



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Special Meeting of February 25, 2014 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Leslie Tippell, Chair

Commissioners: Tom Anderson
Kelso Barnett
Robert McDonald
Micaelia Randolph
Christopher Johnson (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

CORRESPONDENCE

ITEM #1 – Continued Sign and Design Review	Project Location: 195 West Napa Street	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of sign and design review for a mobile coffee service trailer (Coffee & Coco).	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant: Rocio Fuentes	Zoning: Planning Area: West Napa/Sonoma Corridor	
Staff: Wendy Atkins	Base: Commercial (C) Overlay: Historic (/H)	
ITEM #2 – Sign Review	Project Location: 551-569 Fifth Street West	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of a modification to a sign program for the West Plaza shopping center.	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant/Property Owner: West Plaza Association	Zoning: Planning Area: West Napa/Sonoma Corridor	
Staff: Wendy Atkins	Base: Commercial (C) Overlay: None	

<p>ITEM #3 – Sign Review</p> <p><u>REQUEST:</u> Consideration of sign and design review for a wine tasting room on a commercial property (JAQK Cellars).</p> <p><u>Applicant:</u> Eisenmann Architecture</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 134 Church Street</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p>Base: Commercial (C) Overlay: Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #4 – Sign and Design Review</p> <p><u>REQUEST:</u> Consideration of sign and design review for a restaurant (OSO Sonoma).</p> <p><u>Applicant:</u> OSO Sonoma (David Bush)</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 9 East Napa Street</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p>Base: Commercial (C) Overlay: Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #5 – Design Review</p> <p><u>REQUEST:</u> Consideration of external building modifications for a commercial business (Pet Food Express).</p> <p><u>Applicant:</u> Michael Palmer</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 500 West Napa Street, Suites 502-510</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor</p> <p>Base: Commercial (C) Overlay: None</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #6 – Design Review</p> <p><u>REQUEST:</u> Consideration of new paint colors for a Bakery (Studebaker Cheese Cake).</p> <p><u>Applicant:</u> Kevin Fay</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 248 West Napa Street</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p>Base: Commercial (C) Overlay: Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on February 21, 2014.

ROBIN EVANS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 1
Meeting Date: 2/25/14

Applicant	Project Location
Ricio Fuentes (Coffee & Coco)	195 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Request

Continued design and sign review for a mobile coffee service trailer (Coffee & Coco).

Summary

Background: On January 17, 2006, the Design Review Commission approved three signs for the Sonoma 76 gas station: two new wall signs (34.3 square feet in area each); and, one new freestanding sign (21 square feet in area per side). On January 19, 2014, the Planning Commission approved a Use Permit allowing the applicant to locate and operate a mobile coffee service trailer (Coffee & Coco) on the property (see attached conditions of approval). On February 18, the DRHPC continued the design and sign review for a mobile coffee service trailer and requested the applicant provide the following information:

- Detailed site plan including the following:
 - Vehicle entrances and exits.
 - Location of 16 required stripped parking spaces.
 - Location of existing buildings and pump island.
 - Location of mobile coffee service trailer.
 - Location of trash cans.
 - Location of proposed landscaping.
 - Location of all signs.
- It was also recommended that the freestanding sign be removed from the application.
- Sign detail shall include signs directing customers to park in parking spaces or at the pump island.
- A suggestion was made to consider a wraparound sign on the coffee service trailer.
- Provide ten copies of the manufacturer paint samples for all coffee service trailer colors.
- Provide a quality color picture of the proposed trailer.
- Revise the project narrative to include the height and type of proposed landscaping.

As of the date the staff report was prepared, the applicant has submitted color samples for the coffee service trailer. If the applicant submits additional information prior to the DRHPC meeting that information will be forwarded to the DRHPC.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Coffee service trailer color samples.*
2. *Planning Commission conditions of approval.*

cc: Rocio Fuentes
 88 Loma Vista Drive
 Sonoma, CA 95476-3250

 Dianna Anderson and Denise Baciocco
 19365 Sleepy Hollow Court
 Sonoma, CA 95476-6345

City of Sonoma

Sonoma Sister Cities:

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan Egypt
Chambolle-Musigny France
Greve Italy
Kaniv Ukraine
Patzcuaro Mexico
Penglai China
Tokaj Hungary

January 13, 2014

Rocio Fuentes
85 Loma Vista Drive
Sonoma, CA 95476-3250

Subject: Application for a use permit to operate a mobile coffee service trailer on the property located at 195 West Napa Street (APN 018-251-050).

Dear Ms. Fuentes:

On Thursday, January 9, 2014, the Planning Commission considered your application for a use permit to operate a mobile coffee service trailer on the property located at 195 West Napa Street. After discussion and public testimony, the Planning Commission voted 7-0 to approve the Exception subject to the attached conditions of approval.

I have included Sign Review and Design Review applications for the DRHPC. Please note that the application cutoff for the February 18th DRHPC meeting is January 21st.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2204.

Sincerely,

Wendy Atkins
Associate Planner

(2) Enclosures

cc: Northwest Dealerco Holdings LLC
30343 Canwood Street #200
Agoura Hills, CA 91301-4329

Bret Sackett, Police Chief

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Use Permit for Mobile Coffee Service Trailer – 195 West Napa Street

January 9, 2014

1. The use shall be operated in a manner consistent with the project narrative, except as modified by these conditions. The hours of operation, including deliveries, shall be limited to the following hours: 6 a.m. to 6 p.m. seven days per week. The maximum number of employees shall not exceed three (including the owner).

Enforcement Responsibility: Planning Department
Timing: Ongoing

2. All Building Division requirements shall be met. A building permit may be required.

Enforcement Responsibility: Building Division
Timing: Prior to the issuance of any building permit that may be required

3. All applicable Fire Department requirements shall be met, including requirements related to the provision of fire extinguishers and fuel storage.

Enforcement Responsibility: Fire Department
Timing: Prior to operation

4. All signs shall be subject to the review and approval of the Design Review and Historic Preservation Commission (DRHPC).

Enforcement Responsibility: Planning Department; DRHPC
Timing: Ongoing

5. The project shall be subject to the review and approval of the DRHPC. This review shall encompass trailer elevations, colors, and materials, the trash enclosure design, and landscaping.

Enforcement Responsibility: Planning Division; DRHPC
Timing: Prior to the issuance of any building permit

6. No table or chairs shall be allowed.

Enforcement Responsibility: Planning Division
Timing: Ongoing

7. The applicant shall notify the following agencies of its application, and obtain any necessary written approvals prior to operation of the business.

- a. Sonoma County Health Department (for food-serving establishments)

Enforcement Responsibility: Planning Division

Timing: Prior to occupancy

8. The food trailer and surrounding area shall be maintained in a neat and orderly manner. Trash on the site shall be cleaned up on a daily basis.

Enforcement Responsibility: Planning Division
Timing: Ongoing

9. The electrical connection for the mobile food service trailer shall be subject to the review and approval of the Building Official. A Building Permit shall be required, if applicable.

Enforcement Responsibility: Planning Division; Building Division
Timing: Ongoing

10. On-site parking spaces shall be restriped to include sixteen spaces subject to the City of Sonoma Parking Regulations. The seven parking spaces available for the coffee service shall be clearly marked for that use.

Enforcement Responsibility: Planning Division; Building Division
Timing: Prior to occupancy

11. The coffee service trailer shall not be used as a drive-through use. Customers shall be required to either park in one of the parking spaces in the southern portion of the property or at the pump island.

Enforcement Responsibility: Planning Division
Timing: Ongoing

12. Signs shall be required (subject to the review and approval of the DRHPC) directing customers to park in parking spaces in the southern portion of the property or at the pump island.

Enforcement Responsibility: Planning Division; DRHPC
Timing: Prior to occupancy

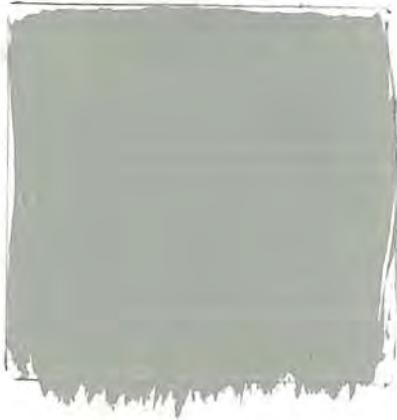
13. The allowance for a mobile coffee service use as provided herein shall be permitted strictly on a temporary basis, subject to reconsideration by the Planning Commission within six months following the date of occupancy and shall be of no further force and effect unless extended by the Planning Commission prior to the date of expiration.

Enforcement Responsibility: Planning Division
Timing: Ongoing

14. The size of the mobile coffee service trailer shall be limited to 6 x 12 feet in area.

Enforcement Responsibility: Planning Division
Timing: Ongoing

DUPONT #1



Dupont trailer color

IRON 2.1 + POLYURETHANE

COLOR = ATLAS NEUTRAL

CODE CAS 827

#2

Brilliant white

Trim color

BENJAMIN MOORE®
COLOR PREVIEW®
PM

PM-4

brilliant white

FEB 20 2011



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

**DRHPC Agenda
Item: 2**

Meeting Date: 02/25/14

Applicant

West Plaza Association

Project Location

551-569 Fifth Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: 1977

Request

Consideration of a modification to a sign program for the West Plaza shopping center located at 551-699 Fifth Street West.

Summary

Background: On October 20, 2009, the Design Review Commission (DRC) considered and approved a new exterior color scheme for the commercial buildings. On November 17, 2009, the DRC considered and approved a new sign program for the shopping center.

Revised Sign Program: At this time the applicant is proposing to modify the existing sign program for the shopping center by adding store directory signs to the existing monument sign at the northeast corner of the property.

The following signs have previously been approved by the DRC and are part of the sign included in the sign program:

- ◆ 1 each (one-sided) 32 square foot freestanding sign (monument) (northeast corner);
- ◆ 1 each (two-sided) 32 square foot (per side) freestanding sign (southeast portion);
- ◆ 20 each (one-sided) 15 square foot roof signs (tenant).

Monument Sign (northeast corner): Two 13.33 square foot (3.33 feet wide by 4 feet tall) sign portions will be added to the existing 32 square foot in area monuments sign.

Aggregate Sign Area: Based on the site's primary frontage on Fifth Street West (± 146 feet) and secondary frontage on Studley Street (± 235 feet), the property has an allowable aggregate sign area of 111.4 square feet. The total aggregate sign area for the property would be ± 406.66 square feet, including the two freestanding signs (106.66 square feet), and 20 tenant signs (300 square feet).

Shopping Center Signage Regulations (§18.20.180): In addition and notwithstanding the number and sizes listed under SMC 18.16.010 and 18.16.020, one additional identification sign may be permitted for a shopping center. The total area of the additional sign shall not exceed 60 square feet, with no single face of a double or multisided sign larger than 40 square feet. Illuminated shopping center signage shall conform to the sizes under the illuminated sign section (SMC 18.20.130), unless granted a variance by the DRHPC.

A shopping center may develop a sign program for all tenants within the center which, after approval by the DRHPC, may be administered by the shopping center administration. Signs not in conformance with the approved program must be reviewed by the planning director or his or her designee or the DRHPC.

Illuminated Sign Regulations (§18.20.130): Exteriorly illuminated signs shall not exceed 32 square feet in area. Each face of a two-sided exteriorly illuminated sign shall not exceed 21 square feet in area. The proposal is not consistent with this requirement in that the exteriorly illuminated signs will have an area of 58.6 square feet. The applicant is requesting a variance from this standard.

Existing Signs: During the site visit, staff observed a number of illegal signs displayed in the shopping center consisting of

illuminated open signs, portable freestanding signs, window signs, and flag signs. These signs have not been approved and shall be removed.

Other Permits Required: In addition to the requirements of this title, all signs shall be in conformance with applicable requirements of the 2013 California Building Code and 2013 California Electrical Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Sign drawings.*

cc: Robert Sanders & Co., via email

Sherial Heller
1200 Washington Street # 12
San Francisco, CA 94108

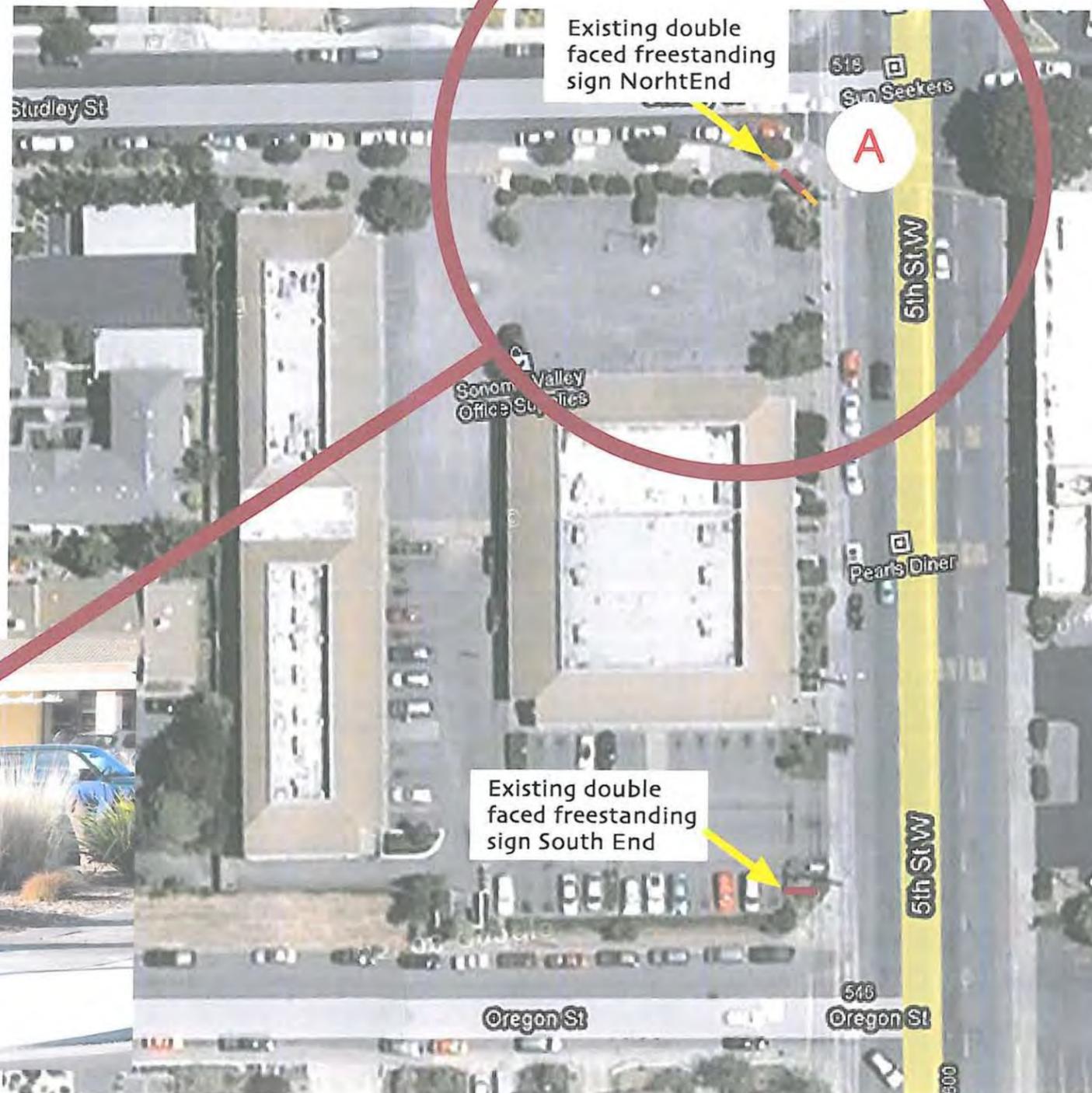
Michael Rice
721 Fawn Drive
San Anselmo, CA 94960-1160

Location of Proposed Freestanding Sign Directories

Project Location



5th St. Plaza located on 5th Street west between Studley St. and Oregon St, across from Safeway Store



PROJECT

Signage Program for 5th St. West Plaza

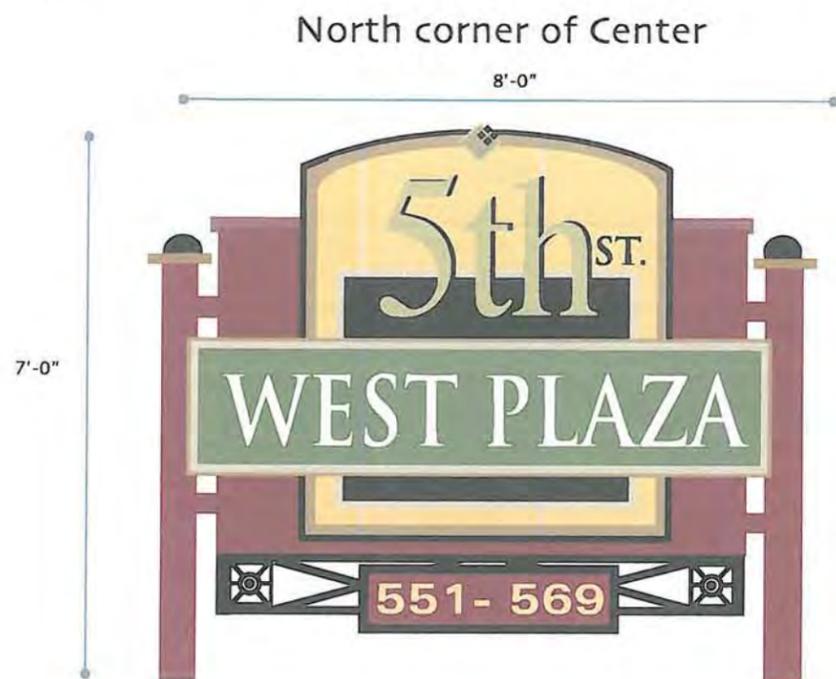
DATE

Jan. 21, 2014

robert sanders & co.

Environmental Graphic Design
 P.O. Box 1356
 Sonoma, CA 95476
 707. 996.3532
 fax 996.2937
 email: info@robertsanders.com

Exhibit "A" Freestanding Directory Signs



Existing Single Faced Sign



Proposed New Sign Directory Design

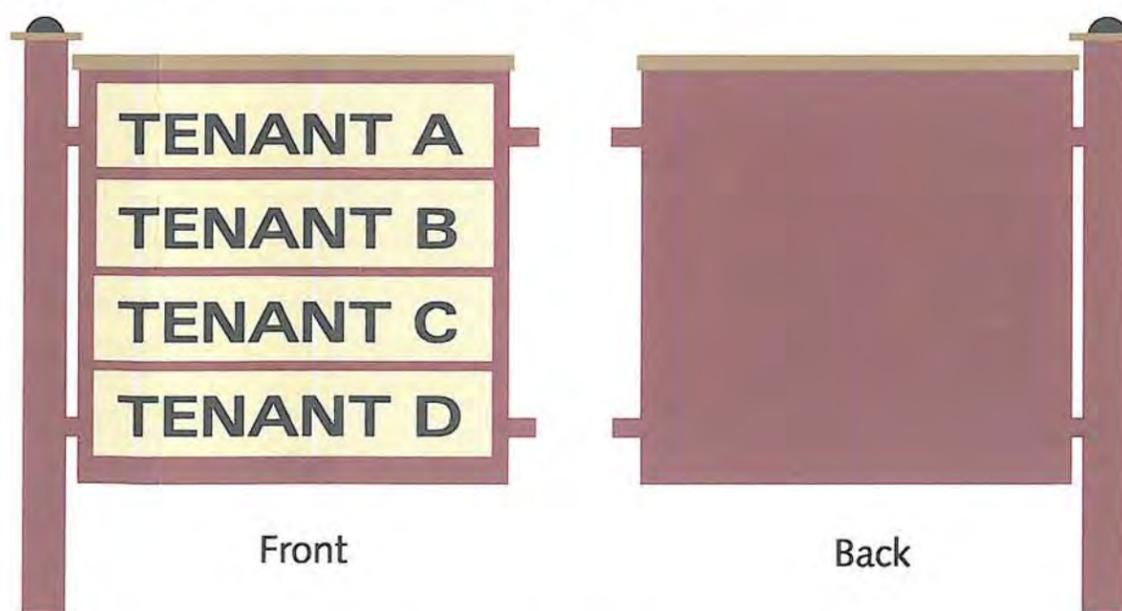
Add Address No.s 6" high

Add 2 each single-faced sign structures (aluminum/acrylic faces) with decorative matching post, side signs added to existing sign, attached to existing posts. Sign faces for tenant identification (changeable vinyl lettering in black), all colors to match existing sign, tenant name plates externally illuminated



On Left side Setback from P/L 36"

On right side Setback from P/L 32"



Front

Back

Tenant Directory Name plates -32.5" x 7.5"

Tenant letters 3.5" high

Notes

Design coordinated with existing color theme

Sign area face area 32 s.f. add 8.5 s.f. x2=17s.f.

Sign posts mounted in 3' deep concrete foundations holes

PROJECT

Signage Program for 5th St. West Plaza

DATE

Jan. 21, 2014

robert sanders & co.

Environmental Graphic Design
P.O. Box 1356
Sonoma, CA 95476
707. 996.3532
fax 996.2937
email: info@robertsanders.com



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda
Item: 3
Meeting Date: 2/25/14

Applicant

Stacy Eisenmann

Project Location

134 Church Street

Historical Significance

- Listed or Eligible for Listing on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed or Eligible for Listing on the California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year Built: between 1911 and 1923
-

Request

Consideration of sign review for a wine tasting room on a commercial property (JAQK Cellars) located at 134 Church Street.

Summary

Background: On February 14, 2013, the Planning Commission approved a Parking Exception and Use Permit allowing conversion of the building into a wine tasting room with offices and outdoor seating area for JAQK Cellars, plus a small residential unit (see attached Planning Commission approval letter and conditions of approval). On March 19, 2013, the Design Review Commission approved elevation details, exterior colors and materials, lighting, and landscaping for the project. The project is now before the Design Review and Historic Preservation Commission for consideration of two freestanding signs.

The applicant is proposing to install two new freestanding signs: a freestanding sign at the sidewalk; and a freestanding sign on top of the sliding gate.

Freestanding sign at sidewalk: A new, two-sided freestanding sign 12 square feet in area per side (4 feet tall by 3 feet wide) is proposed in the easement entrance area adjacent to the sidewalk on First Street West. The sign would consist of a wood panel with metal lettering, suspended by short cables from an aluminum frame, gray in color. Copy on the sign would consist of a brown background with blue and white text. Staff would note that the approval of the sign at the sidewalk is contingent upon the applicant providing the City with approval from the property owner of the easement (Cindy Ruggles) as the sign is located on the adjacent property.

Freestanding sign on gate: A new, one-sided freestanding sign is proposed to be placed over the top of the sliding portion of the gate located on the east property line. The sign would have an area of 3 square feet (9 inches tall by 4 feet wide). The sign would be constructed of a redwood material. Copy on the sign would consist of a laser cut steel logo, with a clear powder coat, grey in color, applied to the redwood frame. In addition, four recessed LED puck lights are proposed under the headers to provide small pools of light (see attached specification sheets).

Aggregate Sign Area: Based on the property's frontage on Church Street (28 feet), the maximum aggregate sign area allowed for the parcel is 17 square feet. The total aggregate sign area for the property would be ±12 square feet, including the freestanding sign at the sidewalk and the freestanding sign on the gate. The proposal is consistent with this requirement. It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021).

Size Limitations: Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is consistent with this requirement.

Sign Height: Monument signs are limited to a maximum height of 12 feet (§18.20.120). The proposed freestanding sign at the sidewalk would have a maximum height of 4 feet, while the proposed freestanding sign on the gate would have a maximum height of 9 feet. The proposal is consistent with this requirement.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with this requirement as the freestanding sign at the sidewalk is located on a separate property and no more than two signs are proposed for the business.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

cc: Stacy Eisenmann, Principal (via email)

Stephen & Laura Havlek (via email)

Hatch Real Estate Holdings LLC
402 Jackson Street
San Francisco, CA 94111-1602

Attachments:

1. *Project narrative*
2. *Planning Commission approval letter and conditions of approval*
3. *Lighting specifications*
4. *Sign drawings*

JAQK CELLARS
134 CHURCH STREET
SONOMA 95476

RE: DESIGN COMMISSION MEETING

February 18, 2014

Hello Rob, Wendy and Team,

We are interested in having the following agenized for the February Design Commission meeting.

1. **GATE & SIGNAGE:** Provided are an elevation and section of the proposed gate header. The sliding portion of the gate is the same design that was previously approved, however we'd like to create more of a portal with signage. As noted the materials will be steel, redwood and frosted white acrylic letters. There is an existing portal now (in great need of repair), so we are not proposing something that is foreign to the site.
2. ~~**FIREPIT:** My clients would like to add a small firepit at the northeast corner of the deck. Provided is a site plan of the location and shows that the seating on the deck would remain consistent with what was previously approved. Attached is also a printout of the proposed firepit.~~
3. **SIGNAGE AT THE SIDEWALK:** This is the sign that directs pedestrian traffic down the driveway from First Street West. JAQK is still finalizing the graphics for this sign. Would it be possible to add elevations of this to the packet early next week?

Unfortunately, I will be out of town the week of February 18th. However, my assistants Amber and/or Justin will be there to present the work. Their emails are below should you need to contact them. Please let me know if there is anything further you would like to have to adequately discuss these items.

amber@eisenmannarchitecture.com

justin@eisenmannarchitecture.com

Best,
Stacy Eisenmann

Directing Architect
EISENMANN ARCHITECTURE
A California Corporation

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan, Arab Republic of Egypt
Chambolle-Musigny, France
Greve in Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Mexico

February 19, 2013

Stacy Eisenmann, Principal
Eisenmann Architecture
853 Ramona Ave.
Albany, CA 94706

Subject: Application for a Use Permit and Parking Exception to establish a wine tasting facility with office and outdoor seating on the commercial property at 134 Church Street.

Dear Ms. Eisenmann:

On Thursday, February 14, 2013, the Planning Commission considered your application for a Use Permit and Parking Exception to establish a wine tasting facility (JAKC Cellars) with office and outdoor seating on the commercial property at 134 Church Street. After discussion and public testimony, the Planning Commission voted 4-2 (with one commissioner absent) to approve a Use Permit for the outdoor seating and Parking Exception, subject to the attached conditions of approval. Staff would emphasize that under condition of approval No. 2, the outdoor seating is only allowed if the easement connecting to First Street West is perfected to verify its allowance for pedestrian use, or a License Agreement is obtained allowing for pedestrian use of the easement.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2202.

Sincerely,

Rob Gjestland
Senior Planner

cc: Stephen & Laura Havlek (via email)
435 First Street West
Sonoma, CA 95476

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Hatch Holdings Parking Exception and Outdoor Seating Use Permit
134 Church Street

February 14, 2013

1. The building and property shall be improved and used in conformance with the project narrative, site plan, floor plan, and building elevations except as modified by these conditions and the following:
 - a. The parking spaces to be improved on the west side if the site shall be reserved/designated for use by the disabled, employees/staff, the business owners, and resident(s) of the residential unit. The parking spaces shall be marked or signed appropriately to reflect this limitation. If pedestrian use of the access easement to First Street West is prohibited, then the parking spaces shall not be reserved/restricted and shall be made available to customers/public.
 - b. A self-closing/latching access gate shall be provided at the east property line where it adjoins the easement. The access gate shall be locked when the business is closed.
 - c. Perimeter fencing with a minimum height of five feet (including open/trellis elements) shall be required in conjunction with adjacent landscaping plantings to contain, buffer, and screen the tasting room from adjacent properties. This fencing shall connect with the access gate.
 - d. Signs shall be posted on the access easement from First Street West cautioning pedestrians to watch out for vehicles, unless it is determined that pedestrian use of the easement is not allowed.
 - e. Food preparation shall not be allowed on the property and food service shall be limited to palate cleansers/crackers in conjunction with the wine-tasting activity.
 - f. The residential unit shall not be used as a vacation rental.
 - g. This permit does not constitute an approval for a Music Venue or Special Event Venue as defined under Section 19.92.020 of the Development Code

Enforcement Responsibility: *Planning Department*
Timing: *Ongoing*

2. Outdoor seating shall not be allowed unless the applicants either perfect the access easement from First Street West to allow for pedestrian use or obtain a License Agreement allowing for pedestrian use of the easement. If a License Agreement is obtained, the outdoor seating use shall cease if the License Agreement is revoked in the future. The outdoor seating shall also be subject to the following requirements:
 - a. The outdoor seating shall be limited to a maximum of 11 seats.
 - a. Use of the outdoor seating area shall cease by 7p.m. daily.
 - b. Perimeter fencing with a minimum height of five feet (including open/trellis elements) shall be required in conjunction with adjacent landscaping plantings to contain, buffer, and screen the outdoor seating area from adjacent properties. This fencing shall connect with the access gate.
 - c. Music shall be prohibited outdoors.

Enforcement Responsibility: *Planning Department*
Timing: *As set forth in the condition; Ongoing if outdoor seating is allowed*

3. Improvement plans, including a grading and drainage plan, shall be prepared by a licensed Civil Engineer and approved by the City Engineer prior to issuance of a grading permit or building permit. The drainage plan shall ensure that surface runoff is conveyed appropriately and does not drain onto adjoining properties. The following improvements shall be required and shown on the plans and are subject to the review of the City Engineer, Planning Administrator and Building Official. Public improvements shall meet City standards:
 - a. Parking improvements shall be implemented on the west side of the site as shown on the site plan, subject to discretion of the City Engineer.

- b. The property frontage on Church Street and access to the parking area shall be improved as required by the City Engineer. A concrete V-swale/driveway ramp may be required along the Church Street and the parking area, subject to the discretion of the City Engineer.
- c. The adjoining public portion of Church Street and the private easement alley on the west side of the property shall be repaired or repaved as required by the City Engineer.
- d. The parking and driveway areas shall be surfaced with a City-approved material and striped. Gravel or other loose material shall be prohibited. Concrete curbs or alternative barriers shall be provided between the parking facility and any adjoining landscape planting areas.
- e. Sewer main extension and/or laterals and appurtenances, as required by the Sonoma County Water Agency to serve the site; water conservation measures installed and/or applicable mitigation fees paid as determined by the Sonoma County Water Agency.
- f. A separate fire service water line/connection with meter and approved backflow prevention device shall be required in accordance with City standards, subject to review and approval by the Fire Chief and City Engineer.
- g. The existing water meter and connection to the City water main on Church Street shall be upgraded to current standards and appropriate size if necessary. In addition, a separate water meter shall be provided for landscape irrigation. The Applicant shall pay any required increased water fees applicable to the changes in use in accordance with the latest adopted rate schedule.
- h. All necessary sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
- i. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to the approval of the improvement plans, whichever occurs first.

Enforcement Responsibility: City Engineer, Public Works Department, Building Department, Planning Department; Fire Department: Water Operations Supervisor; SCWA

Timing: Prior to issuance of the encroachment permit and commencement of grading

4. All Building Department requirements shall be met, including Building Code requirements related to compliance with CALGreen standards, occupancy separation between the commercial and residential portions of the structure, and ADA requirements (i.e. disabled access, disabled parking, accessible path of travel from the disabled parking space to Church Street and the tasting room entrance, bathrooms, etc.). A building permit shall be required.

Enforcement Responsibility: Building Department

Timing: Prior to construction

5. All Fire Department requirements shall be met including the provision of fire sprinklers throughout the structure (a commercial sprinkler system with residential component shall be required). A separate fire service water line/connection with meter and approved backflow prevention device shall also be required in accordance with City standards, subject to review and approval by the Fire Chief and City Engineer.

Enforcement Responsibility: Fire Department; City Engineer; Building Department

Timing: Prior to issuance of any building permit

6. The existing water meter and connection to the City water main on Church Street shall be upgraded to current standards and appropriate size if necessary. In addition, a separate water meter shall be provided for landscape irrigation. The Applicant shall pay any required increased water fees applicable to the changes in use in accordance with the latest adopted rate schedule.

Enforcement Responsibility: Public Works Department; Water Operations Supervisor; City Engineer

Timing: Prior to final occupancy

7. An encroachment permit from the City shall be required for all work within the public right of way on Church Street.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department
Timing: Prior to any work/construction within the public right of way

8. The applicant shall obtain any necessary permits and/or clearances from the Sonoma County Environmental Health Division and the State Department of Alcoholic Beverage Control (ABC) for the wine tasting use, including service/consumption of wine in the outdoors if the seating area is allowed. Food/beverage service shall conform to the limitations of those permits.

Enforcement Responsibility: Department of ABC; Sonoma County Health Division; Planning Department
Timing: Prior to occupancy; Ongoing

9. The applicant shall comply with the following requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA):

- a. The applicant shall submit a Wastewater Discharge Survey to PRMD. The Applicant shall obtain a **Survey for Commercial/Industrial Wastewater Discharge Requirements** ("Green form") from PRMD, and shall submit the completed Survey, along with two (2) copies of the project site plan, floor plan and plumbing plan to the Sanitation Section of PRMD. The Survey evaluation must be completed by the Sonoma County Water Agency and submitted to the PRMD Engineering Division before a building permit for the project can be approved.
- b. If additional sewer pre-treatment and/or monitoring facilities (i.e. Grease trap, Sampling Manhole, etc.) are required by the Sonoma Valley County Sanitation District per this Survey, the Applicant shall comply with the terms and requirements of the Survey prior to commencing any food or beverage service. If required, the Sampling Manhole shall be constructed in accordance with Sonoma County Water Agency *Design and Construction Standards for Sanitation Facilities*, and shall be constructed under a separate permit issued by the Engineering Division of PRMD.
- c. In accordance with Section 5.05, "Alteration of Use", of the Sonoma Valley County Sanitation District Ordinances, the Applicant shall pay increased sewer use fees for conversion of the existing structure to a wine tasting facility with offices and residential unit. The increased sewer use fees shall be paid the Engineering Division of PRMD prior to the commencement of the use(s).
- d. A sewer clearance shall be provided to the City of Sonoma Building Department verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency; City of Sonoma Building Department
Timing: Prior to issuance of a building permit

10. In addition to those already identified, the following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma Valley Unified School District [For school impact fees]

Enforcement Responsibility: Building Department
Timing: Prior to issuance of a building permit

11. As recommended in the Historic Resource Evaluation & Design Analysis prepared by Jerri Holan, FAIA (dated January 21, 2013), the Historic Consultant shall 1) review the plans and specification during the building permit review stage; 2) meet with construction crew prior to any demolition work to review historic elements on site; and 3) observe building construction prior to final building approval. All costs associated with this review shall be borne by the applicant.

Enforcement Responsibility: Planning Department; Building Department
Timing: As specified above

12. The project shall be subject to architectural review by the Design Review Commission (DRC), encompassing elevation details, exterior materials and colors, lighting, and the location and type of bicycle parking.

Enforcement Responsibility: Planning Department; Design Review Commission
Timing: Prior to the issuance of a building permit

13. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review Commission (DRC) and shall demonstrate compliance with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32). The landscape plan shall address all landscaping, fencing/enclosures, walls, landscape trellis features, decking material, and hardscape improvements, including the access gate, perimeter fencing and buffer landscaping required under condition No. 1 above.

Enforcement Responsibility: Planning Department; Design Review Commission
Timing: Prior to the issuance of an occupancy permit

14. As normally required, signage for the business/property shall be subject to review and approval by City Staff or the Design Review Commission (DRC) as applicable.

Enforcement Responsibility: Planning Department or Design Review Commission
Timing: Prior to installation of signage

15. All stormwater requirements of the MS4 General Permit that become effective prior to final occupancy shall be met and implemented on site.

Enforcement Responsibility: Stormwater Coordinator; City Engineer
Timing: Prior to final occupancy

16. All garbage/recycling bins shall have lids, which shall remain closed at all times.

Enforcement Responsibility: Stormwater Coordinator
Timing: Prior to operation; Ongoing

products

Home > Products > SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT

OVERVIEW | TECH SPECS | WIRING DIAGRAMS | DIMENSIONS | ACCESSORIES



The SUNSPOT Module Light is a plug-and-play, compact LED light fixture that is sold by the module, allowing you to install as many lights virtually anywhere you need to. This light module features a waterproof plug that connects to a 12V Plug-In Adapter with the LED Light Bar Adapter Cable, and connects to a 12V Hard-Wired Driver using the Waterproof Solder Connector. This IP68-rated module is perfect for use in wet locations such as decks and railings, in displays and exhibits, and for small spotlighting. It is available with either a light beam angle of 15° that provides more focused spot light, or with the wider 45° beam angle, which has more of a flood light spread.

Due to its compact size (roughly 1.1 inches high and only 1.5 inches wide), the SUNSPOT Module can be used in tight places. You can have as many or as few bulbs as you like in applications such as:

- Patios and decks
- Stairways and aisles
- Marker lighting
- Indoor and outdoor signs
- Shadow boxes and light boxes
- Glass tables and cabinets
- Vending and gaming machines
- Display cases and shop windows

SUNSPOT Module Lights are the perfect tool for the Do-It-Yourself-er, letting you decide how much and exactly where the light for your project will be, with minimal setup.

products

> SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT

[OVERVIEW](#)
[TECH SPECS](#)
[WIRING DIAGRAMS](#)
[DIMENSIONS](#)
[ACCESSORIES](#)



Not Dimmable

Sold by: module

Weight: 3 oz.

Diameter (housing): 1.2 in.

Diameter (base): 1.55 in.

Height: 1.1 in.

Cable Length: 36 in.

Connector Type: female waterproof plug

Bulbs per module: 1

Available Beam Angles: 15°, 45°

Voltage: 12V DC

Power Consumption: 3W

Available Colors: warm white, cool white, red, green, blue, amber, purple

CRI: 72 (warm white), 77 (cool white)

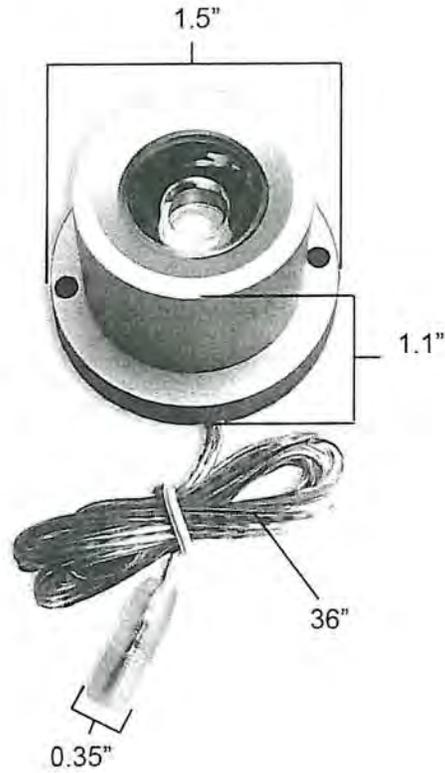
beam angle	item #	color	color temp.	lumens	power consumption	# of LEDs
45°	DI-1440	warm white	2800k	80	3W	1
45°	DI-1441	cool white	5750k	98	3W	1
15°	DI-1442	warm white	2800k	80	3W	1
15°	DI-1443	cool white	5750k	98	3W	1
45°	DI-1430	red	625nm	n/a	3W	1
45°	DI-1431	green	530nm	n/a	3W	1
45°	DI-1432	blue	465nm	n/a	3W	1
45°	DI-1433	amber	595nm	n/a	3W	1
45°	DI-1434	purple	405nm	n/a	3W	1

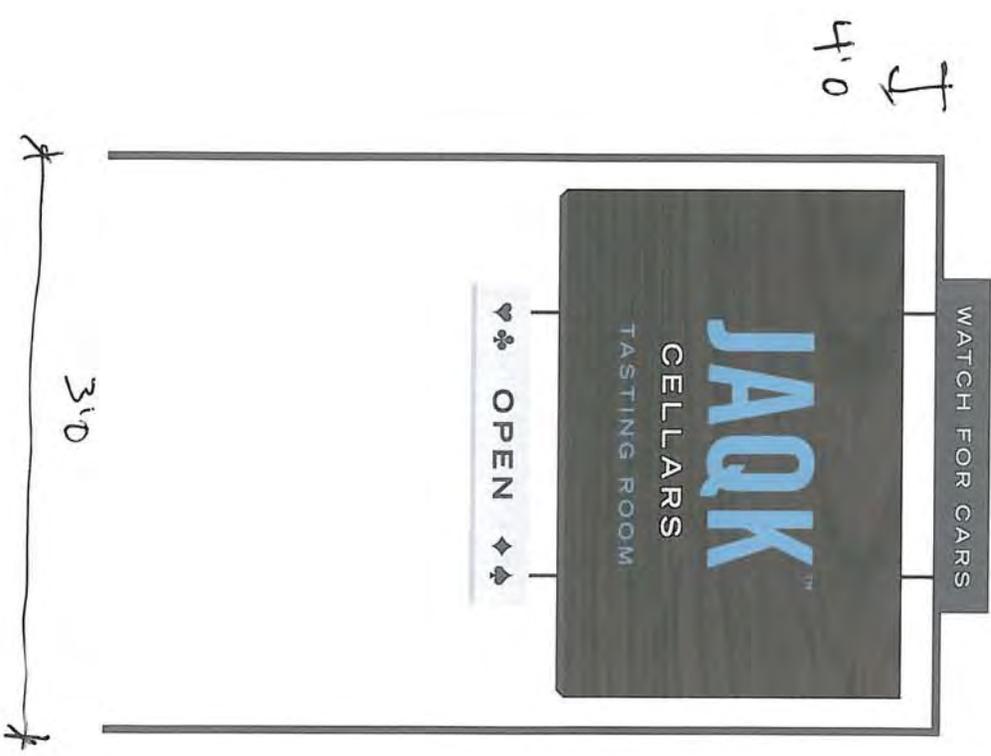
products

Home > Products > Product > SUNSPOT™ Module Light

SUNSPOT™ MODULE LIGHT

[OVERVIEW](#) [TECH SPECS](#) [WIRING DIAGRAMS](#) [DIMENSIONS](#) [ACCESSORIES](#)



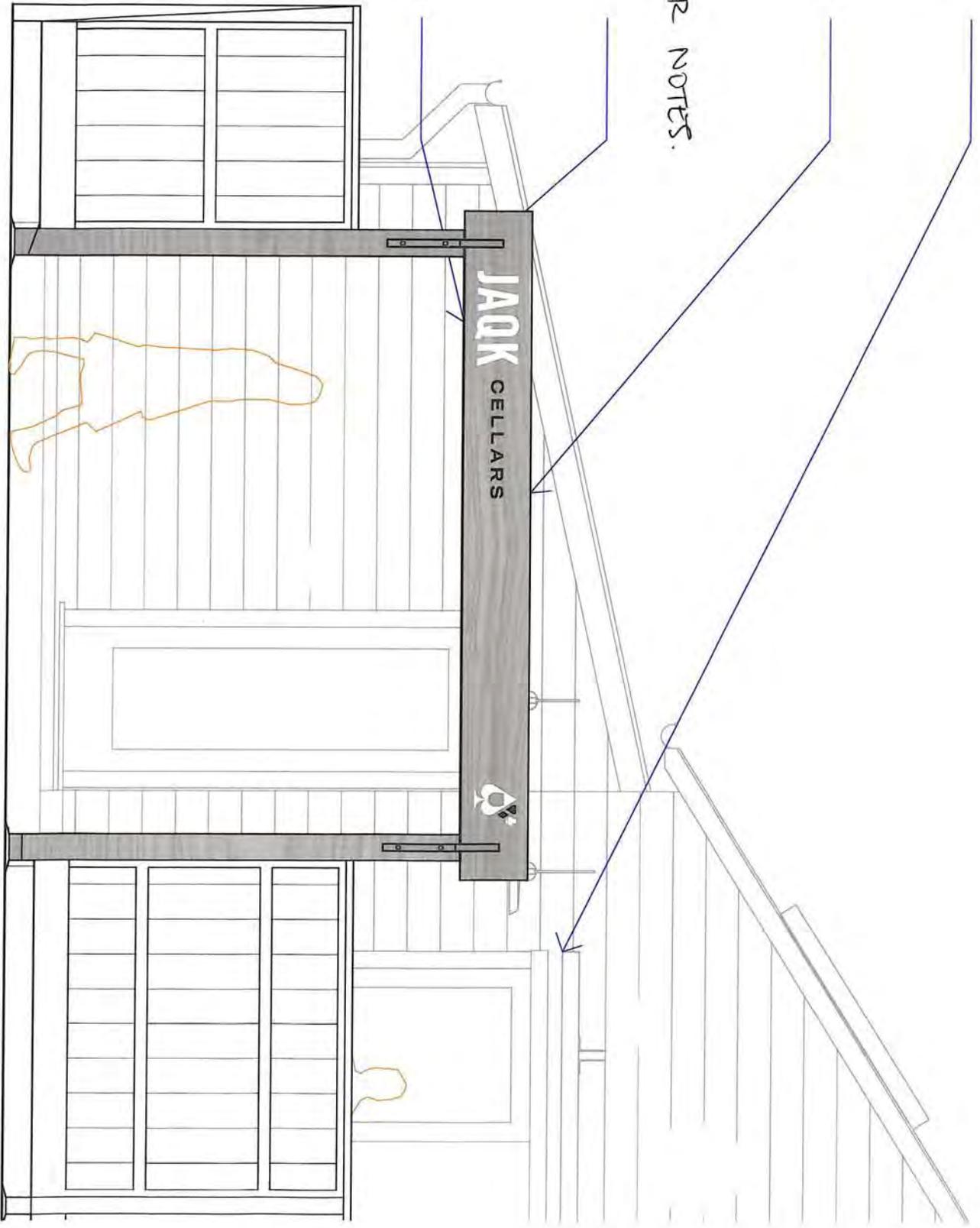


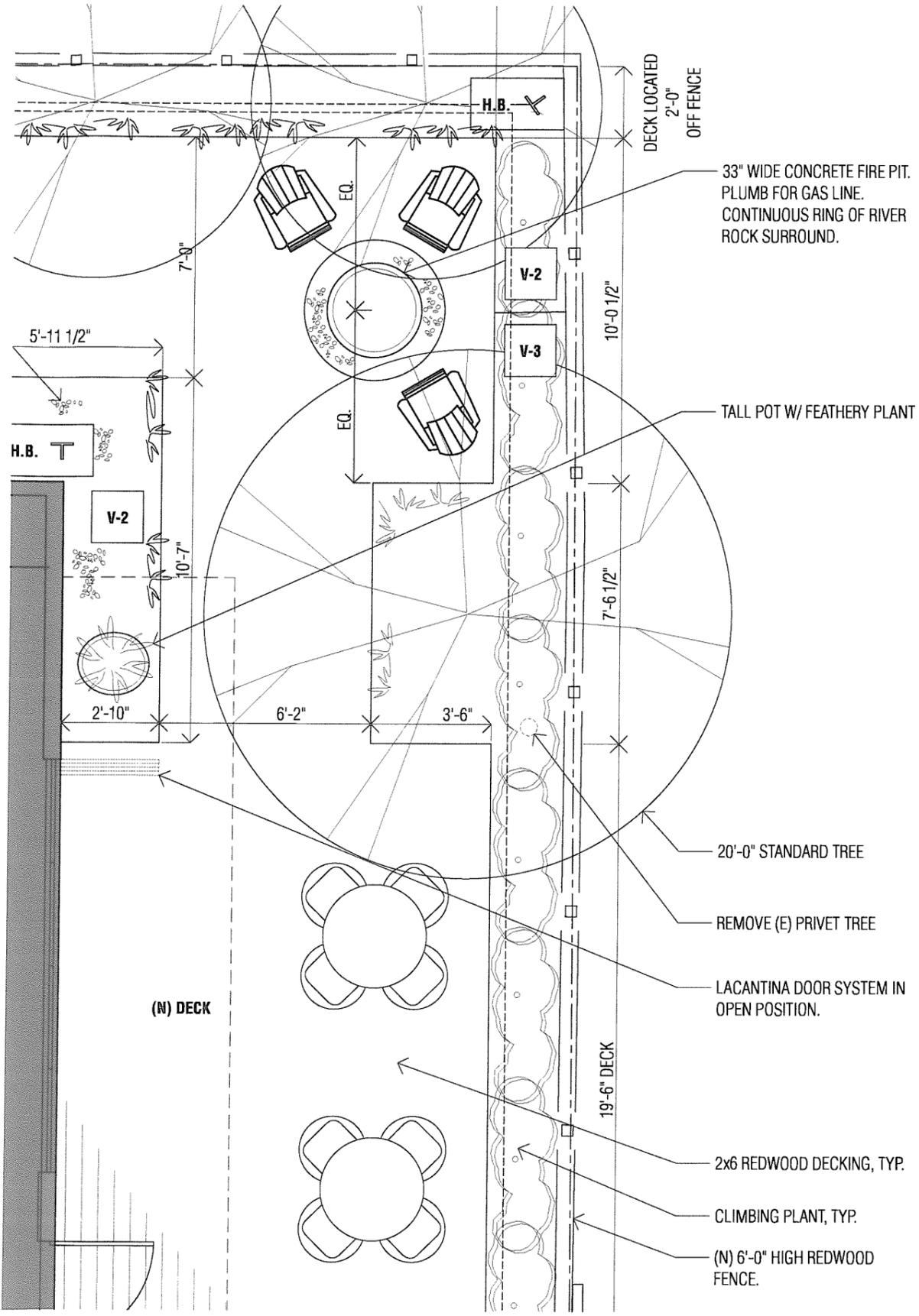
HEADER LOCATED
BELOW TRELLIS TO
GIVE DEFERENCE

RAW STEEL HEADERS
(BOTH SIDES OF
POSTS) W/
ILLUMINATED LOGO
SEE AD-2 FOR NOTES.

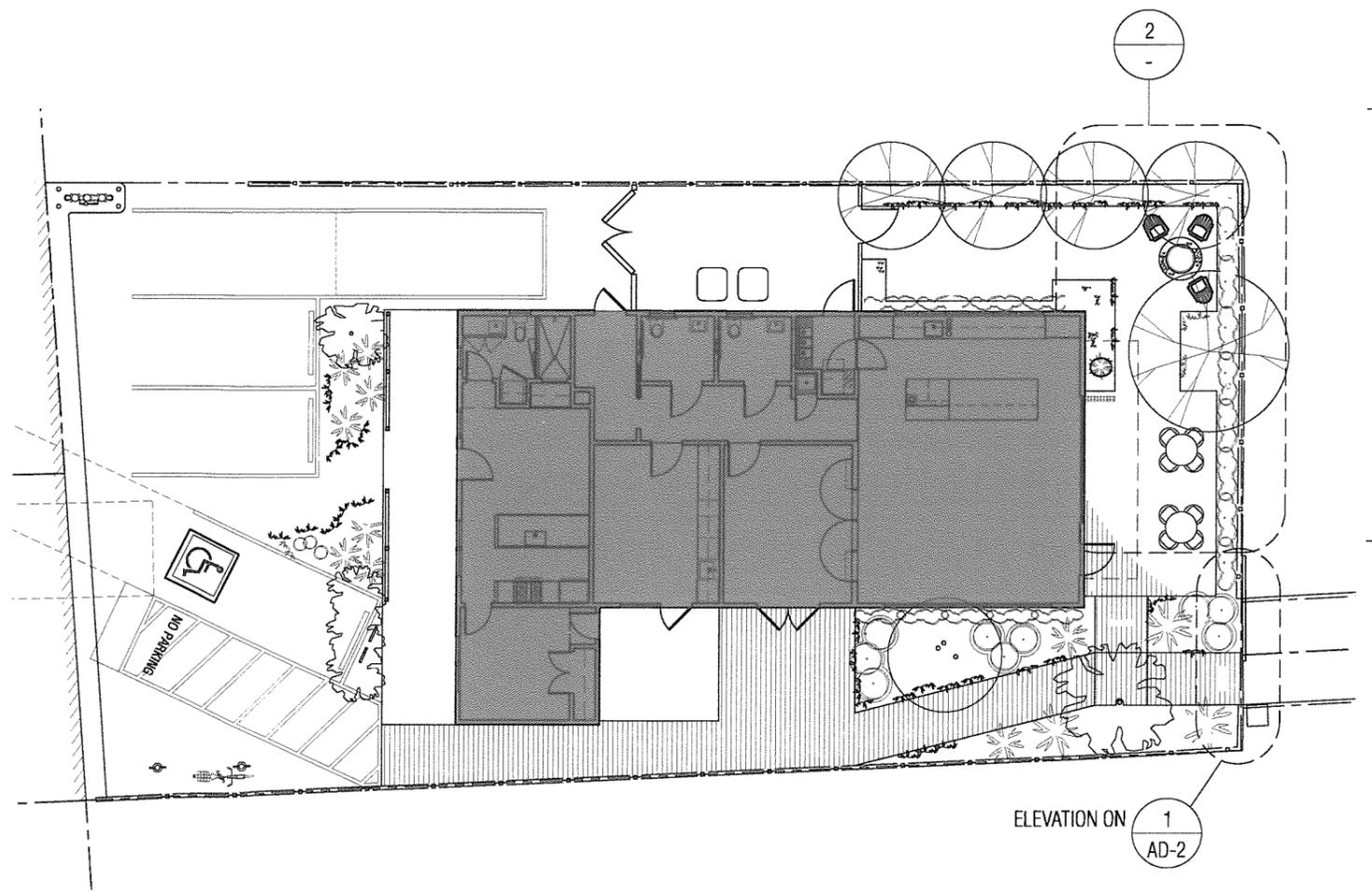
STEEL BRACKETS
FASTEN TO 6X6
REDWOOD POSTS

RECESSED LED PUCK
LIGHTS PROVIDE
SMALL POOLS OF
LIGHT AT THRESHOLD





NOTE: FIRE PIT SEATING (3) + TABLE SEATING (4) = 11 OUTDOOR SEATS TOTAL

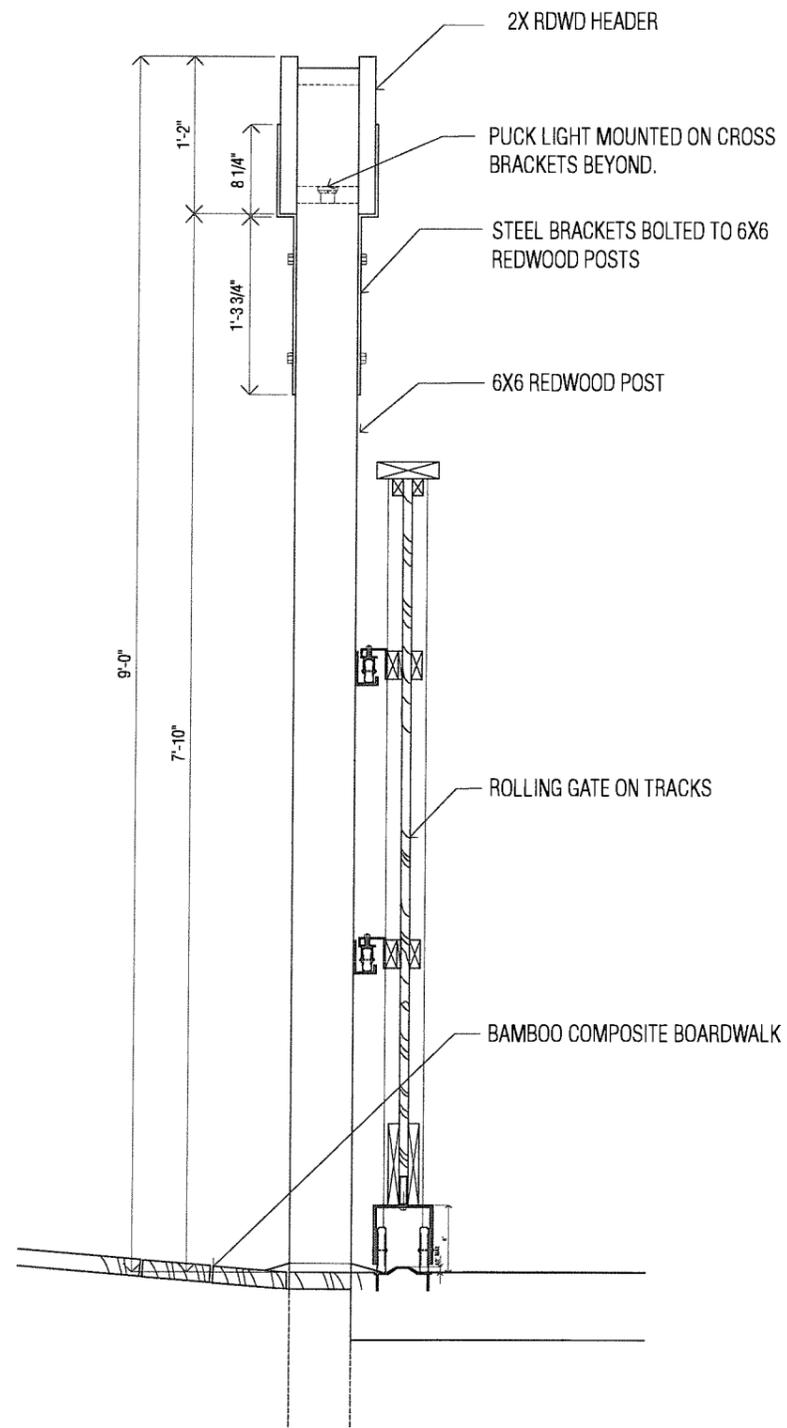


2 FIRE PIT SEATING
1/4" = 1'-0"

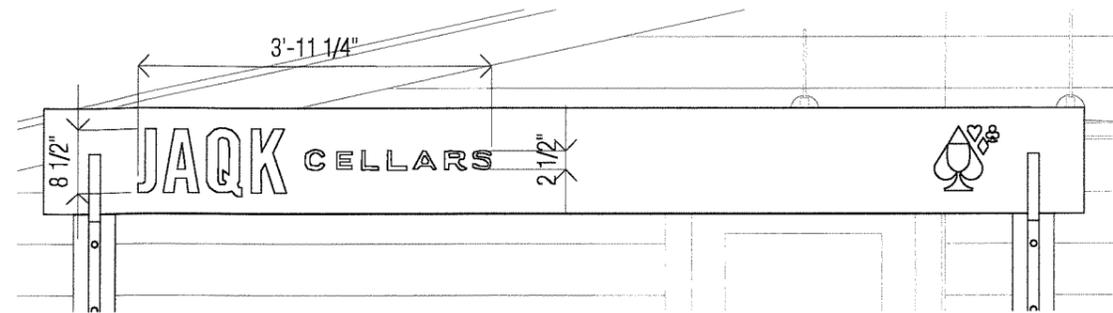
1 REFERENCE SITE/LANDSCAPE PLAN



All drawings and herein constitute work of the architect. Duplication, use or written consent is required.



3 GATE SECTION
3/4" = 1'-0"



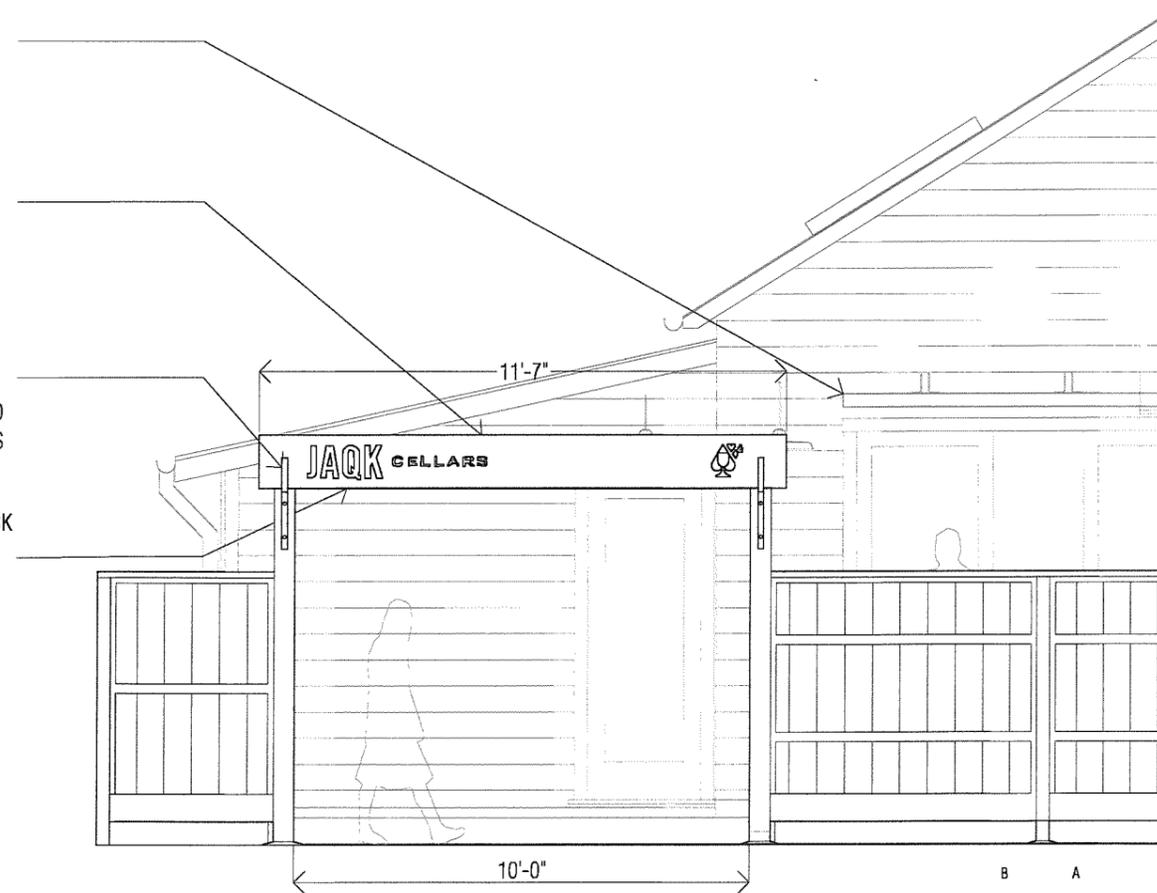
2 GATE HEADER ELEVATION
1/2" = 1'-0"

HEADER LOCATED BELOW TRELLIS TO GIVE DEFERENCE

2X REDWD HEADERS (BOTH SIDES OF POSTS) W/ METAL LASER CUT LOGO ON FRONT SIDE ONLY.

CUSTOM STEEL BRACKETS FASTEN TO 6X6 REDWOOD POSTS

4 RECESSED LED PUCK LIGHTS, EVENLY SPACED TO PROVIDE SPOTS OF LIGHT AT THRESHOLD. DIMMABLE. SAME LIGHTS PREVIOUSLY APPROVED BY DRC FOR TRELLIS.



1 GATE SIGNAGE
1/4" = 1'-0"



All drawings and herein constitute work of the architect. Any duplication, use or reproduction without written consent is prohibited.



City of Sonoma
Design Review Commission
Agenda Item Summary

DRC Agenda Item: 4
Meeting Date: 02/25/14

Applicant	Project Location
OSO Sonoma (David Bush)	9 East Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

(Year build 1924)

(This property is listed on the Sonoma Plaza district as a non-contributing building)

Request

Consideration of design and sign review for a restaurant (OSO Sonoma) located at 9 East Napa Street.

Summary

Background: On September 9, 2010, the Planning Commission considered and approved a Use Permit to establish a wine and tapas bar in conjunction with an Exception from the parking requirements (see attached approval letter and conditions of approval).

Environmental Review: Pursuant to Section 15301 of the State CEQA Guidelines, the leasing or minor alterations of existing private structures and facilities is Categorically Exempt from the provision of CEQA (Class 1 – Existing Facilities).

Historic Evaluation: A historic evaluation has not been commissioned for this property. The property is listed on the Sonoma Plaza district as a non-contributing building (see attached National Register of Historic Places Registration Form). The property is listed on the DPR with a code of 6X (Determined ineligible for the NR by SHRC or Keeper).

Design Review:

Paint Color: The applicant is proposing to paint the main body of the building Kelly-Moore barnwood (KMA72-5) (see attached color samples). It should be noted that the applicant has painted a brush-out sample on the building (west side of building).

Awning: A new structural awning is proposed. The awning would consist of reclaimed barn wood, vintage hardware, and dimensional logo elements. The bottom edge of the awning would feature a “wash-style” paint detail Kelly-Moore Seattle red (74), which correlates to the OSO Sonoma brand logo. The awnings would be installed on an aluminum support frame above the East Napa Street entrance of the building. In terms of compatibility, the exterior color scheme of the building is a brown color. A drawing of the proposed conditions is attached for consideration. The proposed awning is comprised of one awning approximately 10.83 feet long and 2 feet high. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 9 feet 3 inches of clearance above the public walkway, and would extend only 2.33 feet from the face of the building, resulting in 8 feet of clearance from the end of the awning to the face of the curb. The purpose of the awning is to provide business identification and weather protection.

New Window: A new Panda Series 51 folding all aluminum style window with dark bronze mullions is proposed for the front of the building facing East Napa Street (see attached specification sheet). The aluminum window frame would be white in color.

Building Wall Modifications: In addition, the applicant is proposing to install a reclaimed barn wood element on the exterior building wall adjacent to the front entrance. The reclaimed barn wood element would be brown in color.

Note: It should be noted that staff administratively approved minor modifications to the front door related to 2013 California Building Code accessibility requirements.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects

involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Sign Review: The applicant is proposing one awning sign and two wall signs; all three signs would be placed on the front of the building facing East Napa Street.

Awning Sign: One illuminated awning sign is proposed to be placed on the awning adjacent to East Napa Street. The awning sign would consist of the restaurant name “OSO Sonoma” on the north elevation and two star logos (one on the east elevations and one on the west facing elevation). The “OSO Sonoma” portion of the sign would have an area of 3.5 feet (14 inches tall by 3 feet wide) and the two stars would each have an area of 1 square foot (1 foot tall by 1 foot wide). The sign would consist of black illuminated push through acrylic logo type with a vinyl face. The total area for the awning sign would be 5.5 square feet. The applicant has indicated that the sign would be illuminated from sundown to 12 a.m. seven days per week. Normal business hours for the restaurant are Sunday through Thursday 3 p.m. to 10 p.m., and Friday and Saturdays 3 p.m. to 12 a.m.

Wall Signs: Two wall signs are proposed adjacent to the front entrance of the building: a restaurant name sign; and a menu board sign. The “OSO Sonoma” illuminated sign has an area of 1.6 square feet (10 inches tall by 23 inches wide). The sign would be constructed of a black push through acrylic logo type with a vinyl face. Illumination is proposed in the form of a back illuminated LED technology. The menu board sign has an area of 1.87 square feet (11.5 inches tall by 23.5 inches wide). The sign would be constructed of a flush mounted glass panel. Illumination is proposed in the form of florescent top lighting. The applicant has indicated that both of the wall signs would be illuminated from sundown to 12 a.m. seven days per week. Normal business hours for the restaurant are Sunday through Thursday 3 p.m. to 10 p.m., and Friday and Saturdays 3 p.m. to 12 a.m.

Wall Sign Regulations: Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches (§18.20.190).

Aggregate Sign Area: Based on the property’s frontage on East Napa Street (17 feet), the maximum aggregate sign area allowed for the parcel is 10.2 square feet. The total aggregate sign area for the property would be ±9 square feet, including the awing sign (5.5 square feet of aggregate sign area) and the wall signs (3.47 square feet of aggregate sign area). The proposal is consistent with this requirement.

Size Limitations: Each face of a one-sided sign shall not exceed 48 square feet in area (§18.16.022). The proposal is consistent with this requirement.

Number of Signs: A maximum of two signs are permitted for any one business (§18.16.010). The proposal is not consistent with this requirement in that there would be 3 signs for the property including the awning sign and two wall signs. The applicant is requesting a variance from this requirement.

Variances: As noted above, the proposal would exceed the number of signs normally permitted for any one business. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;

3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and lighting shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. A building permit shall be required for the installation of the new awing. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 938-3681 for information regarding City Encroachment Permits.

Commission Discussion

Design Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Façade rendering*
3. *Street façade rendering*
4. *Window modification*
5. *Façade color scheme*
6. *Manufacturer paint chip samples*
7. *Awning composition*
8. *Signage composition*
9. *Menu wall composition*
10. *Window specification sheets*
11. *Planning Commission approval letter*
12. *National Register of Historic Places Registration Form*
13. *Status code description*

cc: OSO Sonoma
Attn: David bush
19201 Sonoma Highway #174
Sonoma, CA 95476

Sonoma Signs
254 First Street East
Sonoma, CA 95476

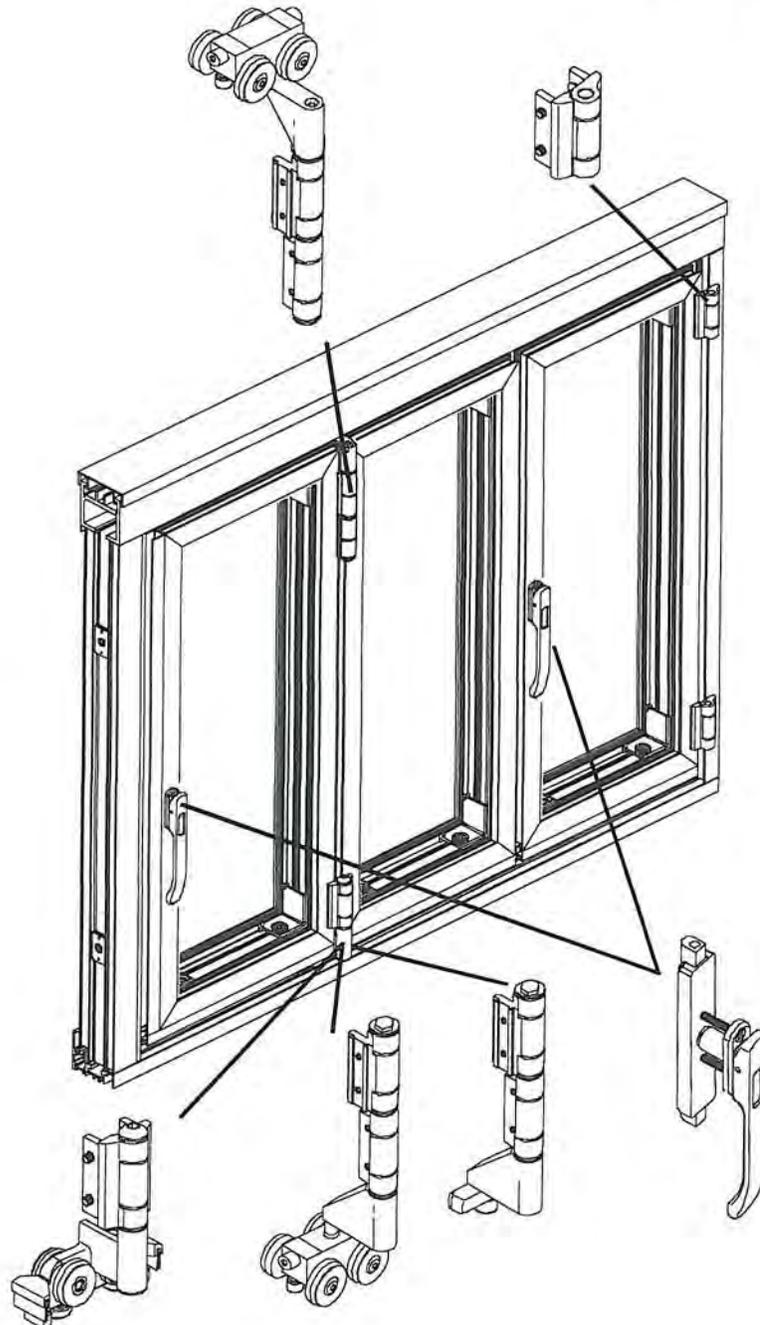
Ellen and Nicholas Blonder
38 Miller Avenue # 245
Mill Valley, CA 94941-1927

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

SERIES 51 FOLDING ALL ALUMINUM



PANDA[™]
WINDOWS & DOORS

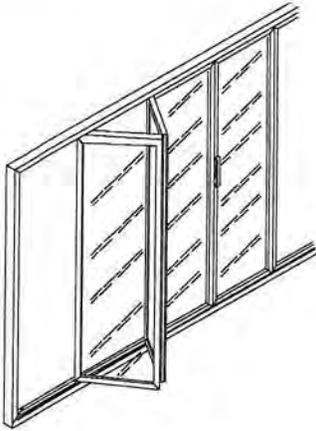
3415 BELLINGTON RD LAS VEGAS, NV 89030
PANDA@PANDA-WINDOWS.COM

WWW.PANDA-WINDOWS.COM

PHONE: (702) 643-5700
FAX: (702) 643-5715

JAN 24 2014

SERIES 51 FOLDING ALL ALUMINUM



CONTENTS

- 1. TECHNICAL DESCRIPTION**
- 2. TYPOLOGY**
- 3. VERTICAL SECTION**
- 4. HORIZONTAL SECTION 1**
- 5. HORIZONTAL SECTION 2**
- 6. HORIZONTAL SECTION 3**
- 7. HORIZONTAL SECTION 4**
- 8. BOTTOM TRACKS**
- 9. HEADER TRACKS**
- 10. SIDE FRAMES**
- 11. ARTICULATION JOINTS 1**
- 12. ARTICULATION JOINTS 2**



3415 BELLINGTON RD N. LAS VEGAS, NV 89030 PHONE: (702) 643-5700
PANDA@PANDA-WINDOWS.COM WWW.PANDA-WINDOWS.COM FAX: (702) 643-5715

DRAWINGS AND LAYOUT BY
SHAWN M. HORNER
MMVIII

TECHNICAL DESCRIPTION

The Panda SERIES 51 Folding Door System is custom made to order .

System:

The top track, bottom track and side profiles form a closed frame. Together with the doors, having aluminum rebates and gaskets, all act in compression.

Profiles:

Profiles are made of extruded aluminum with special ribs that ensure maximum hardness. The rounded forms and exclusive design make such glass folding door systems extremely pleasant and original. They allow a better surface treatment and are less subject to damage during transportation and installation.

Accessories:

Carriages with 4 covered wheels and protected ball bearings, double sliding rollers, exclusively designed handles with ergonomic grip, stainless steel screws and pins, special hinges are positioned in special housing not to disrupt the magnetic gaskets.

Running:

The S51 can operate with either top hung or bottom running carriages along a single inline track.

Folding:

The folding door system quickly, easily and silently folds to either side. There are 26 operational door typologies and when in the open position they maximize 90% of the total rough opening.

Dimension:

The individual panels in a system are always equal in size and can be a maximum of 42" wide and 144" high. Folding door systems can be as long as you like, as countless panel groups can be built which slide along the tracks and are connected with special joints and seals.

Adjustments:

Both sides of the frame are made up of 2 profiles , both of which have regulation points easily accessible from the outside, allowing for better installation and recovery due to seasonal temperature changes.

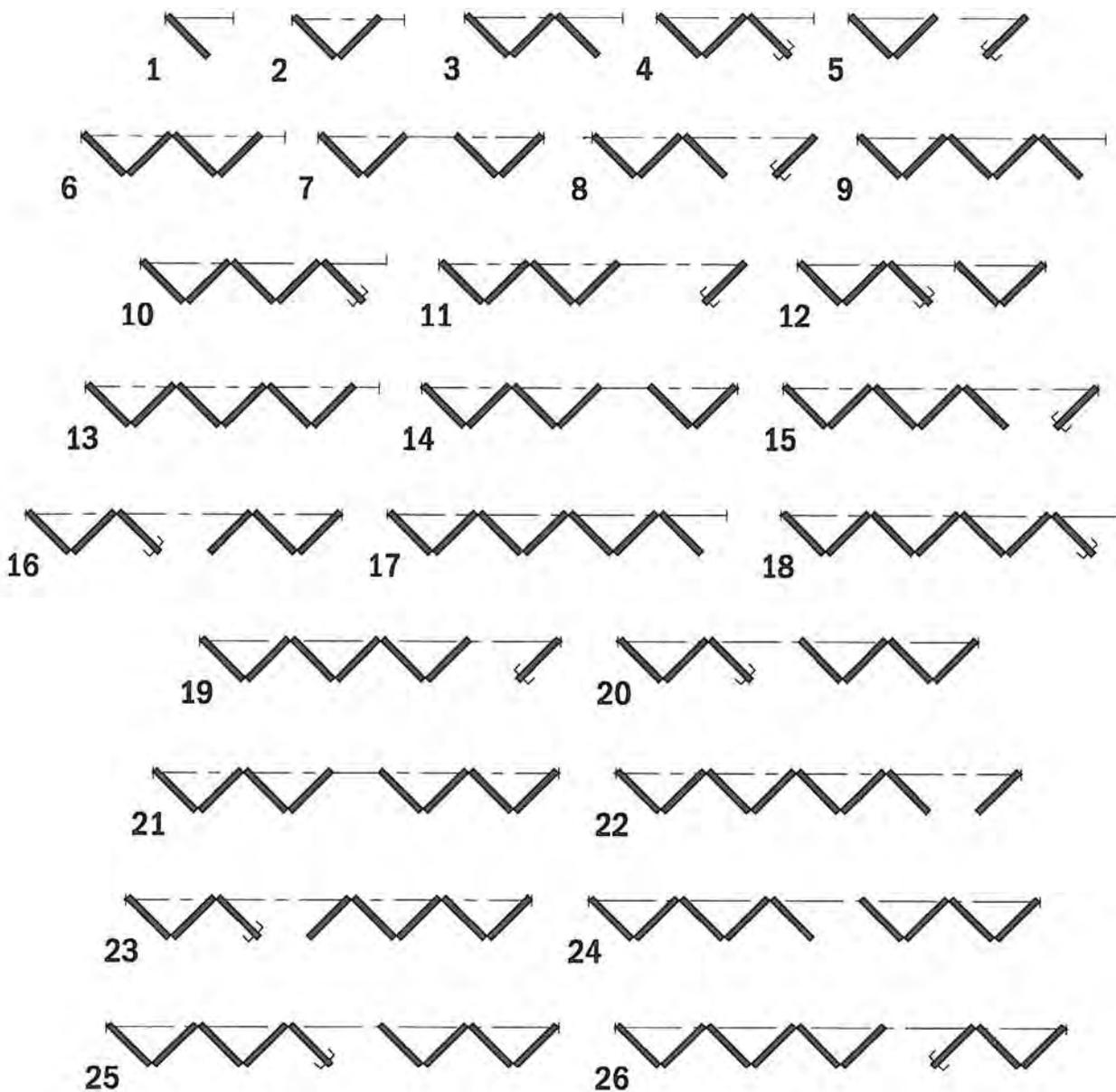
Glazing:

Various types of glass and other materials, at a thickness of up to 1" , may be used. The glass is shimmed by means of accessories located in the corners of the doors and is externally adjustable at any time.

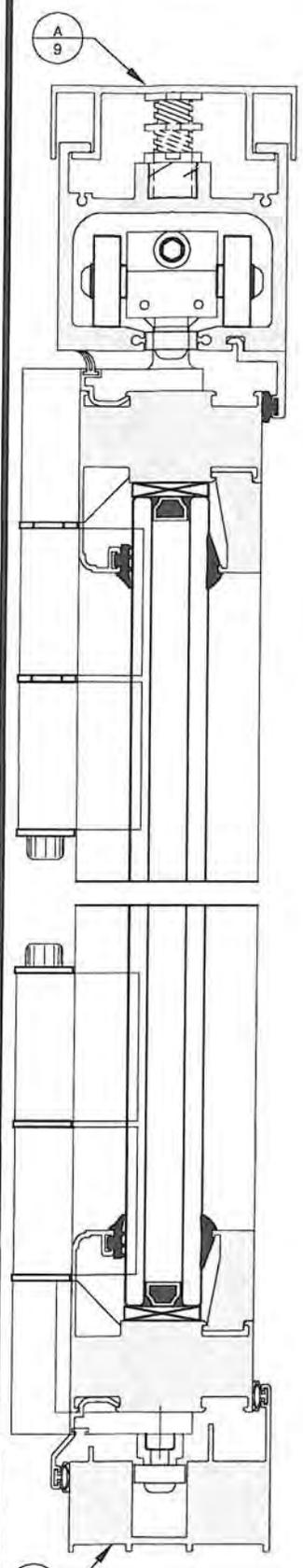
Weight:

Folding door systems, excluding fitting materials, weigh approx. 6 to 8 lbs/sqft, changing with the height and width of the panels.

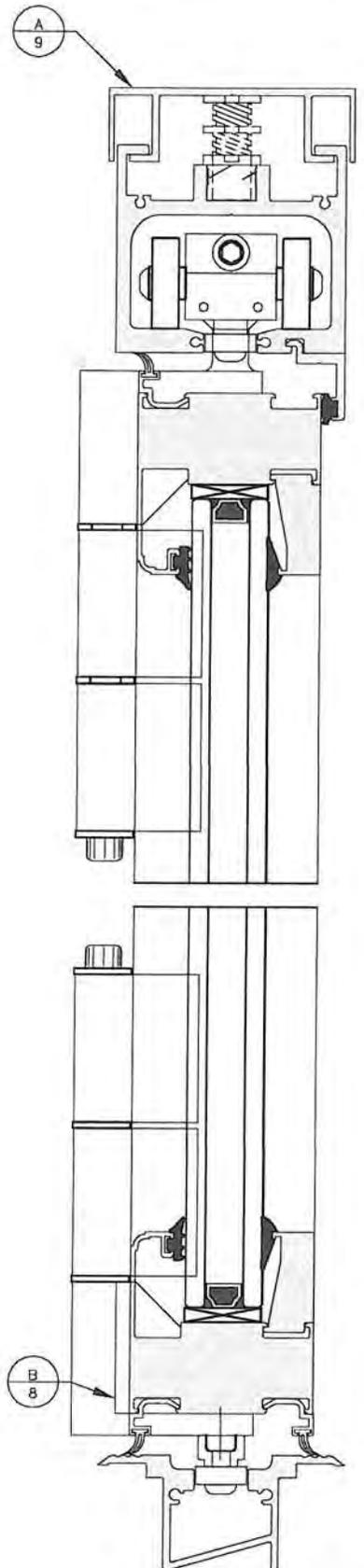
MOST COMMON CONFIGURATIONS



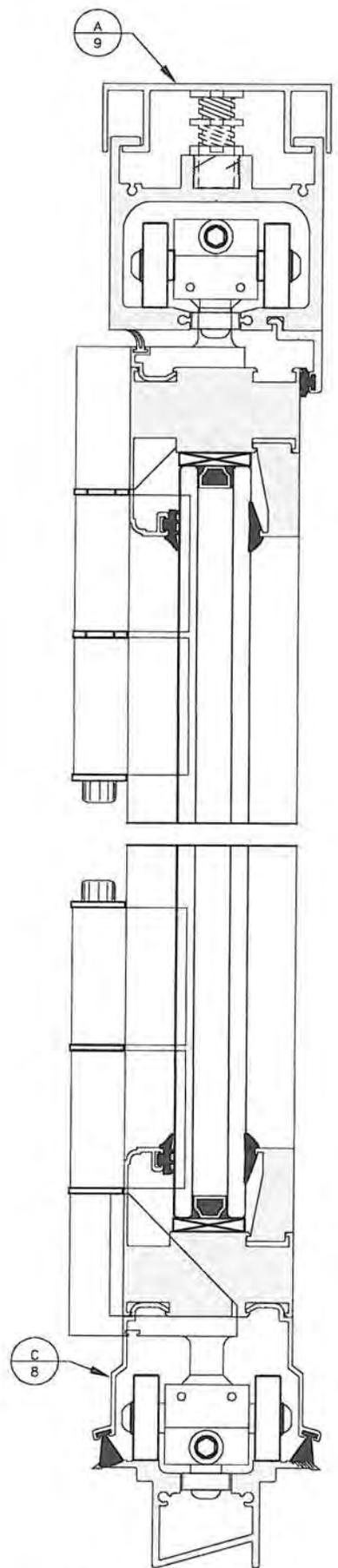
- PANEL WIDTHS UP TO 42 INCHES
- PANEL HEIGHTS UP TO 144 INCHES
- INSIDE AND OUTSIDE 90° CORNER CONFIGURATION ALSO AVAILABLE



- TOP RUNNING

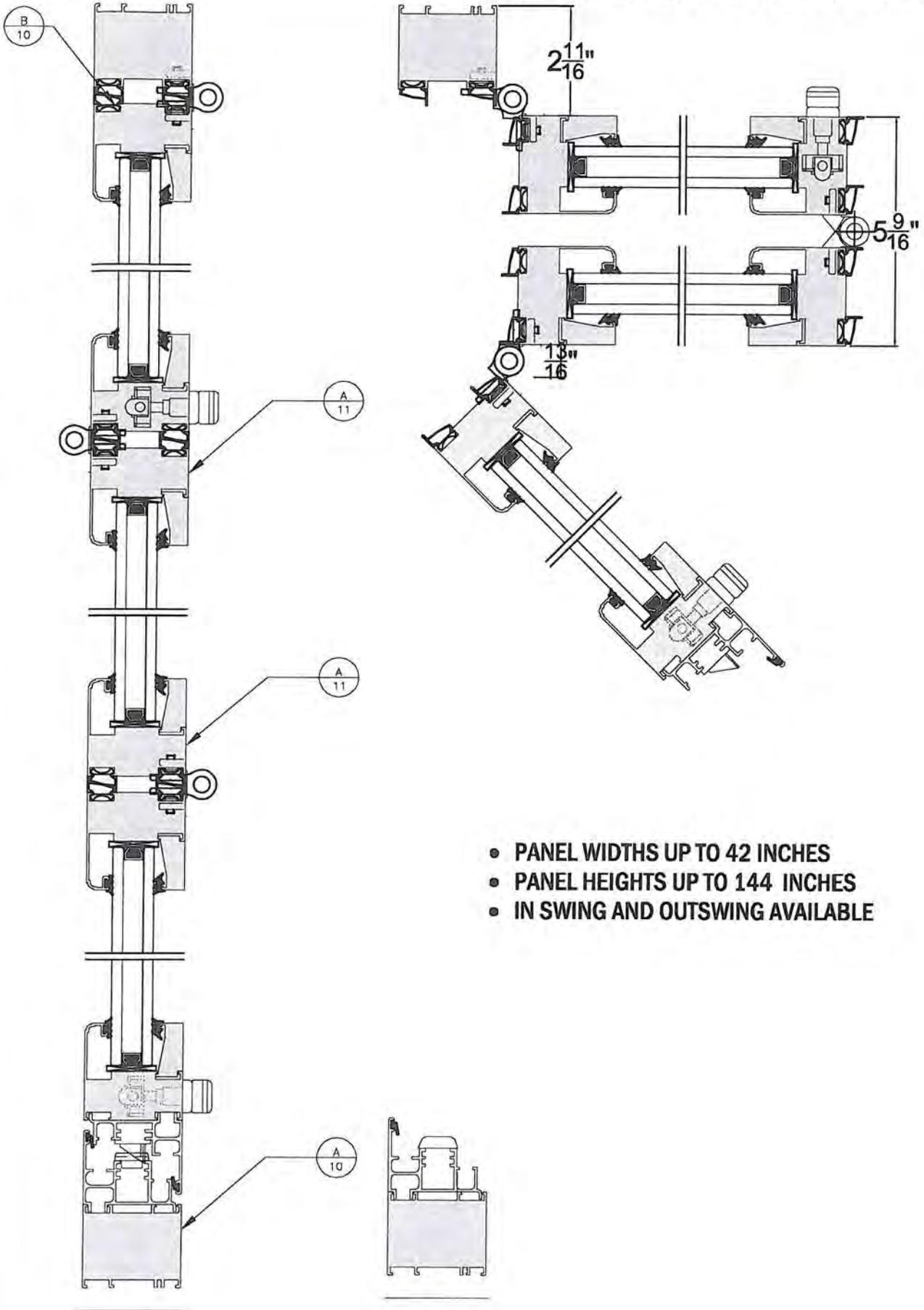


- TOP RUNNING RECESSED



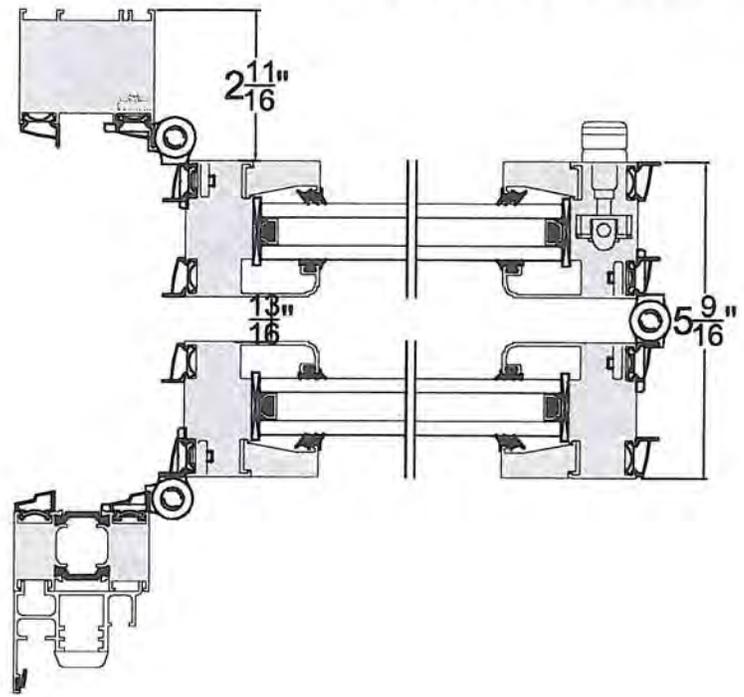
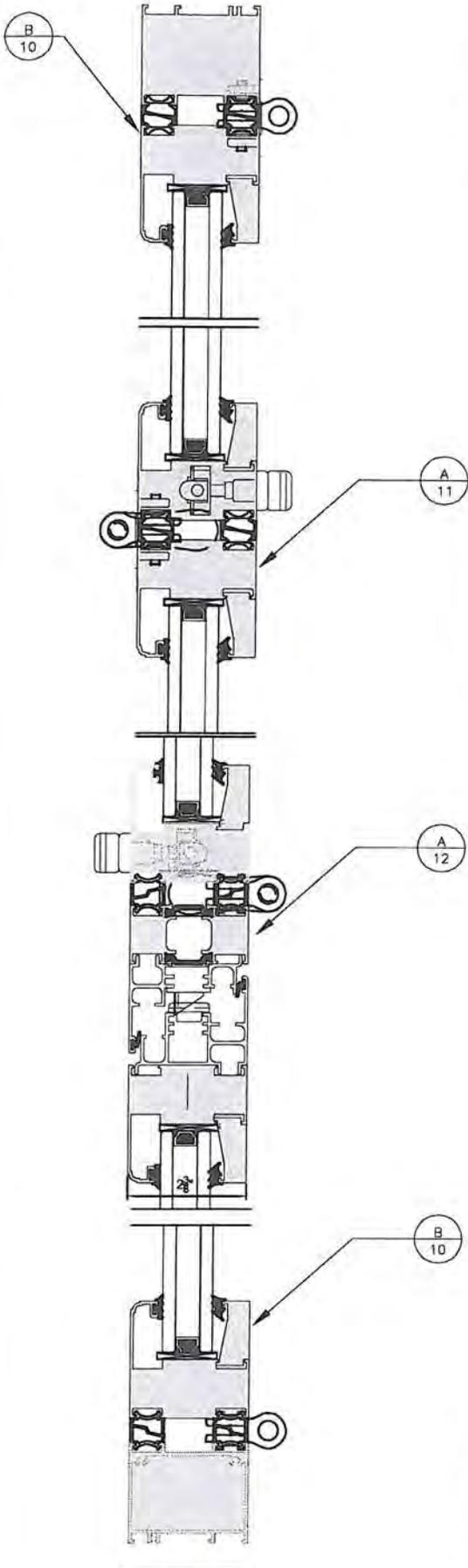
- DUAL RUNNING RECESSED

EXAMPLE OF MULTIPLE PANEL ARTICULATION

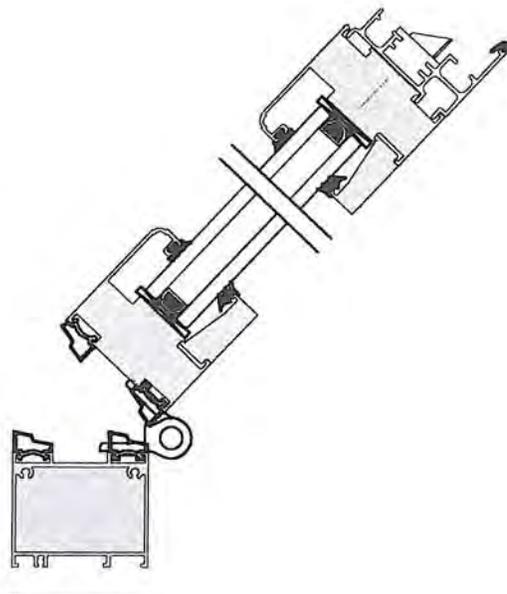


- PANEL WIDTHS UP TO 42 INCHES
- PANEL HEIGHTS UP TO 144 INCHES
- IN SWING AND OUTSWING AVAILABLE

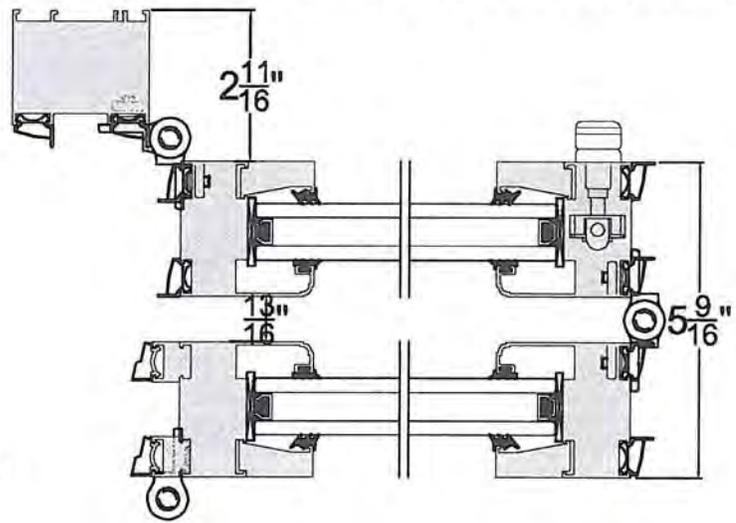
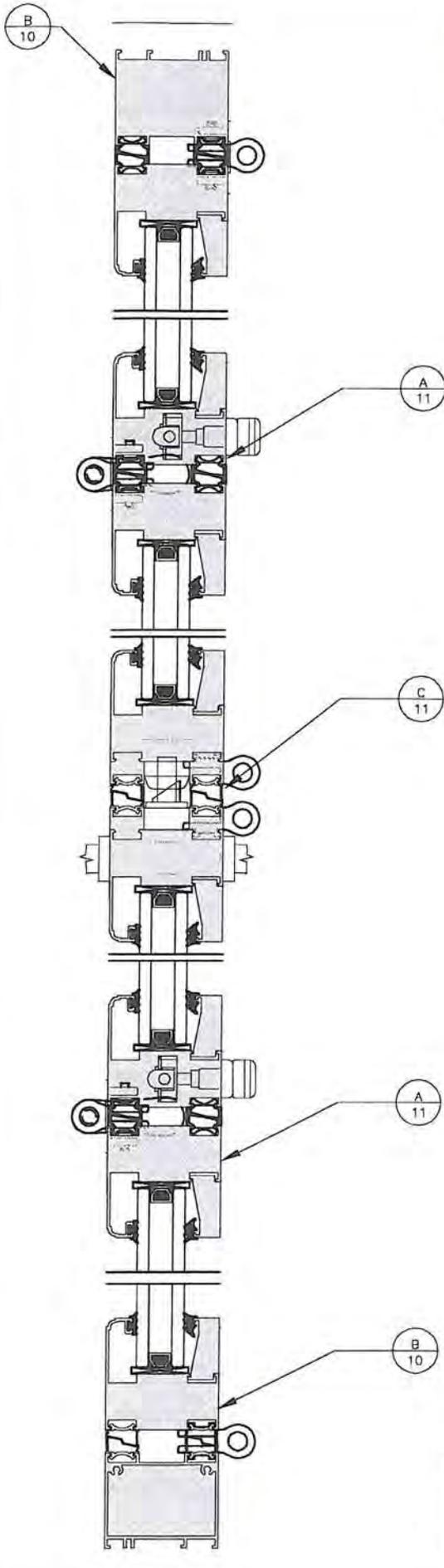
EXAMPLE OF MULTIPLE PANEL ARTICULATION



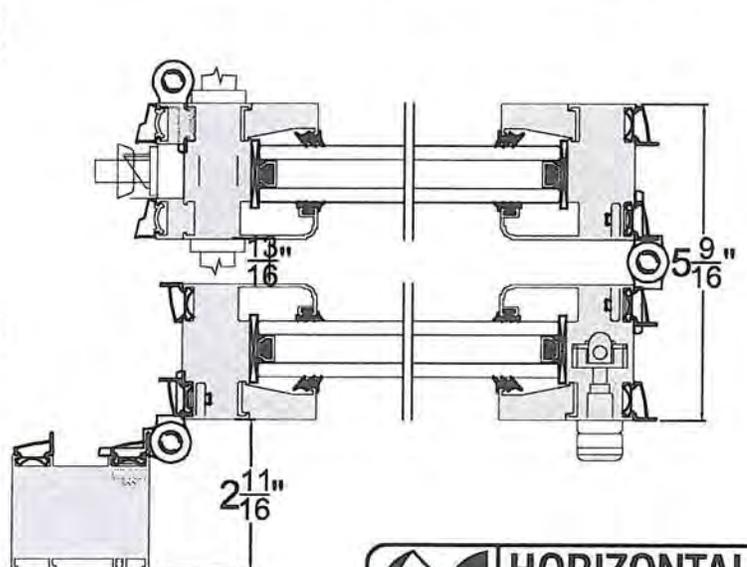
- PANEL WIDTHS UP TO 42 INCHES
- PANEL HEIGHTS UP TO 144 INCHES
- IN SWING AND OUTSWING AVAILABLE



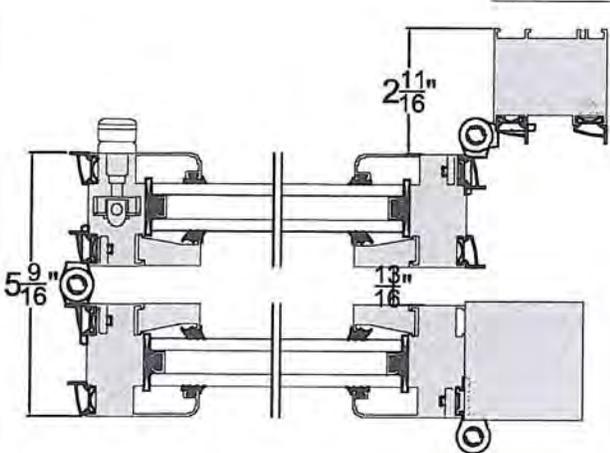
EXAMPLE OF MULTIPLE PANEL ARTICULATION



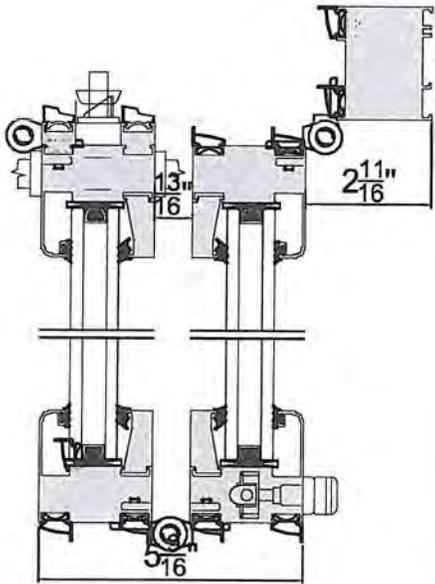
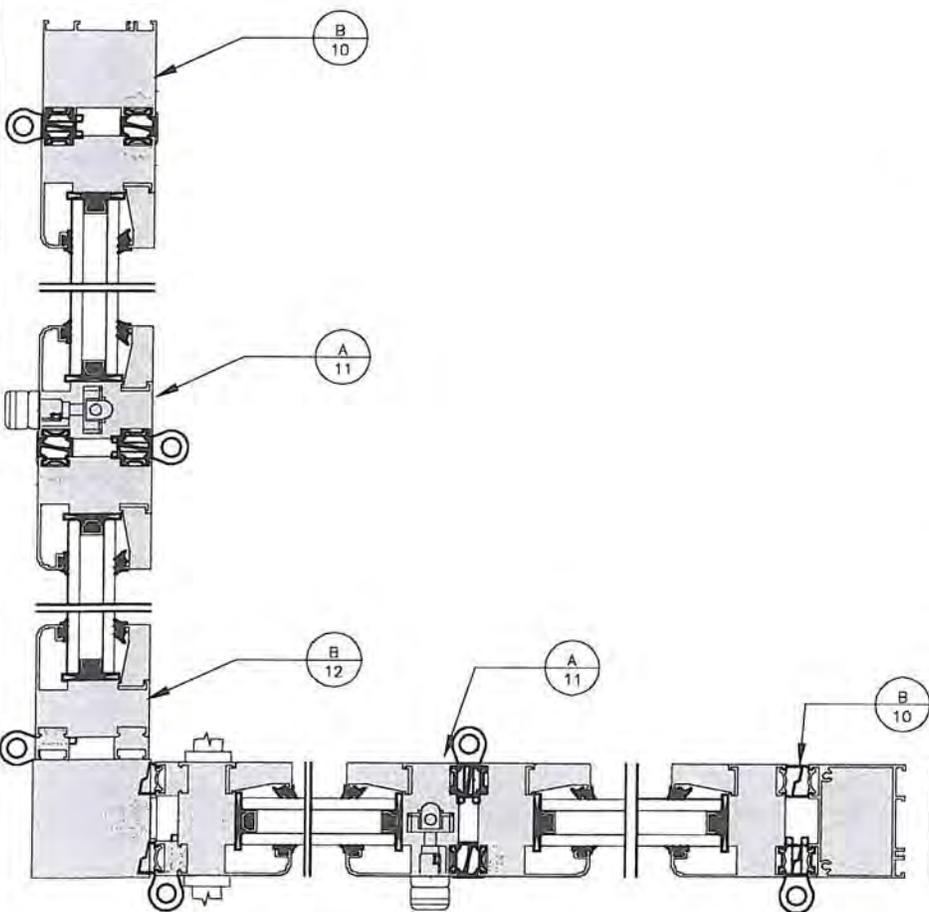
- PANEL WIDTHS UP TO 42 INCHES
- PANEL HEIGHTS UP TO 144 INCHES
- IN SWING AND OUTSWING AVAILABLE



EXAMPLE OF CORNER POST OUTSWING

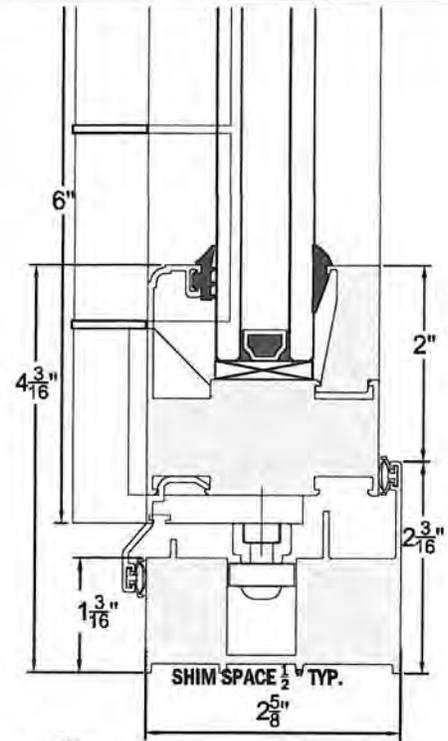


- PANEL WIDTHS UP TO 42 INCHES
- PANEL HEIGHTS UP TO 144 INCHES
- 90° INSWING AND OUTSWING AVAILABLE



FEATURES:

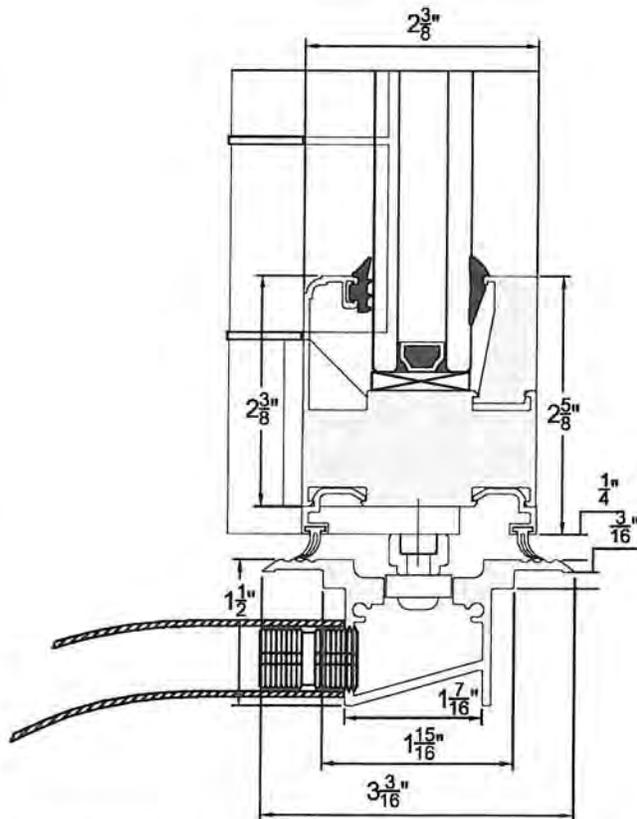
- A. STANDARD TRACK
 - BEST RESISTANCE TO WEATHER INFILTRATION
 - MOUNTS DIRECTLY TO SUB-FLOOR
- B. TOP RUNNING RECESSED
 - RELIEVES STRESS ON BOTTOM TRACK BY DISTRIBUTING HEAVY PANEL WEIGHT TO HEADER
 - OPTIONAL DRAINAGE LINE
- C. DUAL RUNNING RECESSED
 - ADA COMPLIANT
 - GOOD IN OPENINGS WHERE WEATHER INFILTRATION IS A CONCERN
 - OPTIMUM SUPPORT FOR LARGE HEAVY PANELS
 - OPTIONAL DRAINAGE LINE



A

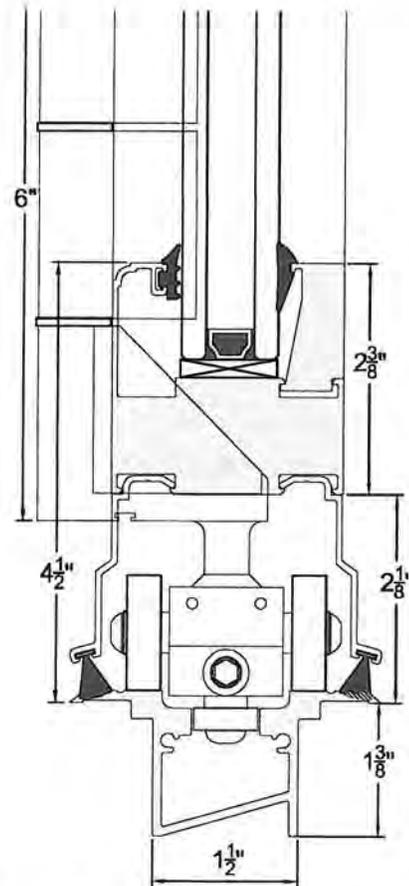
BOTTOM GUIDED

STANDARD GLASS $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$
 CLEAR LOW-E INSULATED
 GLASS THICKNESS
 MIN. $\frac{1}{4}$ " - MAX. 1"



B

**TOP RUNNING RECESSED
 WITH DRAINAGE**



C

DUAL RUNNING RECESSED



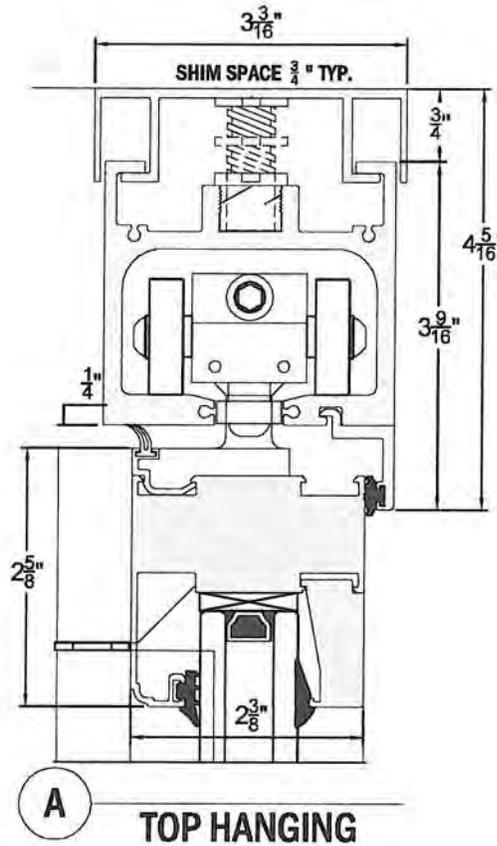
BOTTOM TRACKS

SERIES 51 FOLDING 8

FEATURES:

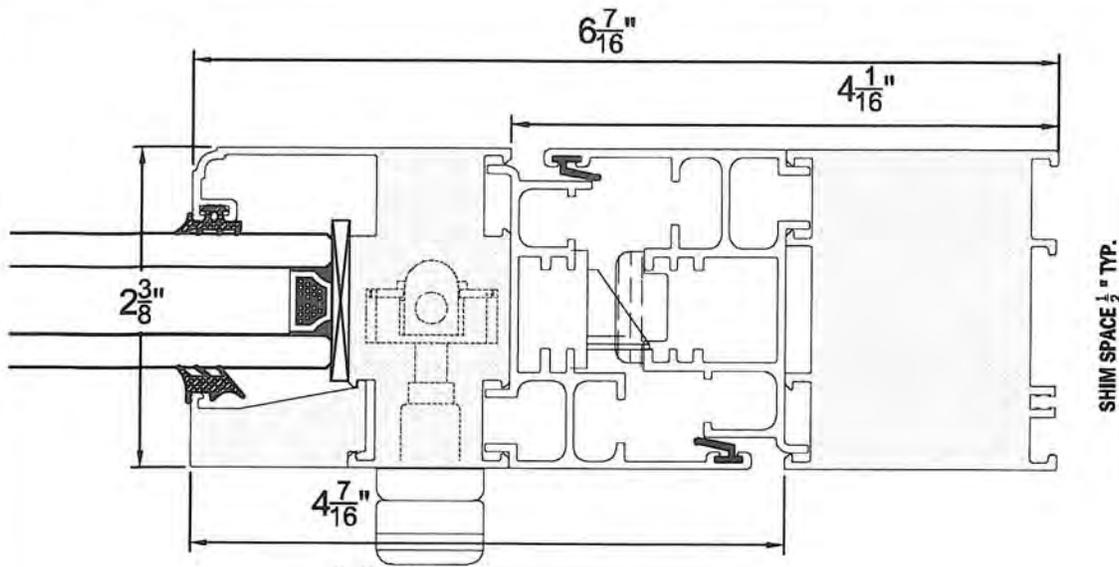
TOP HANGING

- QUAD ROLLERS ARE CAPABLE OF CARRING 350 LBS
- ADJUSTABLE HEADER $\frac{3}{4}$ "

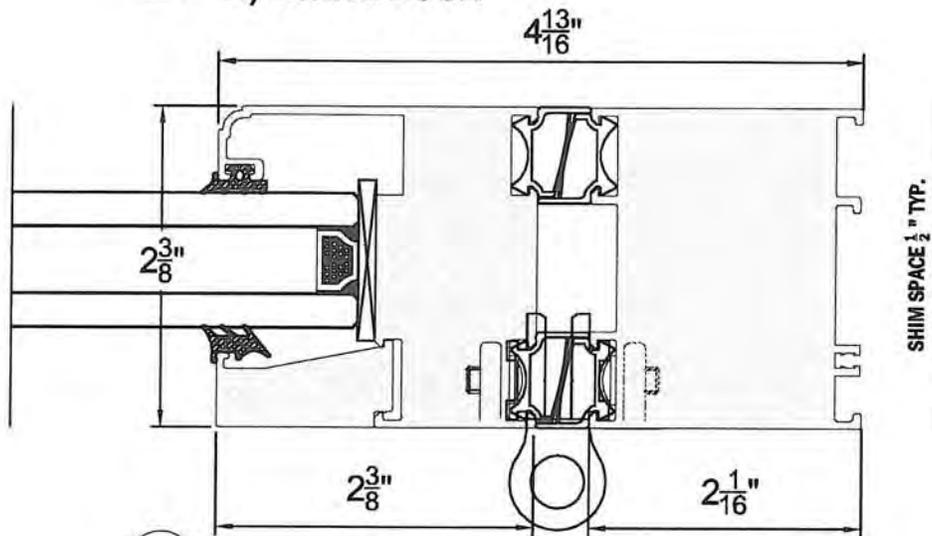


TOP HANGING

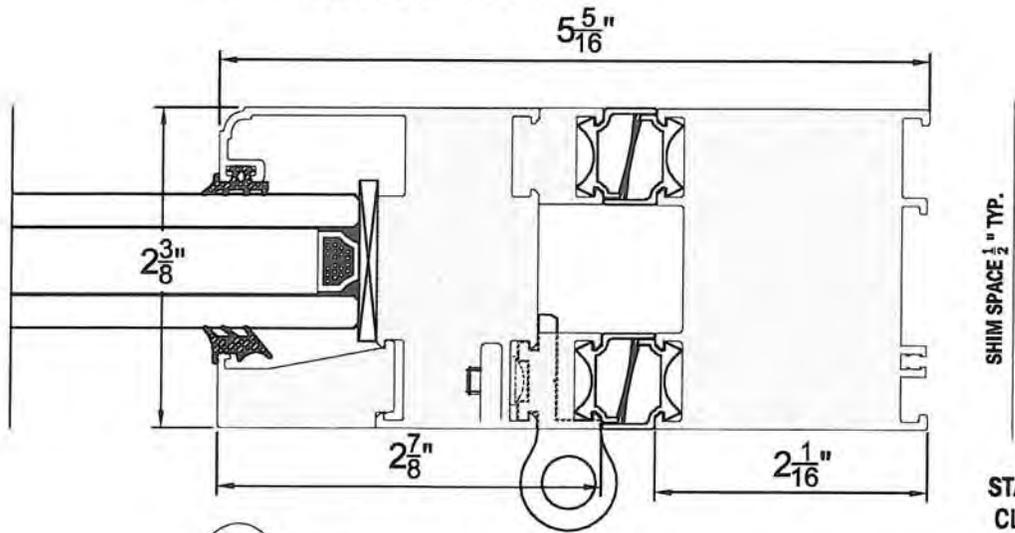
STANDARD GLASS $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$
CLEAR LOW-E INSULATED
GLASS THICKNESS
MIN. $\frac{1}{4}$ " - MAX. 1"



A W/SWING DOOR



B W/ARTICULATION



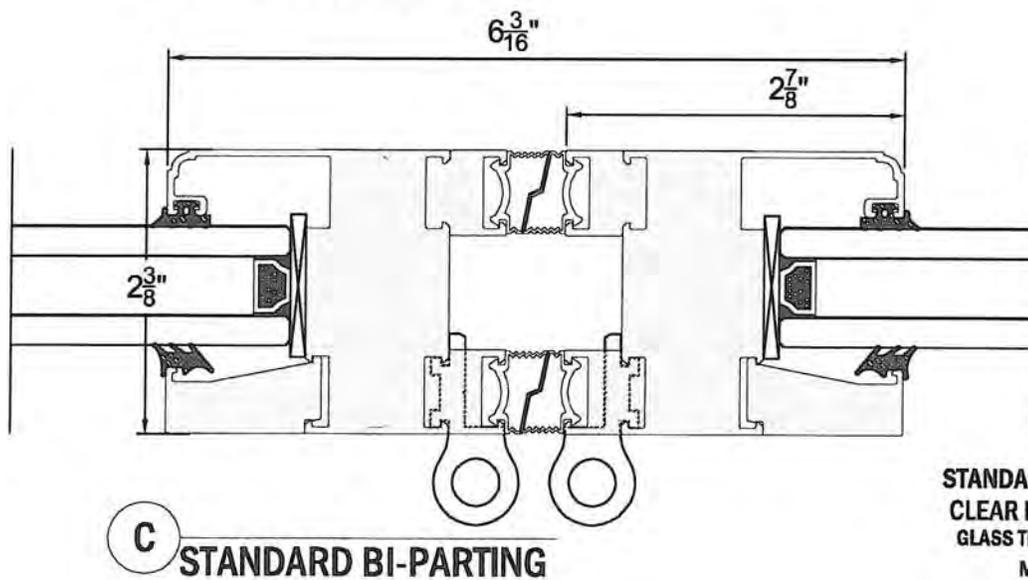
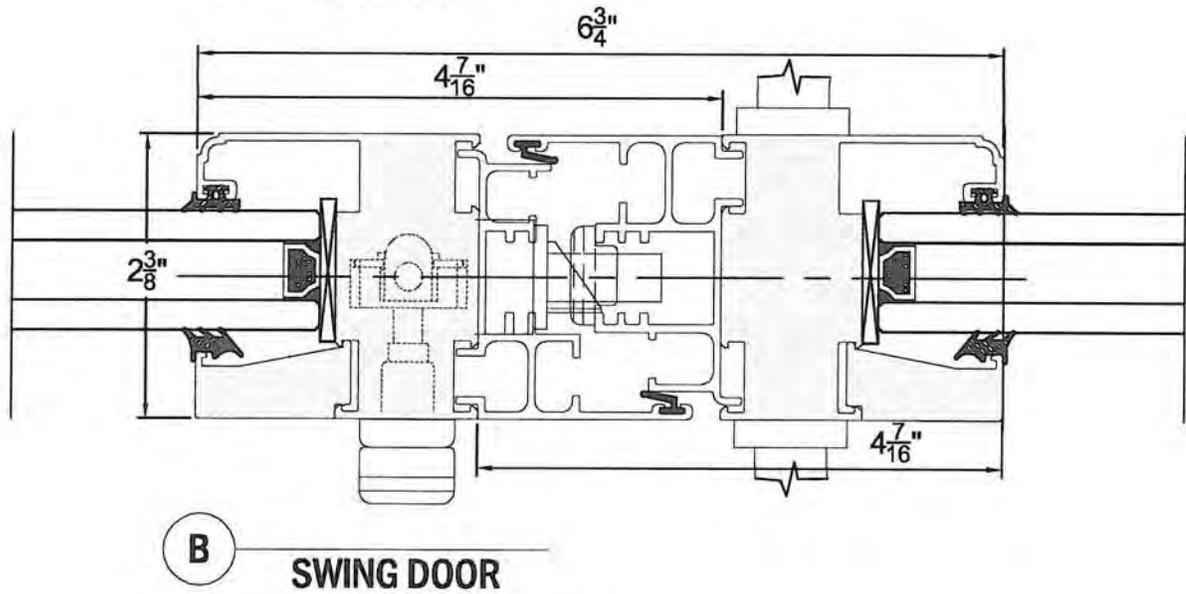
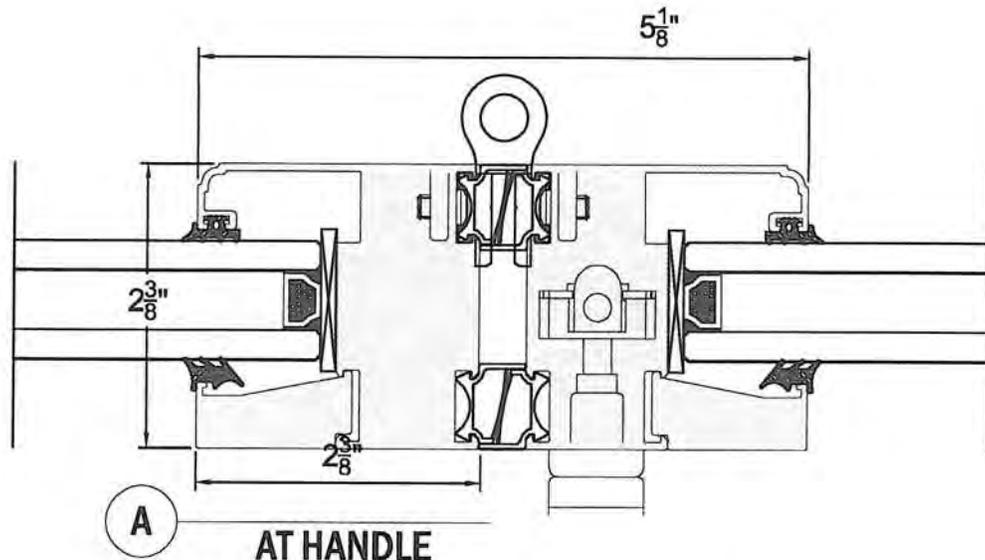
C W/FREE DOOR

STANDARD GLASS $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$
 CLEAR LOW-E INSULATED
 GLASS THICKNESS
 MIN. $\frac{3}{4}$ " - MAX. 1"

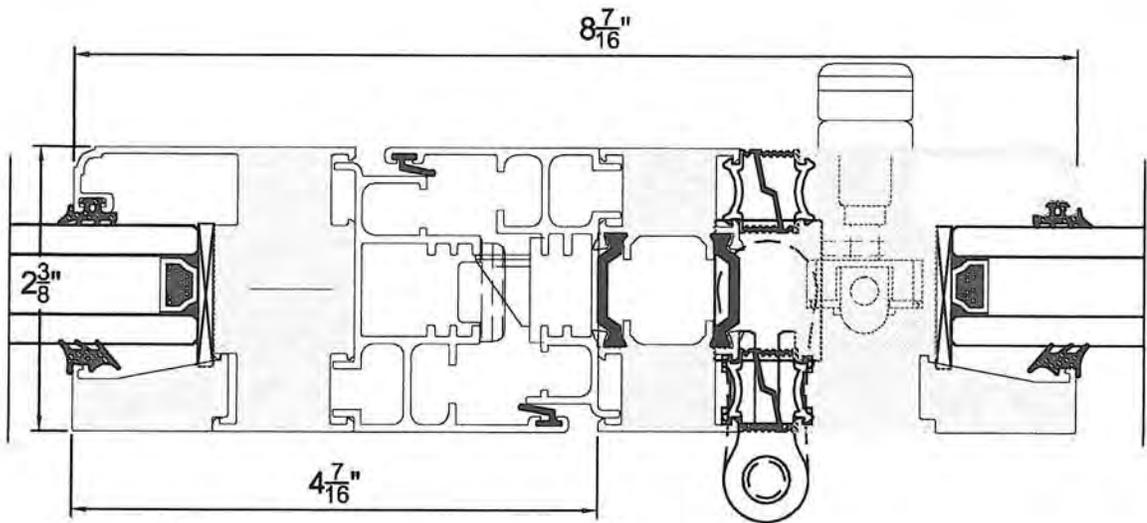


SIDE FRAME

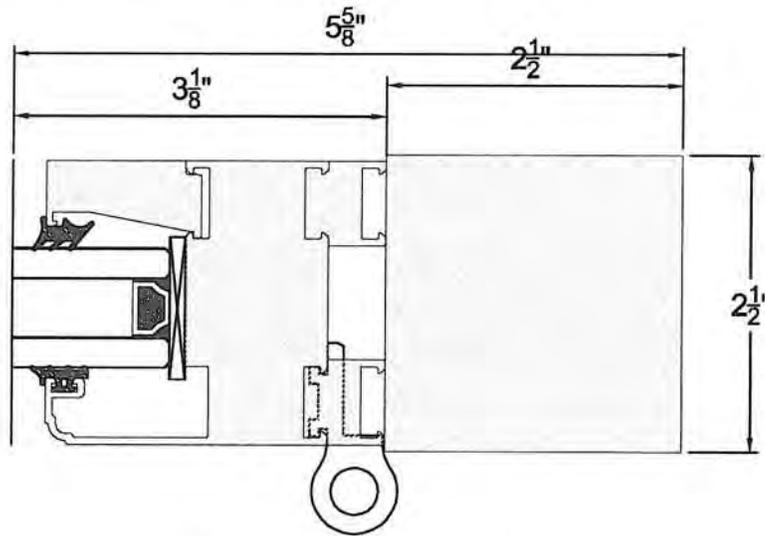
SERIES 51 FOLDING | 10



STANDARD GLASS $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$
 CLEAR LOW-E INSULATED
 GLASS THICKNESS
 MIN. $\frac{1}{4}$ " - MAX. 1"



A BI-PART & MANDOOK



B CORNER POST

STANDARD GLASS $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$
 CLEAR LOW-E INSULATED
 GLASS THICKNESS
 MIN. $\frac{1}{4}$ " - MAX. 1"

City of Sonoma

Sonoma Sister Cities:

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan, Arab Republic of Egypt
Chambolle-Musigny, France
Greve in Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Mexico

September 21, 2011

George Bevan
Bevan & Associates
P.O. Box 605
Sonoma, CA 95476

Subject: Request for an extension to an approved Use Permit allowing a wine and tapas bar at 9 East Napa Street.

Dear Mr. Bevan:

On Thursday, September 8, 2011, the Planning Commission considered your request for an extension to an approved Use Permit allowing a wine and tapas bar at 9 East Napa Street. Upon consideration of the consent calendar, the Planning Commission voted 7-0 to approve a one-year extension. Accordingly, the Use Permit approval is now valid through September 9, 2012.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2202.

Sincerely,

Rob Gjestland
Senior Planner

cc: Nicholas & Ellen Blonder
38 Miller Avenue, #245
Mill Valley, CA 94941

City of Sonoma

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Sonoma Sister Cities:

Aswan, Arab Republic of Egypt
Chambolle-Musigny, France
Greve in Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Mexico

September 14, 2010

George Bevan
Bevan & Associates
P.O. Box 605
Sonoma, CA 95476

Subject: Application for a Use Permit to establish a wine and tapas bar at 9 East Napa Street, in conjunction with an Exception from the parking requirements.

Dear Mr. Bevan:

On Thursday, September 9, 2010, the Planning Commission considered your application for a Use Permit to establish a wine and tapas bar at 9 East Napa Street, in conjunction with an Exception from the parking requirements. After discussion and public testimony, the Planning Commission voted 7-0 to approve the Use Permit and Exception, subject to the revised conditions of approval (attached), which include a reduction in the amount of seating and limitations on access.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2202.

Sincerely,

Rob Gjestland
Senior Planner

cc: George Bevan
Bevan & Associates
P.O. Box 605
Sonoma, CA 95476

Nicholas & Ellen Blonder
38 Miller Avenue, #245
Mill Valley, CA 94941

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Vino Chévere Wine and Tapas Bar – 9 East Napa Street

September 9, 2010

1. The restaurant use shall operate in conformance with the project narrative, approved floor plan and site plan except as modified by these conditions and the following:
 - a. The business shall close by 10P.M. Sunday through Thursday, and by 12A.M. (midnight) on Friday and Saturday
 - b. Seating capacity shall be limited to 24 indoor seats and eight (8) outdoor seats.
 - c. The front entry on East Napa Street shall be upgraded to serve as the accessible entrance for the disabled.
 - d. Use of the outdoor grill shall be prohibited after 9P.M. daily.
 - e. Use of the outdoor patio area, including the playing of pre-recorded music outdoors, shall cease by 9P.M. Sunday through Thursday and 11P.M. on Friday and Saturday.
 - f. The use shall operate in compliance with the noise limits and standards of the City's Noise Ordinance.
 - g. The outdoor grill shall be limited to gas (use of charcoal or other material shall be prohibited).
 - h. The maximum occupancy shall be limited to 49 people.
 - i. All activity associated with the restaurant, including deliveries, garbage/recycling removal or collection, ingress and egress for customers and employees, shall occur through the front entrance of the business located on East Napa Street.

Enforcement Responsibility: *Planning Division*
Timing: *Ongoing*

2. The applicant shall obtain the necessary permits and/or clearances from the Sonoma County Health Department for the restaurant use. Food/beverage preparation and service shall conform to the limitations of the permit.

Enforcement Responsibility: *Planning Division; Sonoma County Health Dept.*
Timing: *Prior to occupancy; Ongoing*

3. The applicant shall comply with the requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA). The applicant shall submit a Wastewater Discharge Survey to PRMD. The Applicant shall obtain a **Survey for Commercial/Industrial Wastewater Discharge Requirements** ("Green form") from PRMD, and shall submit the completed Survey, along with two (2) copies of the project site plan, floor plan and plumbing plan to the Sanitation Section of PRMD. If additional sewer pre-treatment and/or monitoring facilities (i.e. Grease trap, Sampling Manhole, etc.) are required by the Sonoma Valley County Sanitation District per this Survey, the Applicant shall comply with the terms and requirements of the Survey prior to occupancy of the proposed tapas/wine bar.

Enforcement Responsibility: *Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency*
Timing: *Prior to occupancy*

4. The Applicant shall pay Increased Sewer Fees in accordance with Section 5.05 "Alteration of Use", of the Sonoma Valley County Sanitation District Ordinances (latest revision). Increased Sewer Fees shall be paid to the Sanitation Section of PRMD prior to occupancy of the proposed tapas/wine bar. Increased Sewer Use Fees for sewer service shall be calculated at the prevailing Sewer Connection Fee and Sewer Service rates in effect at the time of occupancy of the proposed tapas/wine bar.

Enforcement Responsibility: *Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency*
Timing: *Prior to occupancy*

5. All Fire Department requirements shall be met, including the installation of fire sprinklers if the cost of the remodel exceeds \$150,000 in a three year period. The outdoor grill shall be setback a minimum of ten feet from any combustible construction.

Enforcement Responsibility: Fire Department; Building Division
Timing: Prior to food preparation and service

6. All Building Code requirements shall be met, including accessibility requirements. A building permit shall be required for the necessary tenant improvements associated with the restaurant use. The applicant shall contact the Building Department regarding permit requirements.

Enforcement Responsibility: Fire Department; Building Division
Timing: Prior to food preparation and service

7. As normally required, any signage or exterior building alterations to the front façade shall be subject to review and approval by City Staff or the Design Review Commission (DRC) as appropriate.

Enforcement Responsibility: Planning Division; DRC
Timing: Prior to installation of signage or exterior alterations to the building

5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.

- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to individually eligible for local listing or designation through survey evaluation.

- 5B Locally significant both individually (listed, eligible, or appears eligible) and as contributor to a district that is locally listed, designated, determined eligible, or appears eligible through survey evaluation.

6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Reevaluation

- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.

Using Status Codes

Users of the California Historic Resource Status Codes should keep in mind that the status codes are broad indicators which, in most cases, serve as a starting place for further consideration and evaluations. Because the assigned status code reflects an *opinion* or *action* taken at a *specific point in time*, the assigned status code may not accurately reflect the resource's eligibility for the National Register, California Register, or local listing or designation at some later time.

United States Department of the Interior

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM: CONTINUATION SHEET

Section No. 7 Description: Sonoma Plaza Boundary Increase

86. 524 Broadway is a one-story commercial building which has been altered with no distinguishing characteristics remaining.
87. 542-546 Broadway is a one-story commercial building built outside period of significance.
88. 552 Broadway is a one-story commercial building built outside the period of significance.
89. 568 Broadway is a one-story commercial building built outside the period of significance.
90. 116 Church Street is a former residence built outside the period of significance.
91. 134 Church Street is a residence built outside the period of significance.
92. 141 Church Street is a residence built outside the period of significance.
93. 148 Church Street is a residence built outside the period of significance.
94. 5 East Napa Street is a one-story commercial building, built outside the period of significance.
- 95. 9 East Napa Street is a one-story commercial building built outside the period of significance.
96. 17 East Napa Street is a commercial facade; however the building behind the facade has been demolished.
97. 31-35 East Napa Street is a commercial building built in 1903 with random ashlar stone walls. The main elevation was altered out of character outside the period of significance in the early 1980s.
98. 117 East Napa Street is a commercial building altered out of character.
99. 122-24-26 East Napa Street is a commercial building built outside the period of significance.
100. 130 East Napa Street is a commercial building built outside the period of significance.
101. 133 East Napa Street is a commercial building altered out of character.



OSO Sonoma, a new restaurant located at 9 East Napa Street is requesting approval of a facade program which includes a new front window style, updated paint scheme, and signage program. Owner, David Bush, a fourteen year resident of Sonoma Valley, chose the name OSO (bear in Spanish) to reflect the history of the bear flag and its beginnings in Sonoma. The proposed facade program is designed to compliment the brand, style and experience of an upscale, yet Sonoma-casual dining experience, centered around locally sourced and inspired food and wine.

The facade program consists of the following elements:

Window Modification:

A new, folding style large window with dark bronze mullions is proposed for the front of the restaurant. This will create an open air experience and inviting frontage for this plaza location.

Color Scheme:

Toning down from the original building colors, the "barnwood" brown, "San Francisco Fog", and black hardware details offer a neutral palette. This new color scheme is designed with natural color elements to reflect Sonoma's agricultural heritage.

Awning:

The new structural awning will replace the existing awning in it's exact square footage. It will feature the restaurant name in the front, and logo stars on the side. The awning will consist of reclaimed barn wood, vintage hardware, and dimensional logo elements. The bottom edge of the awning will feature a "wash-style" paint detail which correlates to the OSO Sonoma brand logo. This awning will also feature low-wattage architectural LED lights, mounted behind the logo, providing a halo effect for evening illumination. Illumination is proposed from sun-down until 12am. Total illuminated area will be 5-1/2 sf.

Menu Wall:

The entrance wall will feature OSO's menu, and will be comprised of the same material composition as the structural awning. Total illuminated area for OSO logo will be 1-1/4 sf. and the menu display area measures 24"w X 18"h

This sign program is tasteful and in proportion with the building and within the allowed square footage for the property. We thank you in advance for your consideration of this sign program.





SONOMA SIGNS
DESIGN + FABRICATION



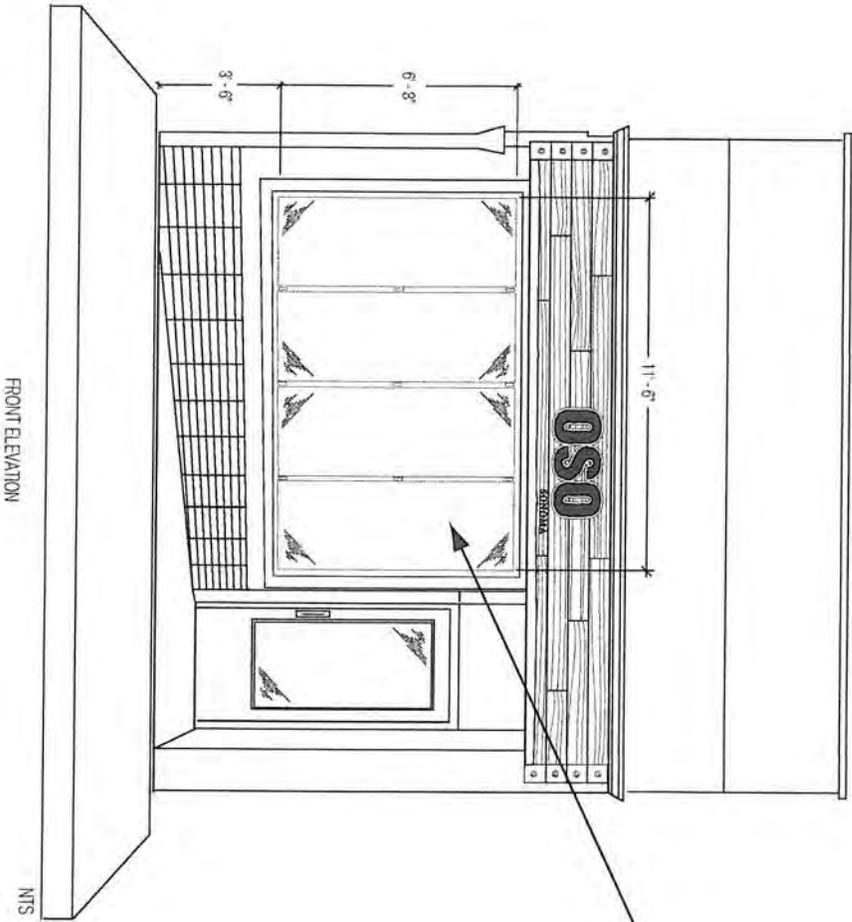
OSO SONOMA
DAVID BUSH

SITE ADDRESS:
#9 East Hippa Street, Sonoma, CA

CITY OF SONOMA - DESIGN REVIEW COMMISSION

STREET FACADE RENDERING
RESTAURANT FACADE PROGRAM

2.0

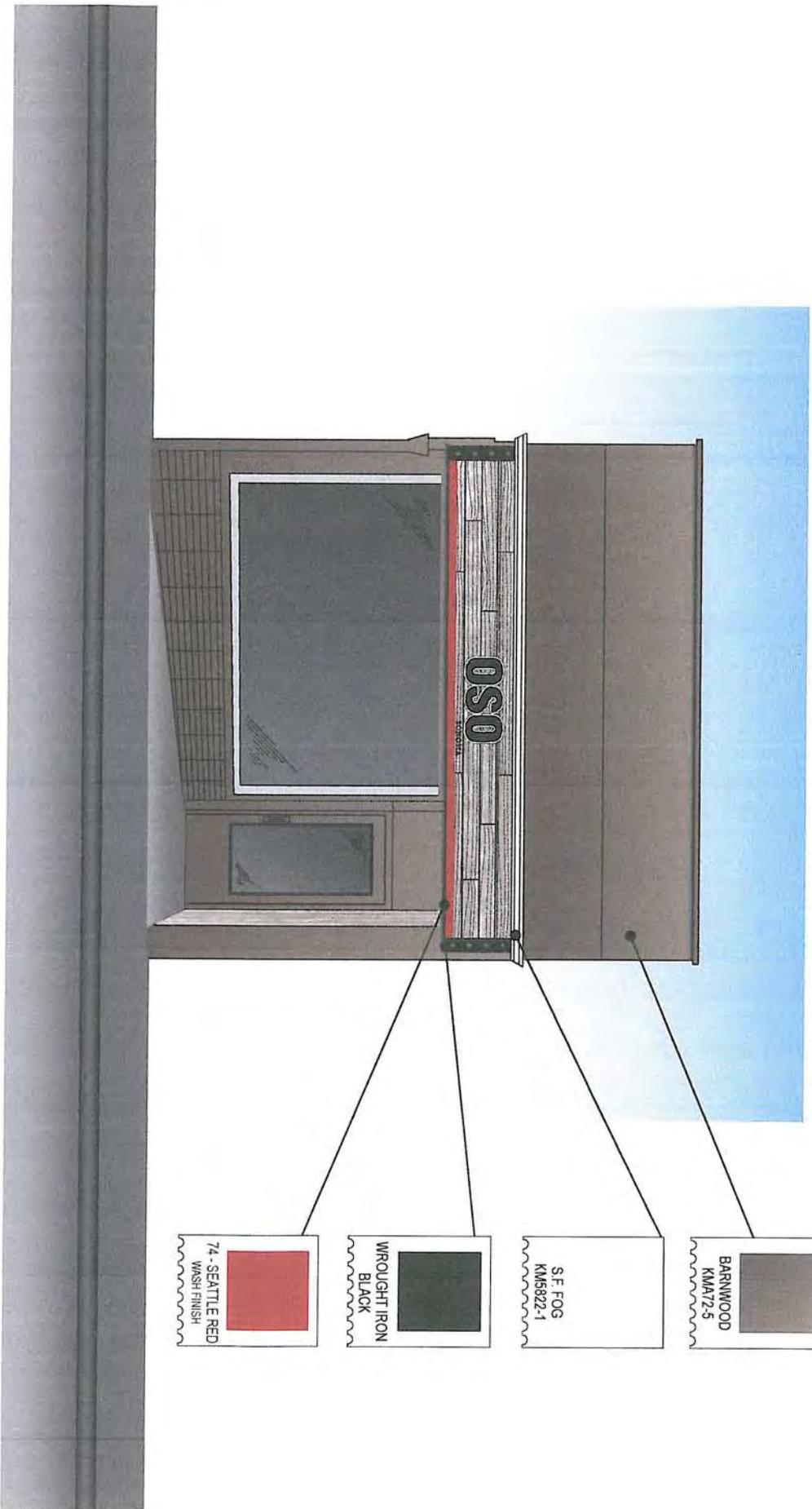


HORIZONTAL FOLDING WINDOWS
CREATES OPEN-AIR EXPERIENCE



CURRENT WINDOW

WINDOW MODIFICATION
RESTAURANT FACADE PROGRAM



BARNWOOD
KMA72-5

S.F. FOG
KMS922-1

WROUGHT IRON
BLACK

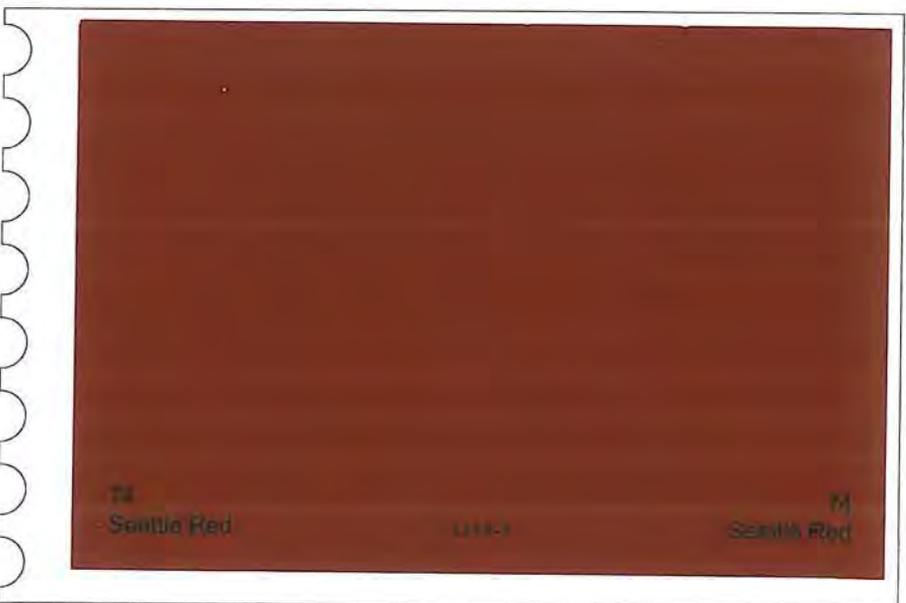
74 - SEATTLE RED
WASH FINISH



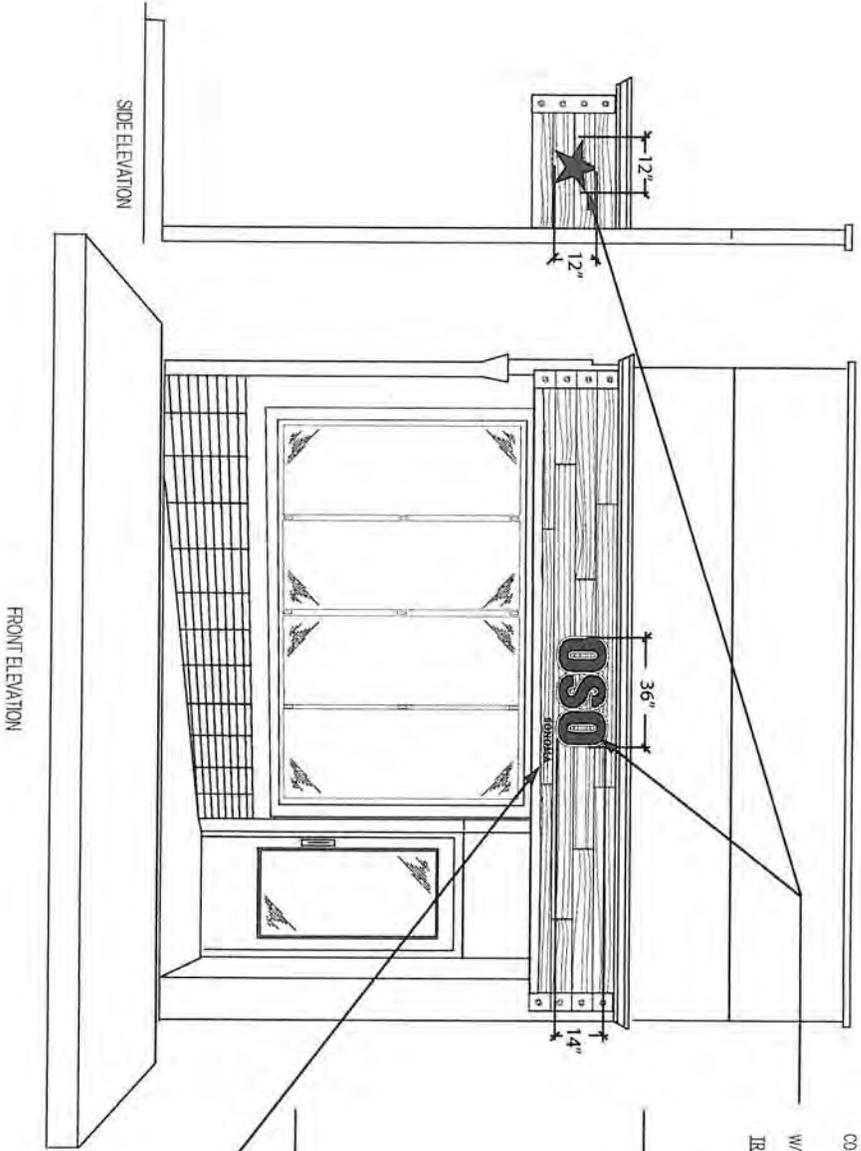
**KMA72-5
BARNWOOD
LOW SHEEN**



**KM5822-1
SAN FRANCISCO FOG
SEMI GLOSS**



**74 - SEATTLE RED
LOW SHEEN
(APPLIED AS A WASH FINISH)**



*FLASH THROUGH LOGO/LETTERS
COME THROUGH BACK OF WOOD ANIMING
BACK ILLUMINATED
W/ ENERGY EFFICIENT LED TECHNOLOGY
TRANSLUCENT ACRYLIC W/ VINYL FACES
TO ACHIEVE DISTRESSED LOOK

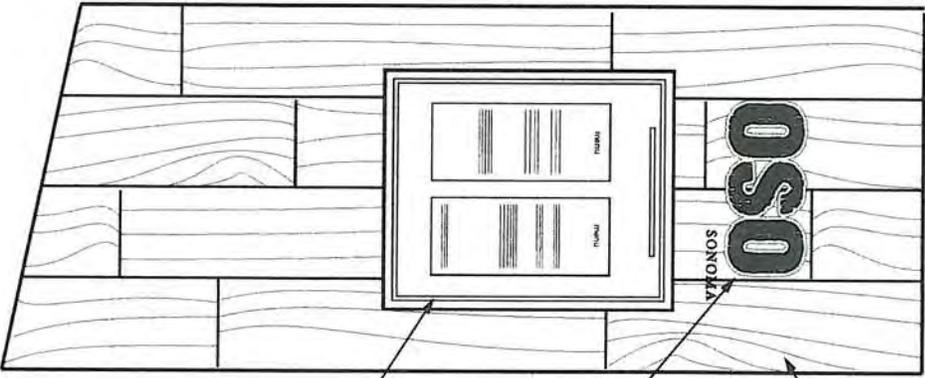
1/4" FLAT CUT DIMENSIONAL LETTER
STUD MOUNTED (2" STANDOFF)
MATTIE BLACK FINISH



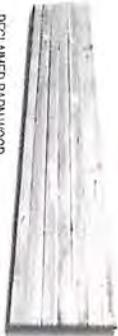
PHOTO COMPS



PHOTO COMPS



RECLAIMED BARN WOOD

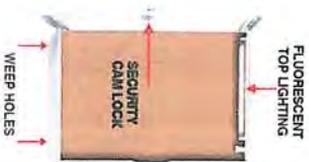


PLANK-STYLE ASSEMBLY

RUSH THROUGH LOGO/LETTERS
COME THROUGH BACK OF WOOD
BACK ILLUMINATED
W/ ENERGY EFFICIENT LED TECHNOLOGY
TO ACHIEVE DISTRESSED LOOK



ILLUMINATED AND LOCKING MENU CASE
FLUSH MOUNTED INTO RECLAIMED WOOD WALL





City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 5

Meeting Date: 02/25/14

Applicant

Michael Palmer

Project Location

500 West Napa Street, Suites 502-510

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1959
-

Request

Consideration of external building modifications for a commercial business (Pet Food Express) located at 500 West Napa Street, Suites 502-510.

Summary

Background: On January 21, 2013, the DRHPC approved entry modifications for the Redwood Credit Bank in the form of a window and door aluminum finish bronze in color.

At this time the current applicant is proposing to combine four retail suites (suite 502, 504, 508, and 51) into one suite for a new retail business (Pet Food Express). All of the existing windows and doors will be removed and new windows and a new sliding entrance door will be installed. The new windows will take the form of United States Aluminum Series 451 and IT451 center glaze (see attached specification sheet) and include a dark bronze aluminum finish with clear glazing. In addition, the applicant is proposing a new 8 foot wide by 8 foot high overhead roll-up door on the north wall of the building facing the alley, which will be painted to match the existing concrete masonry wall.

Findings for Project Approval: In order to approve any application for site design and architectural review, the DRHPC must make the following findings:

- a. The project complies with applicable policies and regulations, as set forth in this development code (except for approved variances and exceptions), other city ordinances, and the general plan;
- b. On balance, the project is consistent with the intent of applicable design guidelines set forth in this development code; and
- c. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Revised project narrative*
2. *Project narrative*
3. *Window and door specification sheets*
4. *Site plan and elevations*
5. *Door and window frame sample*

cc: Michael Palmer
141 Stoney Circle # 225
Santa Rosa, CA 95401

Sonoma Valley Center LLC
P.O. Box 2745
Antioch, CA 94531-2745

**Sonoma Valley Center
500 W. Napa Street
Project Narrative**

The applicant is proposing to combine 4 retail suites, #502 through #510, into one larger suite for Pet Food Express. To accommodate this action, the floor slab for suite #502 will have to be raised approximately 9" to be level with the other suite slabs.

In addition, the existing storefronts, consisting of a combination of wood and silver aluminum, will be changed to a unified dark bronze aluminum system with clear glazing within the existing structural framework. The front entry door will consist of an automatic sliding entrance system. The dark bronze color scheme will match the recently installed signage elements and common area fixtures throughout the shopping center.

An 8' wide by 8' high overhead roll-up door will be installed on the north wall of the building facing the alley and will be painted to match the existing concrete masonry wall.

**RECEIVED
FEB 19 2014
CITY OF SONOMA**

**Sonoma Valley Center
500 W. Napa Street
Project Narrative**

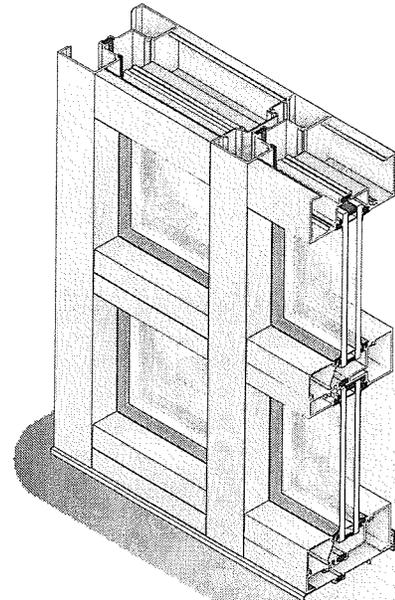
The applicant is proposing to change out the existing storefront system of suites 502-510 from a combination of wood and silver metal to a single dark bronze metal system with clear tempered glazing which will unify the storefront and existing dark bronze elements of signage and fixtures throughout the shopping center common areas.

STOREFRONT SYSTEMS

SERIES 451 & IT451 CENTER GLAZE



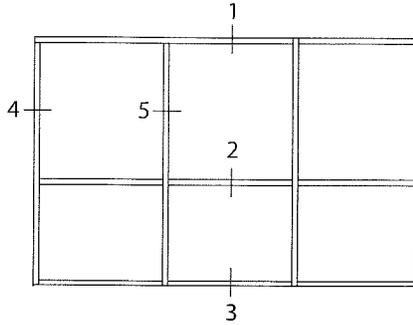
- Series 451 - 2" x 4-1/2"
(50.8 x 114.3 mm) Non-Thermal
- Series IT451 - 2" x 4-1/2"
(50.8 x 114.3 mm) Thermal
- 1" (25 mm) Glazing Infills
- Injection Molded Water Deflectors
- Screw Spline Assembly
- Shear Block Assembly
- Stacking Installation Option
- Full Range of Accessory Components
- Available in Anodized or Painted Finishes



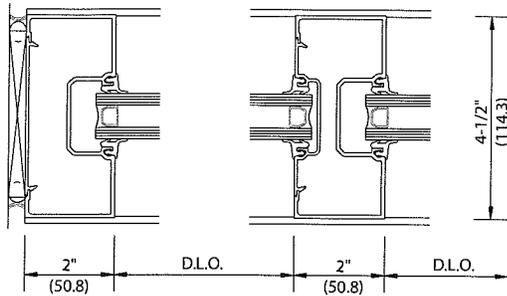
Series IT451 offers improved thermal performance using the Poly-Aluminizer™ and Struct-Link™ Thermal Break Technology. Series 451 and IT451 may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with all United States Aluminum Entrance Doors.

SERIES 451 & IT451 STOREFRONTS TYPICAL DETAILS

For Specifications, Details, and Testing Data go to usalum.com.

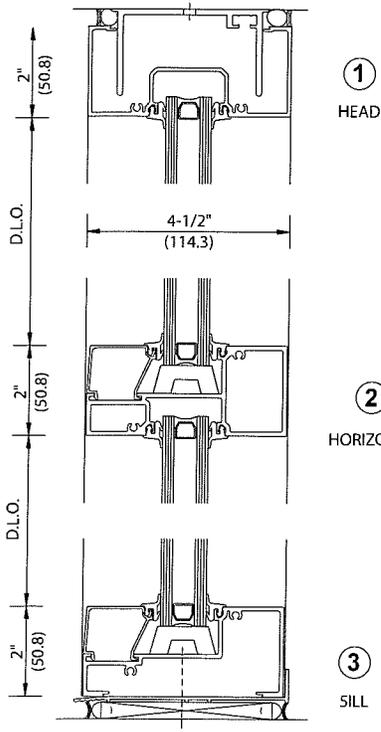


Series 451



④
JAMB

⑤
VERTICAL

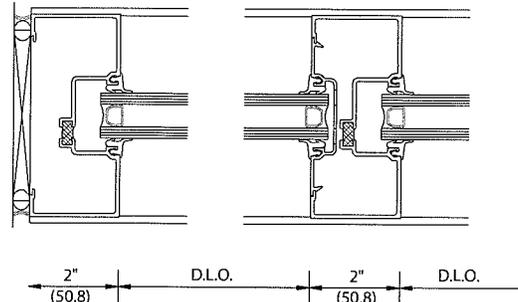


①
HEAD

②
HORIZONTAL

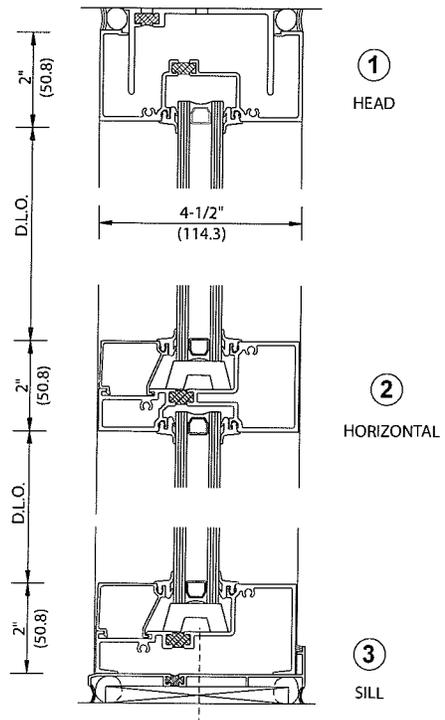
③
SILL

Series IT451



④
JAMB

⑤
VERTICAL



①
HEAD

②
HORIZONTAL

③
SILL

NOT TO SCALE



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

SECTION 08 42 29.23 [08460]
SLIDING AUTOMATIC ENTRANCES

Specifier Note: This specification document shall serve as a guide specification for typical projects where the Stanley Access Technologies Dura-Glide 2000/3000 All Glass Series sliding automatic entrance will be the basis of design. Specification must be reviewed for applicability on a per project basis. Specification is not appropriate for projects where a wind force and/or impact rating are required. The specifier is directed to select appropriate options included herein. Consult with the Stanley Security Solutions SpecCentre, or the local Access Technologies Territory Manager, when options, not specified, are required. See last page of this document for a summary of unspecified options.

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following types of automatic entrances:
 - 1. Exterior and interior, single slide and bi-parting, sliding automatic entrances.
 - 2. Sliding and fixed panels shall be all glass with top and bottom rail.
- B. Related Sections:
 - 1. Division 7 Sections for caulking to the extent not specified in this section.
 - 2. Division 8 Section "Aluminum-Framed Entrances and Storefronts" for entrances furnished and installed separately in Division 8 Section.
 - 3. Division 8 Section "Door Hardware" for hardware to the extent not specified in this Section.
 - 4. Division 26 Sections for electrical connections provided separately in Division 26 including conduit and wiring for power to sliding automatic entrances.

1.3 REFERENCES

- A. General: Standards listed by reference, including revisions by issuing authority, form a part of this specification section to extent indicated. Standards listed are identified by issuing authority, authority abbreviation, designation number, title or other designation established by issuing authority. Standards subsequently referenced herein are referred to by issuing authority abbreviation and standard designation.
- B. Underwriters Laboratories (UL):
 - 1. UL 325 – Standard for Door, Drapery, Gate, Louver, and Window Operators and Systems.
- C. American National Standards Institute (ANSI) / Builders' Hardware Manufacturers Association (BHMA):
 - 1. ANSI/BHMA A156.10: Standard for Power Operated Pedestrian Doors.
 - 2. ANSI/BHMA A156.5: Standard for Auxiliary Locks and Associated Products
 - 3. ANSI Z97.1: Standard for Safety Glazing Materials Used In Buildings - Safety Performance Specifications And Methods Of Test.
- D. Consumer Product Safety Commission (CPSC):

1. CPSC 16 CFR 1201: Safety Standard for Architectural Glazing Materials
- E. American Society for Testing and Materials (ASTM):
 1. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes.
 2. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate
- F. American Association of Automatic Door Manufacturers (AAADM):
- G. National Fire Protection Association (NFPA):
 1. NFPA 101 – Life Safety Code.
 2. NFPA 70 – National Electric Code.
- H. International Code Council (ICC):
 1. IBC: International Building Code
- I. Building Officials and Code Administrators International (BOCA), 1999:
- J. International Organization for Standardization (ISO):
 1. ISO 9001 - Quality Management Systems
- K. National Association of Architectural Metal Manufacturers (NAAMM):
 1. Metal Finishes Manual for Architectural and Metal Products.

Specifier Note: Modify paragraph below to suit project requirements.

- **Select appropriate standard finish from options below.**
- **Make multiple selections as required; schedule accordingly.**
- **See last page of this document for a summary of unspecified finish options.**
- **Coordinate with other sections.**

- L. American Architectural Manufacturers Association (AAMA):
 1. **[AAMA 606.1 – Integral Color Anodic Finishes for Architectural Aluminum.]**
 2. **[AAMA 607.1 - Clear Anodic Finishes for Architectural Aluminum.]**
 3. AAMA 611 Voluntary Specification for Anodized Architectural Aluminum.
 4. AAMA 701 Voluntary Specification for Pile Weatherstripping and Replaceable Fenestration Weatherseals.

1.4 DEFINITIONS

- A. Activation Device: Device that, when actuated, sends an electrical signal to the door operator to open the door.
- B. Safety Device: Device that prevents a door from opening or closing, as appropriate.

1.5 PERFORMANCE REQUIREMENTS

- A. General: Provide automatic entrance door assemblies capable of withstanding loads and thermal movements based on testing manufacturer's standard units in assemblies similar to those indicated for this Project.
- B. Thermal Movements: Provide automatic entrances that allow for thermal movements resulting from the following maximum change (range) in ambient and surface temperatures by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

connections, and other detrimental effects. Base engineering calculation on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.

1. Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.
- C. Operating Range: Minus 30 deg F (Minus 34 deg C) to 130 deg F (54 deg C).
- D. Opening-Force Requirements for Egress Doors: Not more than 50 lbf (222 N) required to manually set door in motion if power fails, and not more than 15 lbf (67 N) required to open door to minimum required width.
- E. Closing-Force Requirements: Not more than 30 lbf (133 N) required to prevent door from closing.

1.6 SUBMITTALS

- A. General: Submit the following in accordance with Conditions of the Contract and Division 1 Specification Sections.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware mounting heights, and attachments to other work.
- C. Color Samples for selection of factory-applied color finishes.
- D. Closeout Submittals:
 1. Owner's Manual.
 2. Warranties.

1.7 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized representative, with certificate issued by AAADM, who is trained for installation and maintenance of units required for this Project.
- B. Manufacturer Qualifications: A qualified manufacturer with a manufacturing facility certified under ISO 9001.
- C. Manufacturer shall have in place a national service dispatch center providing 24 hours a day, 7 days a week, emergency call back service.
- D. Certifications: Automatic sliding door systems shall be certified by the manufacturer to meet performance design criteria in accordance with the following standards:
 1. ANSI/BHMA A156.10.
 2. NFPA 101.
 3. UL 325 listed.
 4. IBC 2009
 5. BOCA
- E. Source Limitations: Obtain automatic entrance door assemblies through one source from a single manufacturer.
- F. Product Options: Drawings indicate sizes, profiles, and dimensional requirements of automatic entrance door assemblies and are based on the specific system indicated. Refer to Division 1 Section "Product Requirements."



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

- G. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.
- H. Emergency-Exit Door Requirements: Comply with requirements of authorities having jurisdiction for automatic entrances serving as a required means of egress.

1.8 PROJECT CONDITIONS

- A. Field Measurements: General Contractor shall verify openings to receive automatic entrance door assemblies by field measurements before fabrication and indicate measurements on Shop Drawings.
- B. Mounting Surfaces: General Contractor shall verify all surfaces to be plumb, straight and secure; substrates to be of proper dimension and material.
- C. Other trades: General Contractor shall advise of any inadequate conditions or equipment.

1.9 COORDINATION

- A. Templates: Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing automatic entrances to comply with indicated requirements.
- B. Electrical System Roughing-in: Coordinate layout and installation of automatic entrance door assemblies with connections to power supplies.

1.10 WARRANTY

- A. Automatic Entrances shall be free of defects in material and workmanship for a period of one (1) year from the date of substantial completion.
- B. During the warranty period the Owner shall engage a factory-trained technician to perform service and affect repairs. A safety inspection shall be performed after each adjustment or repair and a completed inspection form shall be submitted to the Owner.
- C. During the warranty period all warranty work, including but not limited to emergency service, shall be performed during normal working hours.

PART 2 - PRODUCTS

2.1 AUTOMATIC ENTRANCES

Specifier Note: Modify paragraph below to suit project requirements.

- **Select 2000 Series for fixed sidelight entrances.**
- **Select 3000 Series for full breakout entrances**

- A. Manufacturer: Stanley Access Technologies; Dura-Glide™ [2000] [3000] All Glass Series sliding automatic entrances.

2.2 MATERIALS

- A. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 - 1. Headers, stiles, rails, and frames: 6063-T6.

2. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221.
3. Sheet and Plate: ASTM B 209.

B. Sealants and Joint Fillers: Performed under Division 7 Section "Joint Sealants".

2.3 AUTOMATIC ENTRANCE DOOR ASSEMBLIES

A. General: Provide manufacturer's standard automatic entrance door assemblies including doors, sidelights, framing, headers, carrier assemblies, roller tracks, door operators, activation and safety devices, and accessories required for a complete installation.

Specifier Note: Modify paragraph below to suit project requirements.

- **Select "sliding leaf only" for fixed sidelight applications; Series 2000.**
- **Select "sliding leaves and sidelights" for full breakout applications; Series 3000.**

Coordinate with selections above.

B. Sliding Automatic Entrances:

1. Single Slide Entrances:
 - a. Configuration: One sliding leaf and one full sidelight.
 - b. Traffic Pattern: Two-way.
 - c. Emergency Breakaway Capability: **[Sliding leaf only] [Sliding leaf and sidelight]**.
 - d. Mounting: Between jambs.
2. Bi-Parting Entrances:
 - a. Configuration: Two sliding leaves and two full sidelights.
 - b. Traffic Pattern: Two-way.
 - c. Emergency Breakaway Capability: **[Sliding leaves only] [Sliding leaves and sidelights]**.
 - d. Mounting: Between jambs.

2.4 COMPONENTS

Specifier Note: Modify paragraph below to suit project requirements.

- **Select frame size; 4 1/2 inch depth is standard.**

A. Framing Members: Manufacturer's standard extruded aluminum reinforced as required to support imposed loads.

1. Nominal Size: **[1 3/4 inch by 4 1/2 inch (45 by 115 mm)] [1 3/4 inch by 6 inch (45 by 152 mm)]**.
2. Concealed Fastening: Framing shall incorporate a concealed fastening pocket, and continuous flush insert cover, extending full length of each framing member.

Specifier Note: Modify paragraph below to suit project requirements.

- **Select "Bottom Rail Design"; 4 inch for Series 2000 entrances.**
- **Select "Bottom Rail Design"; 6 1/8 inch for Series 3000 entrances.**

B. Glass Panels and Rails: Manufacturer's standard 1 3/4 inch (45 mm) thick extruded-aluminum tubular rail members. Rail members to be specifically designed by automatic entrance manufacturer for use with glass panel automatic entrance systems. Fasten rails to glass panels by mechanical clamp; adhesive systems not acceptable.

1. Top Rail: 6 1/8 inch (156 mm) nominal height.
2. Bottom Rail: **[4 inch (102 mm)] [6 1/8 inch (156 mm)]** nominal height.
3. Glazing: Provide glazing for sliding automatic entrances as follows:



- a. Provide safety glass complying with ANSI Z97.1 and CPSC 16 CFR 1201 for Category II materials.
 - b. Safety Glass: 1/2 inch (12 mm) clear, fully tempered, with polished edges, in all panels.
- C. Headers: Fabricated from extruded aluminum and extending full width of automatic entrance door units to conceal door operators, carrier assemblies, and roller tracks. Provide hinged or removable access panels for service and adjustment of door operators and controls. Secure panels to prevent unauthorized access.
- 1. Mounting: Concealed, with one side of header flush with framing.
 - 2. Capacity: Capable of supporting up to 220 lb (100 kg) per panel, up to four panels, over spans up to 14 feet (4.3 m) without intermediate supports.
- D. Carrier Assemblies and Overhead Roller Tracks: Manufacturer's standard carrier assembly that allows vertical adjustment of at least 1/8 inch (3 mm); consisting of urethane with precision steel lubricated ball-bearing wheels, operating on a continuous roller track. Support panels from carrier assembly by load wheels and anti-riser wheels with factory adjusted cantilever and pivot assembly. Minimum two ball-bearing load wheels and two anti-rise rollers for each active leaf. Minimum load wheel diameter shall be 2 1/2 inch (64 mm); minimum anti-rise roller diameter shall be 2 inch (51 mm).

Specifier Note: Modify paragraph below to suit project requirements.

- **Select appropriate thresholds for applications.**
- **Make multiple selections as required; schedule accordingly.**
- **"No threshold" option for 2000 Series only.**

- E. Thresholds: Manufacturer's standard thresholds as indicated below:
- 1. **[Continuous standard tapered extrusion square by bevel, with bevel to exterior.]**
 - 2. **[Continuous standard tapered extrusion square by bevel, with bevel to interior.]**
 - 3. **[Continuous standard tapered extrusion double bevel.]**
 - 4. **[Continuous standard square extrusion, for recessed installation.]**
 - 5. **[Standard square extrusion track under sidelights, for recessed installation; no threshold under sliding opening.]**
 - 6. **[Standard tapered extrusion, double bevel, under sidelights; no threshold under sliding opening.]**
 - 7. **[No threshold.]**
 - 8. Continuous standard tapered extrusion double bevel.
 - 9. All thresholds to conform to details and requirements for code compliance.
- F. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, non-staining, non-bleeding fasteners and accessories compatible with adjacent materials.
- G. Signage: Provide signage in accordance with ANSI/BHMA A156.10.

2.5 DOOR OPERATORS

- A. General: Provide door operators of size recommended by manufacturer for door size, weight, and movement; for condition of exposure; and for long-term, operation under normal traffic load for type of occupancy indicated.
- B. Electromechanical Operators: Self-contained overhead unit powered by a minimum of 1/4 horsepower, permanent-magnet DC motor with gear reduction drive, microprocessor controller; and encoder.
- 1. Operation: Power opening and power closing.



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

2. Features:
 - a. Adjustable opening and closing speeds.
 - b. Adjustable back-check and latching.
 - c. Adjustable braking.
 - d. Adjustable hold-open time between 0 and 30 seconds.
 - e. Obstruction recycle.
 - f. On/Off switch to control electric power to operator.
 - g. Energy conservation switch that reduces door-opening width.
 - h. Closed loop speed control with active braking and acceleration.
 - i. Variable obstruction recycle time delay.
 - j. Self adjusting stop position.
 - k. Self adjusting closing compression force.
 - l. Optional Switch to open/Switch to close operation.
 3. Mounting: Concealed.
 4. Drive System: Synchronous belt type.
- C. Electrical service to door operators shall be provided under Division 16 Electrical. Minimum service to be 120 VAC, 5 amps.
- 2.6 ELECTRICAL CONTROLS
- A. Electrical Control System: Electrical control system shall include a microprocessor controller and position encoder. The encoder shall monitor revolutions of the operator shaft and send signals to microprocessor controller to define door position and speed. Systems utilizing external magnets and magnetic switches are not acceptable.
 - B. Life Cycle Data Counter: The electrical control system shall incorporate a non-re-settable counter to track door operation cycles.
 - C. Controller Protection: The microprocessor controller shall incorporate the following features to ensure trouble free operation:
 1. Automatic Reset Upon Power Up.
 2. Main Fuse Protection.
 3. Electronic Surge Protection.
 4. Internal Power Supply Protection.
 5. Resettable sensor supply fuse protection.
 6. Motor Protection, over-current protection.
 - D. Soft Start/Stop: A "soft-start" "soft-stop" motor driving circuit shall be provided for smooth normal opening and recycling.
 - E. Obstruction Recycle: Provide system to recycle the sliding panels when an obstruction is encountered during the closing cycle. If an obstruction is detected, the system shall search for that object on the next closing cycle by reducing door closing speed prior to the previously encountered obstruction location, and will continue to close in check speed until doors are fully closed, at which time the doors will reset to normal speed. If obstruction is encountered again, the door will come to a full stop. The doors shall remain stopped until obstruction is removed and operate signal is given, resetting the door to normal operation.
 - F. Programmable Controller: Microprocessor controller shall be programmable and shall be designed for connection to a local configuration tool. Local configuration tool shall be a software driven handheld interface. The following parameters may be adjusted via the configuration tool.
 1. Operating speeds and forces as required to meet ANSI/BHMA A156.10.
 2. Adjustable and variable features as specified in 2.5, B., 2.



3. Reduced opening position.
4. Fail Safe/Secure control.
5. Firmware update.
6. Trouble Shooting
 - a. I/O Status.
 - b. Electrical component monitoring including parameter summary.
7. Software for local configuration tool shall be available as a free download from the sliding automatic entrance manufacturer's internet site. Software shall be compatible with the following operating system platforms: Palm®, Android®, and Windows Mobile®.

2.7 ACTIVATION AND SAFETY DEVICES

- A. Motion Sensors: Motion sensors shall be mounted on each side of door header to detect pedestrians in the activating zone, and to provide a signal to open doors in accordance with ANSI/BHMA A156.10. Units shall be programmable for bi-directional or uni-directional operation and shall incorporate K-band microwave frequency to detect all motion in both directions.
- B. Presence Sensors: Presence sensors shall be provided to sense people or objects in the threshold safety zone in accordance with ANSI/BHMA A156.10. Units shall be self-contained, fully adjustable, and shall function accordingly with motion sensors provided. The sensor shall be enabled simultaneously with the door-opening signal and shall emit an elliptical shaped infrared presence zone, centered on the doorway threshold line. Presence sensors shall be capable of selectively retuning to adjust for objects which may enter the safety zone; tuning out, or disregarding, the presence of small nuisance objects and not tuning out large objects regardless of the time the object is present in the safety zone. The door shall close only after all sensors detect a clear surveillance field.
- C. Photoelectric Beams: In addition to the threshold sensor include a minimum of two (2) doorway holding beams. Photoelectric beams shall be pulsed infrared type, including sender receiver assemblies for recessed mounting.

2.8 HARDWARE

- A. General: Provide units in sizes and types recommended by automatic entrance door and hardware manufacturers for entrances and uses indicated.
- B. Emergency Breakaway Feature: Provide release hardware that allows panel(s) to swing out in direction of egress to full 90 degrees from any position in sliding mode. Maximum force to open panel shall be 50 lbf (222 N) according to ANSI/BHMA A156.10. Interrupt powered operation of panel operator while in breakaway mode.
 1. Emergency breakaway feature shall include at least one adjustable detent device mounted in the top of each breakaway panel to control panel breakaway force.

Specifier Note: Retain paragraph 3 when bi-parting entrances are specified.

- C. Deadlocks: Manufacturer's standard deadbolt operated by exterior cylinder and interior thumb turn; with minimum 1 inch (25 mm) long throw bolt; ANSI/BHMA A156.5, Grade 1.
 1. Cylinders: Provide lock cylinders by BEST Access Systems, with core and key.
 2. Locking: Provide independent locks incorporated into the bottom rails of the sliding panel that, when engaged, automatically extend flush bolts into the threshold.
 3. **Provide two locks for bi-parting entrances.**



- D. Control Switch: Provide manufacturer's standard header mounted rocker switches and door position switch to allow for full control of the automatic entrance door. Controls to include, but are not limited to:
 - 1. One-way traffic
 - 2. Reduced Opening
 - 3. Open/Closed/Automatic
- E. Power Switch: Sliding automatic entrances shall be equipped with a two position On/Off rocker switch to control power to the door.
- F. Sliding Weather Stripping: Manufacturer's standard replaceable components complying with AAMA 701; made of flexible PVC.
- G. Weather Sweeps: Manufacturer's standard adjustable nylon brush sweep mounted to underside of panel bottom.

2.9 FABRICATION

- A. General: Factory fabricates automatic entrance door assembly components to designs, sizes, and thickness indicated and to comply with indicated standards.
 - 1. Form aluminum shapes before finishing.
 - 2. Use concealed fasteners to greatest extent possible.
 - a. Where fasteners are subject to loosening or turning out from thermal and structural movements, wind loads, or vibration, use self-locking devices.
 - b. Reinforce members as required to receive fastener threads.
- B. Framing: Provide automatic entrances as prefabricated assemblies.
 - 1. Fabricate tubular and channel frame assemblies with manufacturer's standard mechanical or welded joints. Provide sub-frames and reinforcement as required for a complete system to support required loads.
 - 2. Perform fabrication operations in manner that prevents damage to exposed finish surfaces.
 - 3. Form profiles that are sharp, straight, and free of defects or deformations.
 - 4. Prepare components to receive concealed fasteners and anchor and connection devices.
 - 5. Fabricate components with accurately fitted joints with ends coped or mitered to produce hairline joints free of burrs and distortion.
- C. Doors: Factory fabricated and assembled in profiles indicated. Reinforce as required to support imposed loads and for installing hardware.
- D. Door Operators: Factory fabricated and installed in headers, including adjusting and testing.
- E. Glazing: Fabricate framing with minimum glazing edge clearances for thickness and type of glazing indicated.
- F. Hardware: Factory install hardware to the greatest extent possible; remove only as required for final finishing operation and for delivery to and installation at Project site.

2.10 ALUMINUM FINISHES

- A. General: Comply with NAAMM Metal Finishes Manual for Architectural and Metal Products for recommendations for applying and designing finishes. Finish designations prefixed by AA comply with system established by Aluminum Association for designing finishes.



Specifier Note: Modify paragraph below to suit project requirements.

- Select appropriate standard finish from options below.
- Make multiple selections as required; schedule accordingly.
- See last page of this document for a summary of unspecified finish options.

- B. [Class II, Clear Anodic Finish: AA-M12C22A31 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class II, clear coating 0.40 mils minimum complying with AAMA 611-98, and the following:**
1. **AAMA 607.1**
 2. **Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.]**
- C. [Class I, Color Anodic Finish: AA-M12C22A42/A44 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, integrally colored or electrolytically deposited color coating 0.70 mils minimum complying with AAMA 611-98, and the following:**
1. **Color: Dark Bronze.**
 2. **AAMA 606.1**
 3. **Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.]**

PART 3 - EXECUTION

3.1 INSPECTION

- A. Examine conditions for compliance with requirements for installation tolerances, header support, and other conditions affecting performance of automatic entrances. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Do not install damaged components. Fit frame joints to produce joints free of burrs and distortion. Rigidly secure non-movement joints.
- B. Entrances: Install automatic entrances plumb and true in alignment with established lines and grades without warp or rack of framing members and doors. Anchor securely in place.
1. Install surface-mounted hardware using concealed fasteners to greatest extent possible.
 2. Set headers, carrier assemblies, tracks, operating brackets, and guides level and true to location with anchorage for permanent support.
- C. Door Operators: Connect door operators to electrical power distribution system as specified in Division 16 Sections.
- D. Glazing: Performed under Division 8 Section "Glazing" in accordance with sliding automatic entrance manufacturer's instructions.
- E. Sealants: Comply with requirements specified in Division 7 Section "Joint Sealants" to provide weather tight installation.

3.3 FIELD QUALITY CONTROL

- A. Testing Services: Factory Trained Installer shall test and inspect each automatic entrance door to determine compliance of installed systems with applicable ANSI standards.



Access Technologies

Dura-Glide 2000/3000 All Glass

SLIDING AUTOMATIC ENTRANCES
SECTION 08 42 29.23 [08460]

3.4 ADJUSTING

- A. Adjust door operators, controls, and hardware for smooth and safe operation, for tight closure, and complying with requirements in ANSI/BHMA A156.10.

3.5 CLEANING AND PROTECTION

- A. Clean glass and aluminum surfaces promptly after installation. Remove excess glazing and sealant compounds, dirt, and other substances. Repair damaged finish to match original finish. Comply with requirements in Division 8 Section "Glazing", for cleaning and maintaining glass.

END OF SECTION 08 42 29.23 [08460]

Available options not specified in this document are summarized as follows:

1. Integral transoms, with optional number and placement of verticals.
2. Finish options (Standard Options Specified):
 - a. Color anodizing options; "Champagne" to "Black"
 - b. Multi-coat Fluoropolymer painted finishes.
 - c. Cladding.
3. Locking options (Standard Options Specified):
 - a. Electric Solenoid Lock (Fail Safe/Fail Secure)
4. Activation and safety options.
5. Control switch options including rotary and keyed rotary control switch.
6. Alarm Contacts option, allows for remote monitoring of panel status.
7. Emergency Power Options.
 - a. Uninterruptible Power Supply (UPS); extended operation.
 - b. Fly Open Box; One time operation.

Contact SpecCentre services or your local Stanley Access Technologies representative for more information on specifying the right sliding automatic entrance for your project.

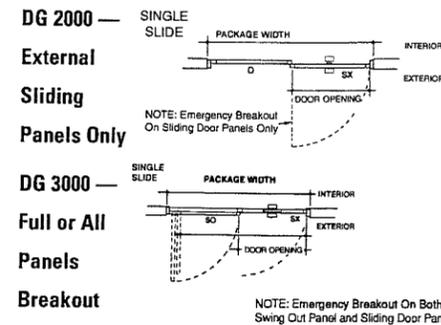
STANLEY**SpecCentre[®]**

Dura-Glide® 2000/3000 Series

FEATURES:

- All models available in bi-part (double sliding) or single slide configuration.

BREAKOUT: (System is disabled when panels breakout)



- Fiberglass Reinforced Toothed Timing Belt
- Maximum Panel Weight - Up to 400lb (with heavy duty option)
- Door Panels : Glass, Aluminum, Wood, Metal or Custom
- Speed Range: (based on size & weight of the door)
 - Opening Speeds — .5' - 2.5' per sec.
 - Closing Speeds — .5' - 1.5' per sec.
- Clear Door Opening Typical Width: 3' - 6'

Door packages are custom manufactured to fit your job requirements. For sizes greater or smaller than typical, contact your authorized Stanley Access Technologies Sales Representative.

HEADER SIZE: 8" (203mm) high x 6" (152mm) deep
TYPICAL HEIGHT: 7'-8" (2.3m), clear door opening of 6'-11" (2.1m)
TYPICAL WIDTH: Single Slide: 7' to 9' (2.1m to 2.7m), clear door opening width of 35-1/2" to 47-1/2" (901mm to 1206mm). Bi-Part: 10' to 14' (3m to 4.2m), clear door opening width of 48" to 72" (1219mm to 1828mm)
TYPICAL DOOR PANEL WEIGHT: up to 220 pounds each (100kg)
DRIVE SYSTEM: 1/4 HP DC motor, gear drive, toothed belt
CONTROLLER: microprocessor based, safety logic, watchdog LED
SENSORS: 2 for motion (switchable between uni-directional and bi-directional) and 1 Stan-Guard® and doorway holding beam for safety. Stan-Vision™ Digital Video Cameras Optional. Mats, wallplates, radio control optional.
BREAKOUT: SX panel on the 2000, SX and SO panels on the 3000
POWER REQUIRED: 120 VAC, 5 amps min.
CODE COMPLIANCE: UL, cUL, ANSI A156.10, UBC, BOCA, ICBO, NFPA 101

MICROPROCESSOR CONTROLLER:

- Adjustable Opening & Closing Speed
- Adjustable Distance & Speed of Breaking
- Adjustable Reduced Opening
- Adjustable Time Delay
- Auto Reverse on Obstruction
- Slow Speed Search for Obstruction

DRIVE SYSTEM:

- 1/4 HP DC Gear Driven Motor
- Twin 1/4 HP DC Gear Driven Motors (Optional)

Service & Installation

Rely on the Stanley expertise and experience gained from thousands and thousands of installations worldwide.

Stanley Access Technologies designs, manufactures and markets automatic door systems worldwide.

For more than 70 years, we have set the global standard for smooth, quiet operation, user safety, design flexibility, quality, reliability and ease of installation. Our service force is North America's largest and most comprehensive network devoted to the installation and maintenance of automatic door systems. This network combines the global resources of Stanley with the unmatched customer responsiveness of local organizations to ensure every door we sell and install provides our customers with worry-free operation.

For Service, Call Stanley Toll Free: 1-800-7-ACCESS (1-800-722-2377)

Stanley Access Technologies, LLC
 Stanley Security Solutions Product Group

Customer Care: 1-800-7-ACCESS (1-800-722-2377)
www.stanleyaccesstechnologies.com



Security Solutions



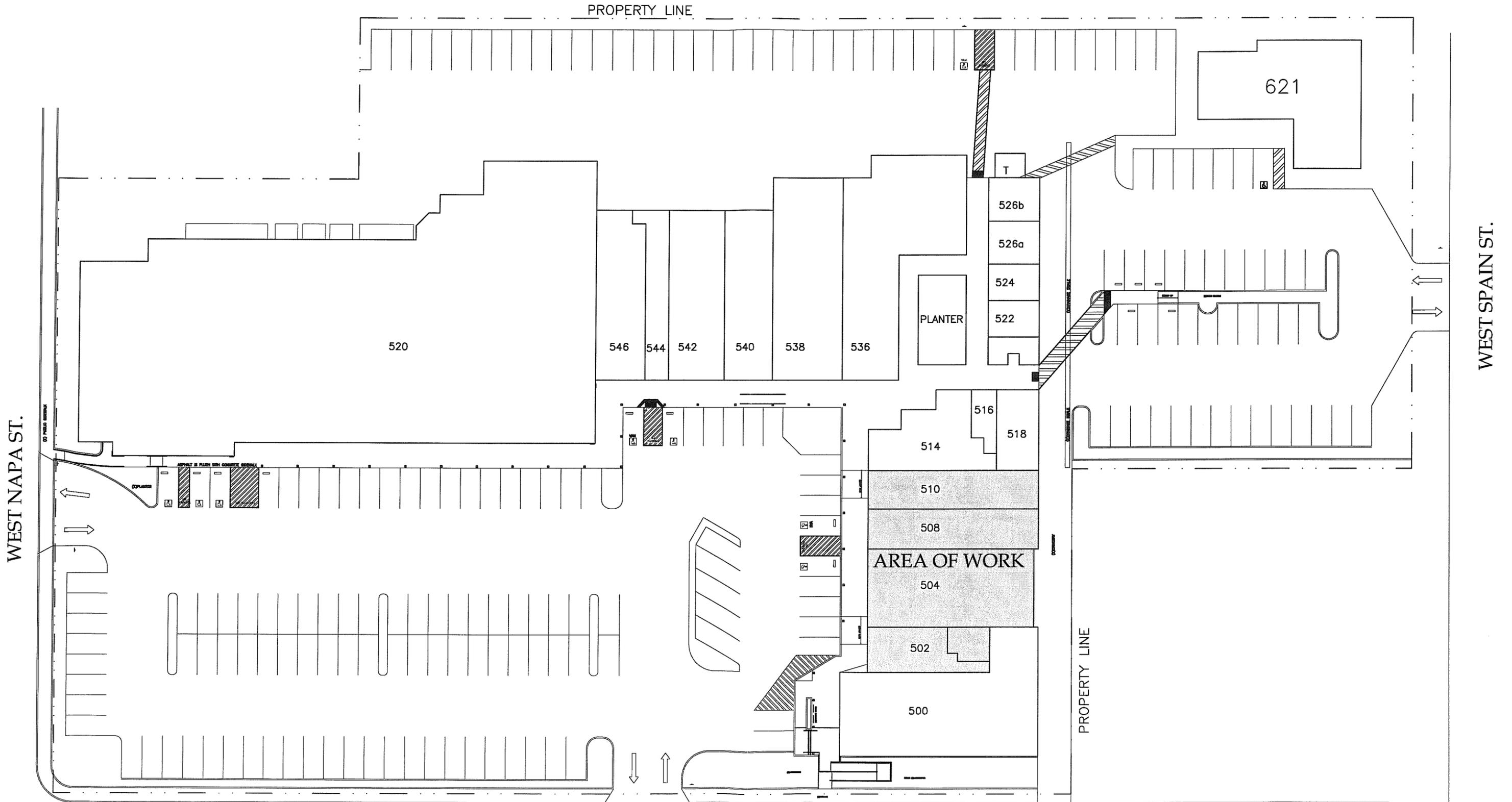
©2007 Access Technologies Printed in U.S.A. AT 9708 3/07



Stanley Automatic Door Systems - the safest, most cost effective solutions available today.

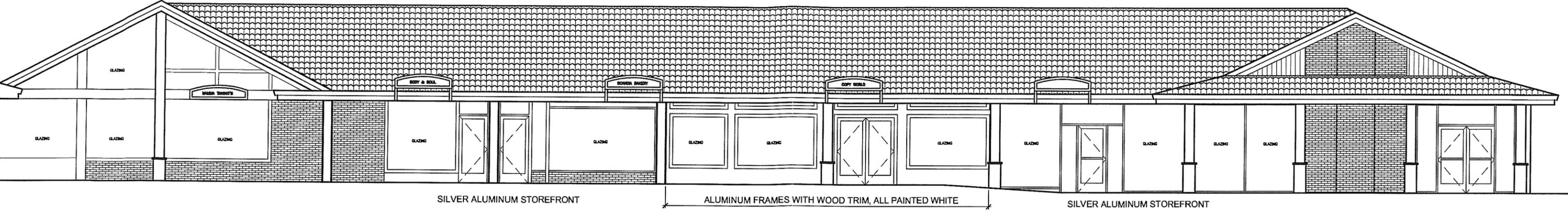
STANLEY

SONOMA VALLEY CENTER
500 WEST NAPA STREET
SONOMA, CA 95476

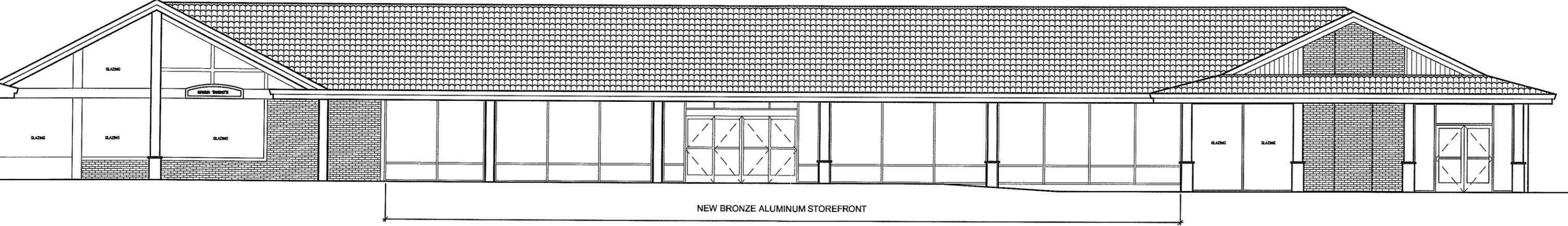


JAN 16 2014

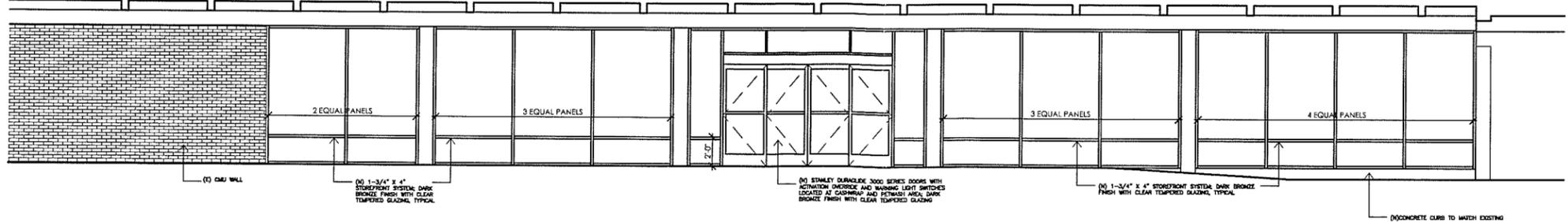
FIFTH ST. WEST



EXISTING SOUTH ELEVATION



PROPOSED NEW SOUTH ELEVATION



PROPOSED NEW BRONZE ALUMINUM STOREFRONT

**SONOMA VALLEY CENTER
500 WEST NAPA STREET
SONOMA, CA**

PROPOSED COLOR FOR DOOR & WINDOW FRAMES

DARK BRONZE ALUMINUM





City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 6
Meeting Date: 02/25/14

Applicant	Project Location
Kevin Fay (Studebaker Cheese Cake)	248 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)
Year Build (1941)

Request

Consideration of new paint colors for a Bakery (Studebaker Cheese Cake) located at 248 West Napa Street.

Summary

Design Review: A new color scheme has been put forward for the Design Review and Historic Preservation Commission's (DRHPC) consideration. The building walls are proposed to be painted Benjamin Moore Buckingham gardens (545), Trim A is proposed to be painted Benjamin Moore veranda view (541), Trim B is proposed to be painted Benjamin Moore black beauty (2128-10), and the accent color around the front door is proposed to be painted Benjamin Moore red parrot (1308). Color samples are attached and a color board will be presented by the applicant at the upcoming DRC meeting. As an alternate paint proposal for the DRHPC's consideration, the applicant is proposing to paint the building walls Benjamin Moore grasslands (502), Trim A is proposed to be painted Benjamin Moore guilford green (HC-116), Trim B is proposed to be painted Benjamin Moore black beauty (2128-10), and the accent color around the front door is proposed to be painted Benjamin Moore Tucson red (1300).

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative.*
2. *Paint color samples.*

cc: Kevin Fay
 248 West Napa Street
 Sonoma, CA 95476

Gordenker Turkey Farm
P.O. Box 341
Glen Ellen, CA 95442-0341

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

248 WEST NAPA STREET SONOMA CALIFORNIA 95476

TO WHOM IT MAY CONCERN:

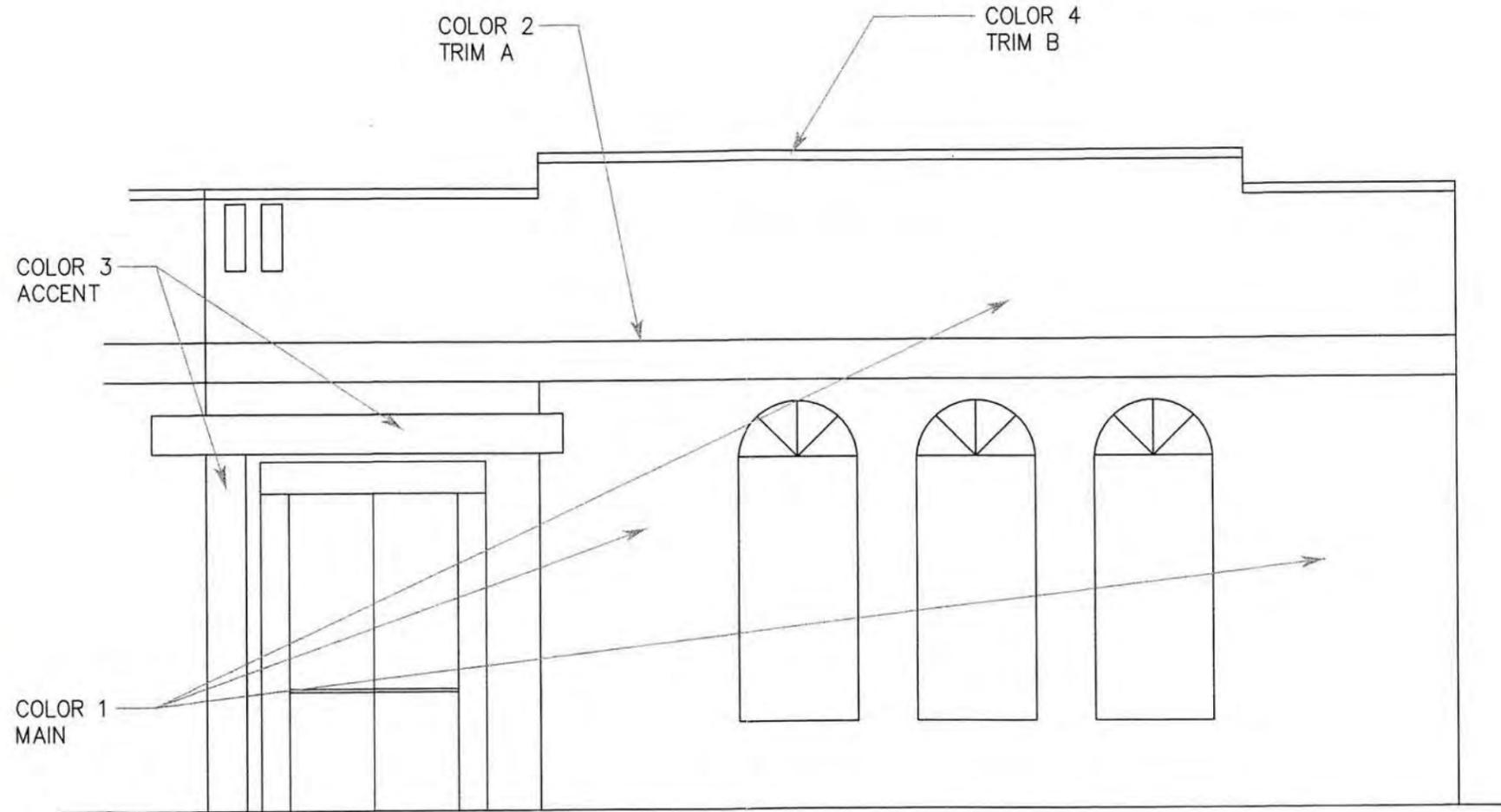
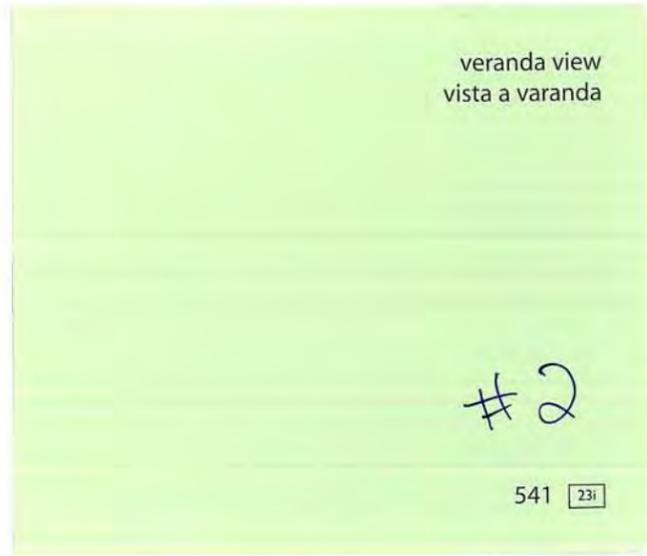
THIS APPLICATION IS TO SEEK APPROVAL FOR A COLOR CHANGE AT 248 WEST NAPA STREET. THE REASON FOR THE CHANGE IS TO CREATE A NEW ATMOSPHERE AND TO DRAW ATTENTION TO OUR LOCATION. RECENTLY WE HAVE BEEN RE-ORGANIZING, EXPANDING OUR MENU, AS WELL AS ADDING A NAME TO THE CURRENT BUSINESS.

WE HAVE CHOSEN COLORS THAT COMPLEMENT THE TOWN AND THE LOCATION. THE TONES ARE BRIGHT SO AS TO INFORM THE PUBLIC OF THE CHANGES WHILE REMAINING EARTHY IN ORDER TO FIT IN WITH EXISTING COLOR SCHEMES IN THE NEIGHBORHOOD.

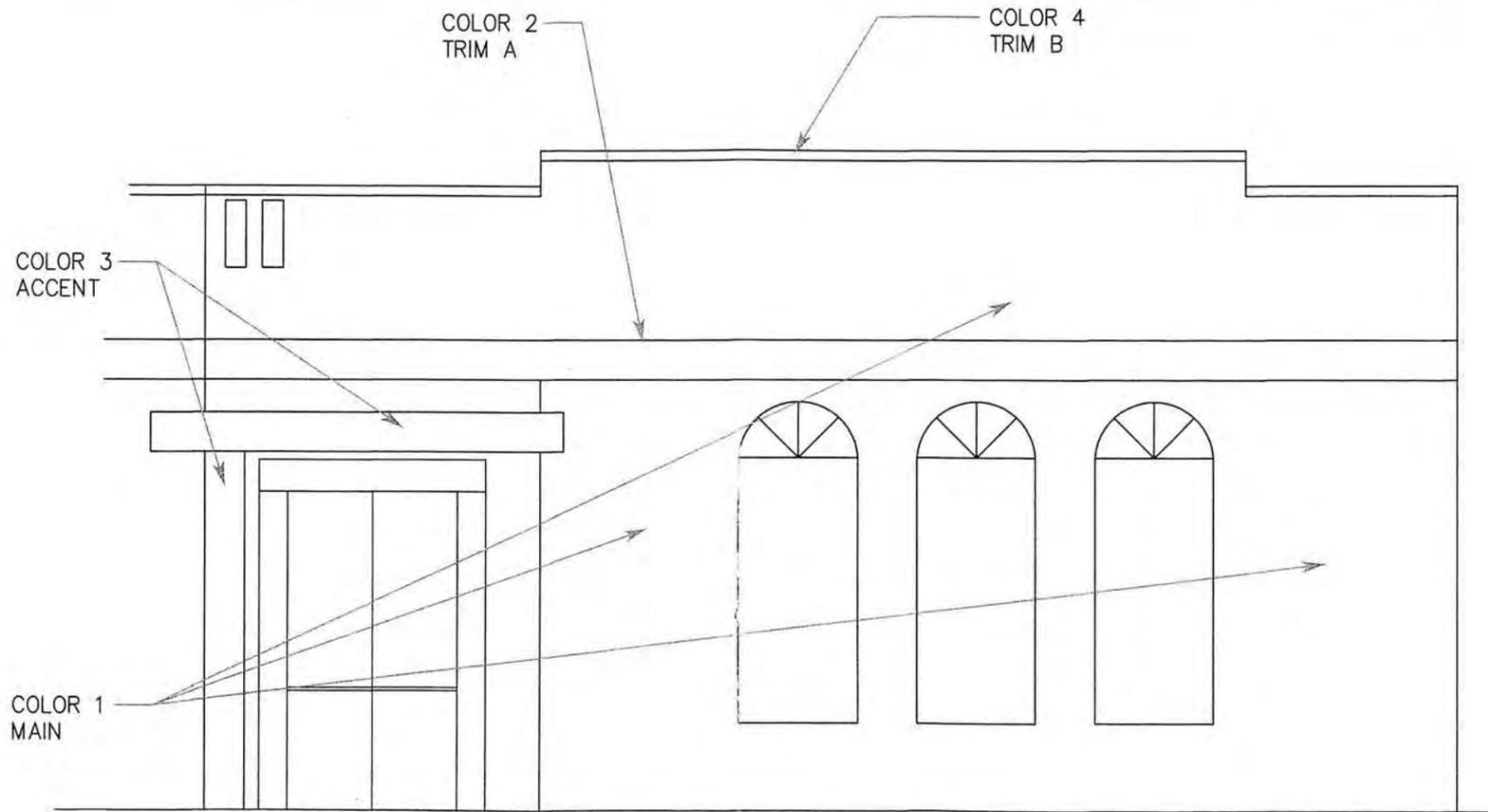
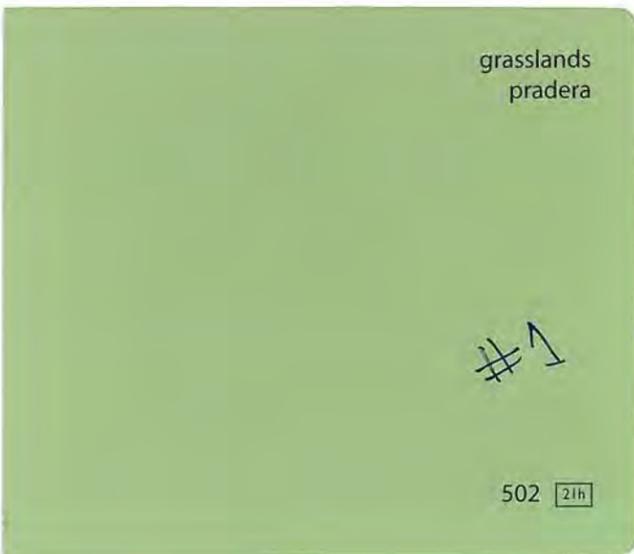
THE PROPOSED COLOR CHANGE WILL HAVE A POSITIVE IMPACT ON OUR BUSINESS. WITH A FRESH, NEW LOOK IN TANDEM WITH NEW LOCAL MARKETING AND ADVERTISING, PATRONS INTERESTED IN VISITING WILL FIND US EASILY AND SENSE THE CHANGES EVEN BEFORE THEY WALK THROUGH THE DOOR!

THANK YOU FOR YOUR CONSIDERATION.

JAN 21 2018



**PAINT PROPOSAL
JANUARY 21, 2014
248 WEST NAPA STREET SONOMA, CA**



**ALTERNATE PAINT PROPOSAL
JANUARY 21, 2014
248 WEST NAPA STREET SONOMA, CA**