too severe, the element should be recreated using original materials to match the color, design, texture, and any other important design features.

c. When replacement is necessary and original material cannot be obtained, substitution material should incorporate the color, design, and texture that conveys the visual appearance of the original material.

2. Doors.

a. Older structures almost always had solid wood doors that fit the particular style of the structure. The front door of the structure was the most ornate with secondary doors usually more utilitarian in appearance. The shape, size, and style of doors are an important feature of all historical architectural styles and the original design/type should be maintained.

b. Original doors should be repaired in-place whenever possible. When replacement is necessary, the replacement door should match the original design and materials as close as possible.

c. If the original door is missing, appropriate design and materials should be selected by studying the doors of similar structures in the surrounding neighborhood or consulting books on architectural styles. Many older style panel doors are still available from material suppliers and may match the original doors very closely.

3. Exterior Materials.

- a. The original exterior building materials should be retained whenever possible. It is not desirable to use mismatched materials of different finishes, shapes, sizes, or textures.
- b. Structures with original wood siding should not be stuccoed in an attempt to modernize their appearance. Likewise, plastic shingles should not be used to replace wood siding or shingles.
- c. Replacing wood siding with aluminum siding of the same shape and size as the original siding can be an alternative, but care shall be taken to use siding of the appropriate size.
- d. Brick surfaces should not be sandblasted in an attempt to remove old paint. Sandblasting would damage the natural fired surface of the brick, and cause it to lose its water repellent qualities. Also, mechanical grinders should not be used to remove mortar as this can damage the brick surrounding the joint.

4. Ornamentation and Trim.

- a. Most often it is the authentic decoration and trim on a structure that lends character and identifies the structure with its particular architectural style. Original ornamentation should be preserved whenever feasible.
- b. If the material needs to be removed to be repaired or copied, determine how the piece is attached and carefully plan the work to be sensitive to the material. Any prying action should be slow and careful, with a minimal amount of force.
- c. If the ornamentation or trim is comprised of several layers of materials, it is helpful to sketch the components as they come apart to ensure proper reassembly. If the pieces are beyond repair, a skilled finish carpenter should duplicate the original work.

5. Porches and Stairs.

- a. During rehabilitation efforts, the design integrity of the front porch should not be compromised. Front porches should not be enclosed with walls or windows.
- b. If enclosing the porch is the only viable means of adding needed space, care should be taken to use decoration(s), doors, siding materials, trim details, and windows that match the facade of the structure surrounding the porch.

6. Roofs.

- a. Roofs are important both functionally and aesthetically. Great care should be taken to ensure that roofs are water-tight and that roofing materials are compatible with the original

style of the structure. Often times roofs only need repairs but when replacement is necessary roofing materials should be selected that are appropriate to the structure's architectural style.

b. It should be recognized that fire safety requirements may preclude re-roofing a structure in its original material. The determination of what material to use for the replacement of wood shingles or shakes in historic structures should be based on compatibility with the colors and materials used elsewhere on the structure.

7. Windows.

a. Most older/historic structures had wood framed windows that were either casement, double hung, or fixed. The shape, size, and style of windows are an important feature of most architectural styles and the original type window should be maintained.

b. When window replacement is necessary, it is preferred that the new window be an exact match of the original.

c. An alternative to special milling may be the use of an "off-the-shelf" standard window that closely matches the original.

d. Aluminum or plastic frame windows should not be used as replacements on any part of an historically valuable structure without justification. The use of such materials is highly visible and the contrast of materials and styles can permanently affect the architectural integrity of the structure. The use of traditional materials is preferred.

D. Additions to Existing Structures. Additions to historically valuable structures may be necessary to ensure their continued use. Modifications (e.g., additions, new entrances and exits, parking facilities, handicap facilities, and seismic strengthening) should be made with care so as not to compromise a structure's historically valuable features, finishes, or materials.

1. Site Plan Considerations. Additions should be carefully placed to minimize changes in the appearance of the structure from the public right-of-way. Whenever possible, additions should be placed to the side or rear of the structure and should not obstruct the appearance of the structure from the public right-of-way.

2. Architectural Compatibility.

a. Additions to historically valuable structures should incorporate the distinctive architectural features of the original structures including:

i. Door and window shape, size, and type;

ii. Exterior materials;

- iii. Finished floor height;
- iv. Roof material, pitch, and style; and
- v. Trim and decoration.

b. Refer to the rehabilitation guidelines, subsection (C) of this section, Preservation and Rehabilitation of Existing Structures, for discussion of appropriate exterior doors, porches, wall materials, windows, etc.

3. Roof Pitch and Style.

- a. The roof of a structure, especially its pitch and style, is an important architectural element that should be taken into consideration when planning an addition.
- b. Whenever possible, the pitch and style on the addition should match the original.
- c. Roof materials should also match as close as possible.

4. Second-Story Additions.

- a. Because adding an additional story to an existing structure will always change the structure's proportions, such additions should be carefully designed to follow similar two-story examples of the particular style that may be found in the surrounding neighborhood.
- b. Integrating the new second-story addition into the original design of the structure may be easier if the addition is set back from the front facade so that it is less noticeable from the public right-of-way. (Ord. 2003-02 § 3, 2003).

City of Sonoma
Design Review Commission
#1 The Plaza
Sonoma, CA 95476

February 19, 2013

Re: Remodel and Additions to the Dunlap Residence at 298 First St. West. Sonoma, CA

The proposal is for a remodel and addition to the single-family residence at 298 First St. West, immediately south of Deport Park. The home is located in the Historic Overlay District, and therefore requires DRC review, as well as an historical resource report for the purposes of CEQA.

An Historic Survey and Evaluation Report and Determination of Historic Significance and Department of Parks and Recreation (DPR) forms 523 forms survey, was prepared by Baseline Consulting with their team of architectural consultants and historians and. The structure's significance was found to have lost its historic integrity due to several factors including moving the structure from another site to the West, reorienting the building footprint and its' original entrance, and numerous alterations and additions over the life of the structure. Therefore the structure does not meet the State of California Department of Parks and Recreation standards for significance, and *it is not considered a historical resource for the purposes of CEQA*. However the report make the following recommendation:

Baseline Consulting recommends that in order to retain the subject property's integrity for potential inclusion in a historic district and to comply with the City of Sonoma Development Code, the proposed project shall follow the requirements of the City of Sonoma Municipal Code, Chapter 19.42: Historic Preservation and Infill in the Historic Zone, under the review of the City of Sonoma Planning Department. This will reduce proposed potential project impacts to a less than significant level, per CEQA.

Therefore, the original home will be remodeled on the interior, but the exterior will remain essentially as it currently is constructed, with the exception of the East Elevation where the "connector" is attached and a window is added for the kitchen, and removing a small covered porch and entry door and changing the door to a window on the North Elevation. The design approach we have taken is to respect the existing structure includes the following features to meet the Development Code design guidelines for additions, and guidelines for preservation:

1. Site plan considerations: Placing the addition to the rear of the existing home; designing the roof lines to be below the existing roof line; and using the "hyphen" or "connector" approach, designing a smaller distinct "connector" element that attaches the existing home to the new addition. This "connector" element acts as a secondary entrance into the building from the existing parking area to the north and the new garage, and provides access from the home to the deck and outdoor area to the South.

2. Architectural compatibility:

- (1) Doors will be wood doors. Window proposed are wood clad windows with shape, size and type related to the existing.

- (2) Exterior siding materials relate to the existing, with the use of “channel” pattern wood siding found on the existing home.
- (3) Finish Floor height is the same as the existing.
- (4) Roof material, pitch and style will be the same as the existing.
- (5) Trim and architectural details will match the existing.

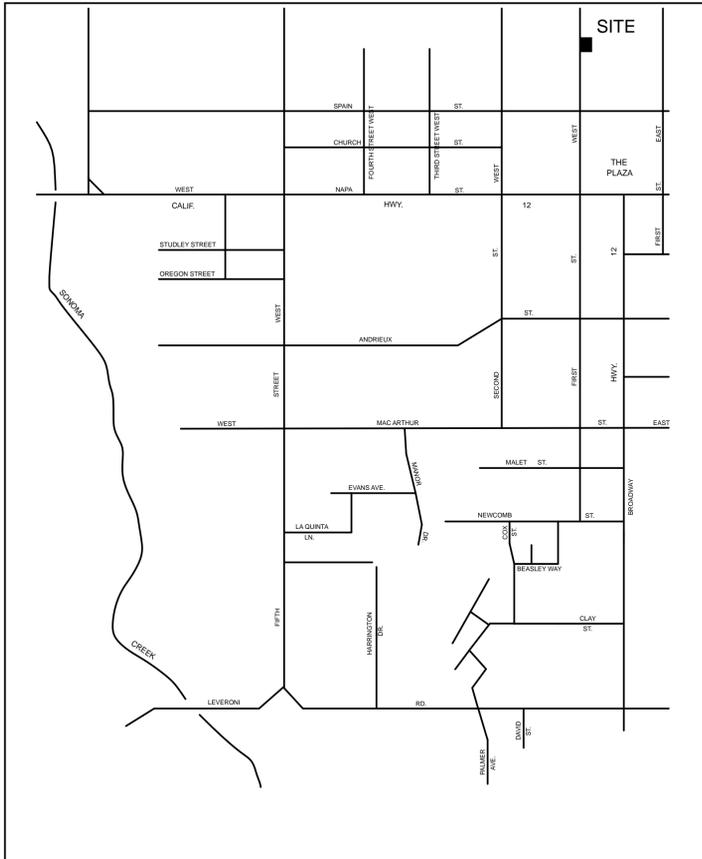
3. Roof pitch and style: The design of the new addition is developed creating small building elements to relate to the small scale elements on the original home. Gable and shed roof elements are used to express this small scale and massing.

The Garage is designed as an “accessory” structure located 5’ from the side and rear property lines. This requires lower wall heights and roof heights at these two sides, and the design conforms to these requirements. Small-scale gable elements are used on the front elevation to reflect the original house roof pitch and style and relate to the addition.

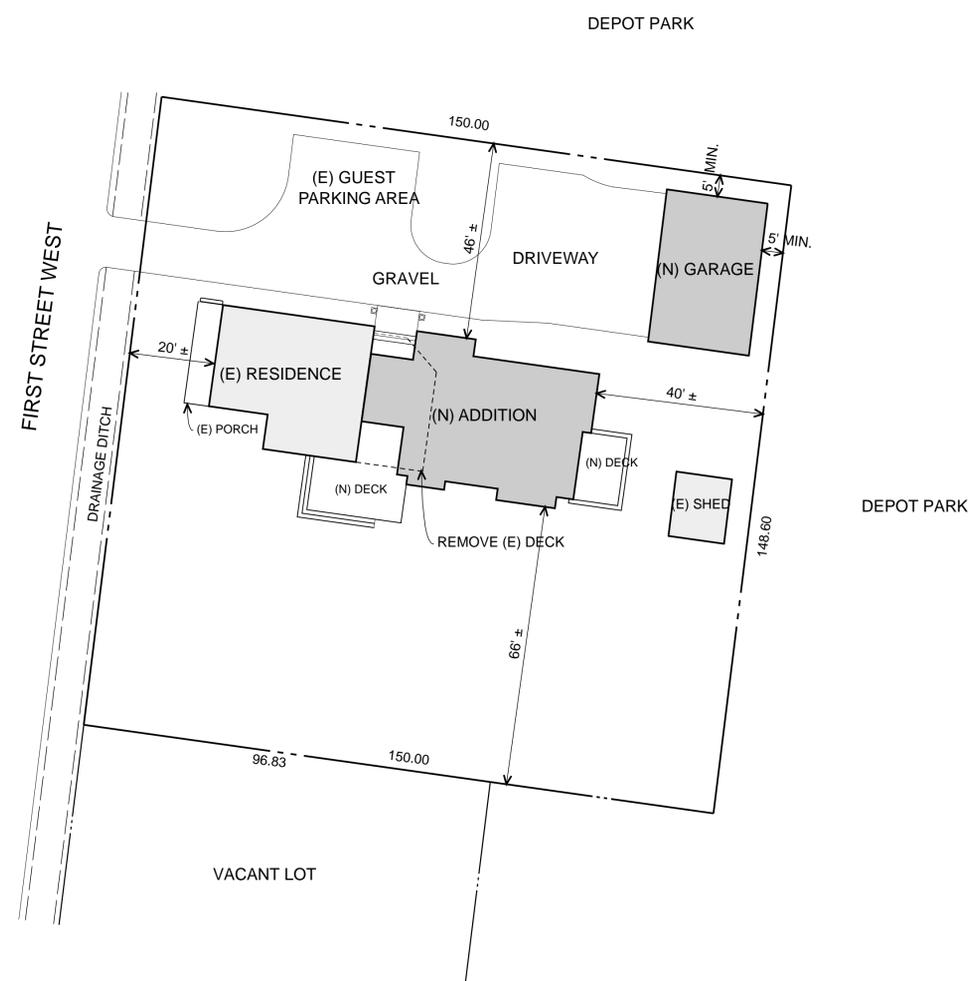
The colors of the addition’s siding, roofing and trim will match the existing house, as well as the exterior lighting fixtures.

Thank You,

Victor Conforti - Architect



LOCATION MAP



SITE PLAN
SCALE: 1"=20'-0"

REVISIONS	BY

VICTOR CONFORTI — ARCHITECT
755 BROADWAY, SONOMA, CA 95476 — (707) 996-7923

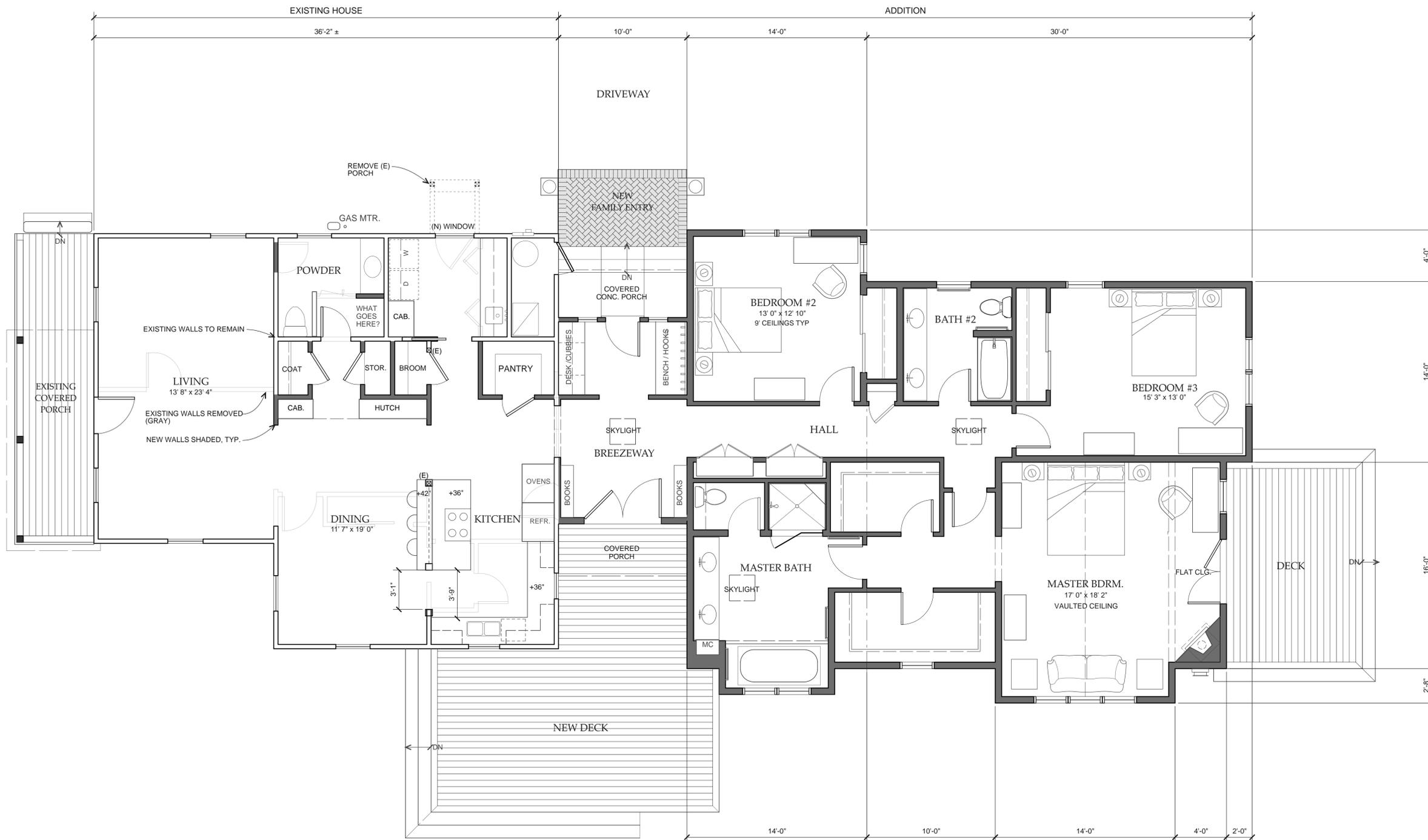
PRELIMINARY SITE PLAN



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ADDITION TO RESIDENCE FOR TOM AND INGRID DUNLAP
298 FIRST STREET WEST
SONOMA CALIFORNIA
APN: 018-162-023

Date	2/19/13
Scale	AS NOTED
Drawn	
Job	
Sheet	A1.1
Of	Sheets



FLOOR PLAN

SCALE: 1/4" = 1'-0"

Existing: 1,048 SF
Addition: 1,560 SF

Total: 2,608 SF



REVISIONS	BY

VICTOR CONFORTI — ARCHITECT
755 BROADWAY, SONOMA, CA 95476 — (707) 996-7923

PRELIMINARY FIRST FLOOR PLAN



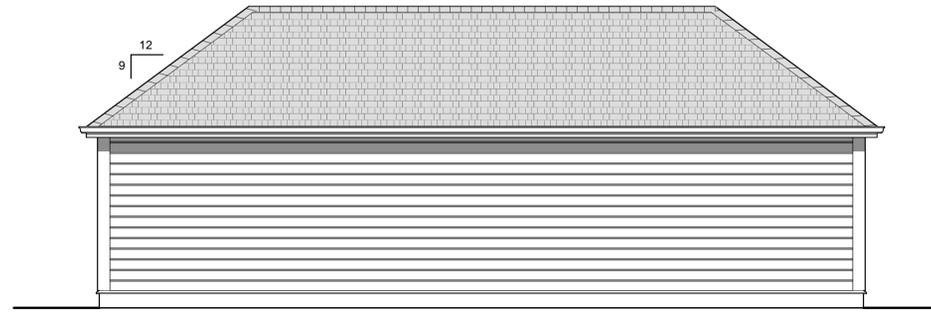
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ADDITION TO RESIDENCE FOR TOM AND INGRID DUNLAP
298 FIRST STREET WEST
SONOMA, CALIFORNIA
APN: 018-162-023

Date	2/19/13
Scale	AS NOTED
Drawn	
Job	
Sheet	A2.1
Of	Sheets



SOUTH



EAST



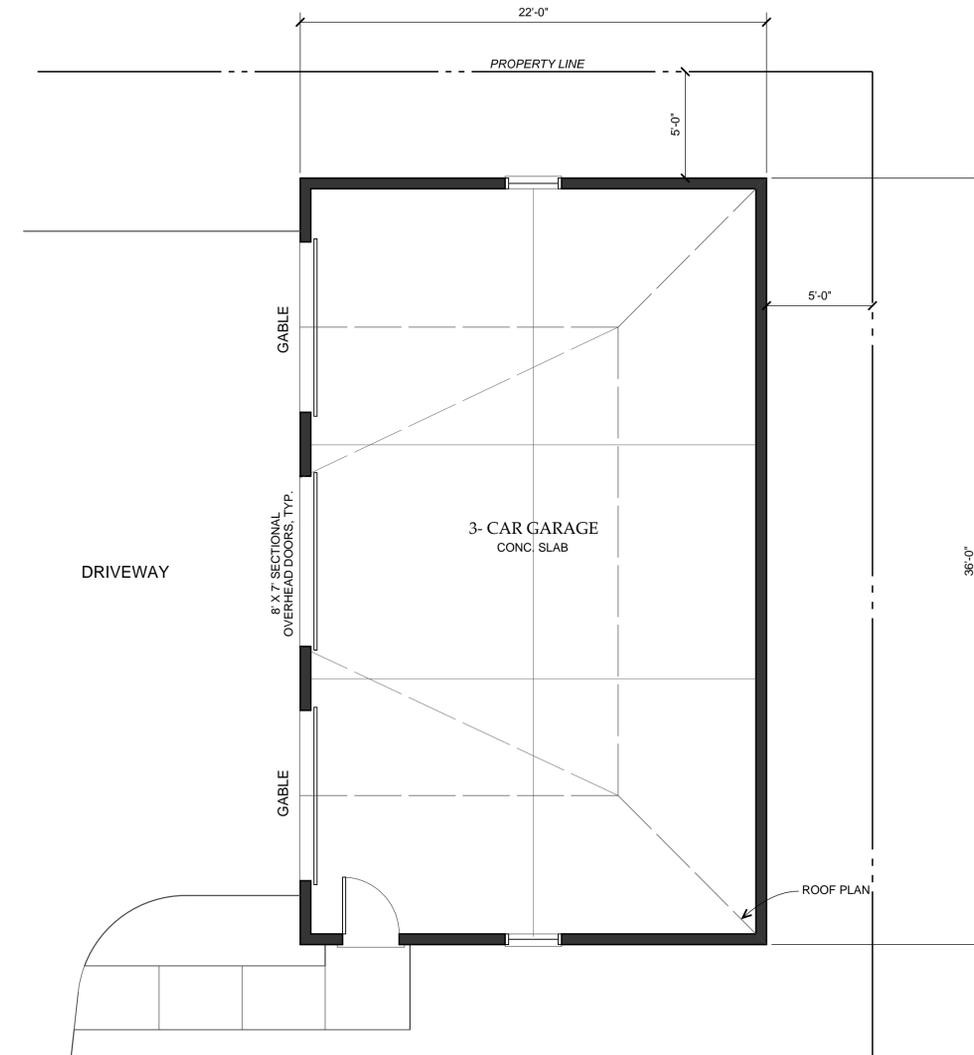
NORTH



WEST

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

GARAGE FOOTPRINT: 792 SF

REVISIONS	BY

VICTOR CONFORTI — ARCHITECT
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**PRELIMINARY
GARAGE FLOOR PLAN
AND ELEVATIONS**



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**ADDITION TO RESIDENCE FOR
TOM AND INGRID DUNLAP
298 FIRST STREET WEST
SONOMA CALIFORNIA
APN: 018-162-023**

Date	2/26/13
Scale	AS NOTED
Drawn	
Job	
Sheet	A2.2
Of	Sheets

REVISIONS	BY

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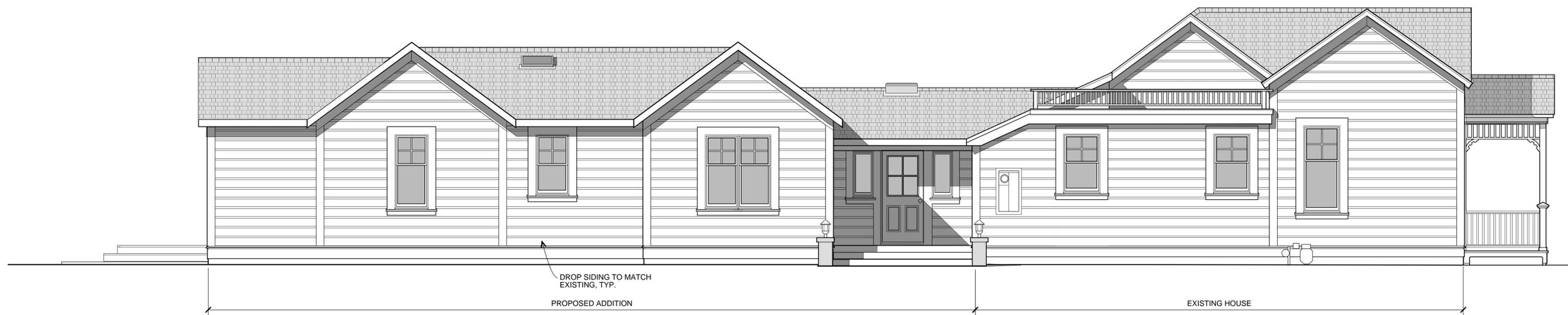
PRELIMINARY
 EXTERIOR ELEVATIONS



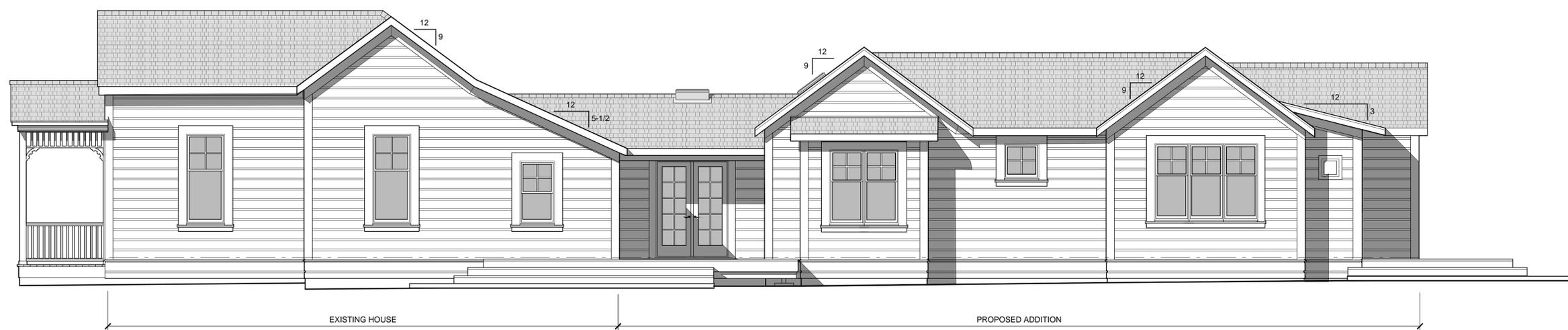
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ADDITION TO RESIDENCE FOR
 TOM AND INGRID DUNLAP
 298 FIRST STREET WEST
 SONOMA, CALIFORNIA
 APN: 018-162-023

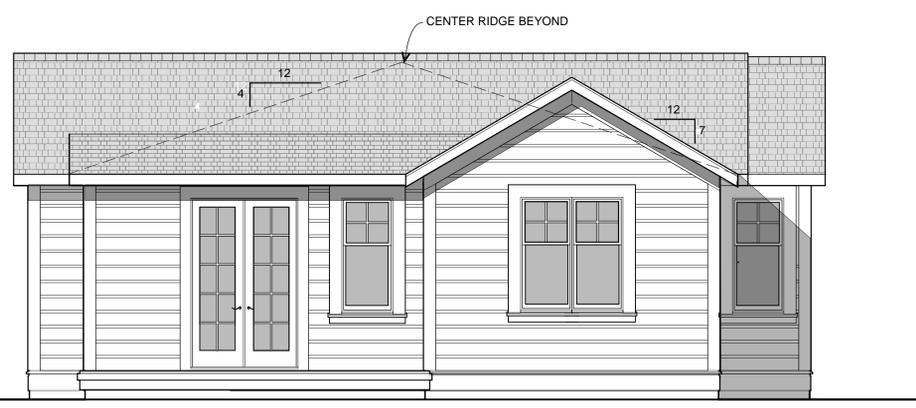
Date 2/19/13
 Scale AS NOTED
 Drawn
 Job
 Sheet
A3.1
 Of Sheets



NORTH



SOUTH



EAST



WEST

EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"

Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: House Exterior Wall-Mounted Lights

Locations: North side of Addition, Deck areas on South side. Height 7'- 8' above finish floor.

Comment: Match existing front porch carriage-style wall-mounted lights.



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Garage Exterior Wall-mounted Lights

Locations: On west side of Garage above doors, Height approximately 10'.

Comment: Gooseneck Lamp, galvanized finish, deep cut-off.



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Bollard Lamps

Locations: On low brick bollards at new north entry. Height: approximately 36".

Comment: Carriage-style lamp to match existing house porch wall-mounted lights.



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Windows

Locations: House Addition, Garage, Existing Kitchen east side,

Comment: Jeld-Wen Custom Wood Clad Double Hung to match existing. "Cottage" style configurations. Exterior color: "Smoke". Applied muntins in upper sash. Trim to match existing.



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: French Doors

Locations: Addition, south and east sides

**Comment: Jeld-Wen Custom Wood Clad to match existing windows. Applied muntins.
Exterior color: "Smoke". Trim to match existing.**



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Siding and trim.

Locations: Addition: Drop siding with 8 1/2" exposure to match existing
Garage: 1x6 V-Rustic horizontal siding.
Addition and Garage 1x trim and 2x water table.

Comment: Addition: 1x4 to 1x8 trim to match existing house at corners, frieze board, doors and windows. Garage: 1x6 typical.

All window sills 2x sloped sills to match existing. 2x sloped water table, typical.

All painted WHITE to match existing.



Addition siding and trim with water table



V-Rustic Siding

Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Roofing.

Locations: Addition and Garage

Comment: Charcoal colored Composition Shingle roofing to match existing.



GAF Timberline Ultra HD
"Charcoal" (color and style
match to be verified).

Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

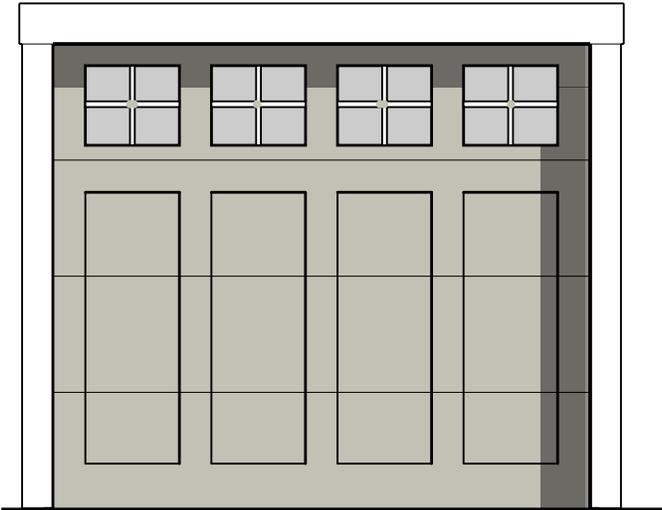
RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Garage doors

Locations: West side of Garage

Comment: Fiberglass faced carriage-style sectional overhead doors, paneled with tempered glass inserts. Steel base. C. H.I. 5500/ 5800 or equal



- White painted 1x trim, typical
- Tempered glass inserts
- Painted fiberglass face
- Color: Gray-green
- Kelly-Moore Dillard KM3915-1

Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Decking

Locations: New decks, south and east sides.

Comment: Batu Hardwood, FSC certified.



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: New Family Entry Door

Locations: Addition, north side entrance to Mudroom.

Comment: Simpson 37418 Exterior French and Sash Series, Wood Panel Door-half light with four (4) lights. Custom order with two raised panels.

Panels: 1 7/16" innerbond Dbl. Hip-raised Panel

Glass: Tempered 3/4" Insulated Glazing. Simulated Divided light, (4) lights

Species: Douglas-Fir

Finish: Painted, Color: Gray-green Kelly-Moore Dillard KM3915-1



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Garage Personnel Door

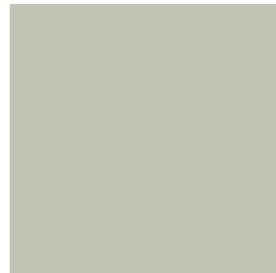
Locations: Garage, south side

Comment: Fiberglass Painted Panel Door-half light with four (4) lights. Masonite BLS-106-S04-2 Belleville Smooth 2 Panel Door. Simulated Divided Light with Clear Glass

Glass: Tempered Insulated Glazing. Simulated Divided light, (4) lights

Material: Fiberglass

Finish: Painted, Color: Gray-green Kelly-Moore Dillard KM3915-1



Proposed Materials and Details
City of Sonoma Design Review Commission

Date of Issue: February 25, 2013

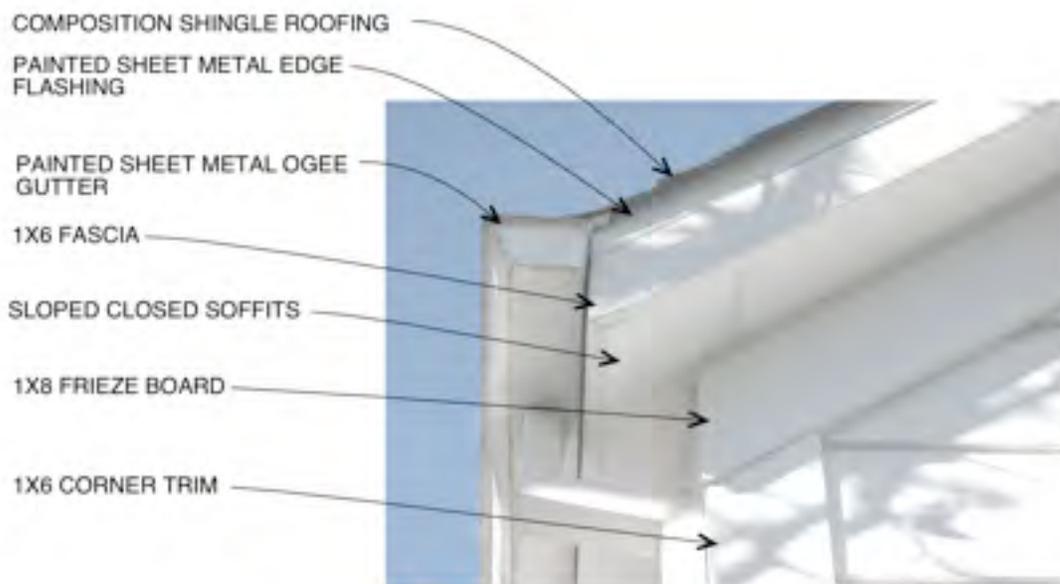
RESIDENTIAL REMODEL FOR TOM AND INGRID DUNLAP

298 First Street West, Sonoma CA 95476

Item: Addition and Garage Eaves

Locations: All roofs

Comment: Roof and eave details to match existing house.





13750 Arnold Drive, Suite 3
P.O. Box 206
Glen Ellen, CA 95442

January 31, 2013

Tom Dunlap
1021 White Oak Drive
Santa Rosa, CA 95409

Re: Survey and Evaluation for 298 First Street West (APN 018-131-003-000)

Dear Tom,

This letter and the attached Department of Parks and Recreation (DPR) 523 forms comprise the survey and evaluation of your property at 298 First Street West, which was required by the City of Sonoma in order to proceed with planned construction on the property. The DPR 523B form contains an evaluation or Determination of Historic Significance for the property.

Previous Survey

A survey of the property at 298 First Street West was completed in September, 1978. The year of initial construction was not recorded. The house was described as follows:

Cross gable cottage with an extension in the back that has a shed roof and a covered porch in front with a gable roof. A square window is on the side under the gable and many tall detailed windows with 2 sashes on the lower part of the house. Has horizontal wood siding. Probably resided in later years.

The 1978 survey also made the following determination of the property's "historical and/or architectural" significance:

The original position of the entrance was facing the depot to attract customers from the train stop. It was a bar and there was entertainment. It became a home after the closing of the Railroad in the 1940s.

It is a residence now with the entrance facing 1st Street West. It is surrounded by open space, a creek and is the last house on that side of the street before new development. It is a support building to the Depot Park.

This 1978 survey is referenced in the California Office of Historic Preservation's (OHP) Historic Property Data File. The OHP gave the property at 298 First Street West a California Historical Resource Status Code of "7N Needs to be reevaluated (Formerly NR Code 4)." This report will suffice for a re-evaluation of the house and property.

Research & Field Methods

Research for this survey and evaluation was conducted at the Depot Museum in Sonoma; the Sonoma League for Historic Preservation; the History and Genealogy Annex of the Sonoma County Library in Santa Rosa; the U.S. Geological Survey website; the Bob Curtis aerial photograph collection housed at DrafftTech in Santa Rosa; the Sonoma County Assessor and Recorder's Office in Santa Rosa; the City of Sonoma; the Bancroft Library in Berkeley; the Northwest Information Center in Rohnert Park, and online at www.ancestry.com.

Interviews were conducted with the current owner, Tom Dunlap, and his daughter, Kristen Dunlap. Sources of information include: 19th century deeds and maps; U.S. Census records; Voter Registers; early aerial photos; early 20th century directories, legal descriptions and deeds, and several books on local history. The site was recorded, photographed and investigated in January 2013 by Arthur Dawson, Kara Brunzell, and George McKale.

Historical Setting

The location of the parcel at 298 First Street West, a few hundred yards from the mission, suggests it was probably used during the mission era (1823 – 1834). There were tanning vats about 100 yards southeast of the property. The property itself was probably suitable for grazing livestock or growing crops. It first came under private ownership in 1848, when William Mark West, a son-in-law of 'General' Mariano Vallejo, bought it from the City of Sonoma as 'Town Lot No. 6.' It changed hands several times before being purchased by General Vallejo as part of his Lachryma Montis estate. The property was planted in grapes and was a section of Vallejo's 55-acre vineyard.

Camille Aguillon, believed to be Sonoma's first French winemaker, began leasing the property from Vallejo sometime after 1865, and eventually bought it from him. His winery, located on the northwest corner of the Plaza, was well known. The outbreak of phylloxera in the late 19th century probably wiped out the vines on the property. The railroad arrived during the same era, and the Sonoma Depot was built on the northern part of Town Lot No. in 1890. Aguillon sold off most of his property in 1901, though he kept his winery and a small part of his vineyard lands, including the portions of Lots No 3, 4, 5 and 6 south of the railroad right of way. One source states that he then "retired to a cottage on the few acres he still owned." (A photograph of this cottage was obtained from an Aguillon descendant. It is not the same building that is currently at 298 First Street West). When Aguillon died in 1906, the property passed to his daughters, Elise and Berthe Aguillon, and Gabrielle Heggie.

The house is not shown on a 1902 USGS map that was surveyed in 1896 and 1899. The first definitive record of a building there appears on the 1923 Sanborn map of Sonoma. This map recorded a dwelling with a saloon attached to its north side and a bowling alley immediately to the west, less than 100 feet south of the train depot. The previous survey stated that the entrance of this building "was facing the depot to attract customers," and that there was "a bar and . . . entertainment." Regular passenger train service ceased in

1929. It appears from the 1934 Sanborn map, that the building had been moved over to face First Street East. The footprint of this building is nearly identical to the combination dwelling/saloon shown in 1923. In 1934 and 1941 it was being used solely as a dwelling. At the time the Marioni/Dunlap family purchased the property in 1952, it was also being used as a residence. The Marioni/Dunlap family has continued this use for more than 60 years, up to the present time.

Evaluation

There are four 'tests' for the historical significance of a property or site in the State of California. These Criteria for Evaluation are modeled after the National Criteria for Evaluation. They are used by the State of California and many local agencies to determine whether, under the California Environmental Quality Act (CEQA), impacts to a historical site as a result of a project proposal have the potential to create substantial adverse change to the resource. They are also used by many local agencies to determine the historical significance of a property.

In order to be determined significant, a historical resource must meet one or more of the following four criteria. The following is an evaluation of the site and structures at 298 First Street West with respect to these criteria:

1. *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or*

The parcel at 298 First Street West was part of the vineyard at General Vallejo's Lachryma Montis Estate, one of the earliest commercial vineyards in California, planted in the 1850s. In the 1860s it was leased, and later bought, by Camille Aguillon, believed to be Sonoma's first French winemaker and a prominent figure in California's wine industry at the time. However, as no visible evidence of this vineyard remains, the site does not convey its association with the early wine industry.

The house at 298 First Street West is also associated with the development of the region's railway system. Around 1900, a combination dwelling/saloon and separate bowling alley were built on the parcel, facing the train station, to serve and entertain passengers. Regular rail service ended in 1929. By 1934, the combination dwelling/saloon had been moved about 100 feet to the southwest, reoriented towards First Street West, and was being used solely as a residence. While the house is significant because of its association with the railroad, these changes have caused it to lose integrity as a historical resource. Therefore the house at 298 First Street is not eligible for listing in the CRHR under Criterion 1.

2. *It is associated with the lives of persons important to local, California, or national history; or*

The parcel at 298 First Street West has connections to several people important to local and California history, including one who is important to national history:

William Mark West, a locally significant figure, became the first private owner of the property in 1848. A Scottish immigrant who married one of General Vallejo's daughters, West acquired Rancho San Miguel, northeast of Santa Rosa, through a Mexican land grant in 1840. He came to Sonoma County in the 1830s and witnessed the transition from Mexican to American rule before he died around 1850.

A few years later, the property was acquired by General Vallejo and became part of the vineyard at his Lachryma Montis estate. Vallejo is a significant figure in local, California, and national history, being a central player in the transition from Mexican to American rule.

A third important historical figure connected with the property is Camille Aguilon, believed to be Sonoma's first French winemaker, and a prominent figure in the development of California's early wine industry. Aguilon leased and later bought the property from Vallejo as a vineyard to supply his winery and distillery on the Plaza. Aguilon was also important to the development of the wine industry elsewhere in the region. In the late 1870s, he entered a partnership to make wine in the Livermore Valley and built a winery that processed most of the grapes grown there. The crush from these vines was transported to Sonoma for cellaring. The Livermore wine was sold as "Claret," and produced in huge quantities. Aguilon sold off most of his Sonoma vineyard property after his wife died in 1901, but retained the strip of land south of the railroad extending from First Street West to Second Street East. Aguilon built a cottage on First Street East, where he died in 1906. He or his family built the combination saloon/dwelling that was later moved to become the residence at 298 First Street West.

No visible evidence remains to convey West's or Vallejo's association with the property; thus 298 First Street West is not considered historically significant with respect to these men. Because the house has been moved, reoriented and altered, it no longer conveys its association with Aguilon, and thus has lost integrity as an historical resource. Therefore the house at 298 First Street is not eligible for listing in the CRHR under Criterion 2.

3. *It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; or*

The house at 298 First Street West does not embody distinctive characteristics of type, period, or method of construction; is not the work of a master architect; nor does it possess high artistic values. The building appears to have originally been a type of house commonly constructed in Sonoma County during the late nineteenth-century. In addition, it appears to have been heavily altered over the years. Alterations performed include moving the house from its original location adjacent to the depot to its current location circa 1930. Historical maps suggest that two small rear additions to the house were also removed at this time. In addition, substantial

changes to the house have been performed since it was surveyed in 1978. Alterations performed over the last three and a half decades include:

- An addition/porch enclosure at the rear of the house.
- Replacement of original wood sash windows with modern vinyl sash windows
- Extension of the porch floor across the entire façade of the house.
- Replacement of original half wall at the porch perimeter with railings.
- Addition of Victorian-style “gingerbread” and other decorative elements to the façade of the house.

The original house does not appear to have been a particularly distinguished example of a nineteenth-century cottage, and it has been heavily altered from its original form. Therefore the house at 298 First Street is not eligible for listing in the CRHR under Criterion 3.

4. *It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.*

Several significant resources (e.g. Mission San Francisco de Solano, Sonoma Barracks, Vallejo’s Casa Grande, Swiss Hotel) are situated in the general vicinity of the project area. A field review did not identify prehistoric or historical archaeological resources within the project area. Given that the property at 298 First Street West is not immediately adjacent to known significant historical resources, the possibility for archaeological resources being identified during ground-disturbing activities is moderate. Therefore the property is not eligible for listing in the CRHR under Criterion 4.

In addition to meeting one or more of the above criteria, a property must also retain its integrity in order to be considered a historical resource under CEQA. Integrity is defined as a function of a property’s location, design, setting, materials, workmanship, feeling and association. According to these criteria, a property must retain enough of its historical character or appearance to be recognizable as a historical resource and convey the reasons for its significance.

5. Location is the place where the historical property was constructed or the place where the historical event occurred.

The house was moved in about 1930 from its original location at the northeast corner of the parcel, to its current position. Its original orientation has been changed.

Originally it faced the depot; now it faces First Street West.

- Design is the combination of elements that create the form, plan, space, structure, and style of a property.

The design of the house has been modified several times with additions, alterations to porches, and changes in architectural detailing. The footprint of the house does retain some elements of its original outline.

- **Setting** is the physical environment of a historical property.
The historical setting of the property was open and semi-rural. Soil type (Huichica loam) suggests the property was originally grassland with few or no trees and patches of seasonal wetland. This was converted to vineyard in the mid-19th century. By the first years of the 20th century, the vines were gone. With the exception of the train depot and a few buildings, the area remained open and semi-rural. Adjacent parcels retain something of this historical setting. The presence of the train station immediately north of the property, rebuilt after it burned down in the 1970s, maintains a tangible link between the property and the railroad era. The parcel itself, at 298 First Street West, has been substantially altered with ornamental plantings of trees and shrubs; buildings; and a driveway; and does not retain its historical setting.
- **Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historical property.
Many of the historical materials of the house at 298 First Street West are either no longer visible or have been removed. The siding has been changed over the years and some of the windows have been replaced and modernized.
- **Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
Because of the alterations to the house, most of the original workmanship is either hidden or no longer intact.
- **Feeling** is the property's expression of the aesthetic or historical sense of a particular period of time.
The house has lost its characteristic feeling, due to changes in its location, orientation, footprint, architectural details and materials. However the house's size and the openness of the parcel do contribute to feeling of the neighborhood, which retains some of the characteristics of the railroad era. These characteristics include extensive areas of open land; the relatively small footprints and low density of buildings there, and the presence of the Depot.
- **Association** is the direct link between an important historical event or person and a historical property.
The links between the property, the house, and important historical events and people are quite tenuous. There is no obvious physical evidence of Mark West's or Vallejo's ownership of the property. Camille Aguillon or his family built the house at 298 First Street West, but changes to the house over the intervening years have substantially weakened this link to him. Likewise, it no longer conveys its direct link to the railroad era.

Summary and Recommendation

While the house and parcel at 298 First Street West qualify as significant under Criteria 1 and 2 for their association with broad historical patterns and the lives of people important

to local, regional and national history, the property no longer retains historical integrity. As it also does not qualify under Criteria 3 or 4, it is not considered a historical resource for the purposes of CEQA.

Although the property has not been found individually eligible for CRHR listing, it does retain some historical integrity with respect to the neighborhood between First Streets East and West, and south of the railway alignment to the parcel's south boundary. The house's size and the openness of the parcel contribute to the setting and feeling of this area, which has retained many characteristics of the railroad era. These characteristics include areas of open land; relatively small footprints and low density of houses; and the presence of the Depot. With the exception of small outbuildings and structures, no new buildings have been constructed since the railroad era. The four larger buildings (298 First Street West, the Maysonnave House and Cottage, and the (rebuilt) Depot in this area are the same ones which were there during the railroad era. Thus the property at 298 First Street West "may become eligible for listing as a contributor to a district that has not been fully documented" (Office of Historic Preservation 1995: Appendix 2, part 4X).

Baseline Consulting recommends that in order to retain the subject property's integrity for potential inclusion in a historic district and to comply with the City of Sonoma Development Code, the proposed project shall follow the requirements of the City of Sonoma Municipal Code, Chapter 19.42: Historic Preservation and Infill in the Historic Zone, under the review of the City of Sonoma Planning Department. This will reduce proposed potential project impacts to a less than significant level, per CEQA.

Given the property at 298 First St. West is not immediately adjacent to archaeological resources, no further study for such resources is recommended at this time. If archaeological resources in the project area are encountered during the course of the project, they should be avoided or evaluated for their California Register significance. If human remains are encountered during the course of the project, the County Coroner and an archaeologist should be contacted immediately to evaluate the situation. Project personnel should not collect or move any archaeological material. Fill soils that may be used for construction purposes should not contain archaeological materials.

Evaluators Qualifications

I have 15 years professional experience as a historian based in Sonoma County, have a degree in Natural Resources with an emphasis in history and am listed as a qualified historical consultant on the roster on file with the State of California Office of Historic Preservation's Eastern Information Center at the University of California at Riverside. Kara Brunzell holds a Masters degree in Public History and has worked multiple facets of historic preservation and cultural resource evaluation. She is listed as an architectural historian on the California Office of Historic Preservation's roster of qualified consultants. George McKale has worked for many years as a professional archaeologist. He holds a Masters Degree in Cultural Resources Management and has conducted prehistoric and historical cultural studies throughout California. In his role as Sonoma's official City

Historian, he has developed extensive knowledge of the town's history and preservation efforts, and works closely with local government in these areas.

Sincerely,

Arthur Dawson
Historical Consultant

**Other Listings
Review Code**

Reviewer

Date

Page 1 of 10

*Resource Name or #: 298 First Street West

P1. Other Identifier: APN: 018-131-003-000

***P2. Location:** Not for Publication Unrestricted

***a. County:** Sonoma

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Sonoma **Date:** 1980 **T** 5N; **R** 5W; (Pueblo of Sonoma; non-sectioned) Mt. Diablo **B.M.**

c. Address: 298 First Street West City: Sonoma Zip: 95476

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Site. The house at 298 First Street West is located on a 22,476 square foot lot that includes a residence and a garden shed in the backyard. The property is located on the east side of First Street roughly one block north of the Sonoma Plaza in Sonoma, California. The earliest record of the building shows it as a combination saloon/dwelling adjacent to a bowling alley. At that time it was located about 100 feet to the northeast from its present location and oriented toward the Sonoma Depot. There was a separate bowling alley immediately to the west.

The one-story house is irregular in plan. It is a vernacular cottage constructed circa 1900. The house is topped with a cross gabled roof and clad in horizontal wood siding. Primary fenestration consists of single hung vinyl replacement windows. There is a transom above paneled wood door, which is south of center in the primary façade. A partial width porch under its own gable roof projects from the primary façade, which faces west. The porch floor and railing extend beyond the porch roof to the north end of the façade.

An entry porch projects from the rear of the side (north) elevation under its own gable roof. Decorative wood fencing has been installed along a flat section of roof behind the side porch. A rear porch under a shed roof has been enclosed. A modern deck stretches across the rear (east) façade.

Continued on sheet 2 of 10

***P3b. Resource Attributes:** (List attributes and codes) HP2—Single family property; HP6—Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) House, west façade, January 9, 2013

***P6. Date Constructed/Age and Sources:** Historic c. 1900

Prehistoric Both
(Sanborn maps & Sonoma County)

***P7. Owner and Address:**

Thomas Dunlap
1021 White Oak Drive
Santa Rosa, CA 95409

***P8. Recorded by:** (Name, affiliation, and address)

Arthur Dawson
Baseline Consulting
13750 Arnold Drive, Suite 3
P.O. Box 207
Glen Ellen, CA 95442

***P9. Date Recorded:** Jan 2013

***P10. Survey Type:** (Describe)
Intensive for Determination of
Historic Significance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Sweet, Alan. 1978. "Historic Resource Inventory" for 298 First Street West, Sonoma. Reference # 5479-0080. **See also Sheet 6 of 10.**

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List)

CONTINUATION SHEET

Trinomial

Page 2 of 10

*Resource Name or # 298 First Street West

*Recorded by: Arthur Dawson

*Date: January, 2013 ■ Continuation

■ Update

The house at 298 First Street West does not embody distinctive characteristics of type, period, or method of construction, is not the work of a master architect, nor does it possess high artistic values. The building appears to have originally been a type of house commonly constructed in Sonoma County around the turn of the 20th century. In addition, the building appears to have been heavily altered over the years. Alterations performed include moving the house from its original location adjacent to the depot to its current location circa 1930 and reorienting it towards the street. Historical maps suggest that rear additions to the house were also removed at this time. In addition, substantial changes to the house have been performed since it was surveyed in 1978.

There is no historical record of the garden shed, thus it is unknown if it is a historical structure. It appears to have been cobbled together from an assortment of materials possibly gleaned from older structures.



House, west façade



House, north façade



House, east façade, north side



House, east façade, south side



House, south façade



Front porch step (west side)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 5 of 10

*NRHP Status Code 4X

*Resource Name or # 298 First Street West

- B1. Historic Name: Aguillon Property
- B2. Common Name: 298 First Street West
- B3. Original Use: Residence and Saloon

B4. Present Use: Residence

*B5. **Architectural Style:** Vernacular

*B6. **Construction History:** (Construction date, alterations, and date of alterations)

Several sources point to a construction date for the house between 1901 and 1923. The property was recorded as vineyard in 1875 (von Geldern). Winemaker Camille Aguillon owned the property and used it for his operations during the latter part of the 19th century. According to a descendant, "After the death of Camille Anne Suzanne in 1901 [his wife], Camille Fortune [Aguillon] sold his Sonoma vineyard, kept control of the winery and the distillery, and retired to a cottage on the few acres he still owned." (Jackson 2012). These 'few acres' included the parcel at 298 First Street West (Sonoma County Recorders Office 1895, 1910, 1923 & 1926). Aguillon's winery and distillery were on First Street West opposite the Plaza and a photograph of Aguillon's cottage indicates that it was not the building currently at 298 First Street West (Sanborn 1888; Anonymous 1906)

The first definitive evidence for the presence of the house appears on the 1923 Sanborn Insurance map for Sonoma. This map shows the building as a combination dwelling and saloon, with a separate bowling alley immediately west. The building was oriented towards the Sonoma Depot and was a place of entertainment for railway passengers (Sweet 1978). The next Sanborn map, from 1934, shows a building with a virtually identical footprint about 100 feet to the southwest of its 1923 location, and rotated so that its orientation was now towards First Street West. This building was recorded as a dwelling on that map and a 1941 update. The property was bought by the family of the current owner in 1952 (Dunlap 2013) and was being used as a residence at that time. It has continued to be used as a residence up to the present day.

The footprint of the current house closely matches the outlines shown on the Sanborn maps; the biggest difference being the addition of floor space on the north side of the dwelling (Conforti 2012). It is unknown when this addition was constructed. Alterations performed over the last three and a half decades include:

- An addition/porch enclosure at the rear of the house
- Replacement of original wood sash windows with modern vinyl sash windows
- Extension of the porch floor across the entire façade of the house.
- Replacement of original half wall at the porch perimeter with railings
- Addition of Victorian-style "gingerbread" and other decorative elements to the façade of the house

*B7. **Moved?** No Yes Unknown **Date:** c. 1930 **Original Location:** about 100' NE, oriented 90 degrees clockwise

*B8. **Related Features:** Garden Shed

B9a. Architect: Unknown

b. Builder: Unknown

*B10. **Significance: Theme:** Community Planning & Development

Area: Sonoma

Period of Significance: c. 1890 - 1929

Property Type: Residence/Commercial

Applicable Criteria: N/A

Early History

The sequence of land use on this property is closely tied to events important to patterns of local and regional history, as well as the cultural heritage of California. Its location, a few hundred yards from the mission, suggests it was probably used during the mission era (1823 – 1834). There were tanning vats about 100 yards southeast of the property (Smilie 1975). The property itself was probably suitable for grazing livestock or growing crops. It first came under private ownership in 1848, when William Mark West, a son-in-law of 'General' Mariano

Continued on sheet 6 of 10

B11. Additional Resource Attributes: HP6 Commercial Building

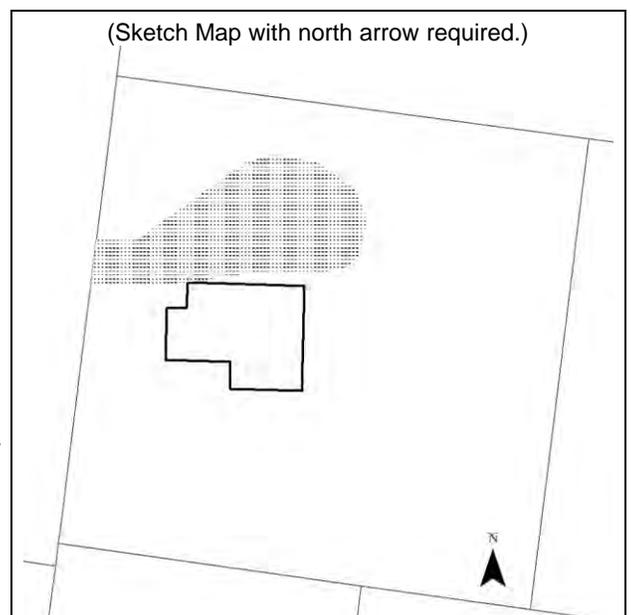
*B12. **References:** Sweet, Alan. 1978. "Historic Resource Inventory" for 298 First Street West, Sonoma. Reference # 5479-0080.

See also Sheet 6 of 10

B13. Remarks: None

*B14. **Evaluator** Arthur Dawson, Baseline Consulting
13750 Arnold Drive, Suite 3; P.O. Box 207 Glen Ellen, CA 95442

***Date of Evaluation:** January 2013.



B10. Significance

Continued from sheet 5 of 10

Vallejo, bought it from the City of Sonoma as 'Town Lot No. 6' (Boggs 1848). It changed hands several times before being purchased by General Vallejo as part of his Lachryma Montis estate. The property was planted in grapes and was a section of Vallejo's 55-acre vineyard (vonGeldern 1875). Camille Aguillon, believed to be Sonoma's first French winemaker, began leasing the property from Vallejo sometime after 1865, and eventually bought it from him (Jackson 2012). His winery, located on the northwest corner of the Plaza, was well known (Hill 2005). The outbreak of phylloxera in the late 19th century probably wiped out the vines on the property.

Period of Significance

The railroad arrived in the 1880s, and the Sonoma Depot was built on the north side of Town Lot No. 6 in about 1890 (Parmelee 2001). Aguillon sold off most of his property in 1901, though he kept his winery and a small part of his vineyard land, including Lot No. 6. One source states that he then "retired to a cottage on the few acres he still owned" (Jackson 2012). When Aguillon died in 1906, the property passed to his daughters, Elise and Berthe Aguillon, and Gabrielle Heggie (County of Sonoma 1923).

The house is not shown on the 1902 USGS 'Napa' map, surveyed in 1896 and 1899. The first definitive record of a building there appears on the 1923 Sanborn map of Sonoma. This map recorded a dwelling with a saloon attached to its north side and a bowling alley immediately to the west, less than 100 feet south of the train depot. The previous survey stated that the entrance of this building "was facing the depot to attract customers," and that there was "a bar and . . . entertainment" (Sweet 1978). Regular train service ceased in 1929 (Parmelee 2001). It appears from the 1934 Sanborn map, that the building had been moved over to face First Street East and was being used as a dwelling. The footprint of this building is nearly identical to the combination dwelling/saloon shown in 1923. The building was again recorded as a dwelling when the Sanborn map was updated in 1941.

Recent History

When the Marioni/Dunlap family purchased the property in 1952, it was being used as a residence. The Marioni/Dunlap family has now owned the property for more than 60 years and continues to use it as a residence (Dunlap 2013). A number of changes have been made during this period, including a moderate addition on the north side (see 'Construction History' above). Also, the siding has been changed, windows modernized, and architectural details altered.

Summary

The parcel at 298 First Street West was part of the vineyard at General Vallejo's Lachryma Montis Estate, one of the earliest commercial vineyards in California, planted in the 1850s. In the 1860s it was leased, and later bought, by Camille Aguillon, believed to be Sonoma's first French winemaker and a prominent figure in California's wine industry at the time. However, as no visible evidence of this vineyard remains, the site does not convey its association with these men or the early wine industry. The house at 298 First Street West is also associated with the development of the region's railway system. Around 1900, a combination dwelling/saloon and separate bowling alley were built on the parcel, facing the train station, to serve and entertain passengers. Regular rail service ended in 1929. By 1934, the combination dwelling/saloon had been moved about 100 feet to the southwest, reoriented towards First Street West, and was being used solely as a residence. While the house is significant because of its association with the railroad, these changes have caused it to lose integrity as a historical resource. Therefore the house at 298 First Street is not eligible for listing in the CRHR under Criteria 1 or 2. The original house does not appear to have been a particularly distinguished example of a nineteenth century cottage, and it has been heavily altered from its original form. Therefore the house at 298 First Street is not eligible for listing in the CRHR under Criterion 3. Given that the property at 298 First Street West is not immediately adjacent to known significant historical resources, the possibility for archaeological resources being identified during ground-disturbing activities is moderate. Therefore the property is not eligible for listing in the CRHR under Criterion 4.

Although the property has not been found individually eligible for CRHR listing, it does retain some historical integrity with respect to the neighborhood between First Streets East and West, and south of the railway alignment to the parcel's south boundary. The house's size and the openness of the parcel contribute to the setting and feeling of this area, which has retained many characteristics of the railroad era. These characteristics include areas of open land; the relatively small footprints and low density of houses there, and the presence of the Depot. With the exception of small outbuildings and structures, no additional buildings have been constructed since the railroad era. The four larger buildings (298 First Street West, the Maysonnave House and Cottage, and the (rebuilt) Depot in this area are the same ones which were there during the railway era. Thus the property at 298 First Street West "may become eligible for listing as a contributor to a district that has not been fully documented" (Office of Historic Preservation 1995: Appendix 2, part 4X).

P12. References

Ancestry.com. *California, Death Index, 1940-1997* [database on-line]. Provo, UT, USA: Ancestry.com Operations Inc, 2000. Original data: State of California. *California Death Index, 1940-1997*. Sacramento, CA, USA: State of California Department of Health Services, Center for Health Statistics.

Anonymous. 1906. "Aguillon Home where he lived just prior to his death after his wife died." Photograph provided by Aguillon descendant Denise Jackson.

Boggs, Lilburn. 1848. "Grant of Town Lot No. Six (6)" to William Marcus West. Territory of California—District of Sonoma. March 25. Page 39, Book A of Deeds. Sonoma County Records Office, Santa Rosa.

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County of Sonoma. 1926. "This Indenture." Transfer Deed for 'that part of Turkey [Street] lying south of Lots 3,4, 5 and 6' from Berte and Elise Aguillon to Gabrielle Heggie. August 31. Book 129 of Official Records, page 282. Sonoma County Records Office, Santa Rosa.

Dawson, Arthur. 2012. "Montini Open Space Preserve and Vallejo Home State Historic Park Historical Hydrology Study." DRAFT. Commissioned by the Sonoma County Water Agency.

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P12. References

Continued from sheet 7 of 10

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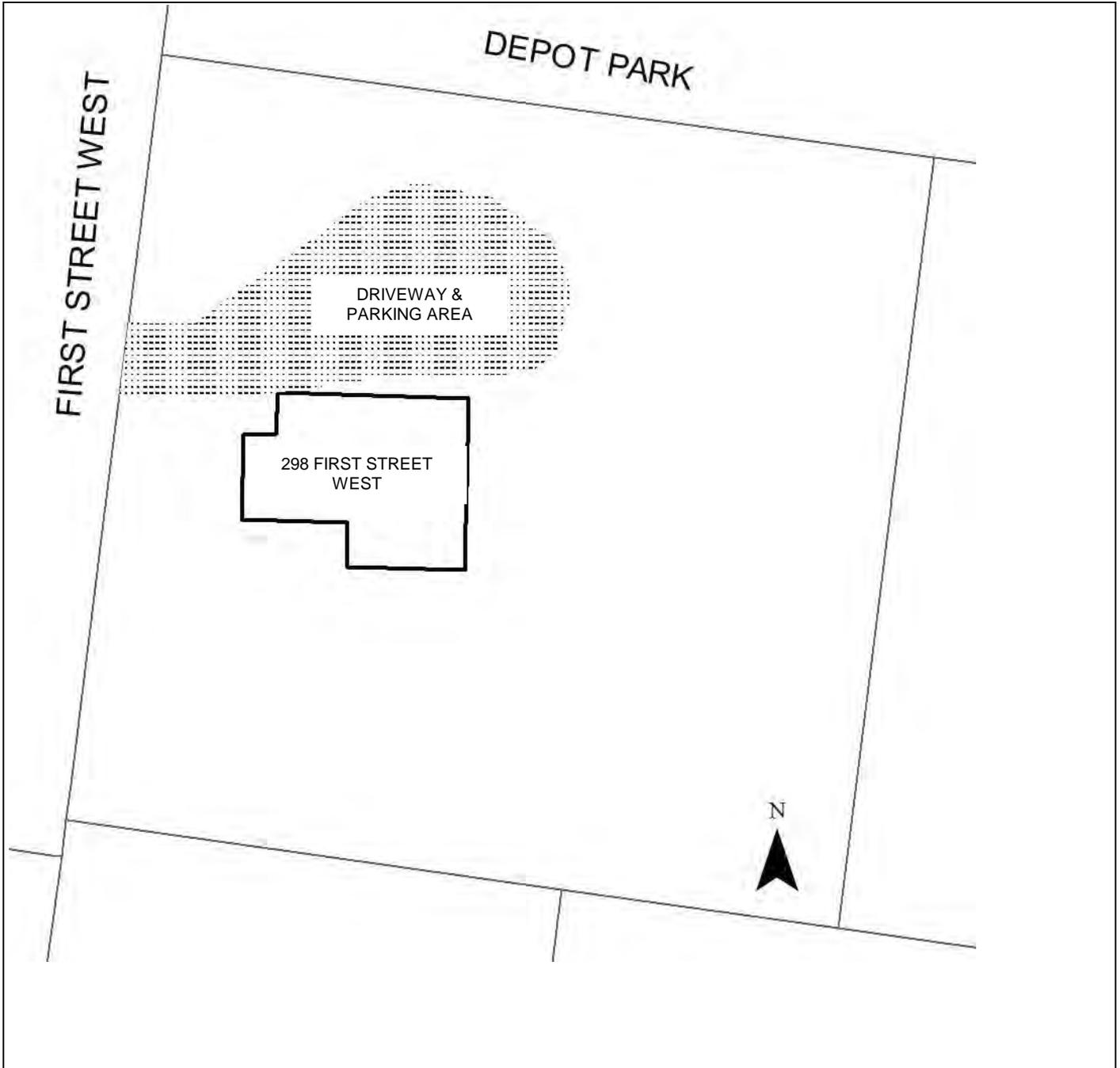
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SKETCH MAP

Trinomial



LOCATION MAP

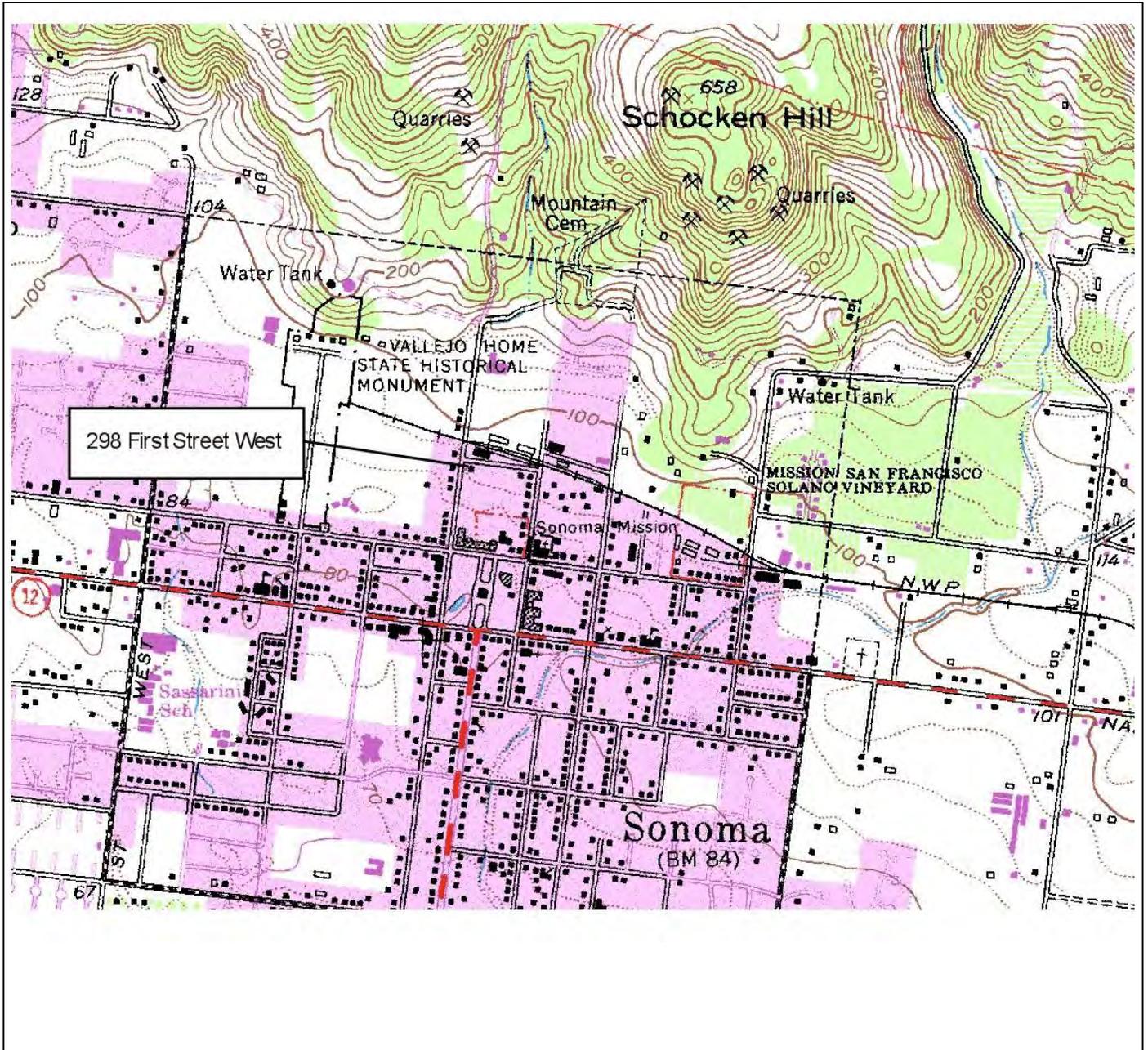
Trinomial

Page 10 of 10

*Resource Name or #: 298 First Street West

*Map Name: Sonoma Quadrangle

*Scale: 1:24,000 *Date of Map: 1951, updated 1980





City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 6

Meeting Date: 09/18/07

Applicant

Robert Sanders

Project Location

124 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1923
-

Request

Consideration of a new awning and new paint colors for a commercial building (Perlé).

Summary

Paint color: The applicant is proposing to paint a portion of the building with branding and identity consistent with the new business (Perlé). Benjamin Moore Indian river (985) is proposed for the top of the building, and the door accent color would be painted Benjamin Moore Cinco de Mayo (1286). In addition Benjamin Moore Kendall charcoal (HC-166) is proposed for the top accent band, wood molding around the door entrance, and the tile around the base of the building. Color samples are attached for consideration.

Awning: The proposal involves installation of a new canvas fabric awning on a welded aluminum frame above the commercial entrance of the building. In terms of compatibility, the exterior color scheme of the building is proposed to be painted primarily a taupe color. A drawing of the proposed conditions and a sample of the awning are attached. The proposed awning is approximately 5 feet tall and 20 feet wide, the top sheet would be composed of taupe and black stripped canvas fabric and the valance would be composed of a solid pink fabric, all on an existing black aluminum frame. With regard to Building Code requirements, portions of any awning shall be at least 8 feet above any public walkway (Building Code §3206.4). In addition, awnings may extend over public property not more than 7 feet from the face of a supporting building, but no portion shall extend nearer than 2 feet to the face of the nearest curb line measured horizontally (Building Code §3206.3). The proposal complies with these standards in that the awning would provide 8.5 feet of clearance above the public walkway, and would extend only 4 feet from the face of the building, resulting in 3 feet 9 inches of clearance from the end of the awning width to the face of the curb. The purpose of the awning is to provide business identification and weather protection at the store entrance.

Findings for Project Approval: For projects within the Historic Overlay zone, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).

Other permits required: In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Robin Evans at (707) 933-2205 for information regarding City Encroachment Permits.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *Awning sample*
2. *Color samples*
3. *Awning drawing*
4. *Drawing of building and colors*

cc: Robert Sanders
 P.O. Box 1356
 Sonoma, CA 95476

Perlé
Attn: Erica Heald
124 West Napa Street
Sonoma, CA 95476

Orion Property Management
Attn. Lori Greenstein-Bremner
470 First Street East
Sonoma, CA 95476



indian river
río indio

3/12/13

LB

985 7h

cinco de mayo
cinco de mayo

1286 12k

3/12/13

LB

kendall charcoal
carbón de kendall

3/12/13

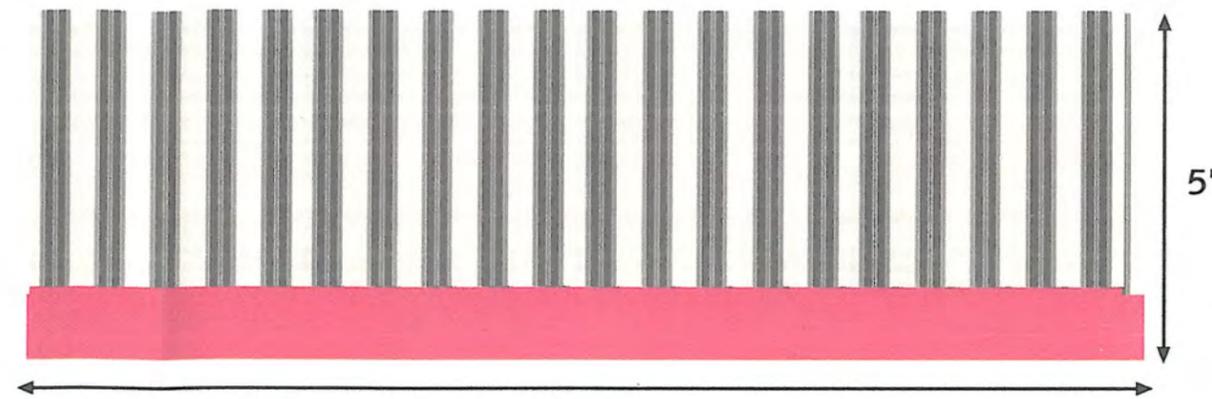
LB

HC-166 32o

Awning for Perle - Retail Women's Clothing Store



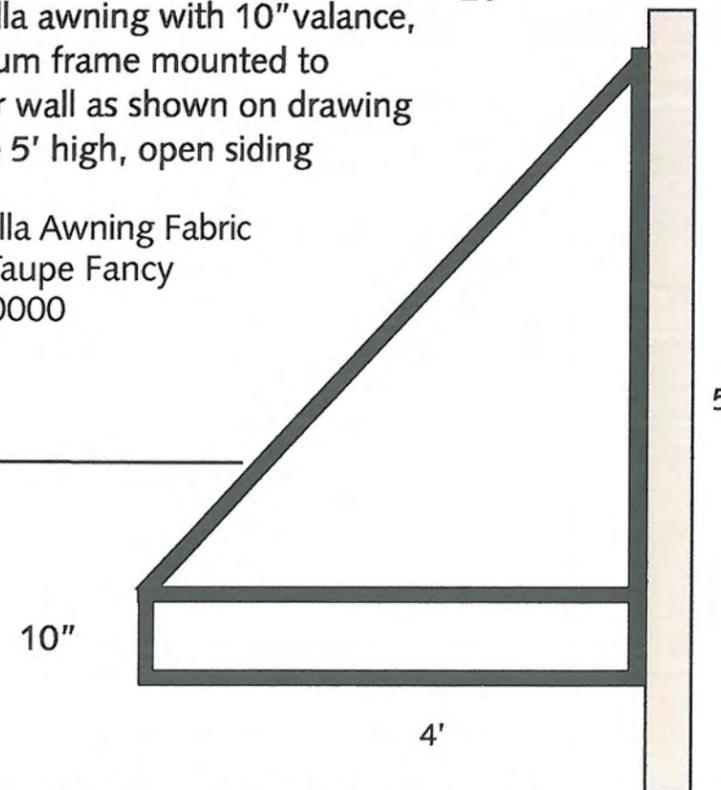
124 West Napa St.



Sunbrella awning with 10" valance, aluminum frame mounted to exterior wall as shown on drawing 4' wide 5' high, open siding

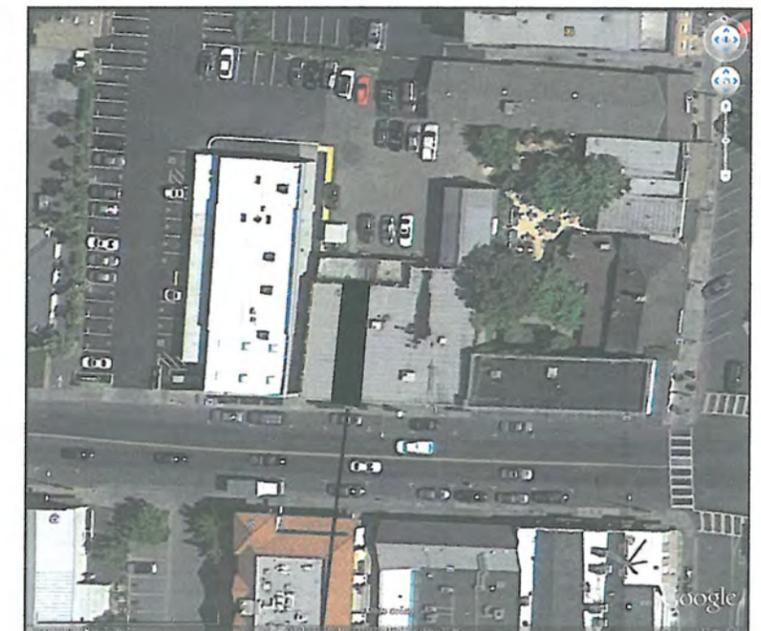
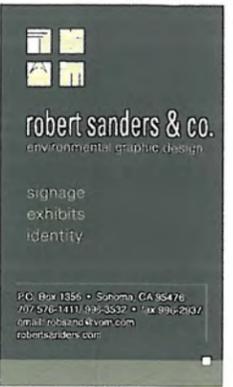
Sunbrella Awning Fabric
Black Taupe Fancy
4946-0000

Dickson Awning Fabric Pink-U170



Side Elevation of Awning Structure
Open side with black aluminum framework

Awning coordinates with signage theme and grey building colors



Site location 124 West Napa St.

BUILDING COLORS for Perle -Retail Women's Clothing Store

124 West Napa St.

COLOR Palette



Top Accent Band
Benjamin Moore
kendall charcoal HC-166



Wall background
Benjamin Moore
indian river 985



Wood moulding around door entrance
Benjamin Moore
kendall charcoal HC-166



Door accent color
Benjamin Moore
cinco de mayo 1286



Tile around base
Benjamin Moore
kendall charcoal HC-166

