



**City of Sonoma  
Design Review and Historic  
Preservation Commission  
AGENDA**

**Regular Meeting of December 17, 2013 - 6:30 P.M.  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Leslie Tippell, Chair

Commissioners: Tom Anderson  
Kelso Barnett  
Robert McDonald  
Micaelia Randolph  
Christopher Johnson (Alternate)

**COMMENTS FROM THE PUBLIC**

*Presentations by audience members on items not appearing on the agenda.*

**APPROVAL OF MINUTES**

Minutes from the meetings of November 5, 2013, and November 19, 2013.

**CORRESPONDENCE**

**ITEM #1 – Continued Sign Review  
and Design Review**

**REQUEST:**

Consideration of new awnings, new awning signs, and new signs for a real estate company (Coldwell Banker Brokers of the Valley).

**Applicant:**

Bill Dardon

**Project Location:**

34 West Spain Street

**General Plan Designation:**

Commercial (C)

**Zoning:**

**Planning Area:**

Downtown District

**Base:** Commercial (C)

**Overlay:** Historic (/H)

**RECOMMENDED ACTION:**

Commission discretion.

Staff: Wendy Atkins

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**ITEM #2 – Continued Design Review**

**REQUEST:**

Consideration of design review of a proposed addition to an historic residence.

**Applicant:**

Sidney Hoover

Staff: Wendy Atkins

**Project Location:**

663 Second Street East

**General Plan Designation:**

Low Density Residential (LR)

**Zoning:**

**Planning Area:**

Central-East Area

**Base:**

Low Density Residential (R-L)

**Overlay:** Historic (/H)

**RECOMMENDED ACTION:**

Commission discretion.

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**ITEM #3 – Sign and Design Review**

**REQUEST:**

Consideration of a projecting sign, four awnings, four awning signs, and two wall signs for a commercial business (Schein & Schein Old Maps).

**Applicant:**

Schein & Schein Old Maps

Staff: Wendy Atkins

**Project Location:**

149 East Spain Street

**General Plan Designation:**

Commercial (C)

**Zoning:**

**Planning Area:**

Downtown District

**Base:** Commercial (C)

**Overlay:** Historic (/H)

**RECOMMENDED ACTION:**

Commission discretion.

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**ITEM #4 – Sign and Design Review**

**REQUEST:**

Consideration of a painted awning, a new awning sign, and new exterior paint colors for a commercial building (Grandma Linda's Ice Cream).

**Applicant:**

Troy and Dawn Marmaduke

Staff: Wendy Atkins

**Project Location:**

408 First Street East

**General Plan Designation:**

Commercial (C)

**Zoning:**

**Planning Area:**

Downtown District

**Base:** Commercial (C)

**Overlay:** Historic (/H)

**RECOMMENDED ACTION:**

Commission discretion.

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**ITEM #5 – Design Review**

**REQUEST:**

Consideration of site design and new exterior colors for a drive-through coffee facility (Dutch Bros. Coffee).

**Applicant:**

RJF Enterprises, Inc. dba Dutch Bros. Coffee

Staff: Wendy Atkins

**Project Location:**

711 Broadway

**General Plan Designation:**

Mixed Use (MU)

**Zoning:**

**Planning Area:**

Broadway Corridor

**Base:** Mixed Use (MX)

**Overlay:** Historic (/H)

**RECOMMENDED ACTION:**

Commission discretion.

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**ITEM #6 – Discussion Item**

**RECOMMENDED ACTION:**

**ISSUE:**

Review of California Environmental Quality Act confirmation for 157 West Spain Street.

Receive.

**Staff:** Wendy Atkins

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**ITEM #7 – Discussion Item**

**RECOMMENDED ACTION:**

**ISSUE:**

Review of the project review changes related to Certified Local Government and recent Municipal Code revisions.

Receive and provide feedback.

**Staff:** Wendy Atkins

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**ISSUES UPDATE**

**COMMENTS FROM THE COMMISSION**

**COMMENTS FROM THE AUDIENCE**

**ADJOURNMENT**

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on December 13, 2013.

ROBIN EVANS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

***Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.***

***If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.***

***In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.***



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
**Agenda Item Summary**

**DRHPC Agenda Item: 1**

**Meeting Date: 12/17/13**

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**Applicant**

Bill Dardon

**Project Location**

34 West Spain Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district
  - Listed on California Register of Historic Resources
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old  
Year built: 1937
- 

**Request**

Continued consideration of new awnings and new awning signs for a real estate company (Coldwell Banker Brokers of the Valley).

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**Summary**

*Background:* At the November 19, 2013, Design Review Commission (DRC) meeting, the DRC continued the review of the awning color for the property located at 34 West Spain Street to allow the applicant time to research alternate awning color and material samples.

*Awning:* The proposal involves the modification of the existing canvas fabric awning on the building. The awning would be installed on a welded aluminum frame above the West Spain Street entrance of the building. In terms of compatibility, the exterior color scheme of the building is a beige color. A picture of the existing conditions and four samples of awning materials and colors are attached for consideration. The proposed awning is comprised of one awning approximately 20 feet long and 4.5 feet high in addition to the 11 inch awning valance. The awning and valance would be composed of brown, beige, or green colored canvas fabric (see attached samples). The awning would be installed on modified existing silver colored aluminum frames. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 7 feet of clearance above the public walkway, and would extend only 5 feet from the face of the building, resulting in 7.3 feet of clearance from the end of the awning to the face of the curb. The purpose of the awning is to provide business identification and weather protection for the real estate company. Staff would note that this application was submitted in response to a code enforcement action.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.

8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

**Awning Signs:** Three awning signs are proposed on the awning over the front entrance to the building. Two awning signs would be placed on each end of the awning. The one-sided signs are proposed to have an area of  $\pm 1.61$  square feet. A third sign would be placed along the front of the awning. The one-sided sign is proposed to have an area of  $\pm 10$  square feet. All of the signs would consist of white lettering placed directly on the awning. The total area for the awning signs would be 13.22 square feet.

**Existing Signs:** During a site visit staff observed two projecting signs that have not received Design Review Commission approval; these signs are also included in this application. The two projecting signs are two-sided, with an area of  $\pm 1.25$  square feet per sign (9 inches tall by 1 foot 8 inches wide). The maximum height of the signs would be 7 feet 1 inch, with a clearance of 6 feet 4 inches between grade and the bottom of the signs. The signs are proposed perpendicular to the street on both sides of the entrance to the building. The signs would be constructed of a wood material. In terms of colors, the background would consist of white text on a blue background. Illumination is not proposed.

*Projecting sign regulations:* Projecting signs shall not exceed nine square feet in area on each side. Projecting signs shall not project over four feet from any wall surface nor be closer than four feet to any curb line of a public street. No projecting sign shall extend above the top level of the wall upon or in front of which it is situated, or in the case of buildings having sloping roofs, above the eaves of the roof. Any sign which is suspended or projects over any public or private walkway or walk area shall have an overhead clearance of at least seven feet (§18.20.150). The signs are not consistent with this requirement in that they would only have an overhead clearance of 6 feet 4 inches. If approved, the signs will be to be raised to comply with the projecting sign regulations.

*Aggregate Sign Area:* Based on the property's frontage on West Spain Street (23 feet), the maximum aggregate sign area allowed for the parcel is 13.8 square feet. The total aggregate sign area for the property would be 16.97 square feet, including the three awning signs (13.22 square feet of aggregate sign area) and the two existing projecting signs (3.75 square feet of aggregate sign area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this standard.

*Number of Signs:* A maximum of two signs are permitted for any one business (§18.16.010). The proposal is not consistent with this requirement in that there would be 5 signs for the property including the three awning signs and two projecting signs. The applicant is requesting a variance from this requirement.

*Variances:* As noted above, the proposal would exceed the allowable aggregate sign area and it would exceed the number of signs normally permitted for any one business. The DRC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

**Other permits required:** In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit and to the Planning Department before the Design Review Commission can review the application. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Robin Evans at (707) 933-2205 for information regarding City Encroachment Permits.

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**Commission Discussion**

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote:    \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**

Attachments

1. *Historic Resources Inventory*
2. *Pictures of existing awning and signs*
3. *Awning samples*

cc: Bill Dardon  
34 West Spain Street  
Sonoma, CA 95476

Richard and Mary Ann Cuneo  
P.O. Box 4  
Vineburg, CA 95487-0004

Alan Jones, Administrative Captain

HISTORIC RESOURCES INVENTORY

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ 1 \_\_\_\_\_ NR  SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HAAS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

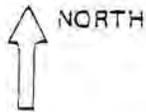
1. Common name: Sebastiani Apartments
2. Historic name, if known: Sebastiani Apartments
3. Street or rural address: 30, 34 West Spain Street  
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Samuel Sebastiani Address: P.O. Box AA  
 City: Sonoma ZIP: 95476 Ownership is: Public  Private
5. Present Use: Apartment house & shop & office on ground floor. Original Use: Apartment house & shop on ground floor  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This three story, Spanish Revival type, painted, block building is the largest building on the north end of the Plaza. It features a penthouse on top. Overhang roof and exposed wood rafters are on penthouse, third floor, and second floor. Second floor has balcony across front with wood railing and brackets and wood posts. All windows and doors are arched with venetian style windows. There are 3 false balconies at doors on third floor and a painted brick railing around the top third floor. Roof is combination shingle.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map - Area 10

UTM (SONOMA QUAD)  
 10/549,300/4,238,740  
 10/548,280/4,238,400  
 10/548,210/4,238,070  
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 72  
 Depth 266  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other

12. Threats to site:

a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other

13. Date(s) of enclosed photograph(s): January 1978



NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other  \_\_\_\_\_
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1937 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): Sebastiani
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  \_\_\_\_\_ i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

Built by Samuel Sebastiani, owner of the Sebastiani Winery, who was also a contractor. Mr. Sebastiani came to Sonoma from Italy. Mr. Len Thomas was the foreman in charge of the job. It was built on the site of an abandoned adobe.

This large, Spanish Revival style, apartment building with its characteristic Spanish details is one of the largest buildings on the Plaza.

*On site of Salvador Vallejo Home*

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

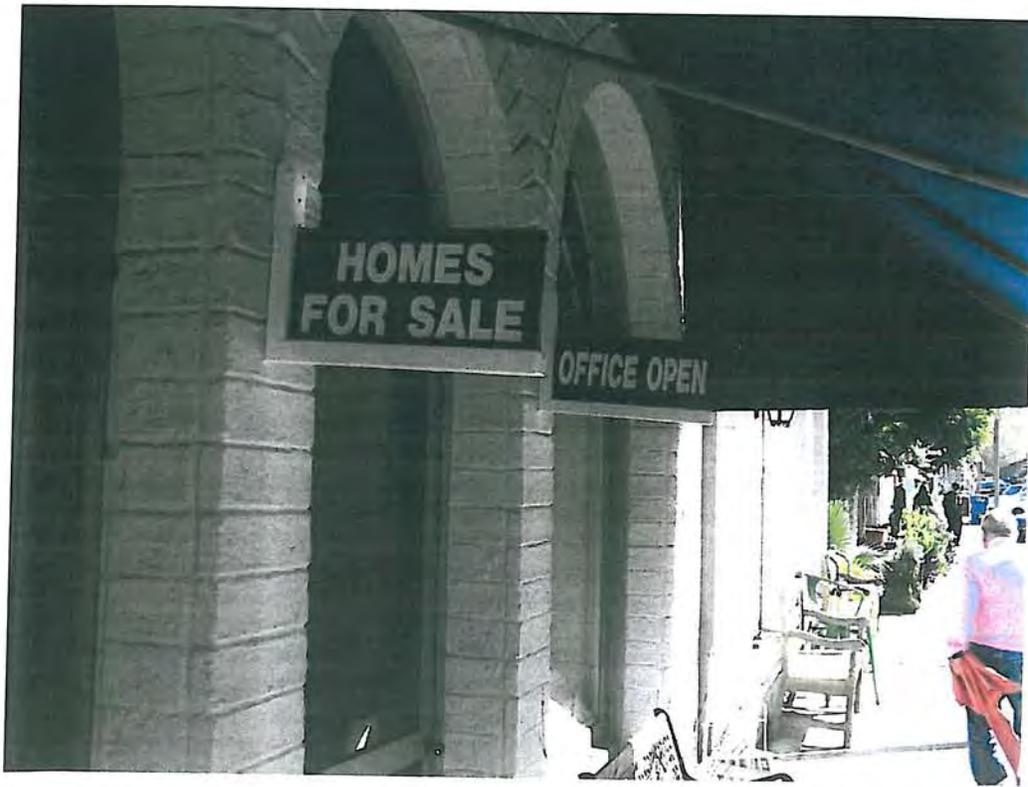
22. Sources: List books, documents, surveys, personal interviews, and their dates:

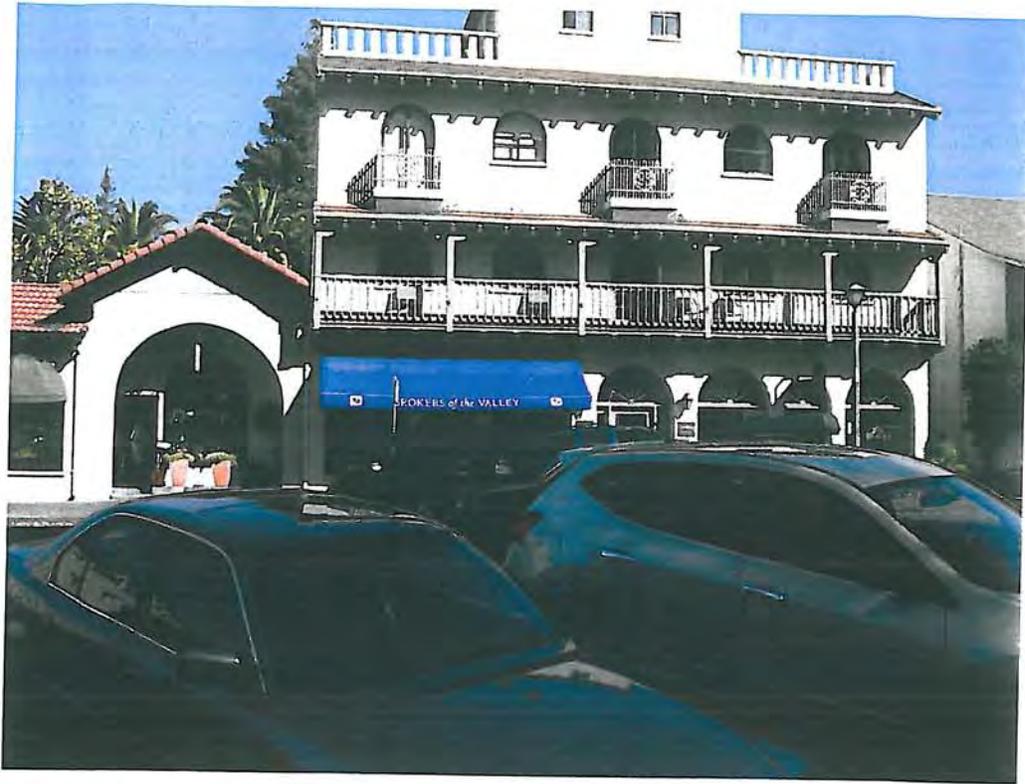
Interview: August Sebastiani, January 1979

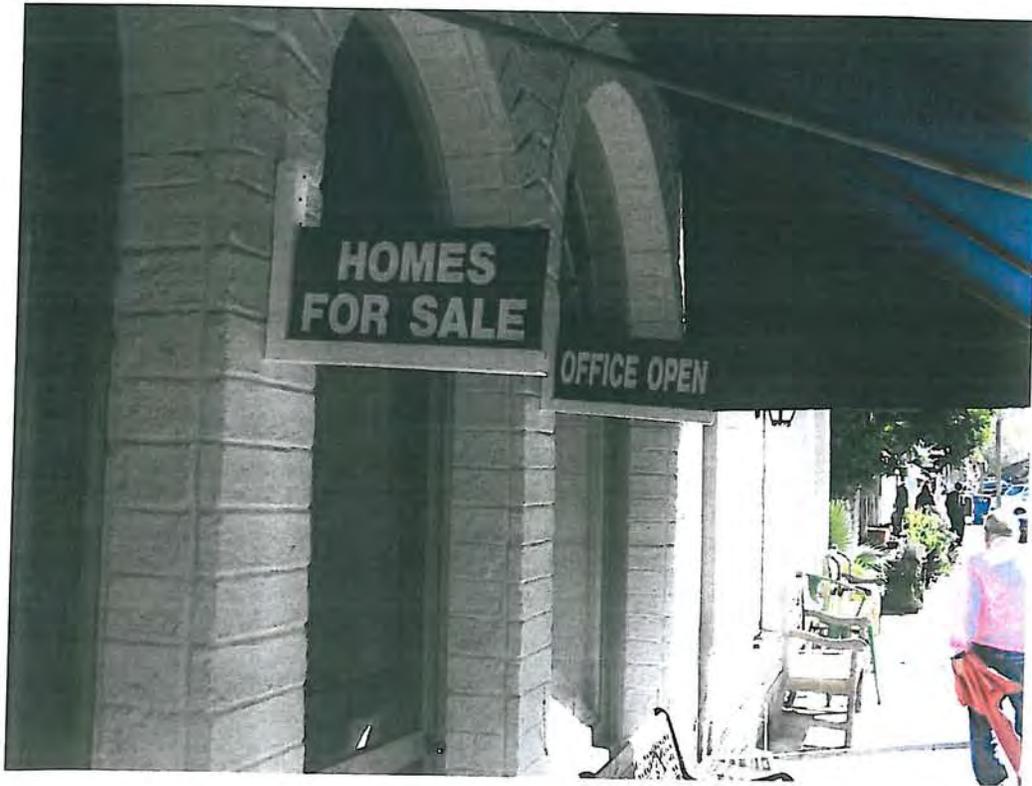
23. Date form prepared: 1/19/79 By (name): Johanna M. Patri  
Address: \_\_\_\_\_ City Sonoma, CA ZIP: 95476  
Phone: 996-6412 Organization: Sonoma League for Historic Preservation

(State Use Only)









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*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda 2  
Item:**

**Meeting Date: 12/17/13**

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**Applicant**

Sidney Hoover

**Project Location**

663 Second Street East

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)
- Year built: 1865
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**Request**

Design review of a proposed addition to the historic residence.

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**Summary**

*Background:* On November 19, 2013, the Design Review Commission (DRC) continued the review of a proposed addition to the residence located at 663 Second Street East to allow the applicant time to complete the required historic evaluation.

At this time the applicant has completed the historic evaluation and it is attached for consideration.

The architect is proposing to add 632 square feet of building area to an existing residence to the rear portion of the house and an additional 240 square feet of building area to an existing detached garage.

*Site Description:* The subject property is a 13,200-square foot parcel located on the west side of Second Street East located midblock between Patten and France Streets. The property is currently developed with a  $\pm 1,776$  square foot residence, a 392 square foot detached garage, guest house, and barn. The residence was built around 1865 and is eligible for listing on the California Register of Historic Resources as stated in the enclosed cover letter and DPR forms prepared by Juliana Inman, dated December 9, 2013, and Historic Resource Report and CEQA Findings prepared by Juliana Inman, dated October 18, 2013). The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Directly adjoining land uses include single-family homes to the north, south, east, and west.

*Project Description:* The project involves construction of a  $\pm 632$  square foot, two-story addition at the rear of the home, and a 240 square foot one-story addition at the rear of the existing detached garage. The addition would increase the floor area of the residence from  $\pm 1,776$  square feet to  $\pm 2,408$  square feet. In general, the proposed alterations and improvements, including the workshop, are consistent with the architectural features of the historic residence in terms of scale, roof heights and pitches, exterior materials, details and color. None of the additions will be visible from the street. The purpose of the project is to preserve and upgrade the aging residence, while providing additional living area for the owners who will be moving there shortly. Further details can be found in the attached project narrative and accompanying materials.

*Zoning Requirements:* The standards of the Low Density Residential zone applicable to the proposal are as follows:

- *Setbacks:* The new residence will meet or exceed the normal setback requirements.
- *Coverage:* At 11%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- *Floor Area Ratio:* The project would result in a F.A.R. of 0.18, which is less than the 0.35 maximum allowed.
- *Parking:* One covered parking space is provided in a garage. This meets the requirement.

- *Height:* The two-story residence would have a maximum ridge height of 22 feet, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

**Design Review:** Alterations to existing structures that increase floor area by 10% for 200 Square-feet, whichever is greater located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

*Factors to be considered:* In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;  
*A history resource report was completed for the property on October 18, 2013. In addition, a cover letter and DPR forms were completed for the property on December 9, 2013. The cover letter and DPR forms indicate that the residence and carriage house are historic resources and are eligible for listing on the California Register of Historic, which means that the residence is an "historical resource" under CEQA.*
2. Environmental features on or adjacent to the site;  
*Staff is not aware of any environmental features on or adjacent to the site.*
3. The context of uses and architecture established by adjacent development;  
*The adjacent properties to the north, south, and west are developed with single family residences.*
4. The location, design, site plan configuration, and effect of the proposed development.  
*The location, design, site plan configuration, and effect of the proposed development are compatible with surrounding uses.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

**Site Design & Architectural Review:** While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was not necessary, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials. The only aspect of the project not subject to the DRC's discretion is the proposed detached accessory structure, as these types of buildings are specifically excluded from architectural review under the Development Code (nonetheless, information on this structure is provided for context.

**CEQA Compliance:** As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a cover sheet, DPR form, and historical evaluation of the residence suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an evaluation was conducted to determine whether the proposal is consistent with the Standards [refer to attached Historic Resource Report and CEQA Findings (Report) prepared by Juliana Inman, dated October 18, 2013]. The conclusion of the Report determined that the work in the proposed project meets the Secretary of the Interior's Standards.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and

environmental features.

4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

*Other permits required:* In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote:    \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments:

1. Project narrative
2. Historic Evaluation cover letter and DPR forms, dated December 9, 2013
2. Historic Resource Report and CEQA Findings, dated October 18, 2013
3. Historic Resources Inventory
5. Site Plan & Vicinity Map
6. Typical section at the eve
7. Paint color samples
8. Elevations & Materials Sampling

cc:                    Sidney Hoover  
                         601 Barcelona Drive  
                         Sonoma, CA 95476

Hoover and Ellen Living Trust  
663 Second Street East  
Sonoma, CA 95476-7101

Juliana Inman, Architect  
2133 First Street  
Napa, CA 95476

Mary Martinez  
P.O. Box 534  
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

## PROJECT DESCRIPTION

*663 Second Street East was built in about 1860 as a two-story four room farmhouse with a single horse and carriage barn at the rear of the property. Later the rear portion of the house was added. This is evident by slight changes in the siding and floor heights. The house and barn have been remodeled numerous times since, but both retain some of the delightful Carpenter Gothic style.*

This project adds 632 new square feet and internal remodeling to the rear portion of the house, extending it into the garden area. All walls will be wood framed and exterior walls will have battens to match the existing pattern. All new windows and doors will be wood metal clad and double-glazed and trimmed out to match existing. Along the north side of the rear portion of the house, lattice will be installed between the existing porch columns (which become pilasters in the infill wall) as symbolic of the existing lattice shown on the opposite side porch area.

The existing garage will have a new 240 square foot workshop addition in the same style as the garage and the same materials. The workshop will be on a concrete slab and the house additions will be on perimeter footings to match the existing raised floor level.

The house and all other buildings, doors, lattice, windows and trims will be painted white, as was most likely the original color of these farmhouses. Shutters will be added to the front porch windows. Colors selected are shown on the color sheet.

Every effort will be made to preserve and enhance as much of the original house as possible. **None of the additions will be visible from the street.**

*Juliana Inman*  
ARCHITECT

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9 December 2013

David Goodison, Planning Director  
City of Sonoma  
No.1 The Plaza  
Sonoma, CA 95476

Re: 663 Second Street  
APN: 018-311-009-000

Dear Mr. Goodison:

Attached please find California Department of Parks and Recreation (DPR) re-evaluation forms for the above referenced property. I spoke with Diana Painter who has also done a recent re-evaluation on the property and we agree that the NRHP status code is 3CS, "appears eligible for the California Register as an individual property through survey evaluation".

In my previous report to the planning department on the Secretary of the Interior review for the proposed alterations, my findings are as follows:

1. The property continues to qualify for listing in the California Register.
2. The property retains integrity. "The California Register regulations define "integrity" as "the authenticity of an historic resource's physical identity, evidenced by the survival of characteristics that existed during the resource's period of significance" (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: **location, design, setting, materials, workmanship, feeling and association**. A property must retain **most** of these qualities to possess integrity...**The house, though altered, retains all seven aspects of integrity - location, design, setting, materials, workmanship, feeling and association.**"
3. Following the Secretary of the Interior's Standards allows for a *de minimus* impact under the California Environmental Quality Act. "Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource."
4. The project follows the Secretary of the Interior's Standards, and "work described in the drawings conforms to The Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings."

Please feel free to contact me with any questions.

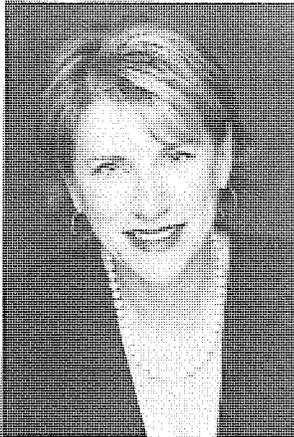
Regards,



Juliana Inman, Architect C14760

DEC 10 2013

*Juliana Inman*  
ARCHITECT



**JULIANA INMAN, PRINCIPAL**

Juliana established her award winning Napa firm in 1990 focusing on historic properties, expert consultation for government entities in Napa County and northern California, discretionary permitting and planning, and residential and winery projects. Along with her architectural practice, she has contributed many years of service as City and County Planning Commissioner and now as an elected Napa City Council member and Vice Mayor.

Juliana Inman pioneered in North Carolina as a woman in construction - first as a college student working for Clancy and Theys Construction Co.; then as an Assistant Superintendent on projects such as the NC Governor's Mansion; then as a full-charge Superintendent at multiple projects on the University of North Carolina campus. She went on to become an architect specializing in historic buildings of all types.

**EDUCATION**

Bachelor of Environmental Design in Architecture, North Carolina State University

Instructor of Perspective Drawing, Academy of Art, San Francisco

**REGISTRATION**

Registered Architect, State of California No. C-14760

Meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture

**MEMBERSHIPS**

Vice Mayor, City of Napa

Napa County Landmarks, Inc. Board of Directors, Past President

Napa County Local Agency Formation Commission

Rotary Club of Napa, Director

California Preservation Foundation

California State Local Agency Formation Commission Coastal Section Representative

**SPECIAL AWARD**

The Order of the Longleaf Pine awarded by North Carolina Governor Robert W. Scott, 1970

**SELECTED PROJECT EXPERIENCE**

The Star Building, St. Helena, CA

Peter Chiarella Residence, Napa, CA

Varozza Winery (historic Zange "ghost winery"), St. Helena, CA

Wallis Family Estate (historic Pacheteau's Castle), Calistoga, CA

Downtown Joe's (historic Oberon Building), Napa, CA

First National Bank Building, Napa, CA

Main St. Exchange, Napa, CA

Reid Family Vineyards, Napa, CA

Holy Comforter Episcopal Church, Charlotte, NC

MacNider Hall, UNC - Chapel Hill, NC

N.C. Governor's Mansion, Raleigh, NC

Dunn Residence, Little Rock, AR

Judge Palmer House, Calistoga, CA

Eliza Yount Mansion, Napa, CA

Hackett House, Napa, CA

Main St. District, St. Helena, CA

Aetna Springs Resort, Napa County, CA

Ingalls House, Napa, CA

Mansfield Winery (historic Franco-Swiss "ghost" winery), St. Helena, CA

**SELECTED AWARDS AND PUBLICATIONS**

Awards of Merit (Restoration), Napa County Landmarks, 1992, 1998, 2002, 2005, 2007, 2008, 2009, 2011, 2012

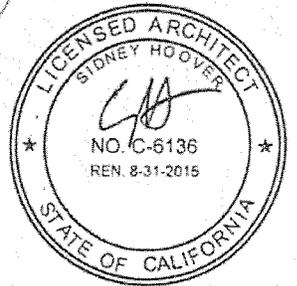
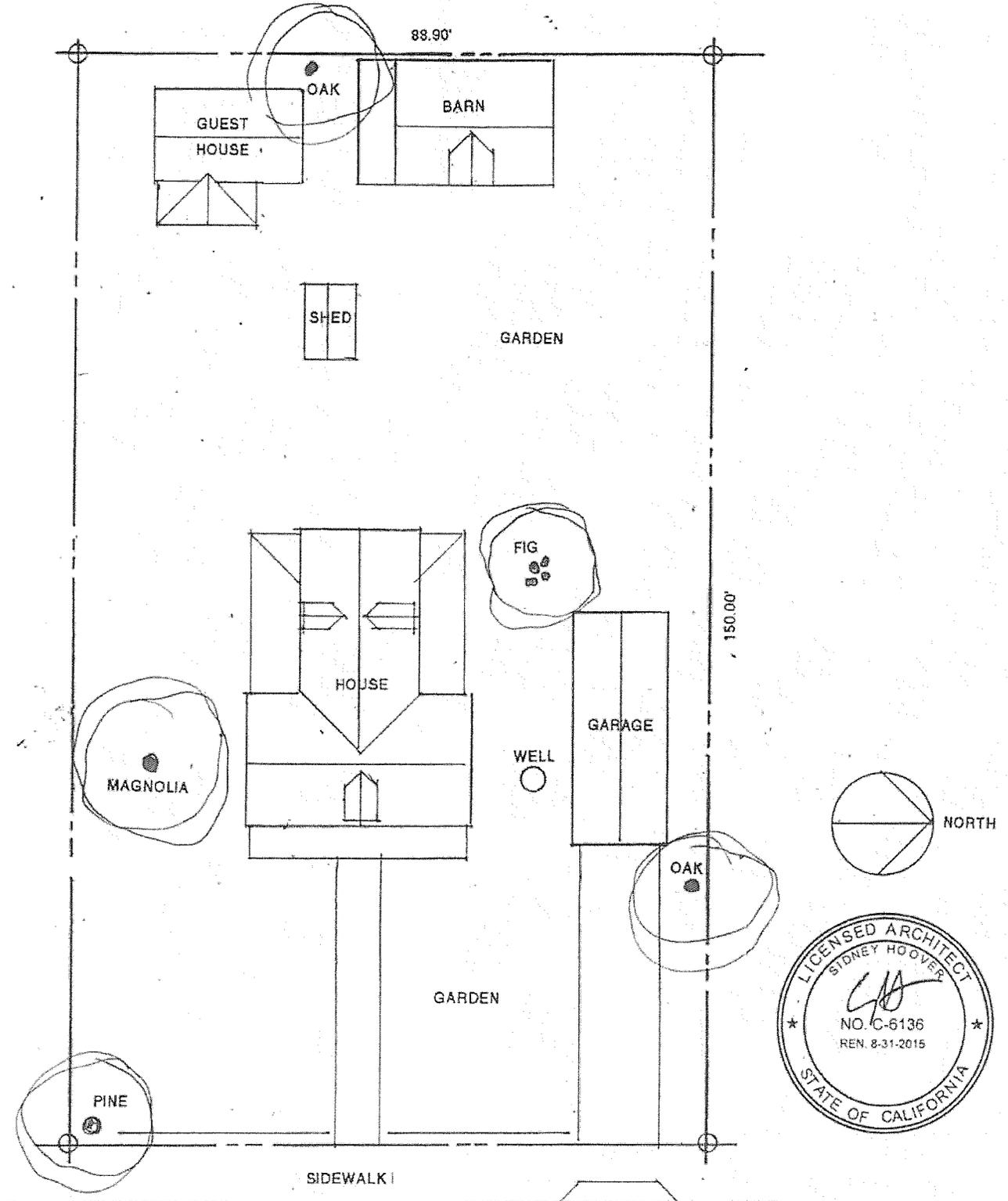
The Napa Valley Register, April 19, 2008 "The Prolific Mr. Turton", Juliana Inman Architect

The San Francisco Chronicle, June 7, 2003 "It's Tough to Tell a Turton", Juliana Inman Architect

HGTV, 2002 - "Dream Drives", featuring three homes on First Street, Napa  
American Institute of Architects California Council - Community Design Award, 1998, Napa Community Coalition for Flood Control Technical Advisory Group

SKETCH MAP

\*Resource Name or # (Assigned by recorder) Gillan Residence



NOTE: Include bar scale and north arrow.

\*Drawn By: SIDNEY HOOVER  
DPR 523K (1/95)

SECOND STREET EAST

\*Date: 12/09/13

\*Required information



DEC 10 2013

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 3CS

Other Listings  
Review Code

Reviewer Juliana Inman

Date 12/9/13

Page 1 of 4

\*Resource Name or #: Gillan Residence

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: Sonoma

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad: Sonoma Quad Date: T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: 663 Second Street

City: Sonoma

Zip: 95476

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 018-311-009-000

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This two-story cross-gable Carpenter Gothic Cottage was one of the first constructed in this residential district. The Gillan House (also known as the "Gillon House") is an altered circa 1860 two-story carpenter Gothic cottage featuring a high pitched cross gable roof with gable rear wing, low-pitched hipped roof porch with square wood columns, single front gable dormer, and rear wood lattice porches. Unique label mold trim details the front door and first floor windows. During construction of the house Mrs. Gillan died, and Mr. Gillan moved in with his son and daughter Edith. Edith lived in the house with Miss Lydia Culbertson inherited the house after her death. Changes to the house were made by several of the subsequent owners, but this fine example of early Gothic Revival style retains its integrity. Also on the site is a barn and garden with a 100+ year old fig tree.

\*P3b. Resource Attributes: (List attributes and codes)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Front



\*P6. Date Constructed/Age and Sources:  Historic  Prehistoric  Both  
1860, estimated

\*P7. Owner and Address:

Sid Hoover  
663 Second Street  
Sonoma, CA 95476

\*P8. Recorded by: (Name, affiliation, and address)  
Juliana Inman, Architect CI4760  
2133 First Street  
Napa, CA 94559

\*P9. Date Recorded: 12/9/13

\*P10. Survey Type: (Describe)  
Re-evaluation/update

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required information

DEC 10 2013

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

- B1. Historic Name: Gillan Residence  
B2. Common Name: Gillan (or "Gillon") Residence  
B3. Original Use: HP2 Single Family Residence B4. Present Use: Residence  
\*B5. Architectural Style: Carpenter Gothic  
\*B6. Construction History: (Construction date, alterations, and date of alterations)  
Constructed 1860, estimated. Additions circa 1920, 1970, 1995.

- \*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_  
\*B8. Related Features:  
HP4 Barn; HP30 trees/vegetation

- B9a. Architect: unknown b. Builder: unknown  
\*B10. Significance: Theme Architecture Area \_\_\_\_\_

Period of Significance 1860-1920 Property Type HP2 Applicable Criteria C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Gillan House is an altered circa 1860 two-story carpenter Gothic cottage featuring a high pitched cross gable roof with gable rear wing, low-pitched hipped roof porch with square wood columns, single front gable dormer, and rear wood lattice porches. At the time of the 1978 survey, the front of the house was covered by painted shingle siding, which has since been removed. The original board and batten siding remains on the house. The cross gable ends of the house retain their finials. Pendant verge board along the eave lines appears to have been removed. Original 6 over 6 windows remain in the dormer and gable ends, while the 2 over 2 front facade windows may be 19<sup>th</sup> century replacement windows that have become part of the historic fabric of the building. Since the 1978 survey, the paneled front door of the house has been replaced with a later Victorian wood and stained glass door. Other alterations include extensive remodeling of the rear wing of the house including removal and replacement of siding, windows and porches, with addition of a deck and outside storage area on the southwest corner of the building. (continued)

- B11. Additional Resource Attributes: (List attributes and codes) HP 4 Barn; HP30 trees/vegetation  
\*B12. References: Sonoma Historic Resource Inventory, recorded by Johanna Patri, 1/17/79

(Sketch Map with north arrow required.)

State of California Historic  
Resource Inventory #49-5476-144, NWIC file #13-0602  
Phone conversation with Diana Painter, 12/6/13  
who concurs on status code for her similar report

(This space reserved for official comments.)

B13. Remarks:

- \*B14. Evaluator: Juliana Inman, Architect C14760  
\*Date of Evaluation: 12/9/13

\*Recorded by: Juliana Inman

\*Date: 12/9/13

Continuation  Update

B10. (continued) The house retains integrity of location, design, setting, materials, workmanship, feeling and association, and remains in "good" condition.

The other historic resource on the site is the gable end barn with gable dormer, which remains largely unaltered and retains integrity of location, design, setting, materials, workmanship, feeling and association. A 100+ year old Mission Fig tree remains in the garden near the house.

A second dwelling unit, storage shed and garage on the site are not historic.

The context for this cottage is early residential neighborhood with varying styles of architecture, with a period of significance of approximately 1860-1930 when most of the lots were built-out. This cottage is a rare style in the town of Sonoma, and is a fine example of Carpenter Gothic design.

HISTORIC RESOURCES INVENTORY

(State use only)  
 Ser \_\_\_\_\_ S. \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR 4 SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

- Common name: Gillon Home
- Historic name, if known: Gillon Residence
- Street or rural address 663 Second Street East  
 City: Sonoma, Ca. ZIP: 95476 County: Sonoma
- Present owner, if known: Kenneth MacIntire Address: 663 Second St. East  
 City: Sonoma, Ca. ZIP: 95476 Ownership is: Public  Private
- Present Use: Residence Original Use: Residence  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This two story, T-shape, simple, Carpenter Gothic Home is situated on the west side of E. Second Street in a residential neighborhood of various styles. The building features a gabled roof at either end and a gabled roof dormer with windows of 6 lights over 6. Front features a hip roof covered porch with 4 square wood posts. Wood paneled front door has small vertical lights on either side and light transom above. There is a double hung window with vertical lights over 2 on either side of door. At either end of roof peaks is a finial. Across front of property is a picket fence with posts and finial at gate. Front siding appears to be painted asphalt shingles. Side of house is board and batten. There is a wing with covered porch and dormer at back. On property is gabled roof barn with gabled dormer.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

UTM (SONOMA QUAD)  
 10/547,230/4,238,180  
 10/548,210/4,238,070  
 10/548,180/4,237,670  
 10/547,800/4,237,740



See City Map - Area 11

8. Approximate property size:

Lot size (in feet) Frontage 88  
 Depth 150  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

- a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other  \_\_\_\_\_

12. Threats to site:

- a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other  \_\_\_\_\_

13. Date(s) of enclosed photograph(s): April 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other  \_\_\_\_\_
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1860 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): \_\_\_\_\_
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  Barn, well i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This house was built by Mr. Gillon about 1860. The Gillons had lived off Second Street East, near the railroad tracks at the site where a brick chimney still stands. Mrs. Gillon died while the house was being built and Mr. Gillon moved in with his son & daughter, Edith. Edith lived here with Miss Lydia Culbertson, a bookkeeper in Lewis' Butcher Shop, until her death when Lydia Culbertson inherited it. After Miss Culbertson's death, it was purchased by Mr. Blake and Mr. Maffei who made some changes. Margaret Eliassen purchased the house and restored it and then sold it to the Kenneth MacIntires. It is a classic example of the early Gothic Revival style which prevailed in California from the Gold Rush to Civil War times. Cottages, with surface trim added, such as this were projections of the little, four squared frame cottages of New England Colonial vintage.

This handsome, simple, Gothic Revival building with its symmetrical facade is probably the oldest building in the neighborhood and one of the few Gothic style buildings in the city.

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Beech Alexander, July 1976  
Miss Zolita Bates, January 1979

23. Date form prepared: 1/17/79 By (name): Johanna Patri  
Address: 521 Maple Rd. City Sonoma, Ca ZIP: 95476  
Phone: 996-6412 Organization: Sonoma Historic Preservation League

(State Use Only)



**Historic Resource Report  
And CEQA Findings**

**18 October 2013**

**Rehabilitation and Alteration  
Hoover Residence/Historic Gillon Residence  
663 Second Street East  
Sonoma, CA**

**Description, significance and evaluation:**

This reviewer has reviewed plans for rehabilitation and alterations of the historic "Gillon Residence" prepared by Architect Sid Hoover, and has visited the site on October 14, 2013. Photographs from that site visit are attached as "Exhibit A". The 1978 Historic Resource Inventory form prepared by Johanna Patri is also attached.

The Gillon House is an altered circa 1860 carpenter Gothic cottage featuring a high pitched cross gable roof with gable rear wing, low-pitched hipped roof porch, single front gable dormer, and rear wood lattice porches. At the time of the 1978 survey, the front of the house was covered by painted shingle siding. The sides and rear of the house had board and batten siding at that time. This siding remains. The main gable ends of the house retain their finials. Pendant scroll work around the eave line may have been removed. Original 6 over 6 windows remain in the dormer and gable ends, while the 2 over 2 front facade windows may be 19<sup>th</sup> century replacement windows that have become part of the historic fabric of the building.

Since the 1978 survey, the paneled front door of the house has been replaced with a later Victorian wood and stained glass door. Other alterations include extensive remodeling of the rear wing of the house including removal and replacement of siding, windows and porches, with addition of a deck and outside storage area on the southwest corner of the building.

The house retains integrity, and remains in "good" condition.

The other historic resource on the site is the carriage house, which remains largely unaltered and retains integrity. No alterations are proposed for the carriage house. A 100+ year old Mission Fig tree remains in the garden near the house.

A second dwelling unit, storage shed and garage on the site are not historic.

**California Environmental Quality Act (CEQA) and integrity analysis:**

According to California Environmental Quality Act (CEQA) regulation, historic resources are automatically eligible for the California Register if they have been listed in

and determined eligible for the National Register of Historic Places (NR) or the California Historic Landmarks program. Historic resources included in historic resource inventories prepared according to the California State Office of Historic Preservation (SHPO) guidelines (and included in the State Inventory of Historic Resources) or designated under county or city historic landmark ordinances are presumed eligible if the designation occurred during the previous five years. Designations and surveys over five years old must be updated before their eligibility can be considered.

The California Register regulations define “integrity” as “the authenticity of an historic resource’s physical identity, evidenced by the survival of characteristics that existed during the resource’s period of significance” (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: **location, design, setting, materials, workmanship, feeling and association**. A property must retain **most** of these qualities to possess integrity.

The criteria for eligibility for listing in the National Register are virtually the same as for the California Register. To meet the National Register standards, a property must meet these same criteria, be associated with an important historic context, and retain the historic integrity of features that convey significance (National Park Service, 1991).

**The house, though altered, retains all seven aspects of integrity - location, design, setting, materials, workmanship, feeling and association.**

**Secretary of the Interior Standards and California Environmental Quality Act (CEQA) analysis:**

According to current CEQA regulation:

Title 14. California Code of Regulations, Chapter 3. Guidelines for Implementation of the California Environmental Quality Act Article 5. Preliminary Review of Projects and Conduct of Initial Study, Section 15064.5. Determining the Significance of Impacts to Archeological and Historical Resources:

(3) Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

**Secretary of the Interior Review:**

Local governments in California generally reference compliance with The Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, in the design review conditions and/or negative declaration for projects. Compliance with these guidelines avoids any negative impacts on the existing buildings.

According to the introduction of these standards:

**The Standards for Rehabilitation** (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

The introduction further states:

... As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

And the final introductory statement:

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

**Analysis:**

Work described in the drawings conforms to *The Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings*. Included with the comment is a citation of the Standard or guideline language involved, and specific recommendations are in **boldface**:

1. ***Standard 1*** *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Use as a single family residence will be retained.

2. ***Standard 2*** *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The alteration of the building is described under Standard 9 below. Historical material will be retained.

3. ***Standard 3*** *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical*

*development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

No features from other buildings will be added. No conjectural features are proposed. New construction does not create a false sense of historical development. No inappropriate light fixtures, finishes or materials will be added. The remodeled kitchen area will have new "lattice porch" wall finish which is differentiated from the original board and batten siding.

4. ***Standard 4** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Existing alterations that have become part of the historic fabric of the building will remain.

5. ***Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Distinctive features and finishes will be not be removed.

6. ***Standard 6** Deteriorated historic features shall be repaired rather than replaced. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Replacement of historic materials will be done where original material has been broken, lost or weathered to an extent making repair infeasible. Replacement features will match the old in design, color, texture, visual qualities, and material.

7. ***Standard 7** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

No sand blasting or chemical treatments are proposed.

8. ***Standard 8** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures must be taken.*

Sonoma County standard archeological mitigation measures should apply to all ground disturbing activities on the site.

9. **Standard 9** *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment.*

The building alterations in this setting hinge on this standard. New construction should be respectful of the historic building, while at the same time avoiding creating a false sense of what is historic on the site. The standards and guidelines allow for a wide range of design options and styles.

The proposed one story bedroom addition is subtly differentiated from the original and is more contemporary in style. The pattern of board and batten siding is referenced with contemporary materials. According to the Guidelines, "...additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation. New design should always be clearly differentiated so that the addition does not appear to be part of the historic resource." The Guidelines further recommend:

- Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
- Designing new additions in a manner that makes clear what is historic and what is new.
- Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.
- Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building.

The bedroom addition is placed at the rear of the building and is not visible from the public right of way.

Changes to the rear kitchen wing include replacement of the doors at the rear, a new door and window on the north side elevation, and use of "lattice" siding at the north elevation to reference the previously removed lattice porch.

10. **Standard 10** *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Since the proposed addition and alterations are being made to an extensively altered rear elevation of the building, the essential form and integrity of the building remains.

**Conclusions:**

Work in the proposed project meets the Secretary of the Interior's Standards.

**Sources:**

1. 36 CFR Part 800: Protection of Historic Properties, Advisory Council on Historic Preservation, 1986.
2. California CEQA Guidelines, amended 1 February 2001.
3. California CEQA Statute, amended 1 January 2002.
4. California Governor's Office of Planning and Research, "Thresholds of Significance: Criteria for Defining Environmental Significance: CEQA Technical Advice Series," September 1994.
5. California Department of Parks and Recreation "Historic Resource Inventory", DPR 523 form, UTM (Sonoma Quad), City Map Area II, Sonoma Historic Preservation League, Johanna Patri – preparer, April 1978.
6. How to Apply the National Register Criteria for Evaluation Bulletin, U.S. Department of the Interior, National Park Service, by the staff of the National Register of Historic Places, finalized by Patrick W. Andrus, edited by Rebecca H. Shrimpton, (1990, Revised 1997, Revised for Internet 2002).
7. Instructions for Recording Historical Resources, California Office of Historic Preservation, March 1995.
8. National Register Bulletins 15 and 16A (National Park Service 1990b, 1991) NRHP Status Codes.
9. The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, (1995), Weeks and Grimmer.

Page 7  
Hoover/Gillon  
10/18/13

**Report by:**

A handwritten signature in black ink, appearing to read "Juliana Inman", with a long horizontal flourish extending to the right.

Juliana Inman Architect  
California Architect, license #C14760

attachments: Exhibit A, photographs  
1978 DPR form

HISTORIC RESOURCES INVENTORY

(State use only)  
 Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR 4 SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

1. Common name: Gillon Home 49-55171-144
2. Historic name, if known: Gillon Residence
3. Street or rural address: 663 Second Street East  
 City: Sonoma, Ca. ZIP: 95476 County: Sonoma
4. Present owner, if known: Kenneth MacIntire Address: 663 Second St. East  
 City: Sonoma, Ca. ZIP: 95476 Ownership is: Public  Private
5. Present Use: Residence Original Use: Residence
- Other past uses: \_\_\_\_\_

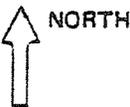
DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This two story, T-shape, simple, Carpenter Gothic Home is situated on the west side of E. Second Street in a residential neighborhood of various styles. The building features a gabled roof at either end and a gabled roof dormer with windows of 6 lights over 6. Front features a hip roof covered porch with 4 square wood posts. Wood paneled front door has small vertical lights on either side and light transom above. There is a double hung window with 2 vertical lights over 2 on either side of door. At either end of roof peaks is a finial. Across front of property is a picket fence with posts and finial at gate. Front siding appears to be painted asphalt shingles. Side of house is board and batten. There is a wing with covered porch and dormer at back. On property is gabled roof barn with gabled dormer.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

UTM (SONOMA QUAD)  
 10/547,230/4,238,180  
 10/548,210/4,238,070  
 10/548,180/4,237,670  
 10/547,800/4,237,740



See City Map - Area 11

8. Approximate property size:

Lot size (in feet) Frontage 88  
 Depth 150  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

- a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other

12. Threats to site:

- a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other

13. Date(s) of enclosed photograph(s): April 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other  \_\_\_\_\_
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1860 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): \_\_\_\_\_
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  Barn i. None

#### SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This house was built by Mr. Gillon about 1860. The Gillons had lived off Second Street East, near the railroad tracks at the site where a brick chimney still stands. Mrs. Gillon died while the house was being built and Mr. Gillon moved in with his son & daughter, Edith. Edith lived here with Miss Lydia Culbertson, a bookkeeper in Lewis' Butcher Shop, until her death when Lydia Culbertson inherited it. After Miss Culbertson's death, it was purchased by Mr. Blake and Mr. Maffei who made some changes. Margaret Eliassen purchased the house and restored it and then sold it to the Kenneth MacIntires. It is a classic example of the early Gothic Revival style which prevailed in California from the Gold Rush to Civil War times. Cottages, with surface trim added, such as this were projections of the little, four squared frame cottages of New England Colonial vintage.

This handsome, simple, Gothic Revival building with its symmetrical facade is probably the oldest building in the neighborhood and one of the few Gothic style buildings in the city.

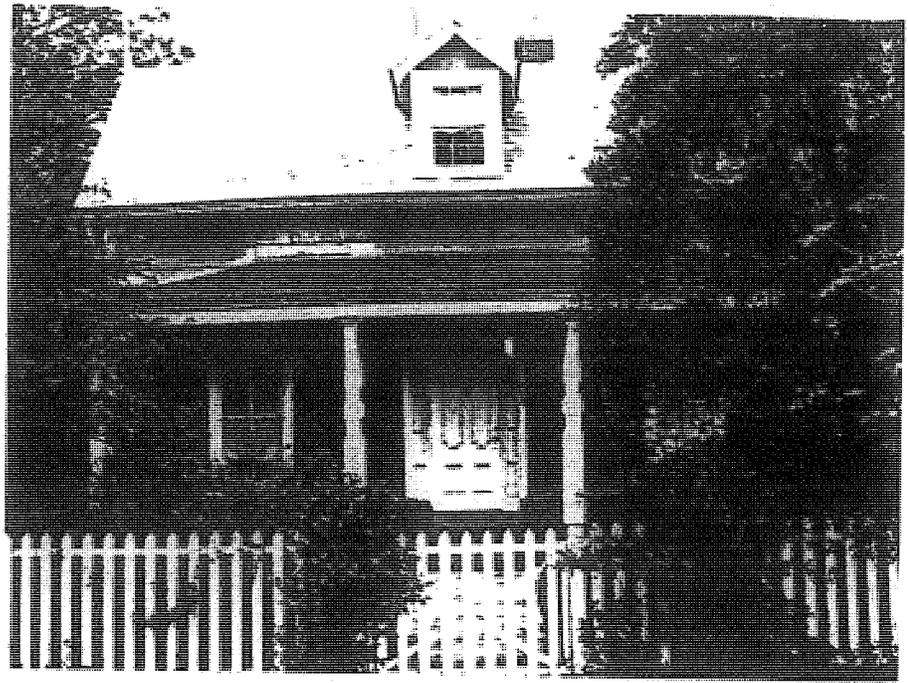
21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

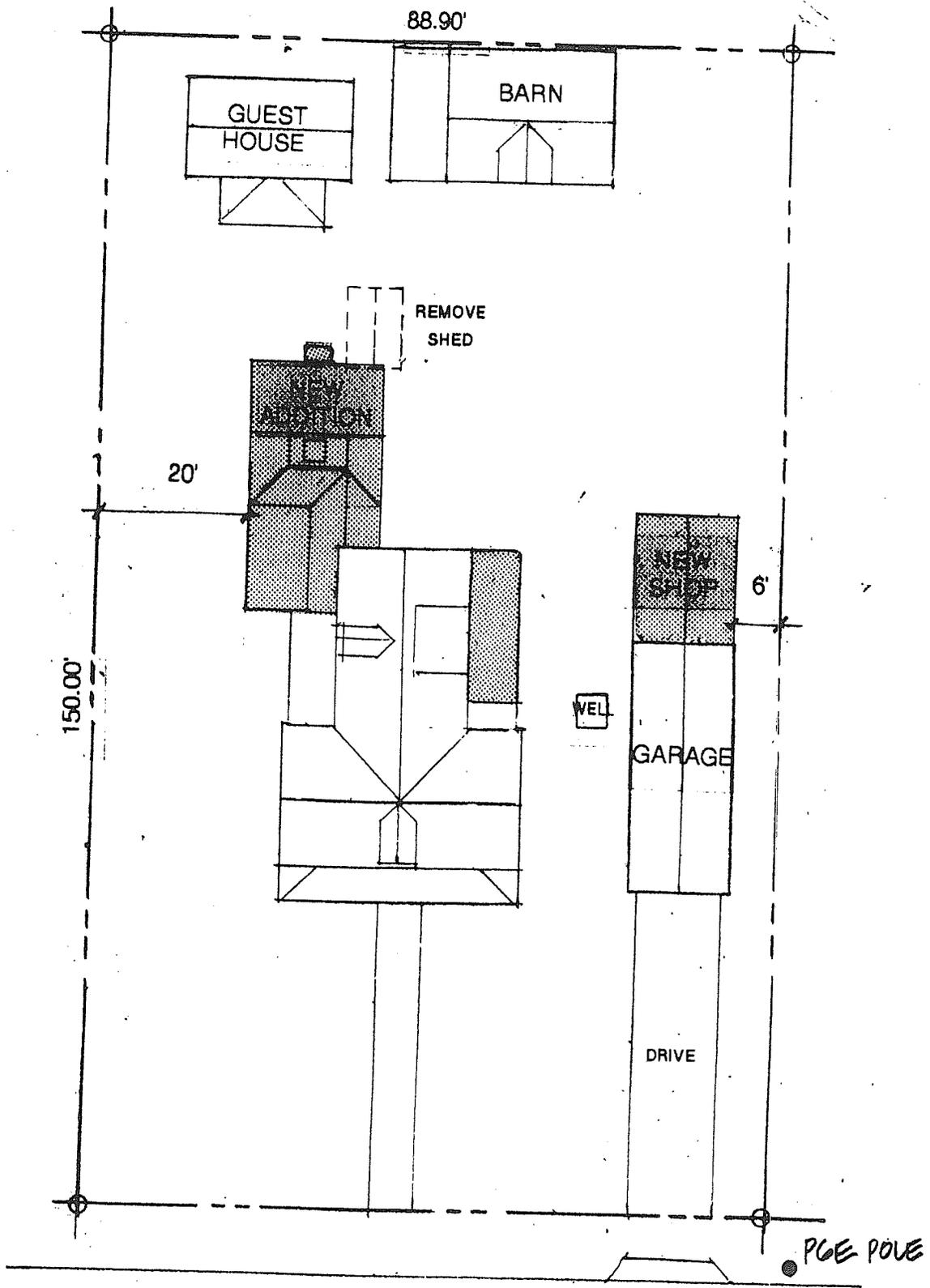
22. Sources: List books, documents, surveys, personal interviews, and their dates:

Beech Alexander, July 1976  
Miss Zolita Bates, January 1979

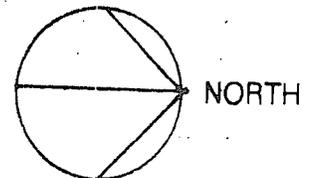
23. Date form prepared: 1/17/79 By (name): Johanna Patri  
Address: 621 Maple Rd City: Sonoma, Ca ZIP: 95476  
Phone: 996-6412 Organization: Sonoma Historic Preservation League

(State Use Only)





SECOND STREET EAST



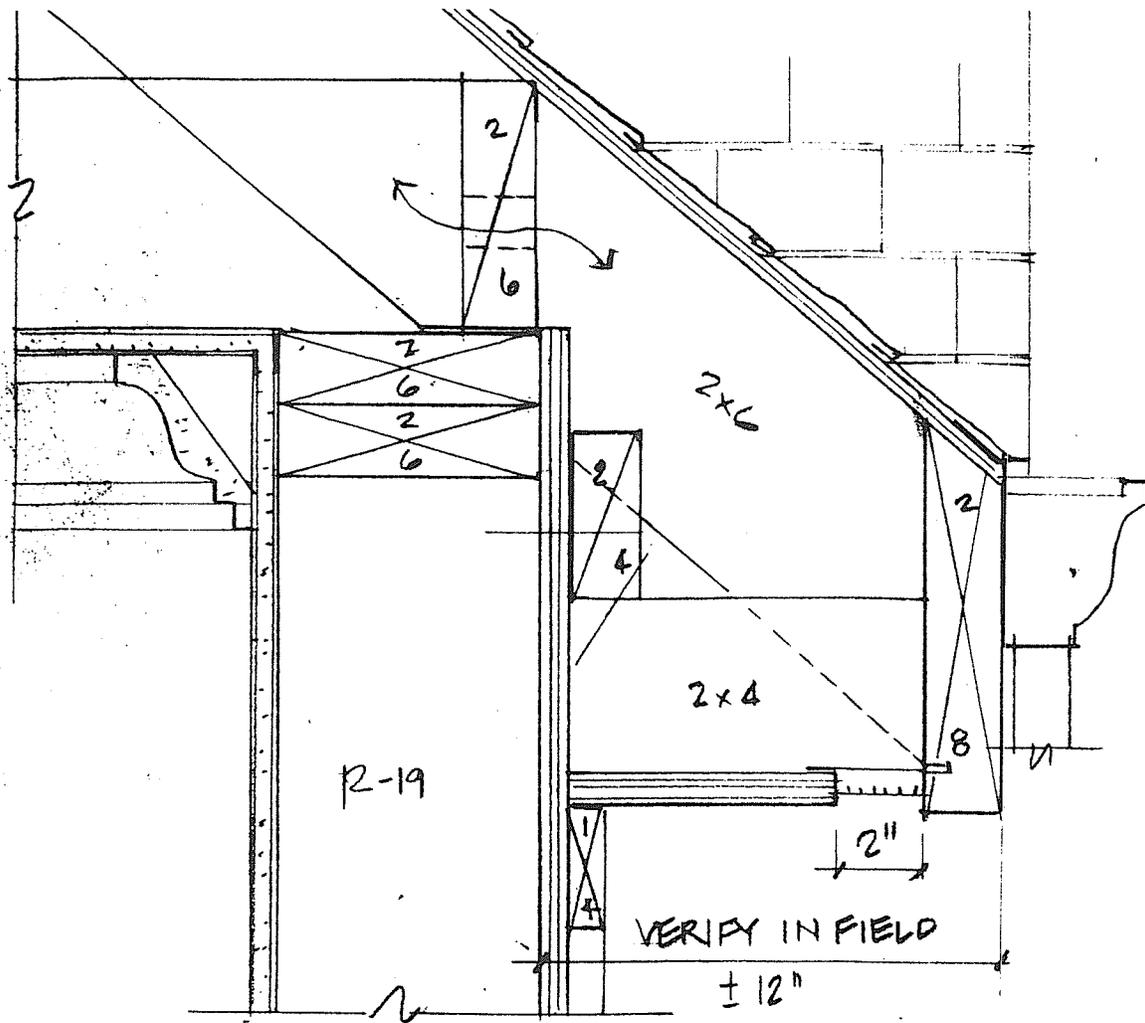


NORCAL  
MLS



MLS

TYPICAL EAVE DETAIL FOR NEW ADDITIONS AT 663 SECOND STREET EAST



5 TYPICAL SECTION @ EAVE

SIDNEY HOOVER ARCHITECTS

**COLORS SELECTED FOR 663 SECOND STREET EAST**

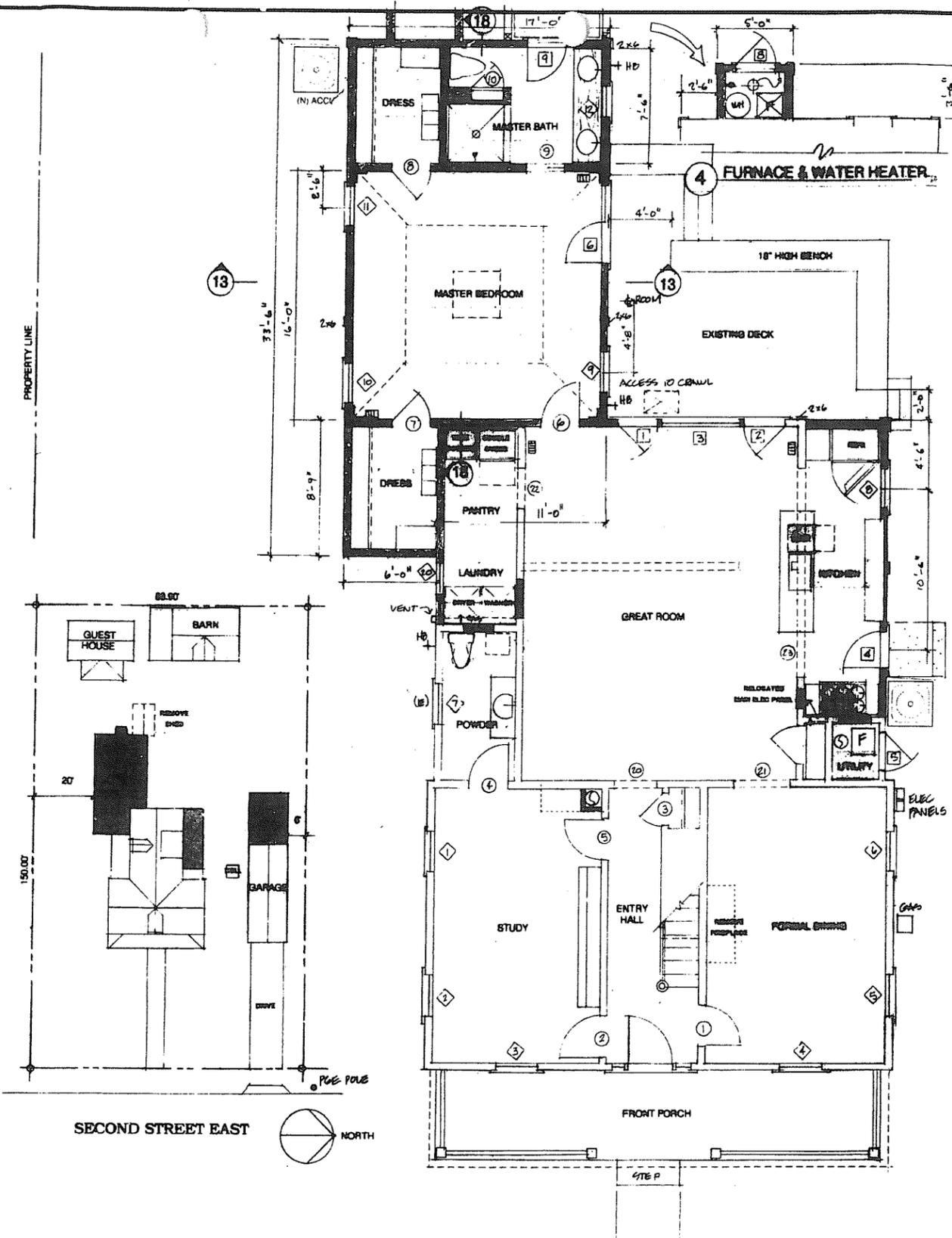
HOUSE AND TRIM COLOR: BENJAMIN MOORE SUPER WHITE #RM

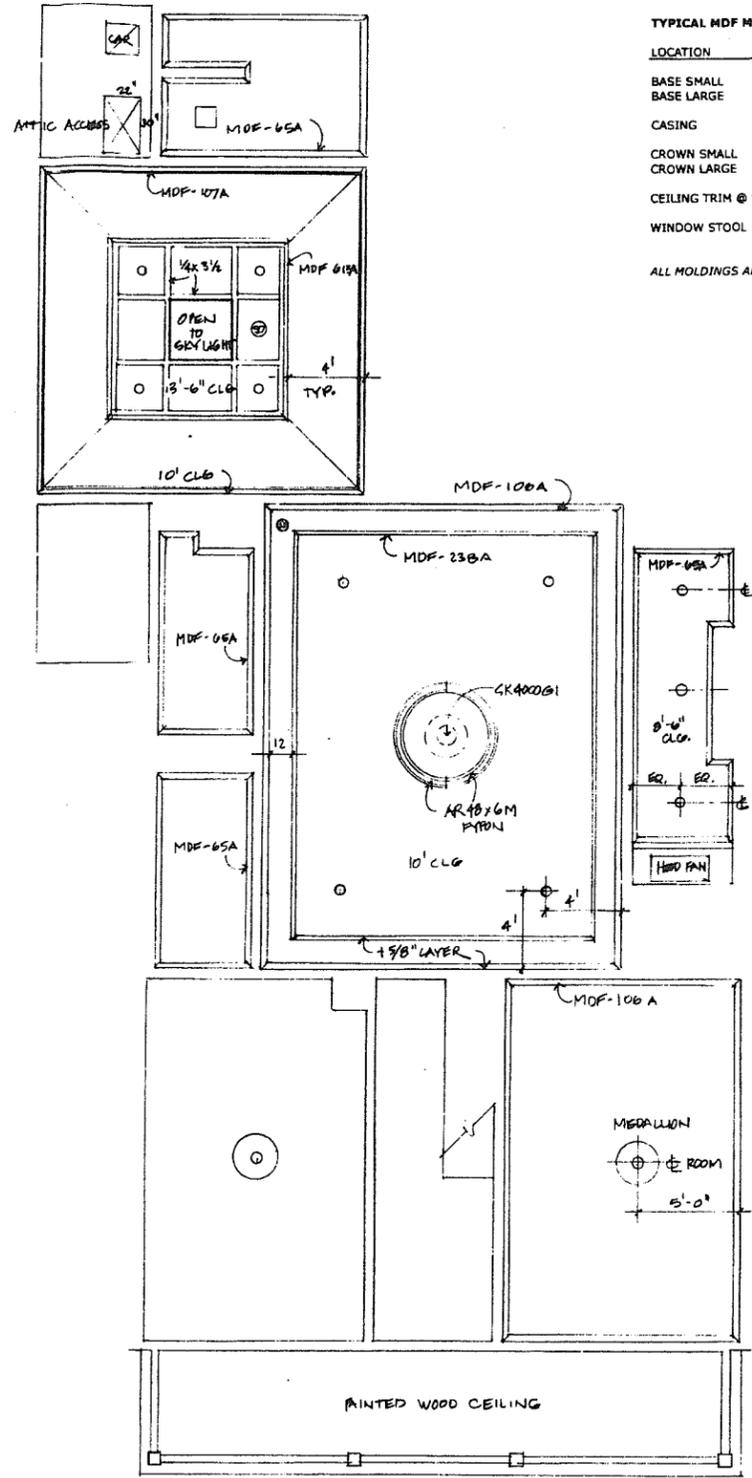
SHUTTER COLOR: BENJAMIN MOORE GARDEN OASIS #699

super white  
super blanco

RM lb





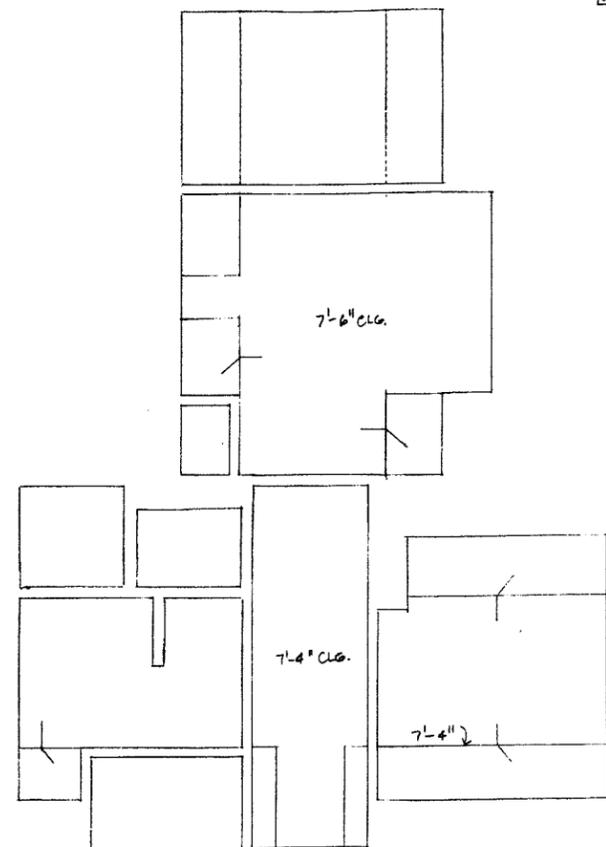


**TYPICAL MDF HOLDING SCHEDULE**

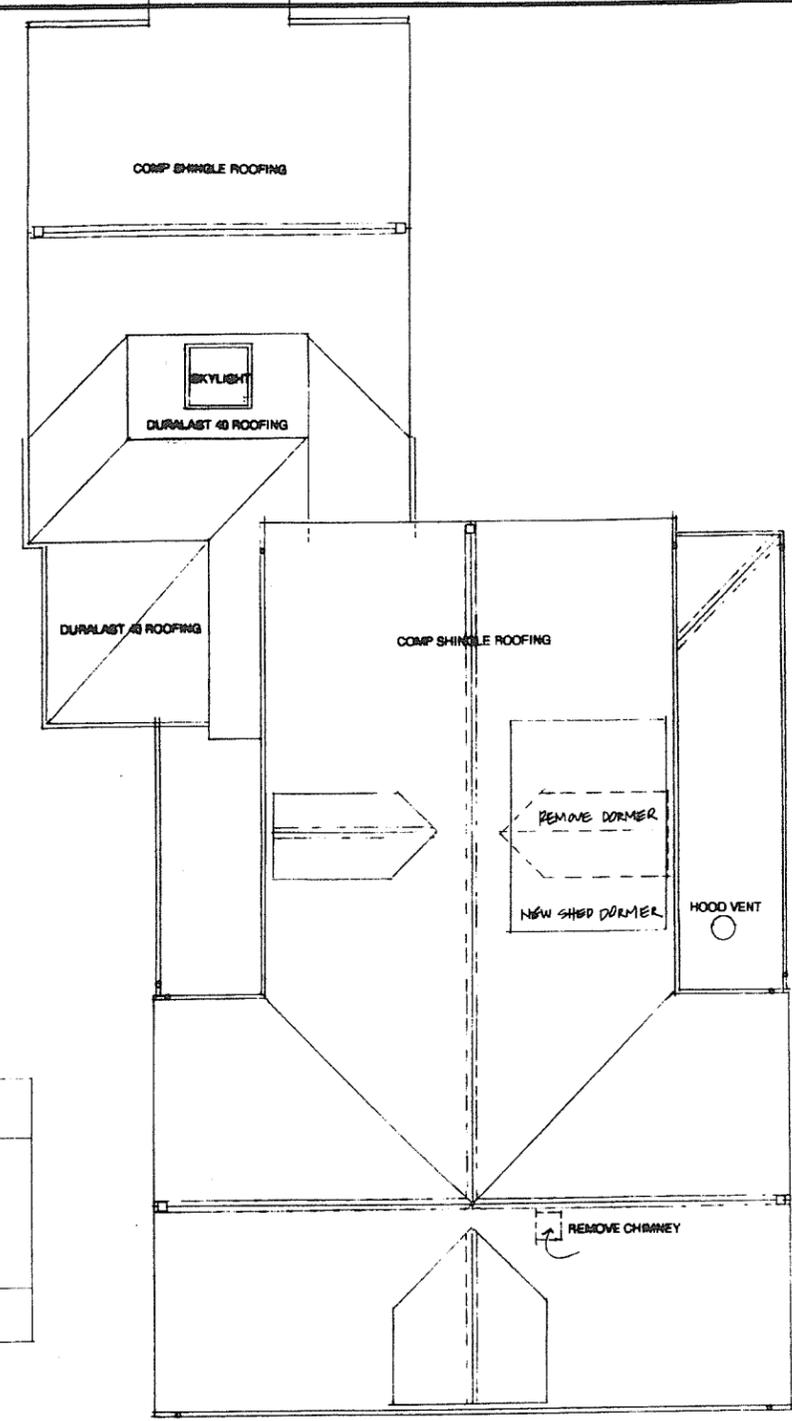
LOCATION	MATERIALS	SIZE
BASE SMALL	MDF-227A	7-1/4"
BASE LARGE	MDF-123A	9-1/4"
CASING	MDF-40A	3-1/4"
CROWN SMALL	MDF-65A	5-1/4"
CROWN LARGE	MDF-106A	7-1/4"
CEILING TRIM @ SECOND LAYER	MDF-238A	1-5/8"
WINDOW STOOL (NOT PRIMED)	MDF374	4-3/4"

ALL MOLDINGS ARE KELLEHER MDF PRIMED

1 FIRST FLOOR PLAN



2 SECOND FLOOR PLAN



3 ROOF PLAN

REVISIONS	BY

SIDNEY HOOVER ARCHITECTS AIA  
 ARCHITECTURAL DESIGN STUDIO  
 SONOMA, CALIFORNIA 95476  
 Tel 707-939-9995 Fax 707-933-0991  
 sidneyhoover@gmail.com

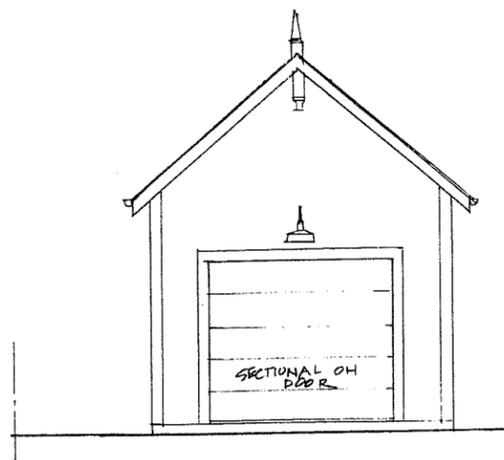


REFLECTED CEILING PLANS AND ROOF PLAN

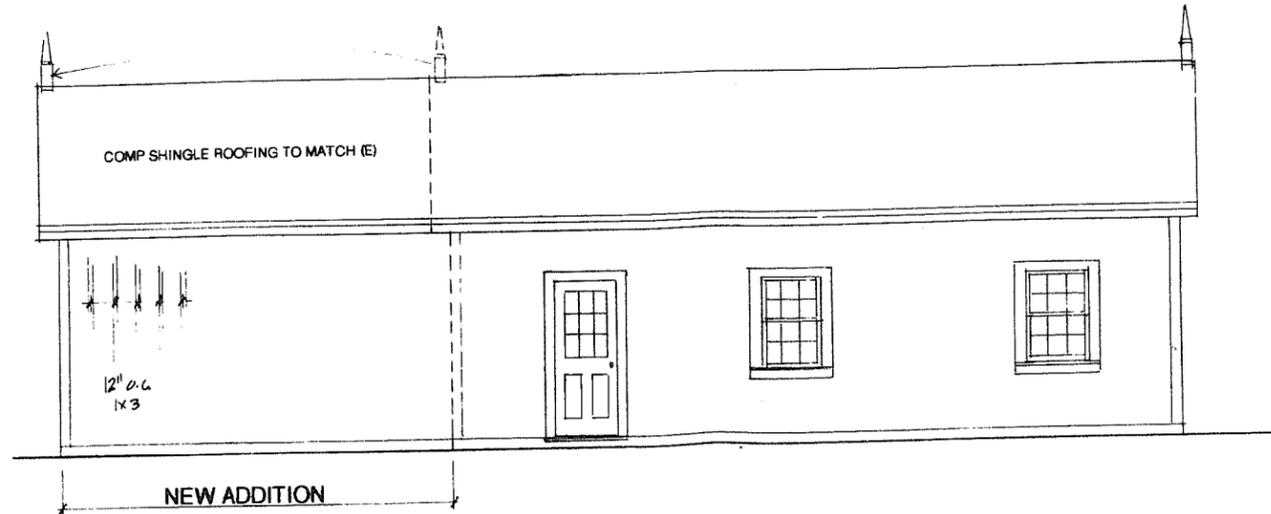
ADDITIONS AND REMODELING  
 663 Second Street East  
 Sonoma, CA 95476  
 APN 018-311-009-000

Date	
Scale	1/4"
Drawn	
By	
Sheet	A-2
Of	

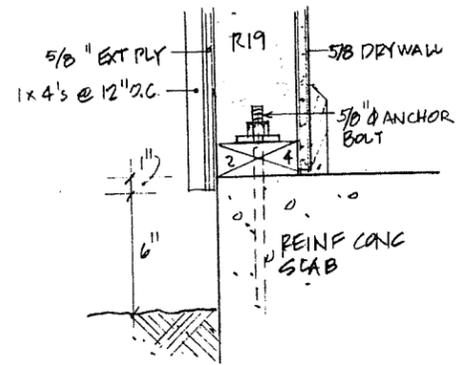




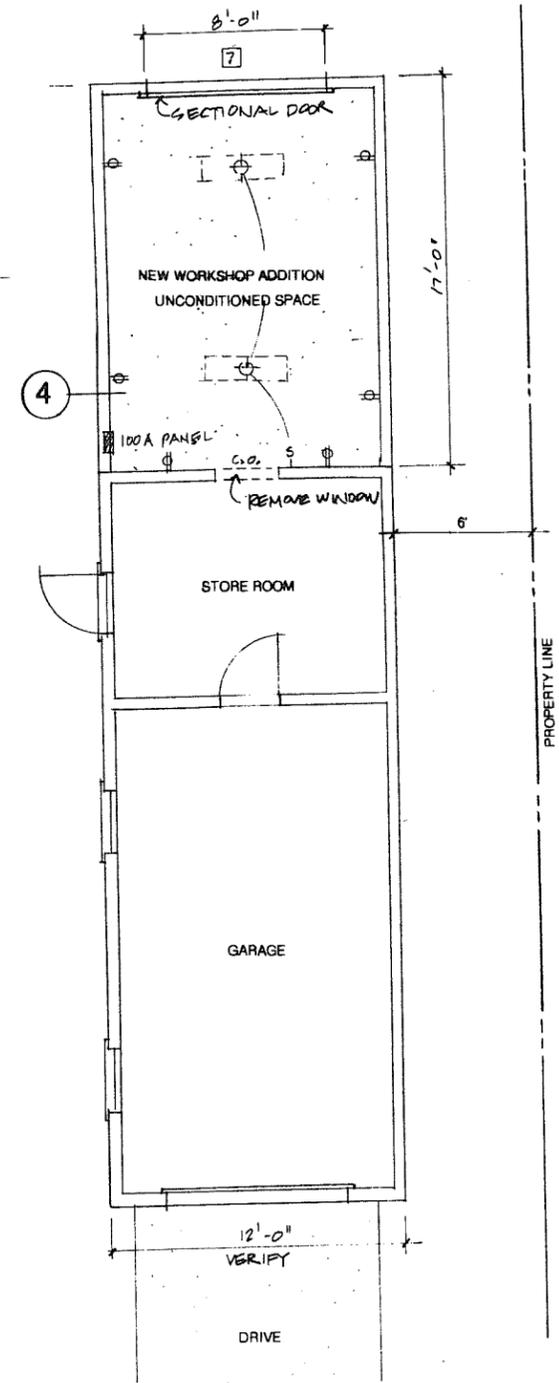
1 WEST ELEVATION



2 SOUTH ELEVATION



4 TYPICAL MUSSILL  
SEE STRUCTURAL FOR FRAMING DETAILS



3 FLOOR PLAN  
240 SF WORKSHOP ADDITION



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda Item: 3**

**Meeting Date: 12/17/13**

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**Applicant**

Schein & Schein Old Maps

**Project Location**

149 East Spain Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year Built: 1924
- 

**Request**

Consideration of a projecting sign, four awnings, four awning signs, and two wall signs for a commercial business (Schein & Schein Old Maps).

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**Summary**

*Awning:* The proposal involves the installation of three canvas fabric awnings on the building. The awnings would be installed on welded aluminum frames above the windows on the east and south elevations and one over the entrance to the building (west facing elevation). In terms of compatibility, the exterior color scheme of the building is a white color. A drawing of the proposed conditions and a sample of the awning material are attached for consideration. The proposed awnings are comprised of three individual awnings approximately 48 inches long and 18 inches high, in addition to the 6 inch awning valance. The awnings and valance would be composed of beige colored canvas fabric. All three awnings would be installed on modified existing silver colored aluminum frames. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 6 feet 6 inches of clearance above the ground and would not be located over a public walkway, and would extend only 32 inches from the face of the building. The purpose of the awning is to provide business identification and weather protection for the building. Samples of the awning color and material were distributed for the November 19, 2013 meeting.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

*Projecting Sign:* The proposed projecting sign is two-sided, with an area of  $\pm 3$  square feet per side (1.5 foot tall by 2 feet 4 feet wide). The maximum height of the sign would be 8.5 feet, with a clearance of 7 feet between grade and the bottom of the sign. The sign is proposed perpendicular to the street on the west side of the front elevation of the building located atop of existing cement pillars. The sign would be constructed of an aluminum material. In terms of colors, the background would consist of a purple color with yellow lettering. Illumination is not proposed.

*Existing Projecting Sign:* One projecting sign currently exists on the site (Hwy 12 Properties). The sign is two-sided, with an area of  $\pm 3.75$  square feet per side (15 inches tall by 3 feet wide).

*Projecting sign regulations:* Projecting signs shall not exceed nine square feet in area on each side. Projecting signs shall not project over four feet from any wall surface nor be closer than four feet to any curb line of a public street. No projecting sign shall extend above the top level of the wall upon or in front of which it is situated, or in the case of buildings having sloping roofs, above the eaves of the roof. Any sign which is suspended or projects over any public or private walkway or walk area shall have an overhead clearance of at least seven feet (§18.20.150). The sign is consistent with this requirement in that it would have an overhead clearance of 7 feet and be located 5.5 feet from the sidewalk.

*Awning signs:* Three awning signs are proposed on the east and south elevations and one over the entrance to the building (west facing elevation). The one-sided signs are proposed to have an area of  $\pm 1.5$  square feet ( $\pm 6$  inches tall by  $\pm 3$  feet wide). The maximum height of the sign would be 6.5 feet. The sign would include black material lettering sewn onto the awing material.

*Wall sign:* Two wall signs are proposed: a compass sign and an Old Maps sign. The proposed compass wall sign is one-sided, with an area of  $\pm 3.15$  square feet (36 inch circumference). The sign (compass) would be painted on the wood siding of the building. Copy on the sign would consist of black lettering on a white background. The applicant is proposing two options for the compass sign location: the south facing building wall; or the east facing building wall. Illumination is not proposed. The Old Maps sign is one-sided, with an area of  $\pm 4.71$  square feet (17 inches tall by 3.33 feet wide). The sign would be constructed of wood. Copy on the sign would consist of black routed lettering. The sign would be located on an accessory building to the west of the subject building. Illumination is not proposed.

*Aggregate Sign Area:* Based on the property's frontage on West Spain Street (40 feet), the maximum aggregate sign area allowed for the parcel is 22 square feet. However, because the structure and the signs on the subject business are located more than 40 feet from the centerline of the street, the allowable aggregate sign area may be increased by 50 percent (§18.16.021), which would allow for 44 square feet. The total aggregate sign area for the property would be  $\pm 22.46$  square feet, including the proposed projecting sign (4.5 square feet of aggregate sign area), existing project sign (5.6 square feet of aggregate sign area) awning signs (4.5 square feet of aggregate sign area), and wall signs (7.86 square feet of aggregate sign area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is consistent with this requirement.

*Size Limitations:* Each face of a one-sided sign shall not exceed 48 square feet in area (§18.16.022). The proposal is consistent with this requirement.

*Number of Signs:* A maximum of two signs are normally permitted for any one business (§18.16.010). In this case, a third sign (no greater than 3 square feet in area) would also be allowed at the rear entrance. The proposal does not comply with these requirements in that seven signs are proposed for the business. The applicant is requesting a variance from this requirement.

*Variances:* As noted above, the proposal would exceed the allowable sign area for the rear entrance sign. The DRC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;

5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

**Other permits required:** In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit and to the Planning Department before the Design Review Commission can review the application. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Robin Evans at (707) 933-2205 for information regarding City Encroachment Permits.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

1. *Project narrative*
2. *Awning specifications*
3. *Site Plan & Sign Layout*
4. *Awning sign drawing*
5. *Compass sign drawing*
6. *Pictures of property and signs*
7. *Historic Resources Inventory*
8. *Awning color sample*

cc:    Schein & Schein Old Maps

149 East Spain Street  
Sonoma, CA 95476

Black Trust-1965  
C/O Hillary Black  
248 Trinity Avenue  
Kensington, CA 94708-1139

Mary Martinez  
P.O. Box 534  
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

Alan Jones, Administrative Captain

Marti Schein <scheinprints@sbcglobal.net>

October 13, 2013 1:30 PM

(No Subject)

To Whom it May Concern;  
Regarding a request to place signs on the real property located at : 149 East Spain Street, Sonoma

For Schein & Schein,  
A dealer of antique maps and fine books

The location, A cottage designed commercial space in the rear garden space behind 147 East Spain, a stone house.

A desire to use awnings, which are 32" deep x 48" wide, top sail only, with open sides and 6" by 48" drape front 18" from top to bottom lowest point sitting 80" above garden space grade,

Placed over one window on the east & south side of the property and one over the entrance /doorway, a total of 3 for the placement of information .

Awnings perform several functions:

The small and irregular windows are not made to allow lettering or signs on them

The doorway and opening windows require some additional protection from the sun and shelter from winter rain

Aesthetics

Our business name is Schein & Schein, we sell Old Maps.

The street signs are as shown, the awnings say "Old Maps", as that is our product ,

We are providing sample fabric as requested (tan Sunbrella).

The lettering is in black Sunbrella fabric and sewn onto each awning.

The building is free-standing, open on all sides and has a private right of way running along its eastern & southern sides.

The right to use this frontage needs to be addressed and this is the format, as the property is unique due to location at the edge of the existing commercial district .

Additionally we would like to paint on a compass rose, which would have our business name , of Schein & Schein worked into the design,as represented in our drawing, to grace an outer wall of the structure.

We found the utilitarian and unkept nature of the back & sides of the structure required attention and ownership through landscaping already repaired and still requires proper signs to advise of activity, type of goods sold, continuity and general pride of ownership.

**RECEIVED**

**OCT 17 2013**

**CITY OF SONOMA**

## Wendy Atkins

---

**From:** Jim Schein <scheinprints@sbcglobal.net>  
**Sent:** Wednesday, November 13, 2013 11:57 AM  
**To:** Wendy Atkins  
**Subject:** Fwd: Sunbrella Fire Retardant info

**Categories:** Planning

Here are the specs for the product we ordered and used for our awnings. I hope this will suffice .

### Sunbrella Firesist™ Specifications:

- Generic Classification: Woven fire retardant polymer backed with urethane/acrylic.
- Description: Fabric woven from an inherently fire retardant polymer, backed with a durable urethane/acrylic coating.
- Typical Weight: Approximately 8.75 oz. per square yard.v
- Width: 60 inches / 152.4 cm
- Colors: Very resistant to Ultraviolet rays & color degradation (see warranty). Most colors tested up to 1,500 hours fadeometer with minimal or no change. Fade resistant to most chemicals.
- Underside: Urethane/acrylic.
- Surface: Basket weave - soil/stain release finish.
- Transparency Level: Light shades translucent for good illuminated use.
- Abrasion Resistance: Excellent
- Flexibility: Excellent in both hot and very cold conditions. Will not crack.
- Dimensional Stability: Good. Remains fully flexible in frigid temperatures.
- Mildew Resistance: Excellent. (with proper maintenance and cleaning)
- Durability/Average Life Span: 5 years. (Depends on climate and proper care of fabric.)
- Flame Resistance (FR): Firesist is inherently flame retardant, passing the following flame retardant requirements:
  - Meets California State Fire Marshall Title 19.
  - NFPA 701-99, test method II
  - CPAI-84; Tent walls and roof
  - FMVSS 302
  - FAA 25.853 (Aviation)

RECEIVED

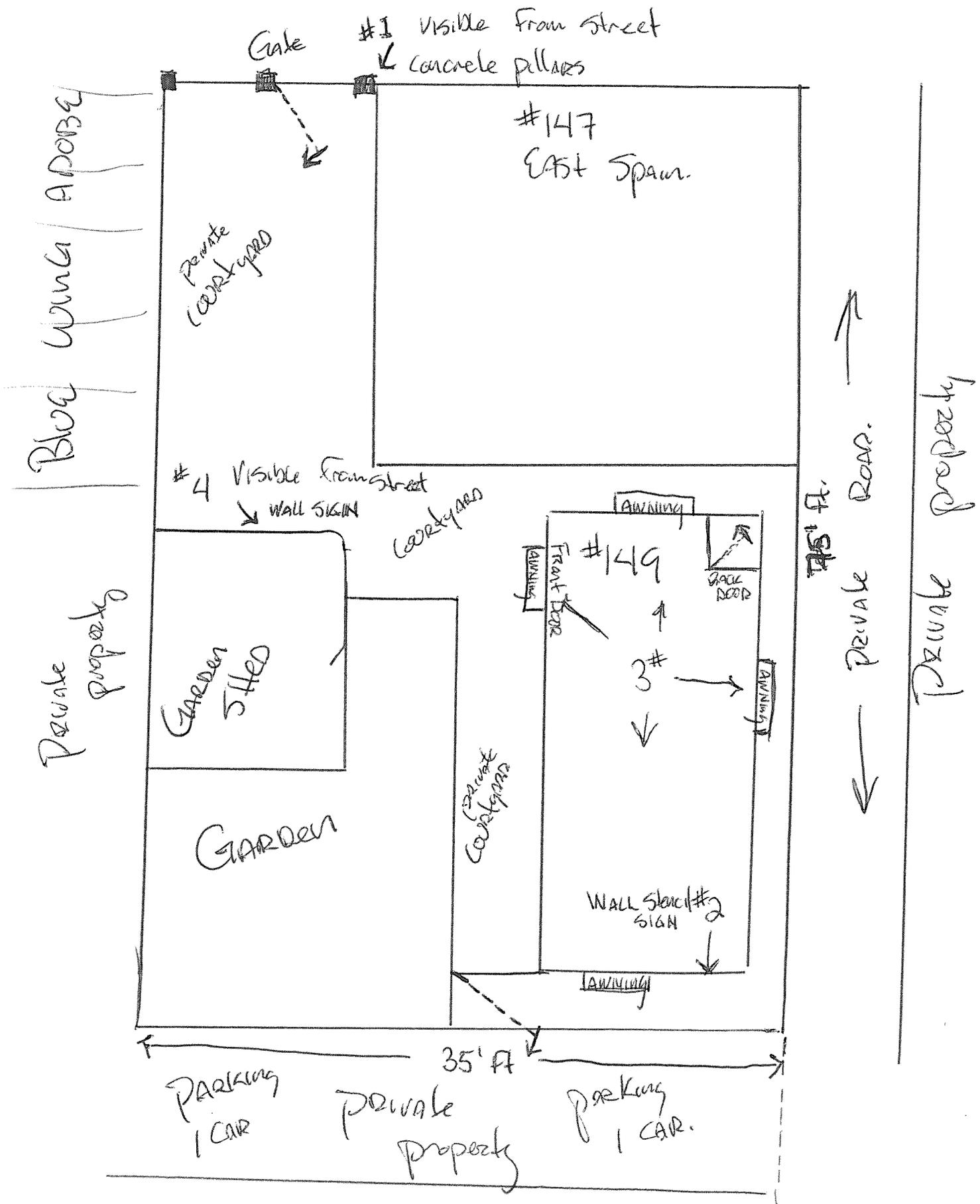
NOV 13 2013

CITY OF SONOMA

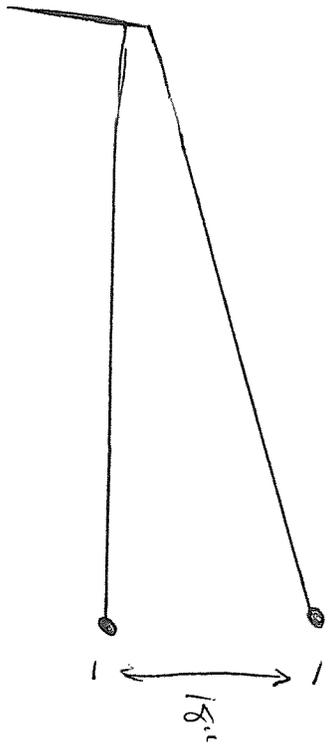
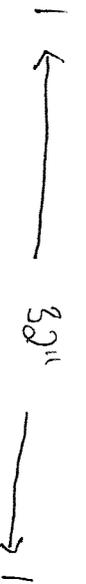
Site plan ★

East Spain Street Frontage  
Entrance 149 East Spain

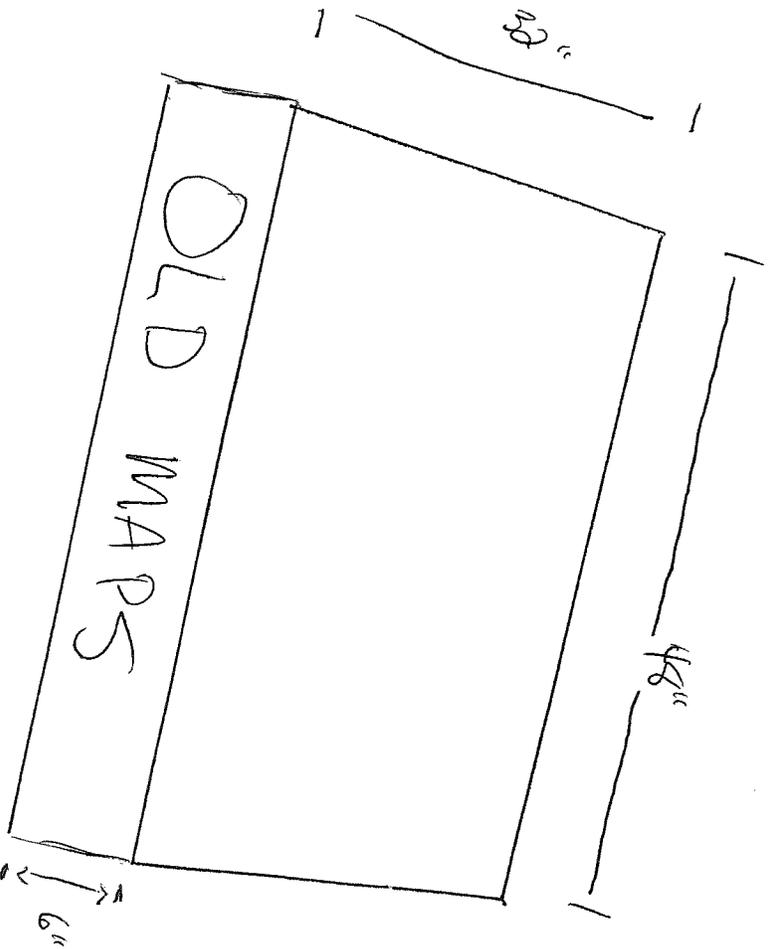
TOP



3 Awnings

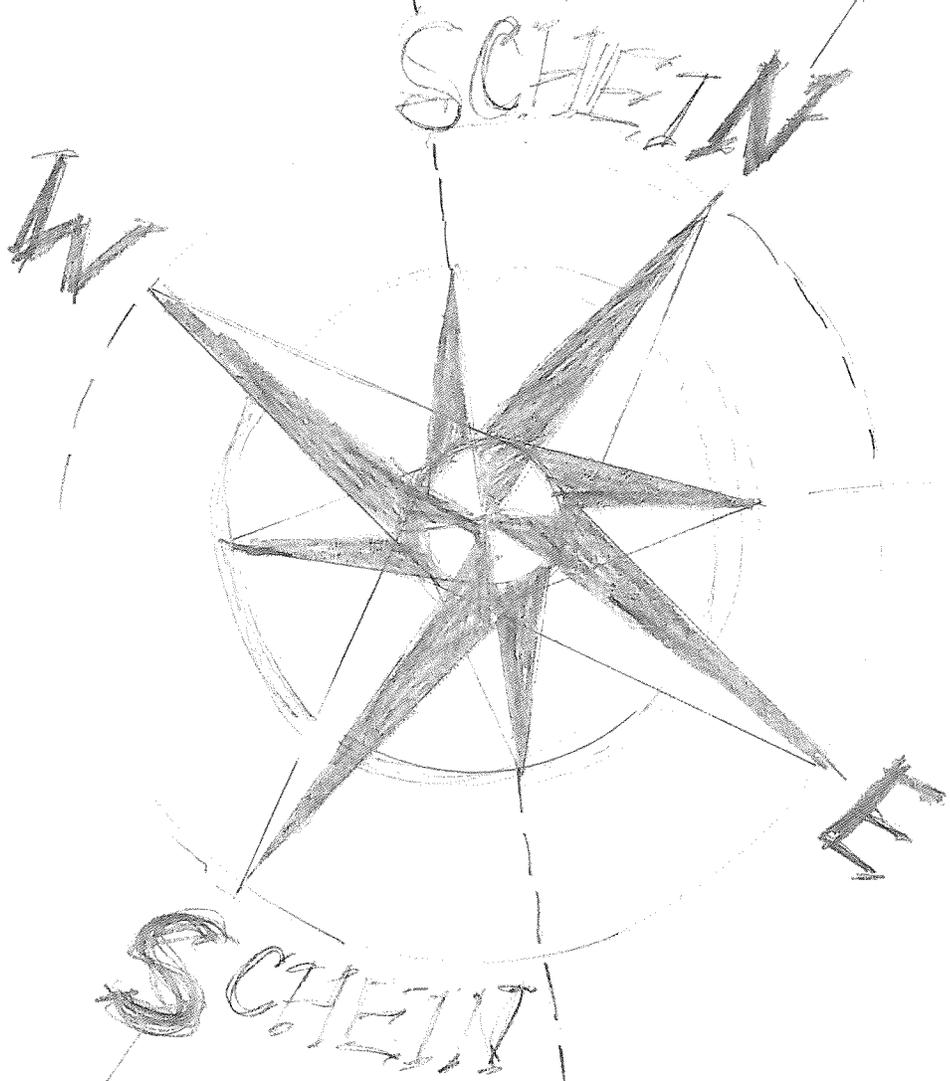


Side view



Front view

#2) WALL SIGN - one side  
Black on white  
36" Round



Wall Sign

36" Round

Views into property From East Spain St.

Schein <scheinprints@sbcglobal.net>

August 26, 2013 1:30 PM

To: Marti Schein <scheinprints@sbcglobal.net>

actual view from Spain street

, - courtyard entrance, (A) ~~====>~~ PRIMARY Entrance



IMG\_1069.JPG

AUG 26 2013

Schein <scheinprints@sbcglobal.net>

To: Marti Schein <scheinprints@sbcglobal.net>

signage in context view of the alcove

. at end of entrance

August 26, 2013 1:30 PM

hi



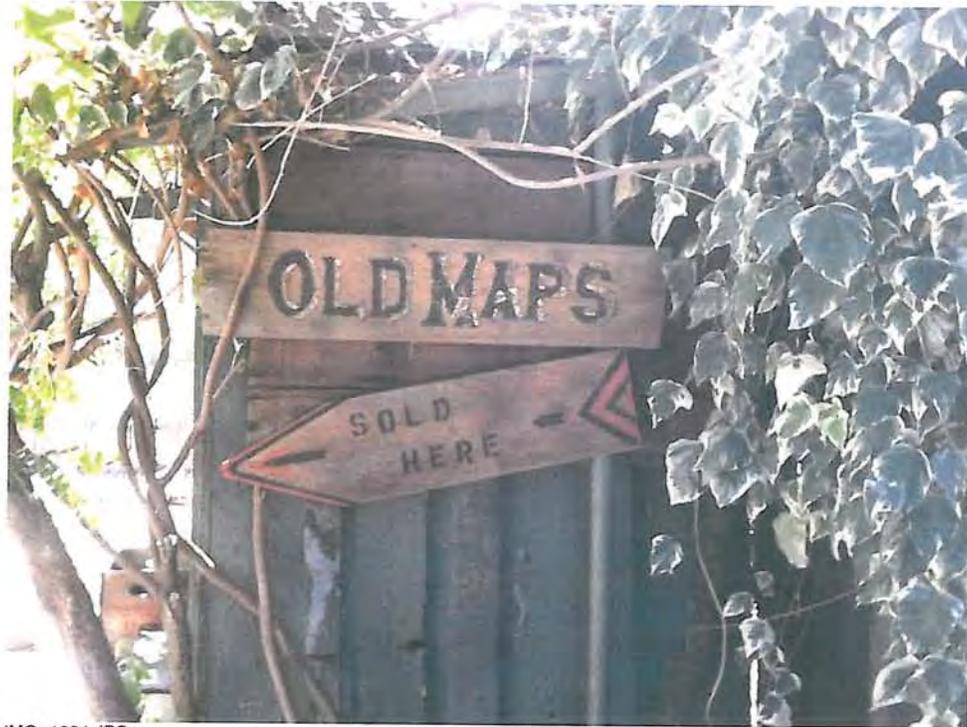
Wall Sign

IMG\_1073.JPG

AUG 26 2013

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
actual sign

August 26, 2013 1:32 PM



IMG\_1064.JPG

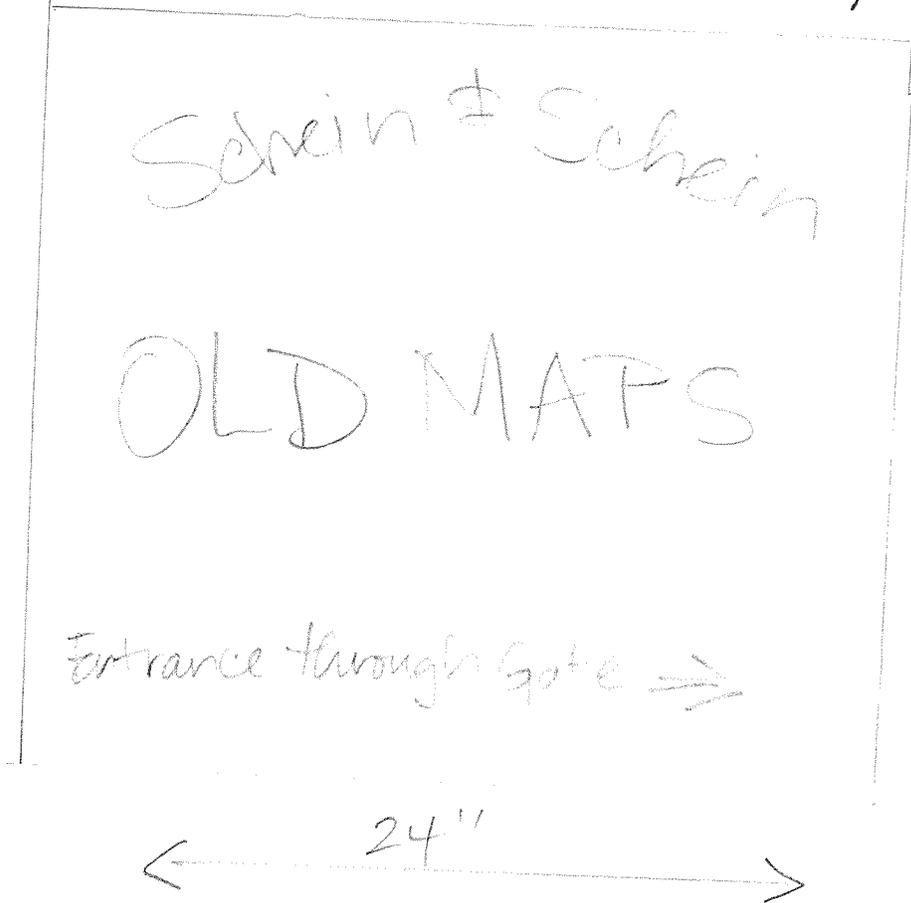
Wall Sign

AUG 26 2013

#1) Spain.  
Street  
Hanging  
SIGN

3" Gold letters on Black Background.

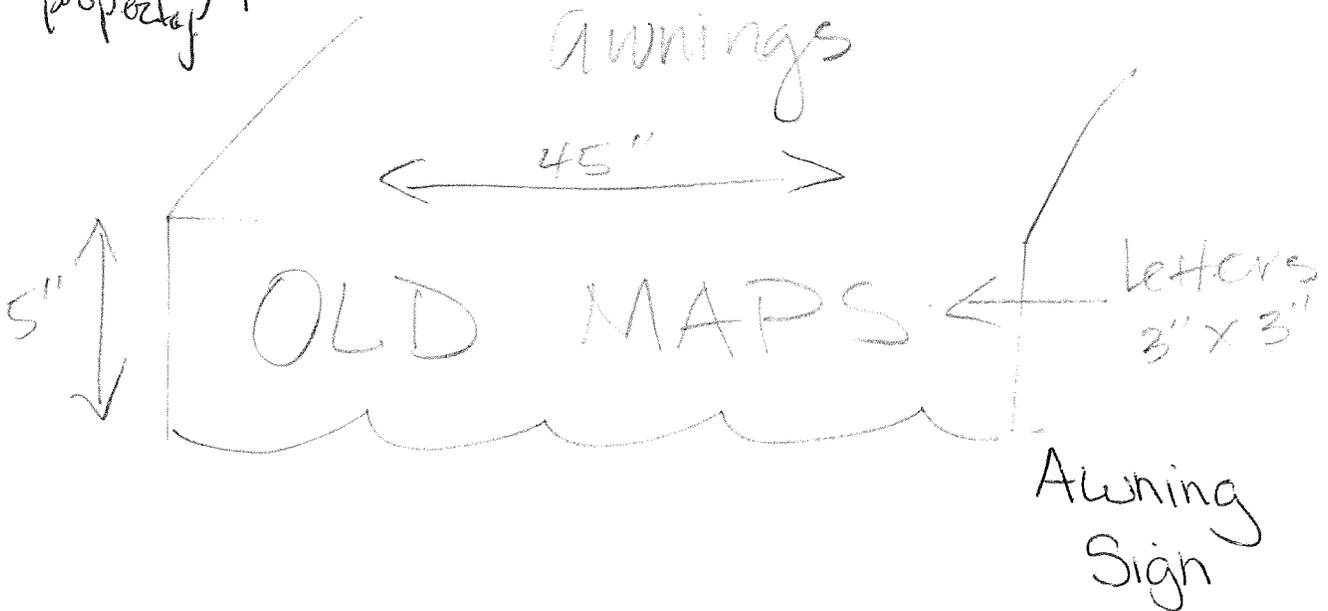
18"  
Projecting  
Sign



#3)

4 x Awning Signs  
All facing private  
property

3" Black  
letters on dark background



East Spauld St views

Schein <scheinprints@sbcglobal.net>

To: Marti Schein <scheinprints@sbcglobal.net>  
front view of double sided hanging sign

Looking West

August 26, 2013 1:43 PM



IMG\_1023.JPG

Projecting  
Sign  
Sign #1

AUG 28

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
street view looking east of Double sided hanging sign

August 26, 2013 1:45 PM



IMG\_1031.JPG

Projecting  
Sign  
Sign # 1

AUG 26 2013

Schein <scheinprints@sbcglobal.net>

To: Marti Schein <scheinprints@sbcglobal.net>

Streetview looking west, existing sign post w/ Arrow

August 26, 2013 1:23 PM



IMG\_1061.JPG

AUG 26 2013

# Building Awning Signs of Winslow Lettering

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
Entrance to the building

August 26, 2013 1:35 PM



IMG\_1044.JPG

← Hand cut Black lettering  
HANS SEWN to the Awning

Awning  
Sign

AUG 26 2013

Schein <scheinprints@sbcglobal.net>

To: Marti Schein <scheinprints@sbcglobal.net>

Entrance to the Retail Building, viewed from the end of the Entrance hall from Spain Street

August 26, 2013 1:59 PM

west side of Building Looking East



IMG\_1016.JPG

Awning Sign

AUG 26 2013

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
Front door lettering

August 26, 2013 1:56 PM



Window  
Sign

IMG\_1013.JPG

AUG 26 2013

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
Eastside, view looking inward/west from Alleyway, Office entrance

August 26, 2013 1:23 PM

hi



IMG\_1059.JPG

AUG 26 2013

Schein <scheinprints@sbcglobal.net>

To: Marti Schein <scheinprints@sbcglobal.net>

eastside window view, marti office

August 26, 2013 1:33 PM

1 Square window Awning to be installed



IMG\_1053.JPG

one of 2 possible  
sites for the  
Compass Rose  
= X

Awning  
Sign

X  
Wall Sign  
possible  
Location

Schein <scheinprints@sbcglobal.net>  
To: Marti Schein <scheinprints@sbcglobal.net>  
alleyway, eastside Schein & Schein

August 26, 2013 1:15 PM

f Rear view of Building looking North



IMG\_1049.JPG

Awning w/ old maps  
Just possible side -  
Alternative site for  
Compass Rose.  
= X

X  
Wall Sign  
possible  
location

AUG 26 2013

HISTORIC RESOURCES INVENTORY

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR 7 SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

- Common name: Black House
- Historic name, if known: Pinni Home
- Street or rural address 147 E. Spain St.  
 City: Sonoma ZIP: 95476 County: Sonoma
- Present owner, if known: Eleanora B. Black Address: 17 Los Robles Rd.  
 City: Carmel Valley, Ca ZIP: 93924 Ownership is: Public  Private
- Present Use: Res. Original Use: Res.  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This small, single story square hip roof square home is situated east of the Blue Wing Inn. Built of rubble and plastered over, some of the plaster has been removed; it is in a decaying state. The roof features a gabled vent. The semi-arched windows on either side of the door are double hung and have heavy plaster casings. The building features front steps with rubble rails and a wrought iron fence with rubble posts. At the back is a separate wood frame cottage with board and battens on one side and horizontal ship tap siding at the end.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map - Area 10

UTM (SONOMA QUAD)

- 10/549,300/4,238,740
- 10/548,280/4,238,400
- 10/548,210/4,238,070
- 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 41  
 Depth 76  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

- a. Excellent
- b. Good
- c. Fair
- d. Deteriorated
- e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land
- b. Scattered buildings
- c. Densely built-up
- d. Residential
- e. Commercial
- f. Industrial
- g. Other

12. Threats to site:

- a. None known
- b. Private development
- c. Zoning
- d. Public Works project
- e. Vandalism
- f. Other  Oct. 1978

13. Date(s) of enclosed photograph(s): Deterioration

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other
15. How is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1906 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): Mr. Pinelli
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  Cottage i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

Situated directly east adjacent to the Blue Wing Hotel, this home was built on the site of the residence of Sisto Berreyessa, a former Alcalde under the Mexican regime. This small rubble building contributes greatly to the fragile, historic environment dominated by the Blue Wing Hotel. The property was owned by August Pinelli who also owned the Blue Wing Inn. In 1906 he sold the property to one of the stone workers from Schocken Quarry who built this rubble home from pieces from the quarry. The stone worker lived here until he died and the Blacks acquired the property.

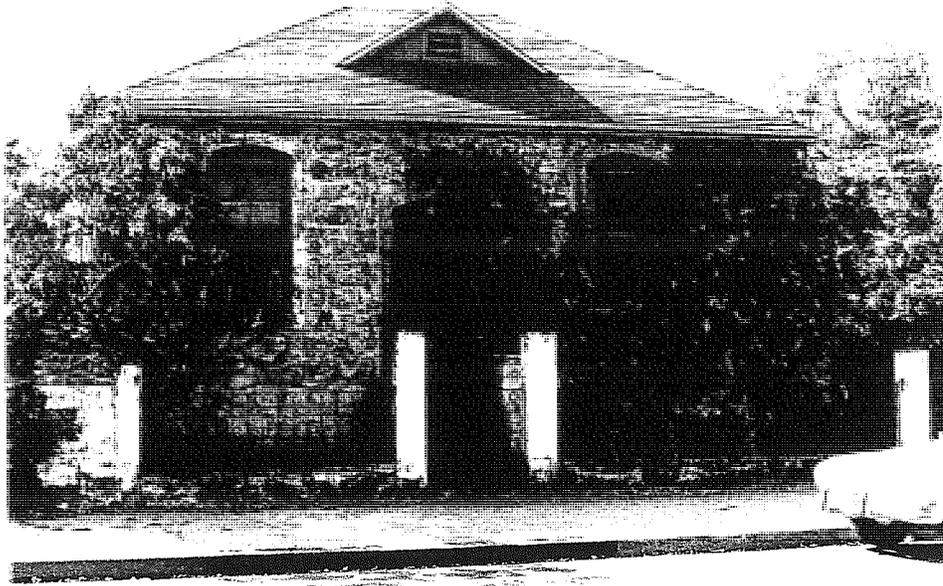
21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

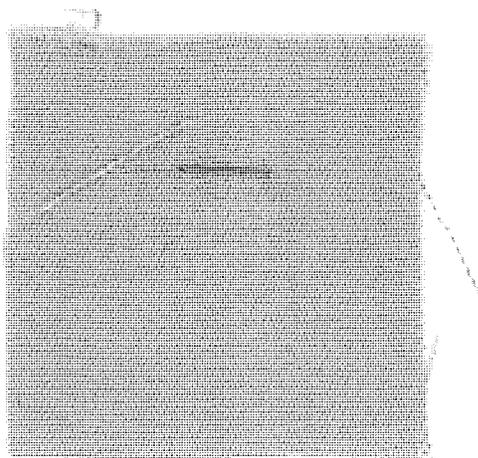
History of Sonoma County, 1879  
Interview, August Pinelli, January 1979

23. Date form prepared: 12/29 /78 By (name): Johanna M. Patri  
Address: 621 Napa Rd. City Sonoma, Ca. ZIP: 95476  
Phone: 996-6412 Organization: Sonoma League for Historic Preservation

(State Use Only)



Awning Sample



Awning Sample





*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda Item: 4**

**Meeting Date: 12/17/13**

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**Applicant**

Troy and Dawn Marmaduke

**Project Location**

408 First Street East

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district
- Listed on California Register of Historic Resources
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (See notes)

NOTES: The structure, referred to as the Pinelli building lies within the Sonoma Plaza National Register Historic District, and is designated as a National Register Contributing Building. The building was constructed in 1891 and is described as a vernacular one-story building. Architectural details on the front façade include a leaded glass transom over the entrance along with a metal eyebrow cornice and dentils.

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**Request**

Consideration of a painted awning, a new awning sign, and new paints colors for a commercial building (Grandma Linda's Ice Cream).

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**Summary**

*Background:* In 2007, the Design Review Commission approved a new blue door color for the building in conjunction with a new awning, and new signs.

The previous business located in the building was a Ben & Jerry's Ice Cream shop. Recently the applicants disfranchised from Ben & Jerry's Ice Cream and are operating a new businesses named Grandma Linda's Ice Cream.

*Paint Colors:* The applicant is proposing to change the color of the front portion of the building. The applicants have stated that the new paint colors are consistent with the branding of the business. The majority of the area of the building façade under the awing area is proposed to be painted Pratt and Lambert cerise delight (2-14). The window trim and door window trim is proposed to be painted Pratt and Lambert off white (32-31). Staff is concerned that the pink color and white trim color will contrast sharply with the existing reddish colored rock-faced wall and existing buildings on surrounding properties. Staff also encouraged the applicants to submit an alternate color proposal. Staff would note that this application was submitted in response to a code enforcement action.

*Awning:* The proposal involves painting the existing awning Pratt and Lambert cerise delight (2-14) with Pratt and Lambert off white (32-31) stripes on the top sheet. The existing awning consists of a canvas fabric awning on an existing welded aluminum frame above the commercial entrance of the building. In terms of compatibility, the exterior color scheme of the building is primarily a reddish colored rock-faced wall. Photo simulations of the proposed conditions are attached. The existing awning is approximately 2 feet tall and 11 feet wide all on an existing satin black steel frame. The business name on the awning will change from Ben & Jerry's to Grandma Linda's Ice Cream. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 8 feet of clearance above the public walkway, and would extend only 2 feet 6 inches from the face of the building, resulting in 9 feet 6 inches of clearance from the end of the awning width to the face of the curb. The purpose of the awning is to provide business identification and weather protection at the store entrance. Staff is concerned that a painted awning may not look aesthetically attractive. In addition, staff has concerns about how a painted awning may weather throughout the years. Staff requested that the applicant bring a sample of a painted awning material to the DRHPC meeting for consideration and also address staff concerns related to a painted awning in a revised project narrative. As of the date of this staff report a revised project narrative has not been submitted. Finally, the Fire Code requires the painted awning be tested by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be

noncombustible. Staff has requested the applicants submit the flammability requirements to staff. As of the date of the staff report staff has not received this information. If the DRHPC approves the painted awning reports of test results shall be included as a condition of approval for the project prior to painting the awning.

*Findings for Project Approval:* For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

*Awning Signage:* The business name, Grandma Linda's and the words "ice cream", are proposed on the front valance of the awning (7.25 square feet of sign area). The project narrative states that the sign would be constructed of a vinyl laminated UV canvas material. In terms of colors, the lettering would consist of a white cream color with a pink background. In addition, a brown ice cream cone logo would be included on the center of the sign. Staff would note that after the applicants indicated the desire to paint the existing awning staff requested that the awning sign material (vinyl laminated UV canvas) be confirmed by the applicants. As of the date of this staff report, the awning sign material has not been confirmed by the applicants.

*Other Signs:* The applicants are proposing to reface previously approved signs: a wall sign; and a projecting sign. These signs can be review administratively provided the applicants submit a Sign Review Application.

*Aggregate Sign Area:* Based on the building frontage on First Street East (15 feet), the maximum aggregate sign area allowed for the business is 9 square feet. The awning signage (7.25 square feet in area), wall sign (7.3 square feet in area), illuminated window sign (2 square feet in area), and projecting sign (2 square feet in area per side) would result in an aggregate sign area of 18.55 square feet for the business. The proposal is not consistent with this requirement in that the proposed signs would exceed the maximum allowable aggregate sign area for the property by 9.55 square feet. The applicants are requesting a variance from this standard.

*Number of Signs:* A maximum of two signs are permitted for any one business (§18.16.010). The proposal is not consistent with this requirement in that there would be four signs for the business with inclusion of the awning sign, wall sign, illuminated window sign, and projecting sign. The applicants are requesting a variance from this standard.

*Variances:* As noted above, the proposal would exceed the maximum aggregate sign area, exceed the permitted illuminated window sign area, and exceed the number of signs normally allowed for a business. The DRC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or

improvements in the vicinity.

In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to painting the awning and to the Planning Department before the Design Review Commission can review the application. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Robin Evans at (707) 933-2205 for information regarding City Encroachment Permits.

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### Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments

1. *Project narrative*
2. *Sign drawing*
2. *Paint color samples*
3. *Picture of proposed conditions*
4. *Historic Resources Inventory*

cc: Troy and Dawn Marmaduke  
19362 Loretta Court  
Sonoma, CA 95476

Mary Martinez  
P.O. Box 534  
Sonoma, CA 95476  
Linda Aguilar, via email

Patricia Cullinan, via email

Yvonne Bowers, via email

11/18/2013

Grandma Linda's Ice Cream

408 First Street East

Sonoma, CA 95476

The colors chosen for our exterior signs and awning are shades of the colors my mother liked most. In changing our business from Ben & Jerry's to Grandma Linda's (my Mom) we would like to not only honor her by naming the business after her but use her favorite colors as well. It is as simple as that. She loved Easter and purples and pinks and reds were her favorite colors.

The signs and awning WILL NOT change in size. We are only changing colors.

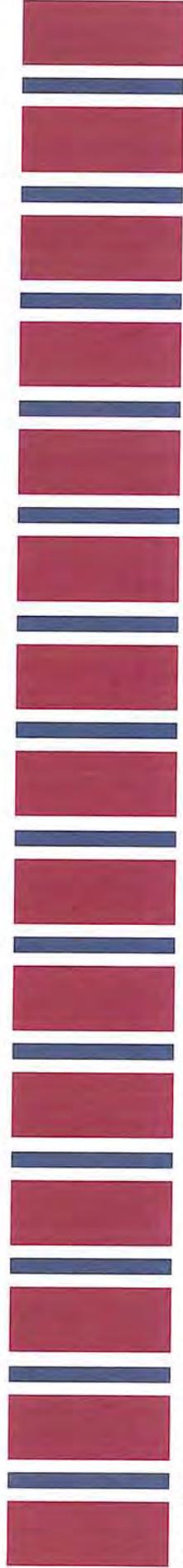
Respectfully,

Troy & Dawn Marmaduke

NOV 20 2013



WALL SIGN: 5.5 ft. long by 1.33 ft tall. Made of Dibond aluminum. Colors are white, blue, on mauve background.



AWNING BACK: 10.1 long by 5.6 ft tall. Made of Vinyl laminated UV canvas. Colors are white, blue, on mauve background



VALANCE SIGNAGE: 10.1 ft long by 9 in. tall. Made of Vinyl laminated UV canvas. Colors are white, blue, on mauve background

PROJECTING SIGN: 16 in.wide by 18 in.tall. Made of Dibond aluminum. Colors are white, blue, on mauve background.

ACTUAL PAINT SAMPLES SUPPLIED

408 1St E, Sonoma  
Dawn & Troy Marmaduke



(Not to Scale)



lavender secret 1415

whispering wind 1416

english hyacinth 1417

oriental iris 1418

persian violet 1419

softened violet 1420

bistro blue 1421

**BENJAMIN MOORE® 092**



HISTORIC RESOURCES INVENTORY

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

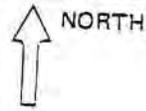
- Common name: El Paseo
- Historic name, if known: Pinelli Building
- Street or rural address: 408, 412, 414 First Street East  
 City: Sonoma, Ca. ZIP: 95476 County: Sonoma
- Present owner, if known: AL GEARDEN Address: 414 1st Street East  
 City: Sonoma ZIP: 95476 Ownership is: Public  Private
- Present Use: Commercial Shops, Offices upstairs Original Use: Residence upstairs, Bakery in north end, Saloon in South end.  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This commercial building is situated across from the east side of the Plaza and is of Renaissance Revival Style. It is built of heavy hand-cut basalt stone locally referred to as "Plum Stone" because of its color. The same stone is featured in the sidewalk in front. The roof is flat. The original structure, built in 1880's & completed in 1890, is a large rectangular two-story building with a small single story addition to the north in 1916. Top of building features a metal cornice with dentils painted to resemble concrete. Double hung windows have stone arches and brick sills. Lower windows on south end have stone voussoirs with keystone. North commercial entrance has leaded glass transom with metal eyebrow cornice and dentils. Entrance to courtyard has stone voussoir with keystone

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



*See City Map Area 10*

UTM (SONOMA QUAD)  
 10/549,300/4,238,740  
 10/548,280/4,238,400  
 10/548,210/4,238,070  
 10/547,230/4,238,180

8. Approximate property size: 71 - E. Spain St.  
 Lot size (in feet) Frontage 67 - E. 1st St.  
 Depth 247 ;  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)  
 a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence

10. Is the feature a. Altered?  b. Unaltered?

11. Surroundings: (Check more than one if necessary)  
 a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other

12. Threats to site:  
 a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other

13. Date(s) of enclosed photograph(s): October 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1880 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): August Pinelli
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  i. None

#### SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This building was built in 1880's by August Pinelli, completed in 1890. The single story addition to the north was built in 1916 from lumber out of school once located behind the Community Center. August Pinelli was a stone worker from Italy. When he arrived in Sonoma he received a contract from General Valle to get stone out of his property. Later he worked with Mr. Schocken who owned Schocken hill. Mr. Pinelli had 8-10 stone workers who worked for him building several of the commercial buildings in Sonoma. The family made wine at the Blue Wing Inn which they owned at the time. In 1911 building was gutted by fire but was re-built. This unusual commercial building built of stone from the local quarries has the typical store front windows of the period. The relationship of its facade is significant to the other commercial buildings in the block.

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Interview: August Pinelli, January 1979.

23. Date form prepared: Oct. 1978 By (name): Johanna M. Patri  
Address: 621 Napa Road City Sonoma, Ca. ZIP: 95476  
Phone: 996-6412 Organization: Sonoma Historic Preservation League

(State Use Only)





*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda  
Item: 5

Meeting Date: 12/17/13

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**Applicant**

RJF Enterprises, Inc. dba Dutch Bros. Coffee

**Project Location**

711 Broadway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built: 1967

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**Request**

Consideration of site design and new exterior colors for a drive-through coffee facility (Dutch Bros. Coffee).

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**Summary**

**Background:** On December 12, 2013, the Planning Commission approved a Use Permit application to allow a formula restaurant on a commercial property located at 711 Broadway. The following is the Planning Commission Condition of Approval relating to site design and architectural review:

- Exterior changes to the building (including new paint colors) and any new or altered landscaping or lighting shall be subject to the review and approval of the Design Review and Historic Preservation Commission (DRHPC). As normally required, the applicant/property owner shall submit a sign permit for the business, subject to review and approval by City Staff or the DRHPC as appropriate. The DRHPC shall carefully scrutinize proposed color changes to ensure compatibility with the character of Broadway and avoid a corporate appearance.

**Site Design:** The applicant is proposing to remove the outdoor vending area under the existing canopy, replace the existing sliding glass door on the east facing elevation with a window, and add a service door on the south side of the building. Specification sheets on the door and window features are attached for consideration.

**Exterior Colors:** A new color scheme has been put forward for the DRHPC's consideration. The fascia on the existing canopy, canopy columns, building fascia, and detail under two windows are proposed to be painted Benjamin Moore van deusen blue (HC-155). As indicated in the Planning Commission Condition of Approval, the DRHPC should consider if the van Deusen blue color is compatible with the character of the Broadway Corridor. The top of the building fascia (on coffee facility), window trim, and downspouts are proposed to be painted Benjamin Moore capitol white (CW-10). Staff is concerned that the capitol white color may be too much of a contrast with the proposed blue color and the existing brown brick color of the building. The barricades posts are proposed to be painted Benjamin Moore Super Spec HP Safety Yellow (15). The curbs at the drive thru window and island are proposed to be painted Benjamin Moore Super Spec HP Safety Red (21).

**Awning:** A new awning will be considered by the DRHPC at a future meeting.

**Required Findings:** For projects within the Historic Overlay zone or a Local Historic District, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.

5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and Infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designate through section 19.42.020.

**Signs:** As required by the project conditions of approval, signage for the business/property shall be subject to review and approval by City Staff or the Design Review Commission as applicable. The required Sign Review Application will be submitted by the applicants for review at a later date.

**Other permits required:** In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2010 California Building Code and where required by the 2010 California Building Code, shall obtain a building permit prior to installation.

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**Commission Discussion**

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**

Attachments:

1. Project narrative—December 7, 2013 and December 4, 2013,
2. Email from Robert Fulton regarding window dated November 19, 2013,
3. Window specification sheet
4. Door specification sheet
5. Paint color sample boards
6. Photo simulations of new paint colors
7. Broadway Corridor Design Guidelines
8. Proposed elevations
9. Proposed site plan

cc:                    RJF Enterprises, Inc. dba Dutch Bros. Coffee  
                           311 Chico Canyon Road  
                           Chico, CA 95928

Mary Martinez  
 P.O. Box 534  
 Sonoma, CA 95476

Lippow Development Co.  
 P.O. Box 469  
 Martinez, CA 94553

Patricia Cullinan, via email  
 Yvonne Bowers, via email

## **City of Sonoma**

**Uniform Application – Project Narrative Revised  
December 7, 2013**

### **Design Review Proposal**

**RJF Enterprises, Inc. dba Dutch Bros. Coffee  
711 Broadway  
Sonoma, CA**

#### **Application Summary**

RJF Enterprises, Inc. dba Dutch Bros. Coffee is requesting Design Review of a proposed partial change of the building trim paint colors at the existing Hot Shots Coffee facility on Broadway. In addition to the paint colors, the removal of an outdoor service station, modification of the existing sliding glass door at the drive through and a new service door on the south side of the building are also proposed.

By separate application to the Planning Commission, RJF Enterprises, Inc. dba Dutch Bros. Coffee is also applying for a formula business use permit which will be heard by the Commission prior to the design review. A sign application will be submitted to the Planning Department following review of both the use permit request and design review.

#### **Dutch Bros. Coffee Design Review Proposal**

Dutch Bros. Coffee is a retail coffee business essentially providing the same goods and services as Hot Shots Coffee who currently occupies the facility. Although considered a formula business by City of Sonoma Standards, Dutch Bros. Coffee will be locally owned and operated and run with the authority and autonomy in the best interest of the customer and local community.

As with any franchise business, the Franchisor typically establishes specific standards that each franchise must operate under. In the case of Dutch Bros. Coffee, these guidelines include building appearance, function and color. In most cases, a typical Dutch Bros. Coffee building is a small drive through kiosk of no more than 400 SF. This will not be the case in the City of Sonoma where the history of the community is highly valued and represented in architectural form.

The proposal for this project maintains the existing building form, including its tile roof and adobe brick/stucco siding. To enhance these features, Dutch Bros. Coffee is proposing to repaint the exterior trim of the existing Hot Shots Coffee service building to coincide with their brand identity while maintaining the historical look of the building.

Dutch Bros. Coffee is proposing to use a colonial white (Capitol White CW-10), which originated as the standard on early public buildings, to highlight window trim, doors and eye level woodwork. A historical blue (Van Deuses Blue HC-156) will be used on all upper level trim and columns. This color is steeped in tradition, originating as a documented color in 18<sup>th</sup> and 19<sup>th</sup> century architecture. Both these colors blend well with the beige shades of the existing brick and stucco.

In addition to the two color changes, Dutch Bros. Coffee is proposing the removal of the existing outdoor service station (located in the island in front of the building), modification of the sliding glass door at the drive through and a new service door on the south side of the building.

Under Dutch Bros. Coffee operations and standards, the outdoor service station to be removed will not be used. It is also deemed visually unsightly. Service to the customer's vehicles will only be conducted from the modified sliding glass door which is being converted to a drive through window. This is not only a functional upgrade, but a safety one as well. The proposed service door on the south side of the building will eliminate the conflict that now exists between deliveries and the walk up window.

*Attached to this narrative are "before and after" photos illustrating the trim color changes, removal of the service station, modified sliding glass door and the added service door. The revised elevations of the effected sides of the building are also included.*

**City of Sonoma**

**Uniform Application – Project Narrative Addendum  
December 4, 2013**

**Design Review Proposal**

**RJF Enterprises, Inc. dba Dutch Bros. Coffee  
711 Broadway  
Sonoma, CA**

**Yellow Paint Color**

The yellow paint color shown on the original application was selected for selected for safety purposes only. It has no connection to the Dutch Bros. Coffee colors or exterior look. It's a standard Benjamin Moore "Safety Yellow 15" and color samples will be submitted.

The only location that we feel the color is needed it on the bollards that are located on the corners of the building and to the east of the old gas island. These need to be highly visible and are necessary so cars do not cut the corners and hit the building. We would propose that all other area shown in yellow remain their natural concrete color.

**Blue Color**

The Van Deuses Blue HC-156 is not the blue color that a typical Dutch Bros. Coffee facility uses on its roof and trim. The Dutch Bros. Coffee building blue is much brighter. We selected the Van Deuses Blue for the building trim to blend in better with the historical nature of Sonoma and the colors visible along Broadway.

The Dutch Bros. Coffee signage blue is different then both the Van Deuses Blue and the typical Dutch Bros. Coffee building blue. It's a lighter color blue and is only used in the "Dutch Bros." portion of the lettering on the signage. This signage will be independent from the Van Deuses Blue trim and will replace the existing Hot Shot signs.

*Attached are photos with example of both the Dutch Bros. building and signage blue along with a typical Dutch Bros. Coffee sign.*

**Signage**

We will need to discuss our signage application as I was under the impression that all existing Hot Shot signs had been approved by the City of Sonoma. Our plan was just to re-facing the existing sign. In the case of the menu sign, we feel it is too large and unattractive and needs modification.

DEC 05 2013

## Wendy Atkins

---

**From:** Robert Fulton <fultonassociates@gmail.com>  
**Sent:** Tuesday, November 19, 2013 10:05 AM  
**To:** Wendy Atkins  
**Subject:** Dutch Bros. Window Spec  
**Attachments:** Sliding Window Spec.pdf; Window Spec.pdf  
  
**Categories:** Planning

Hi Wendy,

Attached are the spec sheets for the proposed window at the Hot Shot building.

This will be a custom product since we will be infilling an existing sliding glass patio door and side glass panels. The sliding section of the window will be integrated into the frame.

The frame will be a bronze color to match the existing window frames on the building. The new window frame will be surrounded by a stucco trim to match the other trim on the building.

My daughter will bring by all the paint chips tomorrow.

Please get back to me with any feedback you or the Commission might have in advance of the meeting. I also understand that this application will be put on hold if the Use Permit is denied or table. Normally, I would wait until the use permit is in hand to submit for design review, however Dave is anxious to get this transition moving.

Thanks for your help.

Bob

--

Robert Fulton

530.990.6228 phone  
530.895.9565 fax  
[fultonassociates@gmail.com](mailto:fultonassociates@gmail.com)



**Typical Dutch Bros. Coffee  
Building Blue (Chico, CA)**



**Dutch Bros. Coffee Signage Blue**



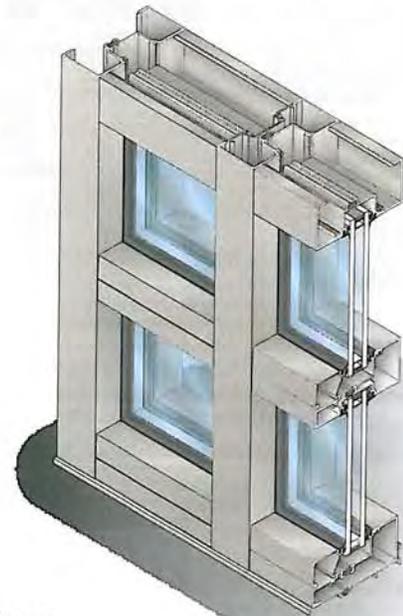
**Dutch Bros. Coffee  
Building Blue w/ Signage (Davis, CA)**

# STOREFRONT SYSTEMS

## SERIES 451 & IT451 CENTER GLAZE



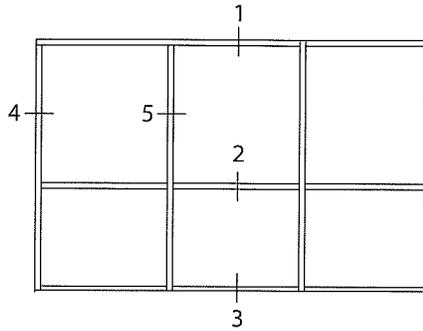
- Series 451 - 2" x 4-1/2"  
(50.8 x 114.3 mm) Non-Thermal
- Series IT451 - 2" x 4-1/2"  
(50.8 x 114.3 mm) Thermal
- 1" (25 mm) Glazing Infills
- Injection Molded Water Deflectors
- Screw Spline Assembly
- Shear Block Assembly
- Stacking Installation Option
- Full Range of Accessory Components
- Available in Anodized or Painted Finishes



Series IT451 offers improved thermal performance using the Poly-Aluminizer™ and Struct-Link™ Thermal Break Technology. Series 451 and IT451 may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with all United States Aluminum Entrance Doors.

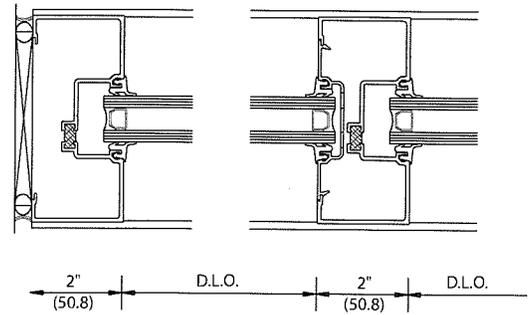
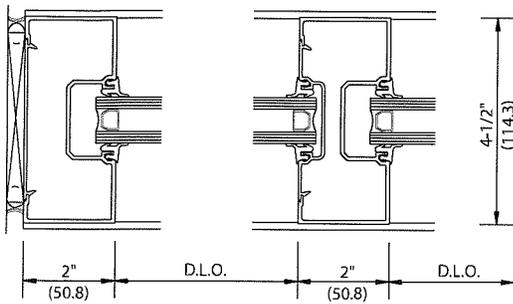
# SERIES 451 & IT451 STOREFRONTS TYPICAL DETAILS

For Specifications, Details, and Testing Data go to [usalum.com](http://usalum.com).



**Series 451**

**Series IT451**

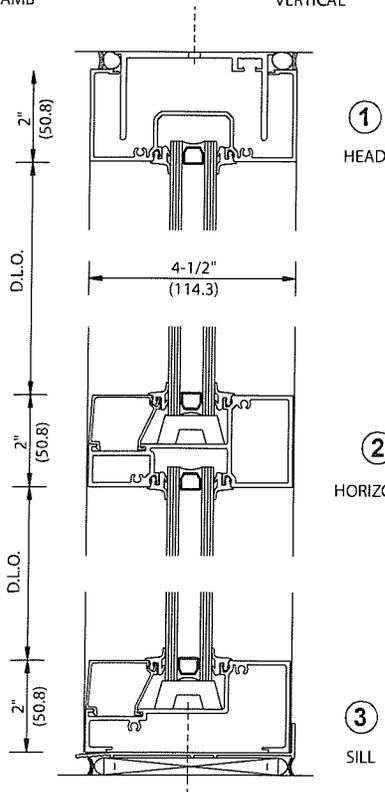


④  
JAMB

⑤  
VERTICAL

④  
JAMB

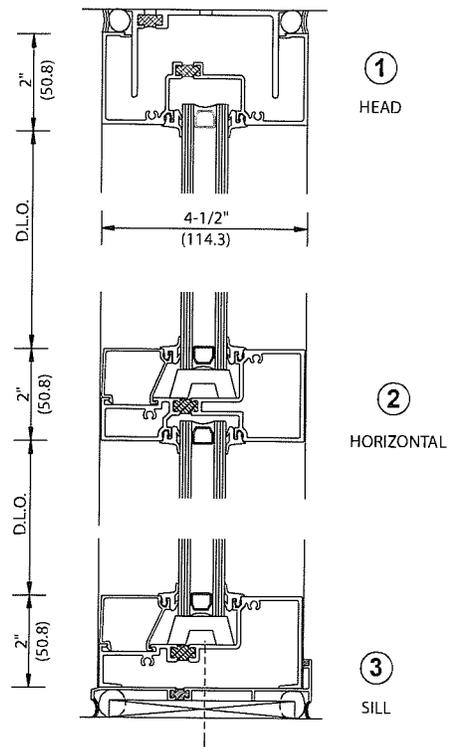
⑤  
VERTICAL



①  
HEAD

②  
HORIZONTAL

③  
SILL



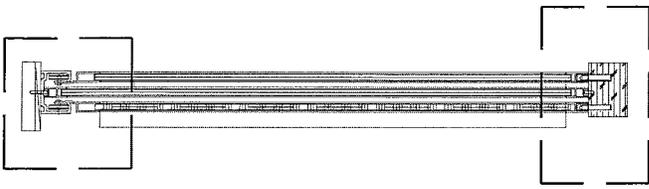
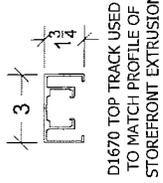
①  
HEAD

②  
HORIZONTAL

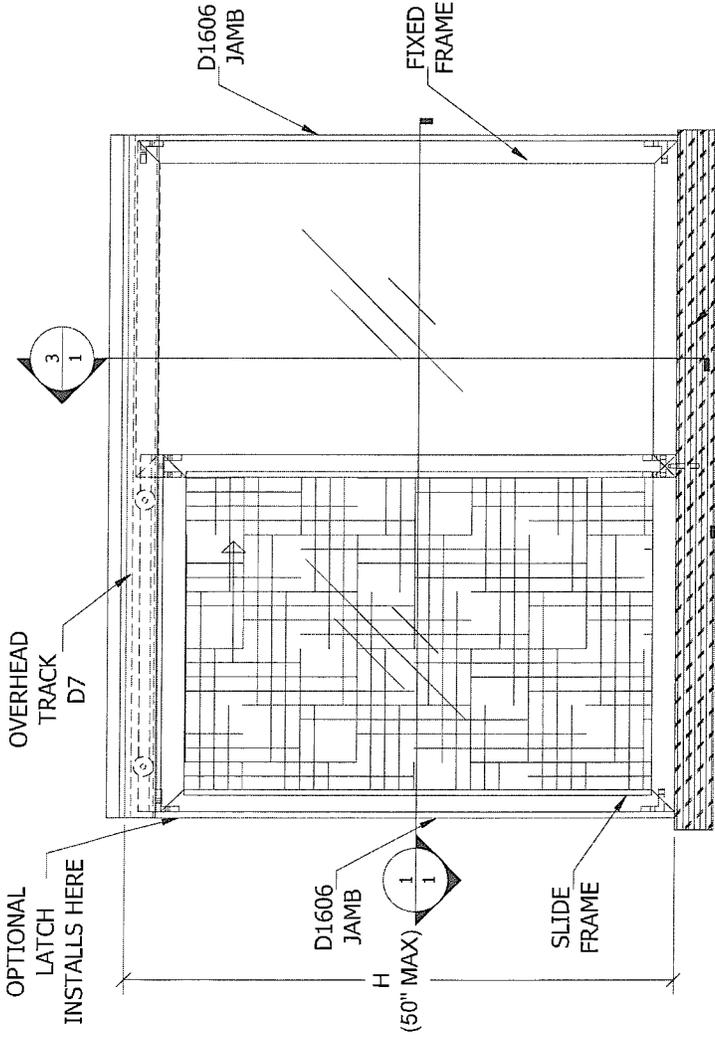
③  
SILL

NOT TO SCALE

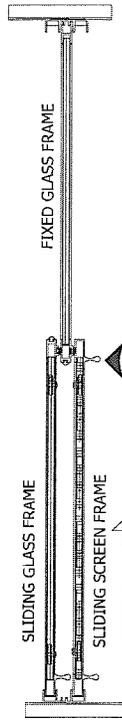
REV	DESCRIPTION	DATE	BY



3 SECTION VIEW  
Scale: NTS.

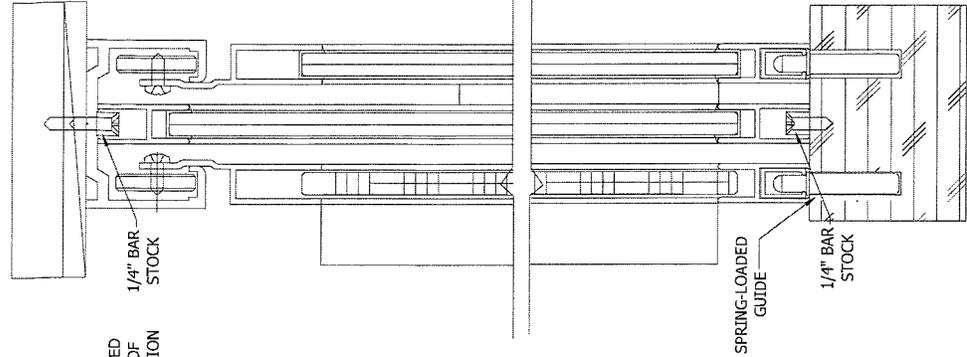


2 ELEVATION VIEW  
REF: \_\_\_\_\_ Scale: NTS.



1 PLAN VIEW  
REF: \_\_\_\_\_ Scale: NTS.

CAT. NO.	FINISH	OVERHEAD SCREEN	
		D7	YES
D1018A	SATIN ANODIZED	D7	YES
D1018DU	DURANODIC BRONZE	D7	YES
D1019A	SATIN ANODIZED	D1670	YES
D1019DU	DURANODIC BRONZE	D1670	YES
D1038A	SATIN ANODIZED	D7	NO
D1038DU	DURANODIC BRONZE	D7	NO
D1039A	SATIN ANODIZED	D1670	NO
D1039DU	DURANODIC BRONZE	D1670	NO



4 SECTION VIEW  
Scale: NTS.

ALWAYS USE DIMENSIONS SHOWN ON THE PLAN  
DO NOT SCALE OR DIMENSION ACTUAL DRAWING  
TO ENSURE ACCURACY

**CRL** ARCHITECTURAL PRODUCTS  
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DESCRIPTION: FLORENCE MODEL PASS-THRU W/ SCREEN  
MODELS D1018 & D1019 INTERIOR USE ONLY

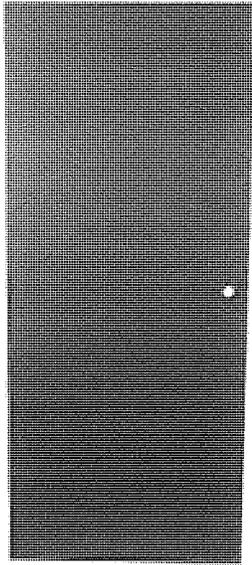
CAT. NO. D1018 / D1019 DATE: 3-22-13  
FILE NAME: D1018 D1019 W/ SCREEN SCALE: AS SHOWN  
DRAWN BY: J.V. CHECKED BY: R.D. SHIT 1 OF 1



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CECO Hollow Steel Security Door, Flush, Cylindrical Prep, CECO Hollow Hinge, 18 Ga, 30"W X 80"H



**Availability:** Usually ships in 4 to 7 days

**Stock No:** T9AB863157

**Price:** \$368.95

#### Product Information

**CECO Hollow Steel Flush Door, Cylindrical Prep, CECO Hollow Hinge, 18 GA, 30"W X 80"H**

Hollow Metal Steel Door with Honeycomb Core, 3 Hour Fire rating, 18 Gauge, Cylindrical Lock Prep, Thermal Insulation U Factor 0.41, Non Handed, includes Closer Reinforcement, Hinge location From Top of Door, 6-5/8", 37-5/8", 68-5/8", Lock Prep Location from top of Door, 36-15/16".

#### Product Specifications

<b>LIMITED WARRANTY</b>	1 Year
<b>CONSTRUCTION</b>	Steel
<b>FIRE RATING/APPROVAL</b>	Up To And Including 3 Hours
<b>GAUGE</b>	18
<b>DOOR THICKNESS INCHES</b>	1-3/4
<b>BRAND</b>	CECO
<b>MANUFACTURERS PART NUMBER</b>	CHMDXFL2668XCY-CE-18GA
<b>DESCRIPTION</b>	Hollow Flush Steel Door
<b>WIDTH INCHES</b>	30
<b>FOR USE WITH</b>	CECO Hinge Location Frames (CE)
<b>HEIGHT INCHES</b>	80

DEC 02 2013

# Dutch Bros. *Coffee*

711 Broadway  
Sonoma, CA  
A.P. #018-351-021

## CITY OF SONOMA DESIGN REVIEW

### SCOPE OF PROPOSAL

- Repaint existing building trim at the Hot Shots Coffee service area.
- Convert existing patio glass door to a window.
- Remove service area and wall between columns at island.
- Add a service door on south side of building.
- Repaint and add as shown protective pipe bollards.

## PAINT SCHEME PROPOSED COLORS

- Masonry Brick - Existing Color
- Stucco - Existing Color
- Blue Trim and Awning Color
  - Benjamin Moore - Van Deusen Blue HC-156*
- White Trim
  - Benjamin Moore - Capitol White CW-10*
- Pipe Bollards
  - Safety Yellow*



**Proposed Paint Scheme and New Window**  
(Broadway looking North)



**Existing Paint Scheme**



**Proposed Paint Scheme and New Window**  
(Broadway looking South)



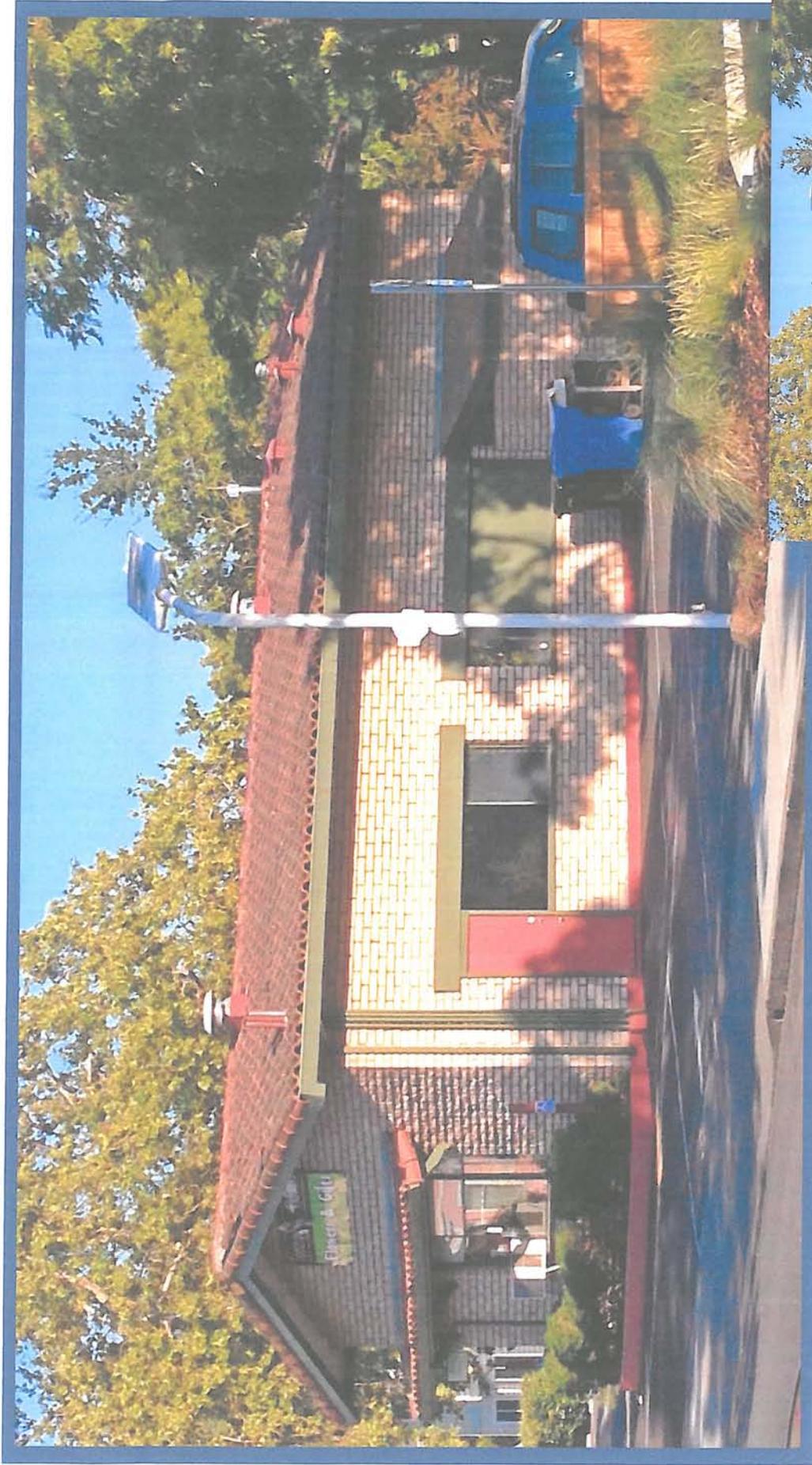
**Existing Paint Scheme**



**Proposed Paint Scheme and New Service Door**  
(South Side of Building)



**Existing Paint Scheme** 4/5

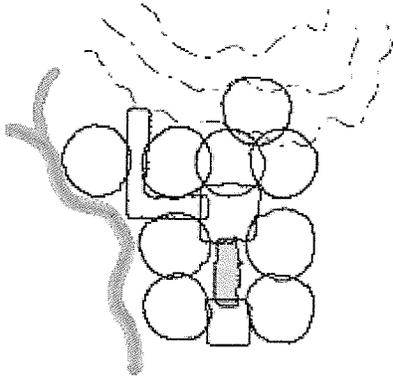


**Proposed Paint Scheme - No Change**  
(Andriuex looking East)



**Existing Paint Scheme**

## Chapter 19.32 BROADWAY CORRIDOR



### Sections:

19.32.010 Existing conditions, desired future, potential changes.

19.32.020 Project planning and design standards.

### **19.32.010 Existing conditions, desired future, potential changes.**

A. Existing Conditions. Connecting the southern gateway to the downtown, the Broadway corridor possesses considerable historic, visual, and functional significance. Historically, Broadway completes the Camino Real or “Royal Road” of Spanish/Mexican mission settlements. Visually, Broadway provides a grand entrance to downtown Sonoma with its axial view of the Plaza, City Hall, and the northern hills, its 110-foot right-of-way, and its procession of street trees. Functionally, Broadway is a segment of State Route 12 and is a major traffic arterial. The Broadway corridor is flanked by residential areas, with Nathanson Creek forming its eastern edge and First Street West its western boundary. Parcels along Broadway tend to be long and narrow (to widths of 50 feet) and some have double frontages.

North of MacArthur Street, Broadway possesses a clear visual organization defined by historic structures with landscaped front yards and generally regular setbacks, street trees, and a consistent street width. South Broadway, in contrast, features a patchwork of older (but not historic) commercial buildings, new commercial and multifamily residential development, historic single-family homes and remnant agricultural buildings. These uses are interspersed with vacant parcels. However, the dominant use on South Broadway, in terms of area, appearance, and intensity, is the high school. Street improvements along South Broadway are inconsistent.

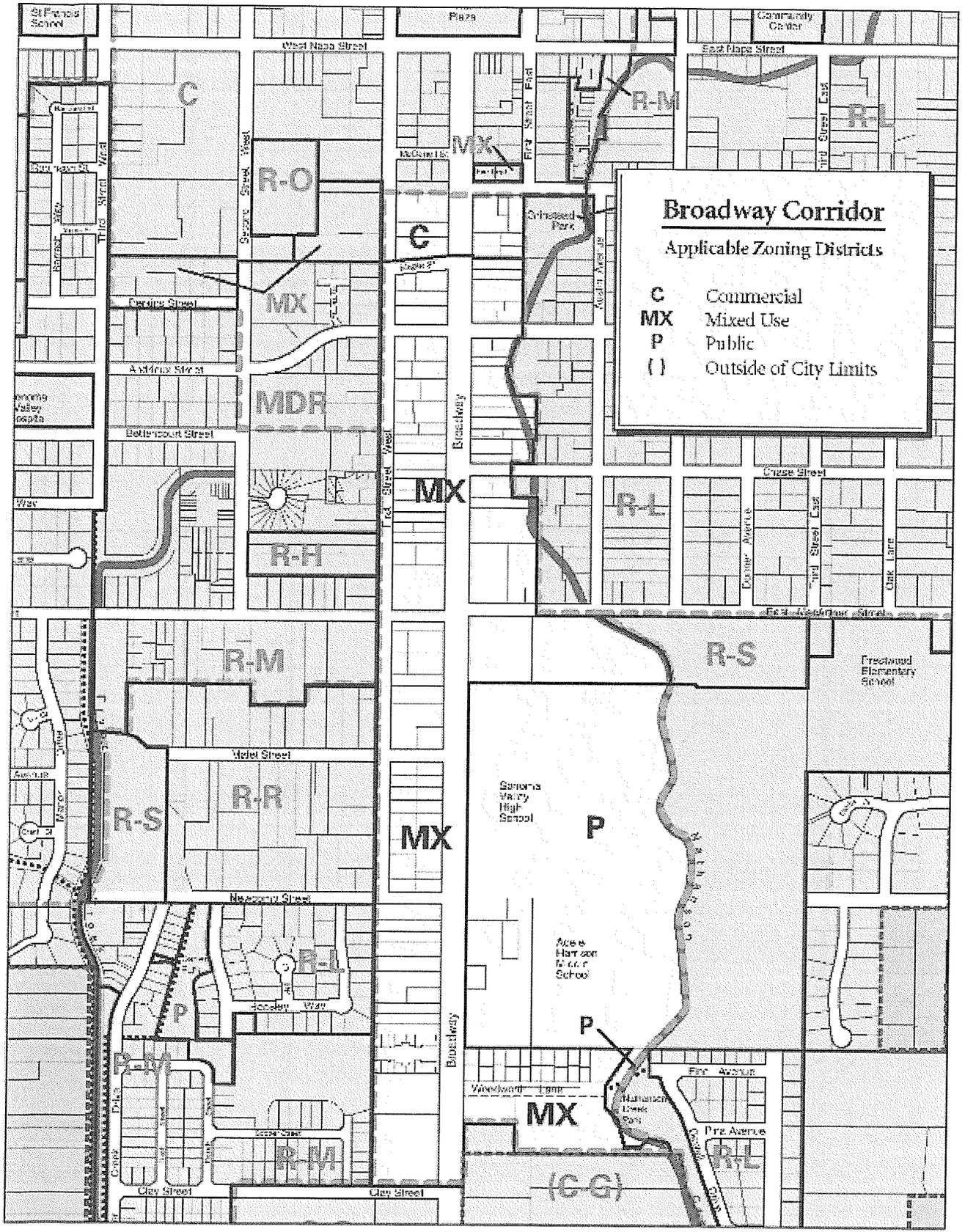
### Existing land uses include:

1. Retail, office and mixed use, often in adaptively reused historic buildings;
2. Single-family residences;
3. Duplexes, apartments, and small multifamily development;

4. A hotel;
5. The Sonoma Valley High School and the Adele Harrison Middle School;
6. A nursing home; and
7. Scattered vacant parcels.

B. Desired Future. Historic structures on Broadway will be preserved, restored and re-used, while new development will respect and contribute to the character of the area. Mixed use development will be directed so as to retain the predominantly residential character of First Street West while enlivening Broadway with small-scale retail, office, and residential uses. With respect to the high school and the middle school, careful placement of playing fields, parking and school uses will be required in order to assure compatibility with neighboring residential areas.

C. Potential Changes. South of MacArthur Street, Broadway will be improved to a consistent configuration. Gaps in the sidewalk system and street tree plantings will be closed. Intersection improvements may ultimately be needed at Broadway/Andrieux Street. With the expansion of the high school, its main entrance has been aligned with Newcomb Street and a traffic signal has been installed at that intersection. The gains in pedestrian safety associated with this improvement will only be fully realized if the high school frontage is redesigned to prevent pedestrians from crossing at the Malet Street intersection. (Ord. 2003-02 § 3, 2003).



### Broadway Corridor

Applicable Zoning Districts

<b>C</b>	Commercial
<b>MX</b>	Mixed Use
<b>P</b>	Public
<b>( )</b>	Outside of City Limits

**19.32.020 Project planning and design standards.**

A. Site Planning Standards.

1. Residential Density. The following residential densities and minimum lot sizes apply to new subdivisions within the different zoning districts of the Broadway corridor:

**Table 3-22**

**Lot Size and Residential Density Requirements**

Zoning District	Number of Dwellings Per Parcel <sup>1</sup>	Minimum Lot Size
C (Commercial)	20 per acre maximum	8,000 sq. ft.
MX (Mixed Use)	20 per acre maximum	8,000 sq. ft.

**Notes:**

1. Densities do not include density bonus. See Chapter 19.44 SMC.

2. Setbacks, Site Coverage, and Open Space. Proposed development shall be designed and constructed in compliance with the requirements set forth in Tables 3-23 and 3-24, following.

**Table 3-23**

**Broadway Corridor: Additions and Replacement Structures**

Development Feature	Requirements by Zoning District <i>Setbacks, Site Coverage, Open Space and Height</i>	
	C	MX
<b>Setbacks</b>	<i>Minimum setbacks required for primary structures. See SMC 19.40.110 for setback measurement, allowed projections into setbacks, exceptions, and design guidelines for setbacks.</i>	
<i>Front/Street-side<sup>1</sup></i>	Replacement structures: The same location as the original structure. <sup>2</sup> Additions to existing structures: 15 ft.	Replacement structures: The same location as the original structure. <sup>2</sup> Additions to existing structures: 20 ft.
<i>Side:</i>	None required, except when abutting a	5 ft. minimum, 15 ft. combined

Table 3-23

Broadway Corridor: Additions and Replacement Structures

Development Feature	Requirements by Zoning District	
	<i>Setbacks, Site Coverage, Open Space and Height</i>	
	C	MX
<i>One-Story</i>	residential zone, in which case the corresponding setback in the residential zone shall apply.	
<i>Side: Two-Story</i>		2 ft. for every 5 ft. (or fraction thereof) of height above 15 ft., <sup>3</sup> in addition to the normal requirement for one-story structures.
<i>Rear</i>		15 ft., except when abutting a residential zone, in which case the corresponding setback in the residential zone shall apply.
<i>Parking Areas</i>	Garages shall be set back 20 feet from the main structure. Parking areas should normally be located along the sides and to the rear of a property and should be minimized or avoided in front of buildings.	
<b>F.A.R./ Coverage</b>	<i>Floor Area Ratio: Maximum building area as a ratio of site area, excluding porches, cellars, attics, detached garages (up to 400 square feet), and underground parking. Coverage: Maximum site coverage as percentage of site area, excluding porches and detached garages.</i>	
<i>F.A.R.</i>	0.60	1.0
<i>Coverage</i>	60%	60%
<b>Open Space</b>	<i>See SMC 19.40.070 for design requirements.</i>	
<i>Commercial</i>	7% – 11% of site	7% – 11% of site
<i>Residential</i>	300 sq. ft. per unit (any combination of shared or private)	300 sq. ft. per unit (any combination of shared or private)
<b>Height</b>	<i>Ridge height measured from finished grade. See SMC 19.40.040 for applicability and exceptions.</i>	
<i>Primary Structure</i>	30 ft.	30 ft.

**Notes:**

1. A front porch may extend up to 10 feet into front setback (or street-side setback for wrap-around porches).
2. A replacement structure shall not exceed 10 percent of the height or area of the original structure unless a

Table 3-23

**Broadway Corridor: Additions and Replacement Structures**

<b>Development Feature</b>	<b>Requirements by Zoning District</b> <i>Setbacks, Site Coverage, Open Space and Height</i>	
	<b>C</b>	<b>MX</b>

use permit is obtained.

3. Measured at wall, not ridge.

Table 3-24

**Broadway Corridor: New Development**

<b>Development Feature</b>	<b>Requirements by Zoning District</b> <i>Setbacks, Site Coverage, Open Space and Height</i>	
	<b>C</b>	<b>MX</b>
<b>Setbacks</b>	<i>Minimum setbacks required for primary structures. See SMC 19.40.110 for setback measurement, allowed projections into setbacks, exceptions, and design guidelines for setbacks.</i>	
<i>Front/Street-side</i> <sup>1</sup>	15 ft. or within the range of adjacent structures on either side.	
<i>Side: One-Story</i>	None required, except when abutting a residential zone, in which case the corresponding setback in the residential zone shall apply.	5 ft. minimum, 15 ft. combined
<i>Side: Two-Story</i>		2 ft. for every five ft. (or fraction thereof) of height above 15 ft., <sup>2</sup> in addition to the normal requirement for one-story structures.
<i>Rear</i>		15 ft., except when abutting a residential zone, in which case the corresponding setback in the residential zone shall apply.
<i>Parking Areas</i>	Garages shall be set back 20 ft. from the main structure. Parking areas should normally be located along the sides and to the rear of a property and should be minimized or avoided in front of buildings.	

Table 3-24

Broadway Corridor: New Development

Development Feature	Requirements by Zoning District <i>Setbacks, Site Coverage, Open Space and Height</i>	
	C	MX
<b>F.A.R./ Coverage</b>	<i>Floor Area Ratio: Maximum building area as a ratio of site area, excluding porches, cellars, attics, detached garages (up to 400 square feet), and underground parking. Coverage: Maximum site coverage as percentage of site area, excluding porches and detached garages.</i>	
<i>F.A.R.</i>	0.60	1.0
<i>Coverage</i>	60%	60%
<b>Open Space</b>	<i>See SMC 19.40.070 for design requirements.</i>	
<i>Commercial</i>	7% – 11% of site	7% – 11% of site
<i>Residential</i>	300 sq. ft. per unit (any combination of shared or private)	300 sq. ft. per unit (any combination of shared or private)
<b>Height</b>	<i>Ridge height measured from finished grade. See SMC 19.40.040 for applicability and exceptions.</i>	
<i>Primary Structure</i>	30 ft.	30 ft.
<b>Notes:</b>		
1. A front porch may extend up to 10 feet into front setback (or street-side setback for wrap-around porches).		
2. Measured at wall, not ridge.		

3. Driveways and Parking. Parking areas should be located at the rear or along the side of properties and should be discouraged in front of buildings. Parking areas shall be screened from adjacent residential zoning districts and land uses. See Chapter 19.48 SMC, Parking and Loading Standards. Driveways along Broadway shall be minimized when possible, by combining driveways, using alleys, or designing development so that access is provided from local streets.

4. Natural Features. Natural environmental amenities including creeks, streams and other drainage courses; and mature trees shall be preserved by being incorporated into site plan design and layout. Appropriate enhancement or protective measures shall be included in plans where determined necessary by the planning commission. See creek development (SMC 19.40.020) and landscaping standards and design guidelines (SMC 19.40.060), and the tree preservation ordinance for specific tree preservation requirements and guidelines.

5. Screening and Buffering. Multifamily developments shall require screening and buffering of parking and driveway areas, and noise and light sources. See Chapter 19.46 SMC, Fences, Hedges and Walls, and landscape standards and guidelines (SMC 19.40.060).

## B. Building Design.

1. Height and Profile. Proposed structures shall not exceed a maximum height of 30 feet. For structures in excess of 15 feet located within the MX zone, side setbacks shall be increased by two feet for each additional five feet in height. See SMC 19.40.040 for height measurement and exceptions.

2. Building Types – Guidelines for Residential Structures. Proposed dwellings should be placed on their sites so that the narrow dimension of the structure is parallel to the narrow dimension of the parcel, and so that the primary entrance to the dwelling faces the public street, or is accessible from a porch or other entry element which faces the street.

3. Building Types – Guidelines for Commercial and Mixed Use Structures. New commercial and mixed use buildings and alterations to existing structures should contribute to the established Broadway streetscape. In reviewing proposals for commercial and mixed development and redevelopment, the review authority (the planning commission or the design review and historic preservation commission, as applicable) shall make use of the following guidelines:

a. Proposed dwellings should be placed on their sites so that the narrow dimension of the structure is parallel to the narrow dimension of the parcel, and so that the primary entrance to the building faces the public street.

b. Buildings should reinforce the scale, massing, proportions and detailing established by other significant historic buildings in the vicinity (if any).

c. The massing of larger commercial and mixed use buildings (5,000 square feet or greater) should be broken down to an appropriate scale through the use of storefronts and breaks in the facade.

d. Architectural styles and details that reflect the Sonoma vernacular should be used. Along Broadway, Victorian and other residential architectural styles are more typical than purely commercial building types. The use of durable, high quality materials is encouraged.

e. Site design and architectural features that contribute to pedestrian comfort and interest, such as awnings, recessed entrances, and alleys, are encouraged.

f. In renovations involving historic buildings, authentic architectural details should be preserved and any new detailing and materials should be compatible with those of the existing structure. Pre-existing alterations that diminish a building's historic qualities should

be removed when the opportunity arises. (See Chapter 19.42 SMC, Historic Preservation and Infill in the Historic Zone.)

g. Building types, architectural details and signs having a generic or corporate appearance are strongly discouraged. Chain stores and franchises are not prohibited along Broadway, but such uses must respect and contribute to the historic qualities of the area in terms of building design and signs. (Ord. 06-2013 § 3, 2013; Ord. 03-2004 § 3, 2004; Ord. 2003-02 § 3, 2003).

## Broadway Corridor: Summary of Guidelines and Recommendations

### Circulation Improvements:

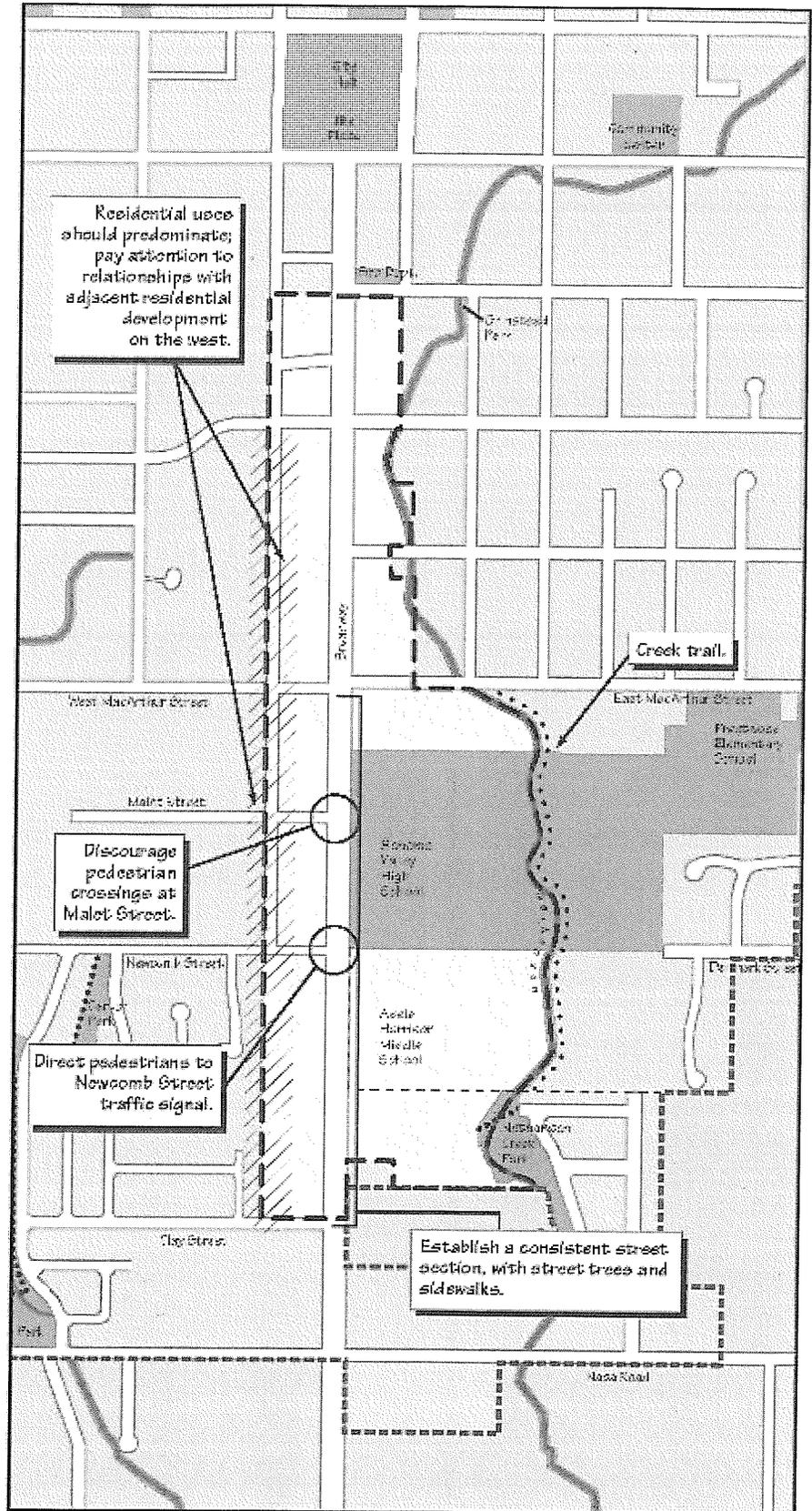
- Along Broadway, south of MacArthur, provide a consistent street section with bike lanes, curb, gutter, planter strips, sidewalks, and street trees.
- Design frontage improvements so that pedestrians are discouraged from crossing Broadway at Malet Street.
- Between Broadway and First Street West, install sidewalks along Newcomb and Malet Street.
- Implement the creekside bike/walking path on the east side of Nathanson Creek. Look for opportunities to make connections to it.

### Development Guidelines:

- Preserve, restore and re-use historic structures.
- New development should contribute to the established character of the area through the use of consistent setbacks and traditional building types.
- While individual projects may vary, the overall intent for First Street West south of Andrieux Street is to maintain a predominantly residential character.
- Development along Broadway must include appropriate transitions to adjacent residential uses.
- Parking areas should be located to the side and rear of properties, while minimized or avoided in front. Garages should be set back from the main residence.

### High School:

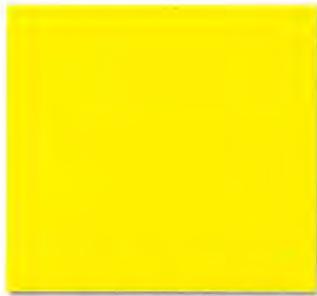
- The High School and the new Middle School should be integrated with the surrounding area, not set apart. Parking, fields, lights and buildings should be carefully placed to minimize conflicts with adjacent residences.





# SUPER SPEC HP™ READY-MIXED COLORS

COLORES PREMEZCLADOS SUPER SPEC HP™

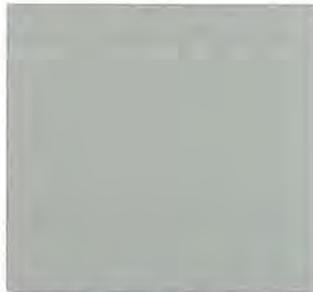


\* 15 SAFETY YELLOW | AMARILLO DE SEGURIDAD  
\* B, D

\* 21 SAFETY RED | ROJO DE SEGURIDAD  
\* B, D

35 SAFETY BLUE | AZUL DE SEGURIDAD  
\* B, D

82 SAFETY BLACK | NEGRO DE SEGURIDAD  
\* A, B, C, D, E, I

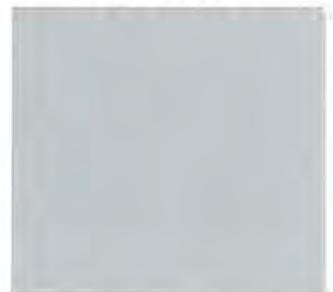


65 SAFETY ORANGE | NARANJA DE SEGURIDAD  
\* B, D

73 PLATINUM GRAY | GRIS PLATINO  
\* B, D, G, H

75 BATTLESHIP GRAY | GRIS DE ACORAZADO  
\* B, D, F, H, I

08 SAFETY WHITE | BLANCO DE SEGURIDAD  
\* B, C, D, E, I, J



74 LIGHT GRAY | GRIS CLARO  
\* F, H

60 BROWN | MARRÓN  
\* B, D

64 BRONZESTONE | TONO BRONCE  
\* B, D, E

78 ALUMINUM | ALUMINIO  
\* B, K

## PRIMERS

IMPRIMADORES



20 RED | ROJO  
\* L, M, N



70 GRAY | GRIS  
\* L, M, N, O

### \* COLOR AVAILABILITY BY PRODUCT

#### \* COLORES DISPONIBLES POR PRODUCTO

- A= P20 Rapid Dry Gloss Enamel ▲  
Esmalte de secado rápido brillante ▲
- B= P22 Urethane Alkyd Gloss Enamel ▲  
Esmalte de uretano alquídico con brillo ▲
- C= P24 DTM Alkyd Semi-Gloss ▲  
Alquídico semi-brillante directo a metal ▲
- D= P28 DTM Acrylic Gloss Enamel ▲  
Esmalte acrílico brillante directo a metal ▲
- E= P29 DTM Acrylic Semi-Gloss ▲  
Acrílico semi-brillante directo a metal ▲

- F= P35 100% Solids Epoxy Penetrating Sealer/Finish  
Sellador/acabado penetrante de epoxi de 100% sólidos
- G= P36 Polyamide Epoxy ▲  
Epoxi con poliamidas ▲
- H= P40 100% Solids Floor Epoxy ▲  
Epoxi de 100% sólidos para pisos ▲
- I= P42 Waterborne Polyamide Epoxy ▲  
Epoxi con poliamidas al agua ▲
- J= P43 Acrylic Epoxy ▲  
Epoxi acrílico ▲

- K= P64 Silicone Alkyd Hi-Heat  
revestimiento alquídico de silicona para altas temperaturas
- L= P06 Alkyd Metal Primer  
Imprimador de metales alquídico
- M= P07 Universal Alkyd Metal Primer  
Imprimador universal de metales alquídico
- N= P14 Shop-Coat Alkyd Metal Primer  
Imprimador de metales alquídico, cobertura profesional
- O= P33 Polyamide Epoxy Metal Primer  
Imprimador de metales de epoxi con poliamidas

▲ These products are available in tintable bases for unlimited custom colors. ▲ Estos productos están disponibles en bases tintables y con una variedad ilimitada de colores a la medida.

DEC 05 2013

## MEMO

**To:** Design Review and Historic Preservation Commission  
**From:** Associate Planner, Atkins  
**Subject:** 157 West Spain Street CEQA Confirmation

### Background

On November 19, 2013, the Design Review Commission (DRC) considered the architectural (design) review for a new detached single family residence on the property located at 157 West Spain Street. Although the Commission found that the design of the proposed residence was appropriate and was consistent with the design guidelines for infill development in the Historic Overlay zone, the DRC requested that staff verify that the California Environmental Quality Act (CEQA) requirements had been met. Staff has reviewed this question and confirmed that the application to construct a new detached residence at 157 West Spain Street qualifies for a Categorical Exemption under CEQA. Specifically, section 15303 (a) states the following are the maximum allowable exemptions on any legal parcel: *One single-family residence, or a second dwelling unit in a residential zone. In urbanized area, up to three single-family residences may be constructed or converted under this exemption.* In addition, a historic evaluation of the existing residence at the front of the property was not required, because the residence, although it is over 50 years old, was not proposed to be modified and was not listed on the National Register of Historic Places, California Register of Historic Resources, or listed on any local historic resource survey.

With this determination, the design review for the proposed residence at 157 West Spain Street has been completed.

### Review Options

In single-family settings, applicants have never been required to conduct historic building evaluations on structures that have not been proposed to be altered in conjunction with projects (such as new residences) proposed on the same parcel or on an adjoining parcel. If the DRHPC would like the evaluation area associated with a proposed design review application to be increased from the new or remodeled building area to adjoining buildings or properties, this is a policy change that the Commission can discuss. However, there are potentially significant implications with respect to cost and timing that the Commission would need to consider. For example, if a new single-family residence is proposed on a property, is it the intent of the DRHPC to have all

structures on the property and adjacent properties that are over fifty years old evaluated? Staff would note that since historic resource evaluations typically run between \$2,000 and \$8,000 per structure, this could be an unexpected expense to an applicant if the subject property is surrounded by properties with structures over fifty years old. However, a more limited option might be to require such evaluations where the possibility exists that a structure on the same parcel as the proposed project is historically significant. If the DRHPC does wish to consider making policy changes in this area, it should be agendaized for discussion at a future meeting so that options and implications may be fully discussed and evaluated.

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Yvonne Bowers, via email

## MEMO

**To:** Design Review and Historic Preservation Commission

**From:** Associate Planner, Atkins

**Subject:** Project Review Changes Related to Certified Local Government and Recent Municipal Code Revisions

On November 4, 2013, the City Council amended the Municipal Code with respect to historic preservation (see attached Agenda Item Summary). As the Commission is aware, with the adoption of these amendments, Sonoma will become a certified local government with respect to historic preservation. Three significant changes resulted from the amendments as outlined below:

1. The name of the Design Review Commission was changed from the Design Review Commission to the Design Review and Historic Preservation Commission (DRHPC). The responsibilities of the Commission were updated and clarified to reflect its role in historic preservation.
2. A process was created to designate a locally-significant historic resource and districts.
3. Additional findings for approval were added to Architectural Review projects located in the Historic Overlay District or a Local Historic District and projects involving historically significant resources.

How will the above mentioned Municipal Code amendments change the method in which projects are reviewed by the DRHPC? The biggest change is that there will be additional findings for the DRHPC to make related to projects in the Historic Overlay Zone and for projects that alter Historically Significant Resources, whether locally-designated or otherwise.

As noted above, the amendments also create a process to designate local-significant historic resources or districts. After a local historic resource or district is designated, any future projects that involve the local historic resource or district will need to comply with the Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

In addition to the changes to the Municipal Code, the City Council also adopted a historic preservation plan (previously reviewed by the Design Review Commission). The

plan includes an implementation section (attached) that is intended to guide future efforts to improve Sonoma's historic preservation programs.

Attachments:

1. City Council Agenda Item Summary (11/04/13)
2. Historic Preservation Plan: Implementation Measures

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