



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Meeting of May 20, 2014 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Leslie Tippell, Chair

Commissioners: Tom Anderson
Kelso Barnett
Robert McDonald
Micaelia Randolph
Christopher Johnson (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of March 18, 2014 and April 15, 2014.

CORRESPONDENCE

ITEM #1 – Continued Sign Review	Project Location: 500 West Napa Street, Suites 502-510	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of a modification to a sign program (Sonoma Valley Center) for a commercial business (Pet Food Express).	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant: McDaniel and Associates	Zoning: Planning Area: West Napa/Sonoma Corridor	
Staff: Wendy Atkins	Base: Commercial (C) Overlay: None	
ITEM #2 – Sign Review	Project Location: 445 Second Street West	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of a new wall sign and a new monument sign for a bank (Wells Fargo).	General Plan Designation: Medium Density Residential (MR)	CEQA Status: Categorically Exempt
Applicant: David Ford	Zoning: Planning Area: Downtown District	
Staff: Wendy Atkins	Base: Medium Density Residential (R-M) Overlay: Historic (/H)	

<p>ITEM #3 – Sign Review</p> <p><u>REQUEST:</u> Consideration of a new monument sign for a medical building (Sonoma Valley Community Health Center).</p> <p><u>Applicant:</u> Sonoma Valley Community Health Center</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 19270 Sonoma Highway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> None</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #4 – Sign Review</p> <p><u>REQUEST:</u> Consideration of a new sign program for a shopping center (Sonoma Bowl Center).</p> <p><u>Applicant:</u> Old Bowl Center LLC</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 19310 and 19312 Sonoma Highway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> None</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #5 –Sign and Design Review</p> <p><u>REQUEST:</u> Consideration of a new awning and a new wall sign for a retail store (Bossa Nova).</p> <p><u>Applicant:</u> Architectural Signs and Associates</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 524 Broadway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p><u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #6 –Sign and Design Review</p> <p><u>REQUEST:</u> Consideration of sign review and design review for a retail store (G’s General Store).</p> <p><u>Applicant:</u> Sonoma Signs</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 19 West Napa Street</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p><u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>

ITEM #7 –Design Review	<u>Project Location:</u> 165 East Spain Street	<u>RECOMMENDED ACTION:</u>
<u>REQUEST:</u> Consideration of the design of Building 1, within the Mission Square development, a mixed use project featuring 3,514 sq. ft. of office space, 14 apartments, and associated parking and improvements.	<u>General Plan Designation:</u> Mixed Use (MU)	Commission discretion.
<u>Applicant:</u> Marcus and Willers Architects	<u>Zoning:</u> <u>Planning Area:</u> Downtown District	<u>CEQA Status:</u> Categorically Exempt
Staff: David Goodison	<u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)	
ITEM #8 –Design Review	<u>Project Location:</u> 171 West Spain Street	<u>RECOMMENDED ACTION:</u>
<u>REQUEST:</u> Consideration of new exterior paint colors for a bed and breakfast facility (An Inn to Remember).	<u>General Plan Designation:</u> Medium Density Residential (MR)	Commission discretion.
<u>Applicant:</u> Darci Reimund Designs	<u>Zoning:</u> <u>Planning Area:</u> Downtown District	<u>CEQA Status:</u> Categorically Exempt
Staff: Wendy Atkins	<u>Base:</u> Medium Density Residential (R-M) <u>Overlay:</u> Historic (/H)	
ITEM #9 –Design Review	<u>Project Location:</u> 830 Broadway	<u>RECOMMENDED ACTION:</u>
<u>REQUEST:</u> Design review of a proposed addition to a residence.	<u>General Plan Designation:</u> Mixed Use (MU)	Commission discretion.
<u>Applicant:</u> Victor Conforti, Architect Staff: Wendy Atkins	<u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor	<u>CEQA Status:</u> Categorically Exempt
<u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)		
ITEM #10 –Design Review	<u>Project Location:</u> 563 Second Street East	<u>RECOMMENDED ACTION:</u>
<u>REQUEST:</u> Design review of a proposed addition to a residence.	<u>General Plan Designation:</u> Low Density Residential (LR)	Commission discretion.
<u>Applicant:</u> Wade Design Architects	<u>Zoning:</u> <u>Planning Area:</u> Central-East Area	<u>CEQA Status:</u> Categorically Exempt
Staff: Wendy Atkins	<u>Base:</u> Low Density Residential (R-L) <u>Overlay:</u> Historic (/H)	

<p>ITEM #11 – Design Review</p> <p><u>REQUEST:</u> Consideration of revised building elevation details and exterior colors and materials for a mixed-use building. (Williams-Sonoma)</p> <p><u>Applicant:</u> Bud Cope c/o Williams-Sonoma</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 599 Broadway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
--	---	--

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ELECTION OF OFFICERS

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on May 16, 2014.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 1

Meeting Date: 05/20/14

Applicant

McDaniel and Associates

Project Location

500 West Napa Street, Suites 502-510

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1959
-

Request

Continued consideration of a modification to an approved sign program (Sonoma Valley Center) for a commercial business (Pet Food Express) located at 500 West Napa Street, Suites 502-510.

Summary

Background: On June 19, 2012, the Design Review Commission approved a new sign program for a shopping center (Sonoma Valley Center). On February 25, 2014, the DRHPC continued the design review of external building modifications for Pet Food Express. On March 20, 2014, the DRHPC considered modifications to an approved sign program and external building modifications for Pet Food Express. The site plan, architectural review, and signs were approved as submitted with the following conditions:

1. The arcade and tenant signs shall be consistent in size and color with the approved sign program for the shopping center.
2. The applicant shall return to the DRHPC with additional information related to the Pet Food Express events and community boards.
3. The applicant shall return to the DRHPC with a revised proposal for the larger roof sign. It was recommended that the revised proposal include an A-board gable end wall similar to the roof element at Sonoma Market.

Sign Review: At this time the applicant has submitted a revised proposal for the larger roof sign and is proposing two tenant roof signs.

Larger roof sign: The applicant is proposing one externally illuminated one-sided roof sign. The roof sign is 14 feet wide by 4 feet tall (56 square feet in area). Copy on the signs would consist of red and orange lettering on a white background. In terms of construction, the sign would employ a steel frame and a wire background including a 1/8 inch aluminum frame. Illumination is proposed in the form of four external light fixtures that would match the existing light fixtures the DRHPC previously approved for the Sonoma Valley Center. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Tenant roof signs: The applicant is proposing two tenant roof signs. The proposed signs are consistent with the approved sign program with the exception of the following: 1) two signs are proposed for one tenant; and, and the color of the face of the sign is not consistent with the approved color (white). The applicant is proposing a green colored sign face with white lettering.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Site plan and elevations*

cc: McDaniel and Associates
 P.O. Box 2745
 Antioch, CA 94531

 Sonoma Valley Center LLC
 P.O. Box 2745
 Antioch, CA 94531-2745

McDaniel and Associates

PO Box 2745, Antioch CA 94531
Tel: (925) 757-9910 • Fax: (925) 281-9273
Email: SusanneHouston@aol.com

April 22, 2014

Design Review and Historic Preservation Commission
City of Sonoma
No 1 The Plaza
Sonoma CA 95476

RE: Pet Food Express Letter of Authorization

DRHPC:

This letter authorizes Pet Food Express (PFE) and its' authorized agents to submit plans to DRHPC for an exemption to the approved signage program at Sonoma Valley Center. Specifically, PFE is authorized to request to install a larger than standard roof top sign approximately centered above suites 502-510, where PFE will be located within the shopping center. Said sign is to be the same size, including metal frame, as the wall sign above Sonoma Market's entry. The sign frame is to be attached directly to the roof directly above the storefront structural beam. Additionally, PFE is authorized to request that two roof top signs stating services also be allowed. These signs would be the same size as existing roof top signs and would be placed at locations along the roofs edge where current roof top tenant signs are located.

Please feel free to contact me with any questions or concerns.

Thank you,



Susanne Houston
Secretary / Treasurer
Sonoma Valley Center, LLC

APR 23 2014

City of Sonoma

Sonoma Sister Cities:

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan Egypt
Chambolle-Musigny France
Greve Italy
Kaniv Ukraine
Patzcuaro Mexico
Penglai China
Tokaj Hungary

March 20, 2014

Pet Food Express
C/O Carol Davis
500 85th Avenue
Oakland, CA 94621

Subject: Continued consideration of a modification to an approved sign program and external building modifications for a commercial business (Pet Food Express) located at 500 West Napa Street, suites 502-510 (APN: 018-431-006).

Dear Ms. Davis:

On Tuesday, March 18, 2014, the Design Review and Historic Preservation Commission (DRHPC) considered the modifications to an approved sign program and external building modifications for a commercial business (Pet Food Express) located at 500 West Napa Street, suites 502-510. After discussion and public testimony, the DRHPC voted 5-0 to approve the site plan, architectural review, and signs as submitted with the following conditions:

1. The arcade and tenant signs shall be consistent in size and color with the approved sign program for the shopping center.
2. The applicant shall return to the DRHPC with additional information related to the Pet food Express events and community boards.
3. The applicant shall return to the DRHPC with a revised proposal for the larger roof sign. It was recommended that the revised proposal include an A-frame gable end wall similar to the roof element at Sonoma Market.

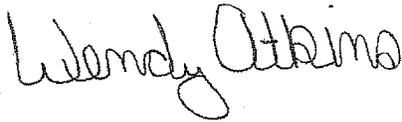
In addition, please submit a Sign Application for all window signs (including My Mutts signs). The cutoff date for the May 20, 2014, DRHPC meeting is April 22, 2014.

In addition to the requirements of this title, all signs shall be in conformance with the applicable requirements of the 2013 California Building Code and where required by the 2013 California Building code, shall obtain a building permit prior to installation.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2204.

APR 23 2014

Sincerely,

A handwritten signature in cursive script that reads "Wendy Atkins".

Wendy Atkins
Associate Planner

cc: McCall Design Group
Attn: Ken Moy
550 Kearny Street, Suite 950
San Francisco, CA 94108

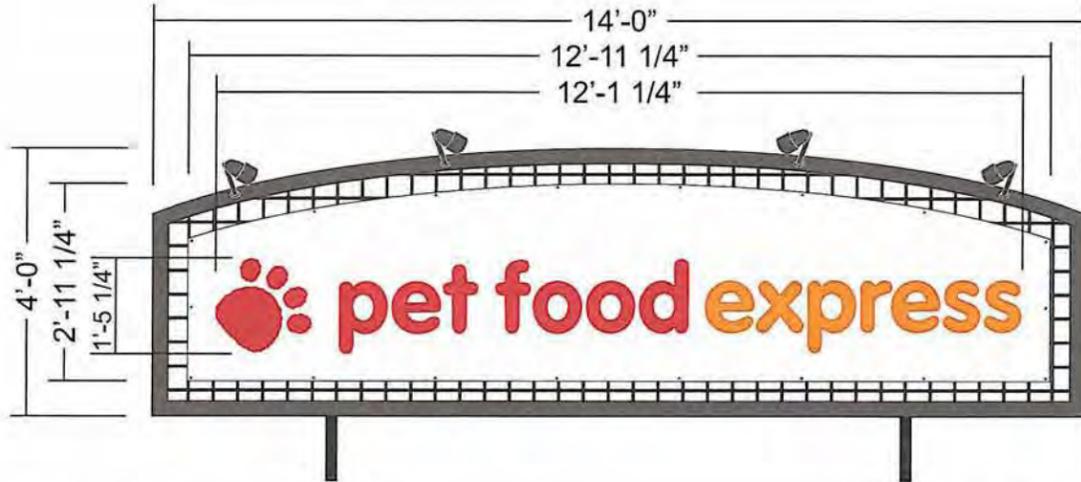
Michael Palmer
141 toney Circle # 225
Santa Rosa, CA 95401

Susanne Houston
Sonoma Valley Center, LLC
P.O. Box 2745
Antioch, CA 94531

96'-10" +/- frontage



West Elevation - Scale: 1/8" = 1'-0"



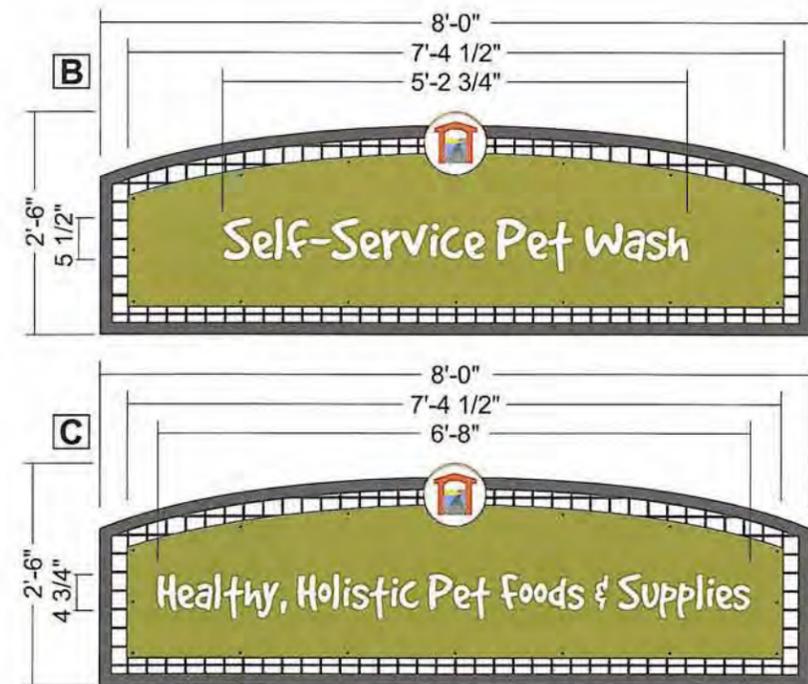
Side View

A Wall Sign Scale: 3/8" = 1'-0"

Manufacture and install one (1) set of externally-illuminated F.C.O. letters on new sign panel to match existing.

Description	Specification/Material	Finish	Color
Frame	Alum. sq. tube	ptd. - satin	Dark Bronze (match existing)
Mesh	Wire mesh	ptd. - satin	Dark Bronze (match existing)
Panel	1/8" Aluminum	ptd. - satin	White
Letters	1/4" Acrylic F.C.O.	ptd. - satin	logo/"pet food" = PMS 1805 C "express" = PMS 144 C
Illumination	External lamps (x4)	Match existing	Dark Bronze (match existing)

NOTE:
 *Fixtures welded to sign frame.
 *Surface brightness less than 100 ft. lamberts

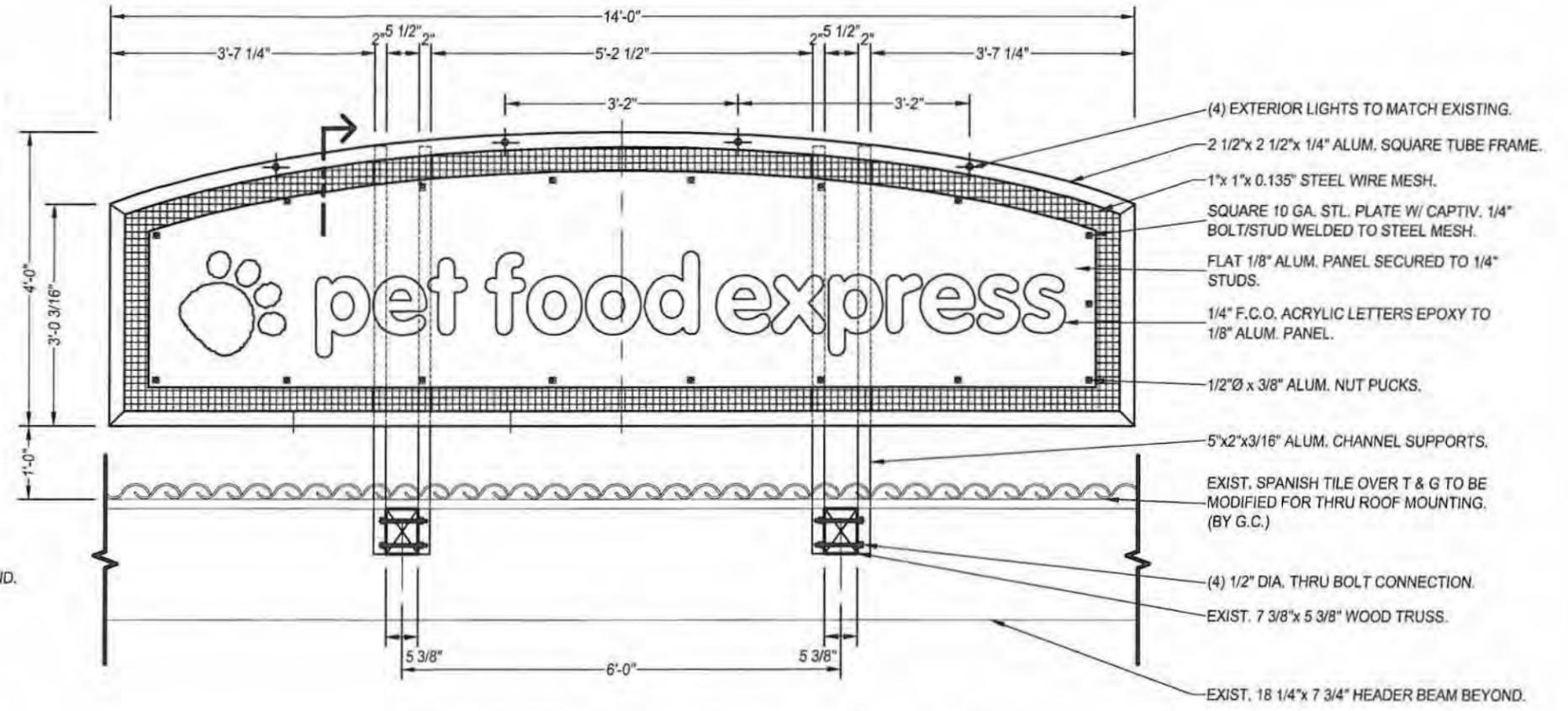
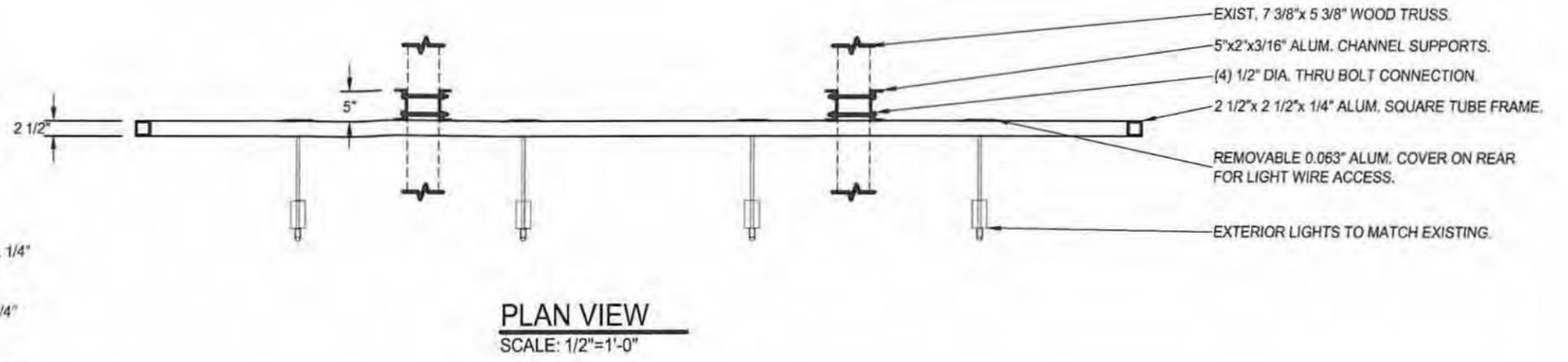
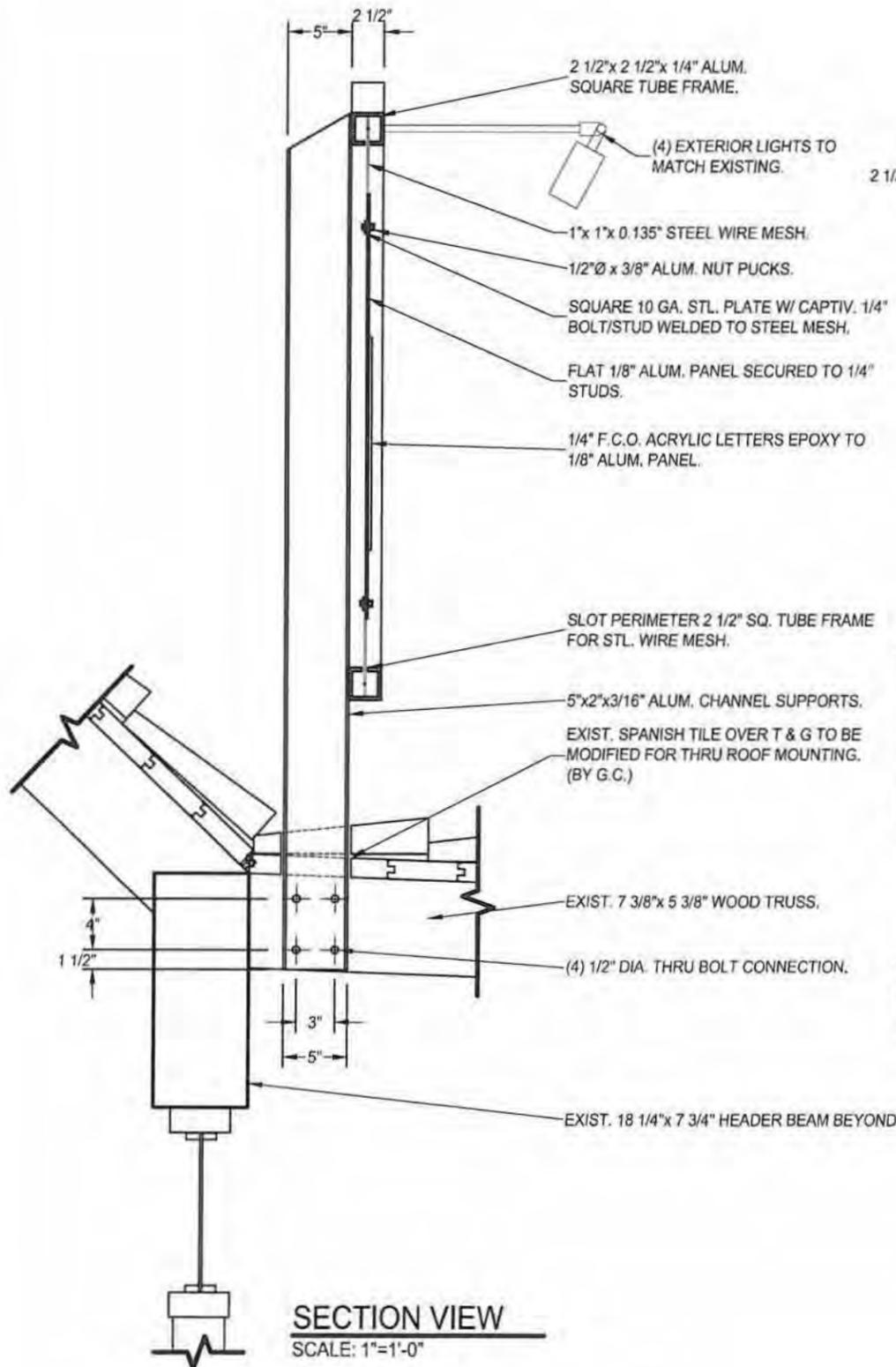


B Tenant Signs Scale: 1/2" = 1'-0"

C Manufacture and install two (2) sets of non-illuminated F.C.O. letters for two (2) existing single faced tenant signs.

Description	Specification/Material	Finish	Color
Panel	1/8" Aluminum	ptd. - satin	Spring Fancy KM 3424-5
Copy	1/2" White acrylic	ptd. - satin	White
Structure & light fixtures	Existing to remain		

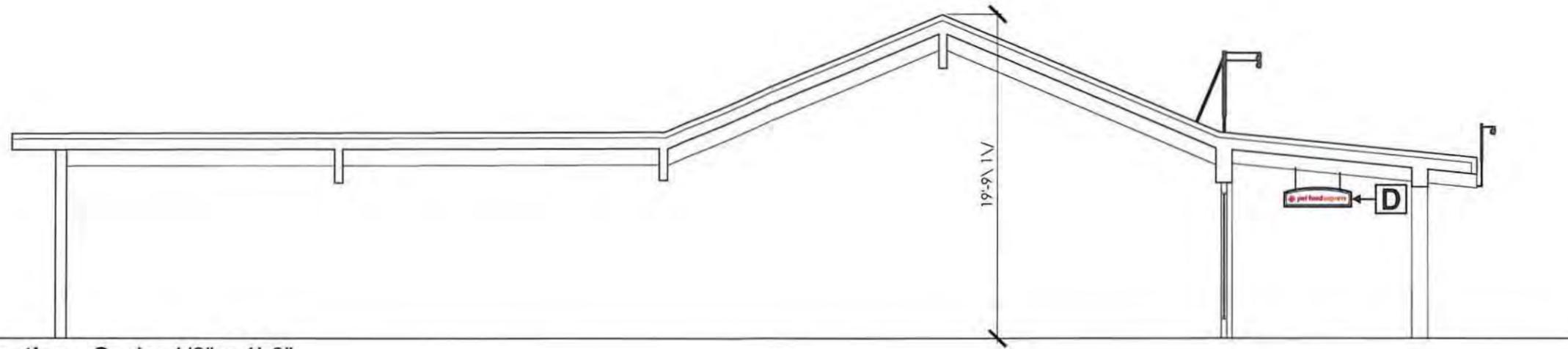
NOTE: Existing signs to be relocated as necessary.



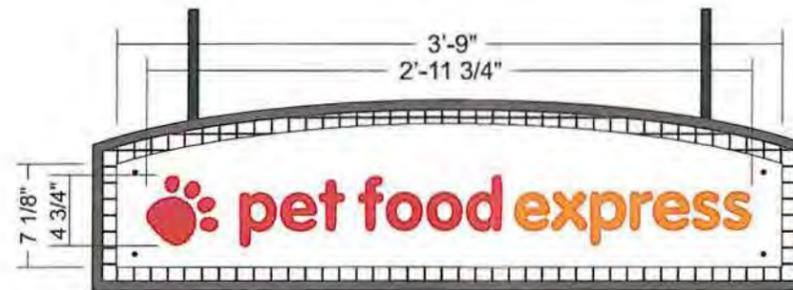
NOTE:
ELECTRICAL SERVICE TO DISPLAY LOCATION TO BE DETERMINED.

MFR. (1) S/F DISPLAY.

NOTE: ALL GROUND WIRE CONNECTIONS TO BE WITH # 10-32 GREEN MACHINE SCREW. ALL INTERNAL WIRING TO BE IN 1/2" FLEX CONDUIT.



Building section - Scale: 1/8" = 1'-0"

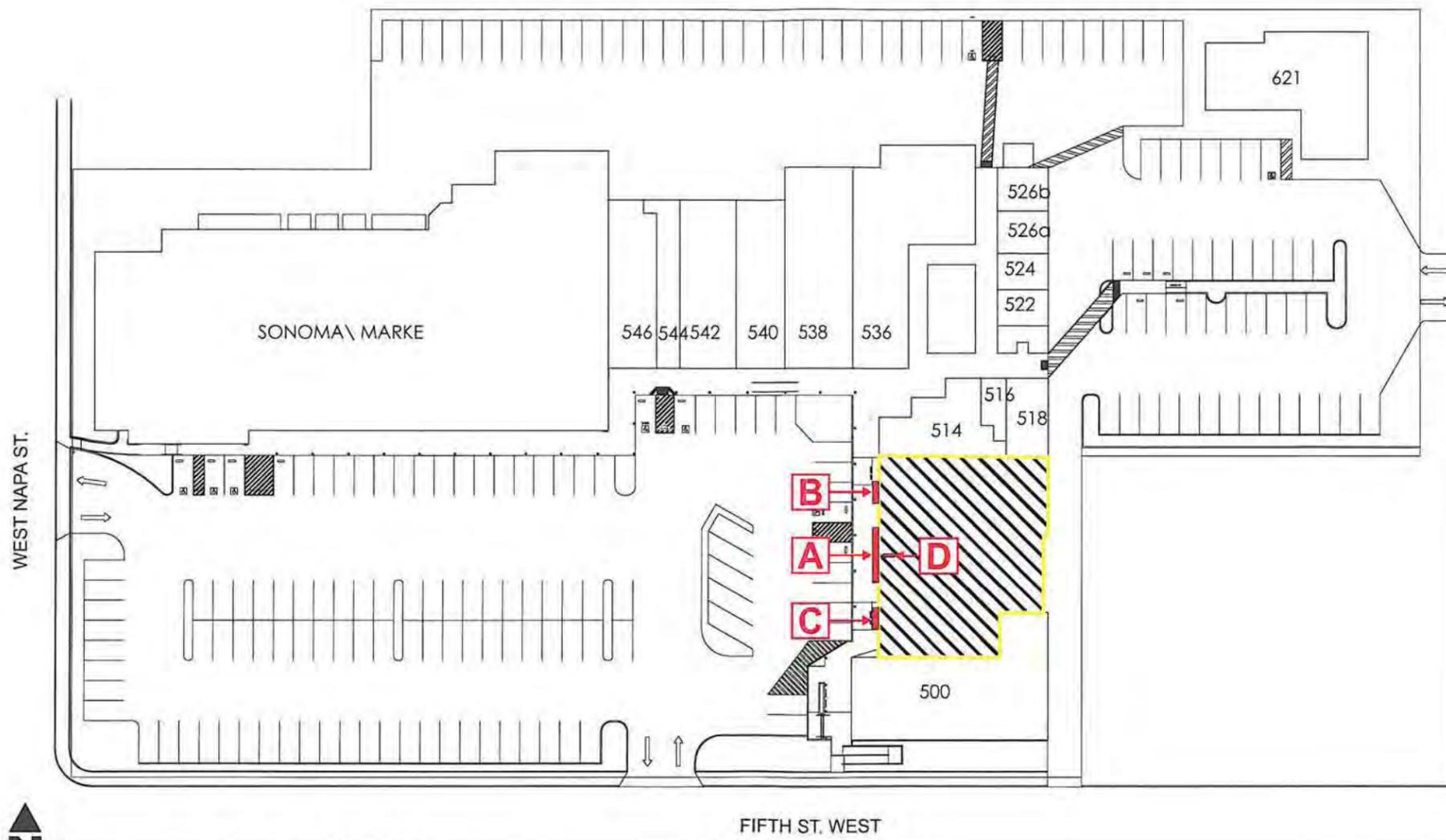


D Arcade Sign Scale: 1" = 1'-0"

Manufacture and install two (2) sets of non-illuminated F.C.O. letters for one (1) existing double face arcade under canopy sign.

Description	Specification/Material	Finish	Color
Panel	1/8" Aluminum	ptd. - satin	White
Copy & logo	1/4" White acrylic	ptd. - satin	logo/"pet food" = PMS 1805 C "express" = PMS 144 C
Structure	Existing to remain		

NOTE: Existing signs to be relocated as necessary.



N
Site Plan - Scale: 1/64" = 1'-0"



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

**DRHPC Agenda
Item: 2**

Meeting Date: 05/20/14

Applicant

David Ford

Project Location

445 Second Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built: 1937

Request

Consideration of a new wall sign and a new monument sign for a bank (Wells Fargo).

Summary

Wall sign: A one-sided wall sign is proposed on the east facing elevation facing Second Street West. The proposed sign is 1.25 square feet in area (1.5 feet tall by 10 inches wide). The sign would consist of an aluminum base plate with vinyl lettering. Copy on the sign would consist of black lettering on a white background. Proposed at the top of the sign is the Wells Fargo logo background (red background yellow text) and the Home Mortgage logo (grey background with white text).

Wall Sign Regulations (§18.20.180): Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

Monument Sign: A new, two-sided monument sign 19.15 square feet in area per side (3.83 feet tall by 5 feet wide) is proposed in front of the building on the Second Street West frontage. The sign would be located perpendicular to Second Street West, south of the driveway entrance. The base of the sign would consist of a painted wood veneer material to match the building and the sides of the sign would be painted to match the building. The sign cabinet would consist of a fabricated painted aluminum frame with a flexible substrate face. Illumination is not proposed

Aggregate Sign Area: Based on the property's frontage on Second Street West (50 feet), the maximum aggregate sign area allowed for the parcel is 26 square feet. The total aggregate sign area for the property would be ±30.5 square feet, including the proposed wall sign and monument sign. It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this requirement.

Monument Sign Regulations (18.20.120): Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of any vehicular right-of-way and not over any part of the public pedestrian walkway. The proposal is consistent with this requirement.

Size Limitations: Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is consistent with this requirement in each face would have an area of 19.15 square feet.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with these requirements.

Variances: The proposal would exceed the aggregate sign area allowed for the parcel. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Sight plan*
3. *Sign drawing*

cc: David Ford
124 Allimore Court
Roseville, CA 95747

Diane Gamba
19449 Franquelin Place
Sonoma, CA 95476-6353

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

WELLS FARGO SIGNAGE – 445 2nd Street West.

This is a new location for Wells Fargo Home Mortgage and we are proposing to install one new monument sign and one new wall plaque at this site.

The monument sign would measure 5' in height from grade to the top of the sign and would have a width of 3'-10" for a total area of 19 square feet. The base of the sign would use a similar material as on the building and the sides of the sign would be painted to match the building. The face of the sign would display the standard Wells Fargo logo and colors and the Home Mortgage tagline to identify this as a non-bank site. The sign would not be illuminated.

The wall plaque would measure 1'-7" high and 10" wide for a total area of 1.3 square feet. The wall plaque is made of aluminum and would display the Wells Fargo logo at the top as well as the hours of operation and other relevant information on the bottom portion of the sign. The plaque would be non-illuminated.

The signs have been designed for this site based on its location, neighboring signage, and the construction of the building which limits the areas where signage could be placed. The use of Wells Fargo's corporate colors on the monument sign and wall sign is important in allowing them to maintain their brand and clearly identify this as a Wells Fargo location.



Before



After

BE # 12345
Wells Fargo Home Mortgage
445 2nd St. West
Sonoma, CA
Leased Site



CODE & BRANDING UTILIZATION

Ground Signs	Allowed by Code	Currently Installed	Current % Utilized	Proposed	Proposed % Utilized	Δ (%Delta)
Height (ft.):	12'	0	N/A	5'	42%	N/A
Number:	1	0	N/A	1	100%	N/A
Square Footage (ft.):	32	0	N/A	19	60%	N/A

Wall Signs	Allowed by Code	Currently Installed	Current % Utilized	Proposed	Proposed % Utilized	Δ (%Delta)
Height (ft.):	N/A	N/A	N/A	N/A	N/A	N/A
Number:	N/A	N/A	N/A	N/A	N/A	N/A
Square Footage (ft.):	N/A	N/A	N/A	N/A	N/A	N/A

Total Signage	Allowed by Code	Currently Installed	Current % Utilized	Proposed	Proposed % Utilized	Δ (%Delta)
Number:	1	0	N/A	1	100%	N/A
Square Footage (ft.):	32	0	N/A	19	60%	N/A

% Delta is calculated: proposed signage / current signage ↗

Ground Signs

New: 1 Remove Only:

Net Change +/-: +1

Wind Load: N/A

Disclaimer: For wind-speeds in specific regions of the country it may be necessary to have engineered drawings completed at an additional charge.

Wall Signs

Existing: NONE

New: N/A Remove Only: N/A

Net Change +/-: +2

All Secondary Signs

Existing: N/A

New: N/A Remove Only:

Net Change +/-: N/A

Additional Code Information

Directional Information: N/A	Height Allowed: N/A	Number Allowed: N/A
Window Signage Count Against Sq. Ft.: N/A	Yes/No: N/A	% of Window Allowed to be Used.: N/A
Set Back Restrictions: 6'	Pylon: N/A	Directional: N/A
Permit Information: N/A	Contact: Website	Cost: Varies based on value
Other: N/A	Cost to Renew: Not Specified	Expiration Date: not specified
		Sq. Ft. Allowed: N/A

Branding Rationale / Comments

Medium Density Residential Zone, No Illuminated Signs. Aggregate Sign Area.

Primary Street Frontage. For the first 30 feet of primary frontage of the parcel, the allowable aggregate sign area shall be three square feet of sign area for each five lineal feet of primary frontage. For primary frontage of more than 30 feet, two additional square feet of sign area shall be permitted for each five lineal feet of primary frontage in excess of 30 feet.



Designer: Jerson Rosales
Date: 02.25.14
Revisions:
x Jerson Rosales 03.27.14
x Jerson Rosales 02.26.14
x Jerson Rosales 04.10.14
x Jerson Rosales 02.27.14
x Jerson Rosales 02.28.14

File Location:
AOS2\WFB\CA\Sonoma
445 2nd St. West
12345 445 2nd St. West 02.25.14.cdf

BE #: 12345
Address: 445 2nd St. West
City/State: Sonoma, CA

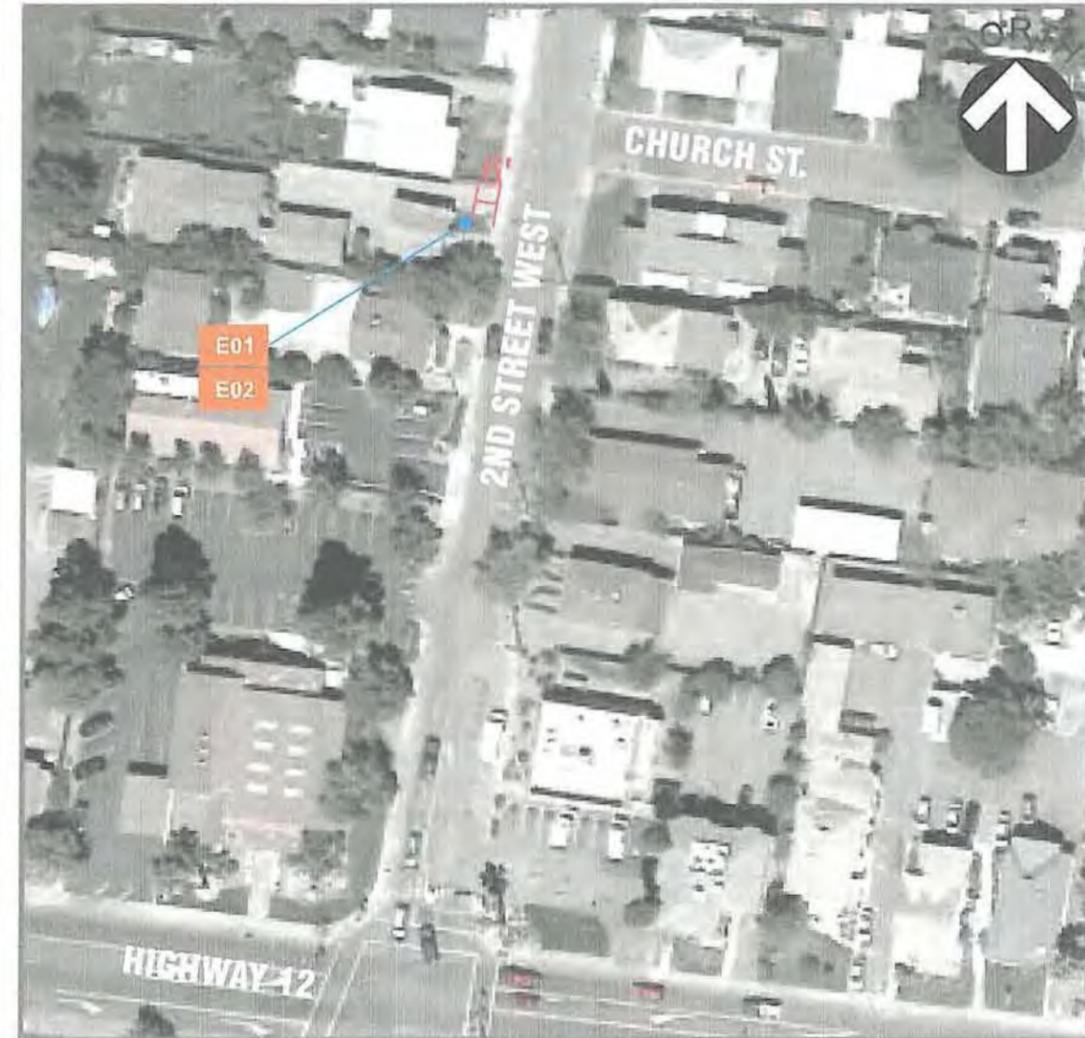
Approved By:
Date:

This design is the exclusive property of MINA-TREE SIGNS INCORPORATED. If it is loaned as part of an advertising or identification program being planned for you by MINA-TREE SIGNS INCORPORATED, it is requested that material is not to be altered or otherwise divulged until transferred by actual sale.

Exterior Site Plan #1

Notes: Monument sign is to have a minimum 6' setback from property line.

SIGN	EXISTING SIGN	SF	RECOMMENDED SIGN	SF	QTY
E01	NONE	N/A	WFHM-M-19	19	1
E02	NONE	N/A	Hours Plaque	1.32	1



Designer: Jerson Rosales
 Date: 02.25.14
 Revisions:
 x Jerson Rosales 03.27.14
 y Jerson Rosales 02.26.14
 x Jerson Rosales 04.10.14
 x Jerson Rosales 02.27.14
 x Jerson Rosales 02.28.14

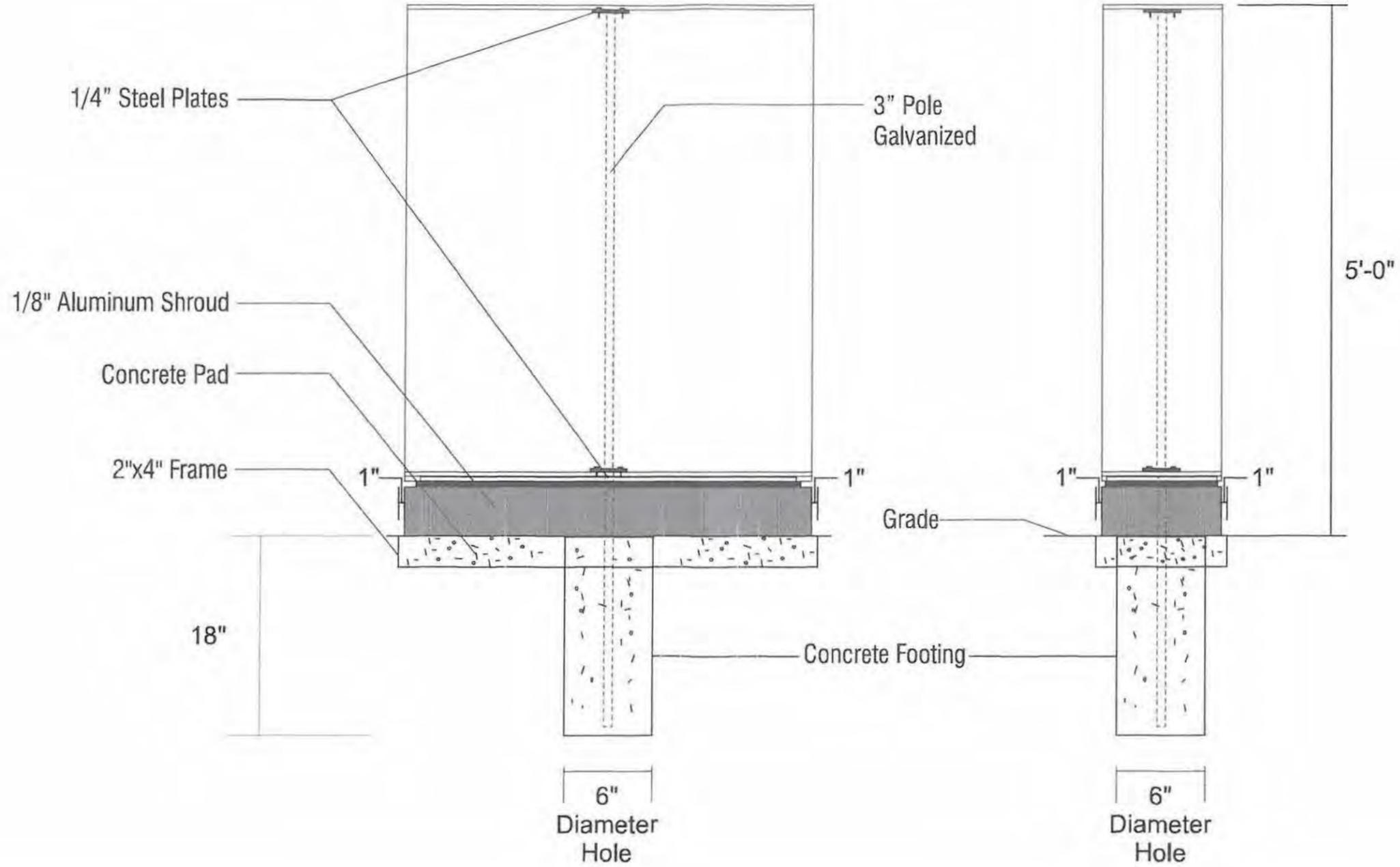
File Location:
 AOS2\WFB\CA\Sonoma\
 445 2nd St. West\
 12345 445 2nd St. West 02.25.14.cdr

BE #: 12345
 Address: 445 2nd St. West
 City/State: Sonoma, CA

Approved By: _____
 Date: _____

This design is the exclusive property of MINA-TREE SIGNS INCORPORATED. It is loaned as part of an advertising or identification program being planned for you by MINA-TREE SIGNS INCORPORATED. It is requested that material is not to be shown or otherwise divulged until transferred by actual link.

Double Face Non Illuminated Monument Sign - WFHM-M-19 (Footing Detail)



Designer: Jerson Rosales	Date: 02.25.14
Revisions:	x Jerson Rosales 03.27.14
x Jerson Rosales 02.26.14	x Jerson Rosales 04.10.14
x Jerson Rosales 02.27.14	x
x Jerson Rosales 02.28.14	x

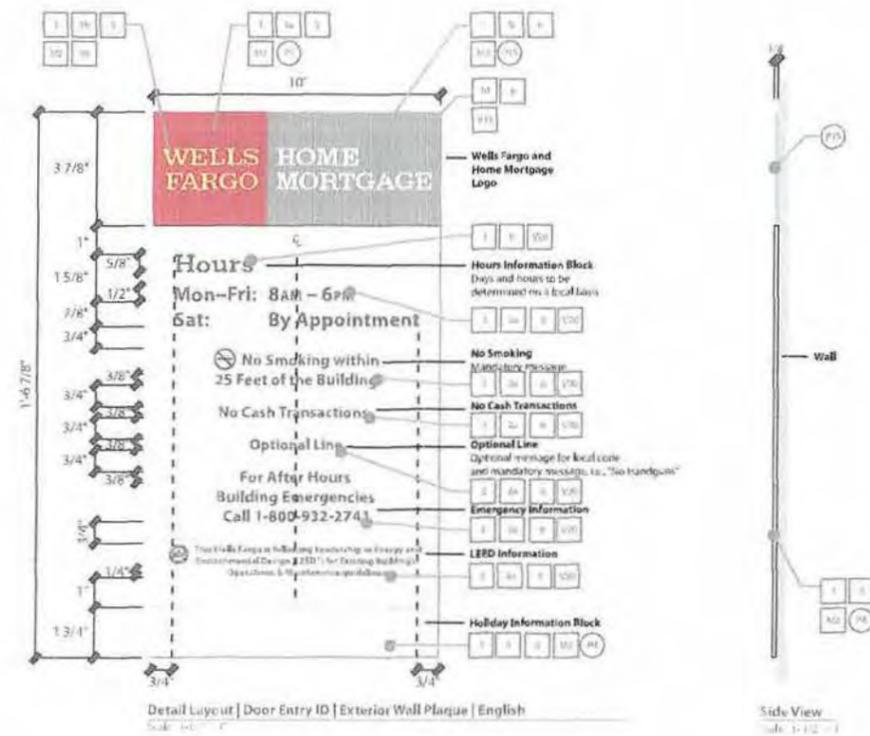
File Location:
 AOS2\WFB\CA\Sonoma\
 445 2nd St. West
 12345-445 2nd St. West 02.25.14.cdr

BE #: 12345
 Address: 445 2nd St. West
 City/State: Sonoma, CA

Approved By: _____
 Date: _____

This design is the exclusive property of MINA-TREE SIGNS INCORPORATED. It is loaned as part of an advertising or identification program being planned for you by MINA-TREE SIGNS INCORPORATED. It is requested that this material be not to be shown or otherwise divulged until transferred by actual bill.

Hours Plaque - Wall Mounted



Detail Layout | Door Entry ID | Exterior Wall Plaque | English
Scale: 1/8"=1'-0"

Side View
Scale: 1/8"=1'-0"

V6 Vinyl	Opaque Yellow 3M Scotchcal V68-14450	P1 Paint	Red with Clearcoat, Semi Gloss. Option 1: Matthews Paint MP55617 Option 2: Akzo Nobel SIGN20361
V15 Vinyl	White Opaque, Gray Adhesive 3M Con/obac 190-10	P4 Paint	White with Clearcoat, Semi Gloss. Option 1: Matthews Paint MP11172 Option 2: Akzo Nobel SIGN10328
V20 Vinyl	Opaque Warm Gray 3M Scotchcal 7715-0260	P13 Paint	White Semi Gloss, Exterior Option 1: Benjamin Moore Simply White OC-112 Option 2: Sherwin Williams Snowbound SW7004

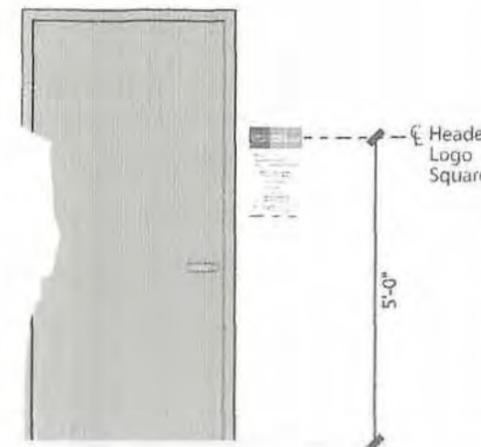


Before



Scale: 1/8"=1'-0"

1. BASE PLAQUE: 1/8" thick aluminum plaque, face and returns painted white, semi gloss with clearcoat.
- 1a. WELLS FARGO logo background square and returns painted Wells Fargo red, semi gloss with clearcoat.
- 1b. WELLS FARGO letters to be kiss-cut opaque yellow vinyl.
- 1c. HOME MORTGAGE logo background rectangle and returns painted Cool Gray, semi gloss with clearcoat.
- 1d. HOME MORTGAGE letters to be kiss-cut opaque white vinyl.
2. COPY: First surface applied kiss cut opaque vinyl letters.
- 2a. LEED, HOURS INFORMATION BLOCK, NO SMOKING, NO CASH TRANSACTIONS, OPTIONAL LINE, AND EMERGENCY INFORMATION COPY: Copy is set in Myriad Pro Bold, see diagrams for letter cap height. All copy is kiss cut opaque warm gray vinyl. LEED Information line leading is 29 point. Hours Information Block line leading is 63 point. NO SMOKING line leading is 48 point. Optional line leading is 48 point. Emergency Information line leading is 48 point.
3. HOURS COPY: Copy set in Archer Bold, see diagrams for letter cap height. Copy is kiss cut opaque warm gray vinyl.
4. HOLIDAY INFO BLOCK: To be white static cling with Warm Gray 11 copy.
5. MOUNTING: Wild threaded pins on back surface of plaque.
- 5a. Secure plaque with double faced foam tape 1/32" thick, white and clear silicone glue.
- 5b. No adhesive is to be visible.
6. Sign contractor to field verify mounting conditions prior to fabrication and report any discrepancies to designated Wells Fargo representative.
7. CHECK- ART WORK: Refer to digital files "13_WF+M_LOGO_DOORG", "09_WI_DOORG_NS", "09_WI_DOORG_PS", "09_WI_USCBC_MF+MFR_LOGO". NOTE: Alternate Suppliers - will be communicated by Wells Fargo in writing when it determines, in its sole discretion, that an alternate supplier is needed.



Elevation | Door Entry ID
Scale: N.T.S.



Designer: Jerson Rosales	Date: 02.25.14
Revisions:	x Jerson Rosales 03.27.14
x Jerson Rosales 02.26.14	x Jerson Rosales 04.10.14
x Jerson Rosales 02.27.14	x
x Jerson Rosales 02.28.14	x

File Location:
AOS2\WFB\CA\Sonoma
445 2nd St. West
12345 445 2nd St. West 02.25.14.cdr

BE #: 12345
Address: 445 2nd St. West
City/State: Sonoma, CA

Approved By: _____
Date: _____

This design is the exclusive property of MINA-TREE SIGNS INCORPORATED. It is loaned as part of an advertising or identification program being planned for you by MINA-TREE SIGNS INCORPORATED. It is requested this material is not to be shown or otherwise divulged until transferred by actual sale.



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 3

Meeting Date: 05/20/14

Applicant

Sonoma Valley Community Health Center

Project Location

19270 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: 1965
-

Request

Consideration of a new monument sign for a medical building (Sonoma Valley Community Health Center) located at 19270 Sonoma Highway.

Summary

Monument sign: A new, two-sided monument sign 48 square feet in area per side (6 feet tall by 8 feet wide) is proposed in front of the building on the Sonoma Highway frontage. The existing two-sided monument sign (30 square feet in area per side) will be removed. The sign would be located perpendicular to Sonoma Highway, north of the driveway entrance. In terms of construction, the base of the sign and the column would be constructed of a stucco material, the face of the sign would be constructed of an aluminum material with ½" thick push-thru acrylic letters with back lit LEDs. A decorative tile and decorative trim design is proposed between the sign face and the base of the sign. Copy on the sign would consist of blue lettering on a white background.

Illumination: Illuminated signs are considered generally inappropriate except for businesses that normally operate in the evening hours, which is the case for the Sonoma Valley Community Health Center. As indicated by the applicant, the sign would be illuminated with back lit LEDs from 8 a.m. to 10 p.m. daily, normal business hours are from 8 a.m. to 9 p.m. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Aggregate Sign Area: Based on the property's frontage on Sonoma Highway (200 feet), the maximum aggregate sign area allowed for the parcel is 86 square feet. The total aggregate sign area for the property would be ±72 square feet, including the proposed monument sign. The proposal is consistent with this requirement. It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021).

Size Limitations: Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is not consistent with this requirement in each face would have an area of 48 square feet. The applicant is requesting a variance from this requirement.

Sign Height: Monument signs are limited to a maximum height of 12 feet (§18.20.120). The proposed freestanding sign would have a maximum height of 6 feet.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with these requirements.

Variations: The proposal would exceed the size limitations for a two-sided sign (§18.16.022). The DRHPC may grant variations from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;

2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Sight plan*
3. *Sign drawing*

cc: Sonoma Valley Community Health Center
430 West Napa Street, Suite F
Sonoma, CA 95476

Robert Sanders & Co., via email

**Sign for
Sonoma Valley
Community Health
Center
Freestanding Sign**

19270 Sonoma Highway, Sonoma, CA

Client

Sonoma Valley Community Health Services

Sonoma, CA 95476
707) 939-6070

April 22, 1, 2014

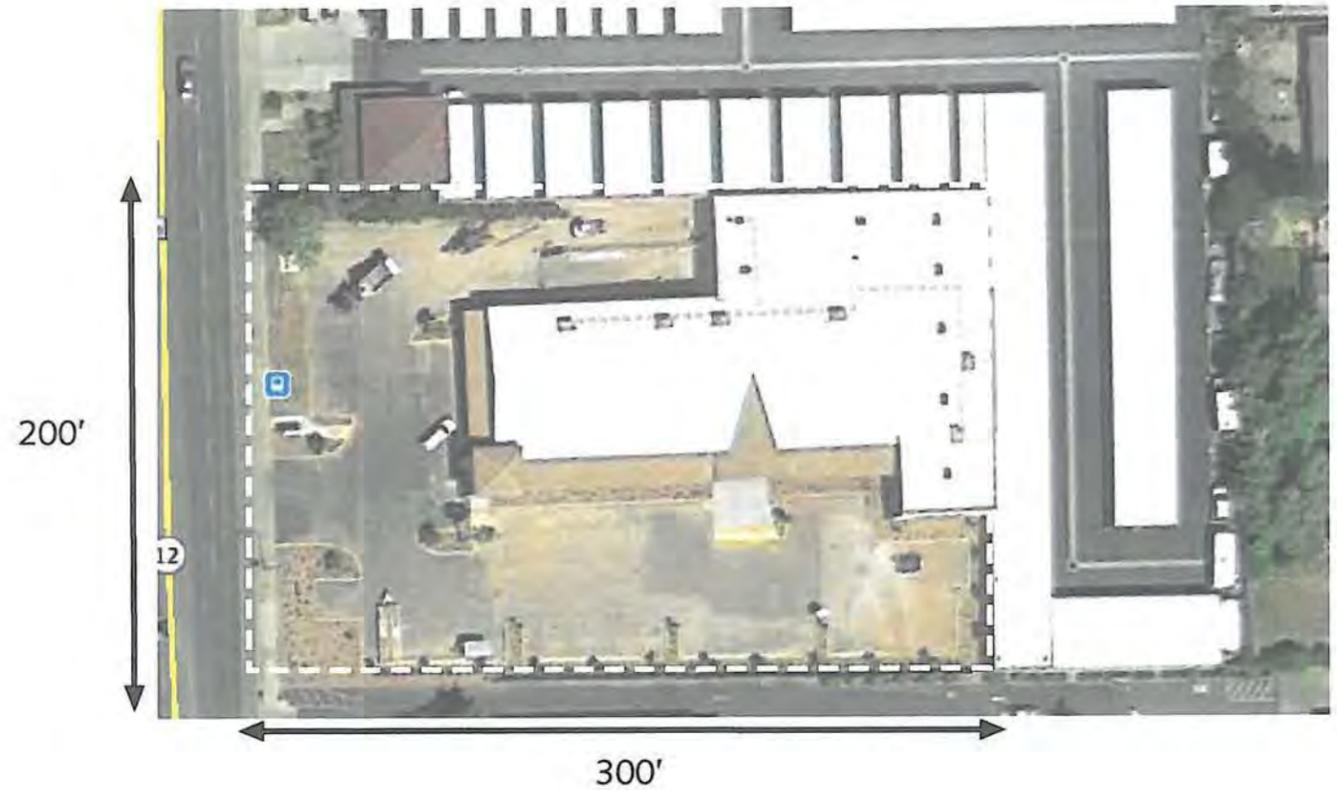
Project Consultant

Signage Design

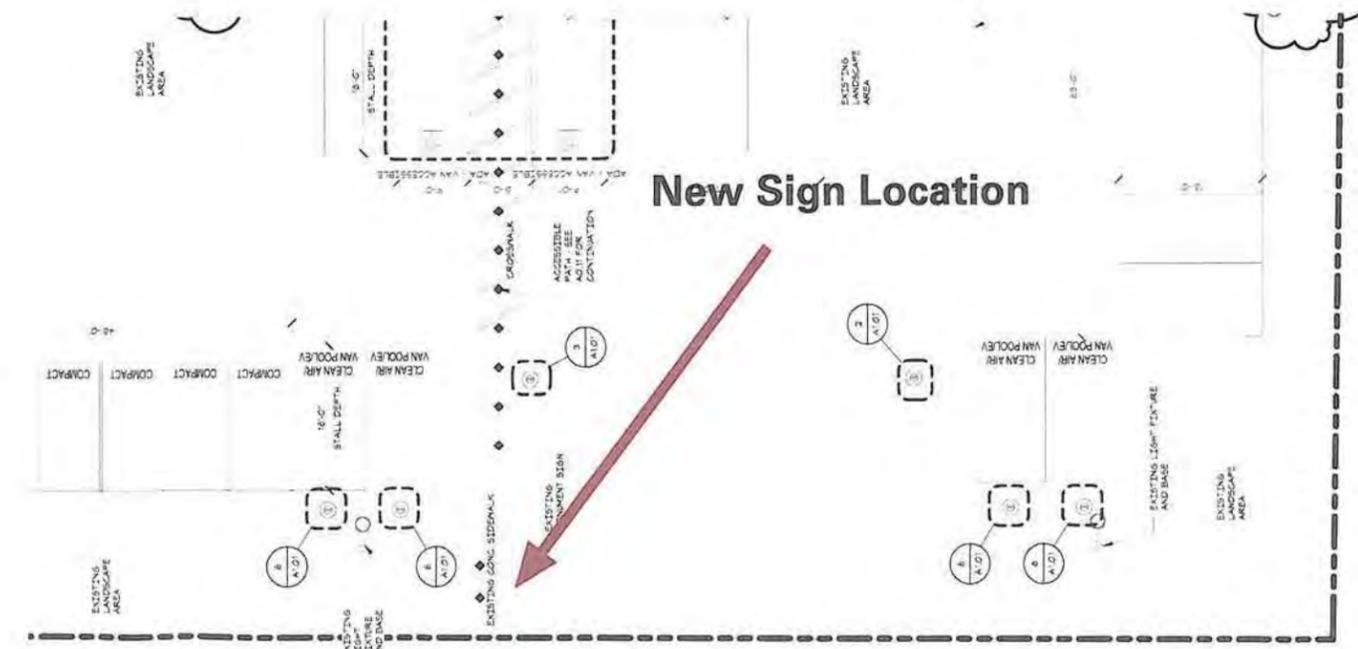
Robert Sanders & Co.
signage/design/fabrication
19615 Eighth St., East Sonoma, Ca
Mailing Address: P.O. Box 1356
707-996-3532
fax: 996-2937



Proposed Location of Project



Site information:
Site frontage Width 200'
Site frontage Depth 300'



Sign for Sonoma Valley Community Health Center

Freestanding Sign

Signage Design

Robert Sanders & Co.
signage/design/fabrication
19615 Eighth St., East Sonoma, Ca
Mailing Address: P.O. Box 1356
707-996-3532
fax: 996-2937



Freestanding double-sided sign with push-thru decorative 1/2" thick acrylic internally illuminated letters (blue faces), sign structure faces, aluminum painted in durable architectural paints, tile/wrought iron decorative trim, stucco column with trim top cap and address numbers, logo lettering to match organizational identity and coordinate with building colors and stucco treatment.

Sign mounted on 2 steel posts in 3' deep concrete footings in existing landscape area where previous sign was located (Note: Old sign to be removed prior to installation).

Sign to be located in landscape area set back 2' from property line.



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 4

Meeting Date: 05/20/14

Applicant

Old Bowl Center LLC

Project Location

19310 and 19312 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1996
-

Request

Consideration of a new sign program for a shopping center (Sonoma Bowl Center).

Summary

Sign Proposal: The applicant is requesting review of a new sign program for the Sonoma Bowl Center.

The following signs shall be included as part of the sign program review:

- ◆ 1 each (two-sided) 75 square foot freestanding sign (F.1);
- ◆ 2 each (one-sided) 11.25 square foot tenant signs sign (T.1a and T.1b);
- ◆ 4 each (one-sided) 15 square foot tenant signs (wall) (T.1, T.2, T.3, T.5);
- ◆ 7 each (one-sided) 12 square foot tenant logo signs (wall);
- ◆ 3 each (one-sided) 15 square foot tenant signs (roof) (T.4, T.6, T.7)
- ◆ 1 each (one-sided) 31.5square foot directional sign (T.8);
- ◆ 1 each (two-sided) 16 square foot freestanding directional sign (D.1);
- ◆ 1 each (one-sided) 9 square foot directional sign (D.2);
- ◆ 1 each (one-sided) 9 square foot directional sign (D.3);
- ◆ 1 each (one-sided) 4.35 square foot directional sign (D.4);
- ◆ 1 each (one-sided) 3.75 square foot directional sign (D.5);
- ◆ 1 each (one-sided) 3.75 square foot directional sign (D.6);
- ◆ 7 each (one-sided) 12.25 square foot optional tenant logo signs.

Internally Illuminated Monument Sign (F.1): The applicant is proposing an internally illuminated two-sided freestanding (monument) sign with an area of 75 square-feet per side (6.75 feet wide by 11 feet tall). The top of the sign panel would stand at 11 feet. The sign is proposed perpendicular to Sonoma Highway on the northern portion of the walkway, utilizing white colored copy with a burgundy, light brown, dark brown, and sage background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Internally Illuminated Monument Sign (T.8): The applicant is proposing an internally illuminated one-sided freestanding (monument) sign with an area of 31.5 square-feet per side (7 feet wide by 4.5 feet tall). The top of the sign panel would stand at 7 feet. The sign is proposed perpendicular to Sonoma Highway on the northern portion of the walkway, utilizing white colored copy with a burgundy, light brown, dark brown, and sage background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Internally Illuminated Monument Sign (D.1): The applicant is proposing an internally illuminated two-sided freestanding (monument) sign with an area of 16 square-feet per side (4 feet wide by 4 feet tall). The top of the sign panel would stand at 4 feet. The sign is proposed perpendicular to Sonoma Highway north of the driveway entrance, utilizing white colored copy with a burgundy, light brown, dark brown, and sage background with a push thru letters. Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not

be greater than one hundred (100) foot-lamberts.

Internally Illuminated Monument Signs (D.2 and D.3): The applicant is proposing two one-sided freestanding (monument) signs with an area of 9 square-feet per side (36 inches wide by 36 inches tall). The top of the sign panel would stand at 6.5 feet. Copy on the signs would consist of white lettering on a burgundy, sage, and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters.

Monument Sign (D.6): The applicant is proposing one one-sided freestanding (monument) sign with an area of 7 square-feet per side (3.5 feet wide by 2 feet tall). The top of the sign panel would stand at 3 feet. Copy on the sign would consist of white lettering on a burgundy, sage, and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters.

Freestanding Size and Height Regulations: Externally illuminated signs shall not exceed 32 square feet in area; non-illuminated freestanding signs are limited to 48 square feet in area. Each face of a two-sided interiorly-illuminated sign shall not exceed 18 feet (§18.20.130). Freestanding signs are limited to a maximum height of 12 feet (§18.20.120). The monument sign (F.1) is not consistent with this requirement in that each face would have an area of 75 square feet.

Internally Illuminated Wall Signs (T.1, T.2, T.3, and T.5): The applicant is proposing four internally illuminated one-sided wall signs with an area of 15 square-feet per side (1.6 feet wide by 1 foot tall). Copy on the signs would consist of white lettering on a burgundy and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Internally Illuminated Wall Signs (T.1.a and T.1.b): The applicant is proposing two internally illuminated one-sided wall signs with an area of 11.25 square-feet per side (9 feet wide by 1.25 feet tall). Copy on the signs would consist of white lettering on a burgundy and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Optional Tenant Logo Wall Signs: The applicant is proposing 7 one-sided optional wall signs with an area of 12.25 square-feet. Copy on the signs would vary and would require approval of the property owner. In terms of construction, the sign would employ a painted aluminum material with push thru logos.

Internally Illuminated Roof Signs (tenant) (T.4, T.6, and T.7): The applicant is proposing three internally illuminated roof signs, all are one-sided. The roof signs are 10 feet wide by 1.6 feet tall (15 square feet in area). Copy on the signs would consist of white lettering on a burgundy and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. . Illumination is proposed in the form of internally backlit illumination consisting of LED lights. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Roof Sign Regulations (§18.20.160): Roof signs shall only be permitted with the silhouette of the sign is not in conflict with the silhouette of the rooflines of the building. Roof signs on flat roofs are prohibited. No roof sign shall be more than two feet in height. The top of a roof sign shall not exceed or rise above the lowest 25 percent of the height of the roof. The roof signs are consistent with this requirement.

Wall Sign (D.4): One one-sided wall sign is proposed. The wall sign is 1.25 feet wide by 3.5 feet tall (4.375 square feet in area). Copy on the signs would consist of white lettering on a burgundy and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. The wall sign is proposed to be mounted on the north property wall facing south. Illumination is not proposed.

Wall Sign Regulations (§18.20.190): Wall signs projecting over the property line, including a light or other part thereof, shall not exceed a thickness of 12 inches. The maximum size for an internally illuminated wall sign is 48 square feet. The wall sign complies with this requirement.

Projecting Sign (D.5): One one-sided wall sign is proposed. The wall sign is 3 feet wide by 1.25 feet tall (3.75 square feet in area). Copy on the signs would consist of white lettering on a burgundy and black background. In terms of construction, the sign would employ a painted aluminum material with push thru letters. The projecting sign is proposed to be mounted on the north face building elevation. Illumination is not proposed.

Projecting Sign Regulations (18.20.150): Projecting signs shall not exceed nine square feet in area on each side. Projecting

signs shall not project over four feet from any wall surface nor be closer than four feet to any curb line of a public street. No projecting sign shall extend above the top level of the wall upon or in front of which it is situated, or in the case of buildings having sloping roofs, above the eaves of the room. Any sign which is suspended or projects over any public or private walkway or walk area shall have an overhead clearance of at least seven feet. The projecting sign is consistent with these requirements.

Aggregate Sign Area: Based on the site's primary frontage on Sonoma Highway (± 200 feet), the property has an allowable aggregate sign area of 86 square feet. The total aggregate sign area for the property would be ± 405.38 square feet, including the six freestanding signs (194 square feet), 7 wall signs (76.875 square feet); 3 roof signs (45 square feet), projecting sign (4.35 square feet), and 7 optional logo wall signs (85.75 square feet).

Shopping Center Signage Regulations: In addition and notwithstanding the number and sizes listed under SMC 18.16.010 and 18.16.020, one additional identification sign may be permitted for a shopping center. The total area of the additional sign shall not exceed 60 square feet, with no single face of a double or multisided sign larger than 40 square feet. Illuminated shopping center signage shall conform to the sizes under the illuminated sign section (SMC 18.20.130), unless granted a variance by the DRC.

A shopping center may develop a sign program for all tenants within the center which, after approval by the DRC, may be administered by the shopping center administration. Signs not in conformance with the approved program must be reviewed by the planning director or his or her designee or the DRC (§18.20.180):

Hours of illumination: The applicant is proposing to illuminate the signs from sunset to 12 a.m. Normal business hours are 8 a.m. to 11 p.m. seven days per week.

Variances: As noted above, the proposal would exceed the maximum area allowed for an illuminated sign. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Sign drawings*

cc: Old Bowl Center LLC
801 23rd Avenue South, Suite 201
Seattle, WA 98144

Robert Sanders, via email

Sign Program for Old Bowl Center

19310 & 19312 Sonoma Highway,
Sonoma, CA 95476

Client

Old Bowl Center, LLC

801 23rd Ave. South, suite 201, Seattle WA 98144

Bruce Wagner

April 23, 1, 2014

Project Consultant

robert sanders & co.

Signage/Design

Robert Sanders & Co.
signage/design/fabrication
19615 Eighth St., East, Sonoma, Ca
Mailing Address: P.O. Box 1356
707-996-3532
fax: 996-2937



Proposed Location of Project



MAY 13 2014

Site Plan / Sign locations



Site information and Building Information:
 Site frontage Width 200'
 Site frontage Depth 545'
 Site frontage Depth 400'

Front Building
 1. Fitness Factory ... 14,000 sf ... including 2800 sf upstairs
 2. Body Karma ... 850 sf
 3. Edward Jones ... 1,200 sf
 4. RealCare ... 4,440 sf

Rear Building
 1. Current Brookdale 3,100 sf
 2. Total SVH... 7,100 sf, (Physical Therapy 4,500 sf and Financial Office 2,600 sf)
 3. Space upstairs. 5,500 sf

- Double-Faced Freestanding Sign
- Tenant Signs
- Directional Signs

Signage Program Summary

Typical Tenant Signs

F.1 Main Freestanding

T.1a TENANT NAME

T.1b TENANT NAME

T.1 SVH Physical Therapy

T.8

Typical Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters on wall/beams/roof

Logo Optional
First floor tenants are allowed- one logo sign(up to 7 total in center)
Single-Faced, non-Illuminated
Mounted on wood structure in gable areas or on walls adjacent to entrance
Quantity- 1 Height-42" Width 42" Sq. Ft.=12.25

Note: Normal operating hours for Center are 8am to 11pm

Directional Signs

D.1

D.2

D.4 ← EXIT

D.5 EXIT ↑

D.6 EXIT →

Sign Inventory:

- F.1** Freestanding Double-Faced Remodel Existing Sign, Internally Illuminated - LEDs
Quantity- 1 Height-11', Width 82", Sq. Ft. 75 overall, individual tenant sign areas
16.8" h x 5'-0" w =7sf
- T.1a** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-15" Width 9' Sq. Ft.=11.25
- T.1b** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-15" Width 9' Sq. Ft.=11.25
- T.1** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY FITNESS FACTORY)
- T.2** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY BODY KARMA)
- T.3** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY EDWARD JONES)
- T.4** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters on roof
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY REAL CARE)
- T.5** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters on wall
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY BROOKDALE)
- T.6** Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters on roof
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY SVH PHYSICAL THERAPY)
- T.7** Tenant Sign Single-Faced, Internally Illuminated on roof
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(FUTURE TENANT)
- T.8** Tenant Sign Directory, Freestanding at rear entrance in landscape, Single-Faced, Internally Illuminated LED push thru-Letters opaque background, Quantity- 1 Height-7' Width 54", 12"Depth, Sq. Ft.=31.5(SVH Admin. and FUTURE UPSTAIRS TENANTS) Tenant sign faces 12"h x 42" w =3.5
- D.1** Directional Sign Double-Faced, internally LED Illuminated, Freestanding Located/installed in front entrance in landscape area Quantity- 1 Height-48" Width 48" Sq. Ft.=16 Individual Tenant Signs 10" h x 36" w=2.5sf
- D.2** Directional Sign SINGLE-Faced, non-Illuminated Freestanding in landscape
Quantity- 1 Height-6'-6" Width 42" Sq. Ft.=10 (REAR BUILDING TENANTS)
- D.3** Directional Sign SINGLE-Faced, non-Illuminated Freestanding in landscape
Quantity- 1 Height-6'-6" Width 42" Sq. Ft.=10 (REAR BUILDING TENANTS)
- D.4** Directional Sign SINGLE-Faced, non-Illuminated Blade Sign mounted on wall
Quantity- 1 Height-15" Width 42" Sq. Ft.=4.35 (EXIT)
- D.5** Directional Sign SINGLE-Faced, non-Illuminated Blade sign mounted on wall
Quantity- 1 Height-36" Width 15" Sq. Ft.=3.75 (EXIT)
- D.6** Directional Sign SINGLE-Faced, non-Illuminated Freestanding in landscape
Quantity- 1 Height-24" Width 42" Sq. Ft.=7 (EXIT) Height from ground 36"

Sign Program for Old Bowl Center

robert sanders & co.

environmental graphic design
fabrication • installation

707 326-5851
robsand@vom.com

Existing and Future Sign Locations



Double-Faced Freestanding Sign F.1



Front Main Freestanding Sign
Tenant Store Signs
Directional Signs

- Double-Faced Freestanding Sign
- Tenant Signs
- Directional Signs



Tenant Signs



Directional Signs

Sign Program for Old Bowl Center

robert sanders & co.

environmental graphic design
fabrication • installation

707 326-5851
robsand@vom.com

Existing and Future Sign Locations



Back Area Signs
Tenant Store Signs
Directional Signs

-  Double-Faced Freestanding Sign
-  Tenant Signs
-  Directional Signs

Tenant Signs



Directional Signs on Exit Walls



Sign Program for Old Bowl Center

robert sanders & co.

environmental graphic design
fabrication • installation

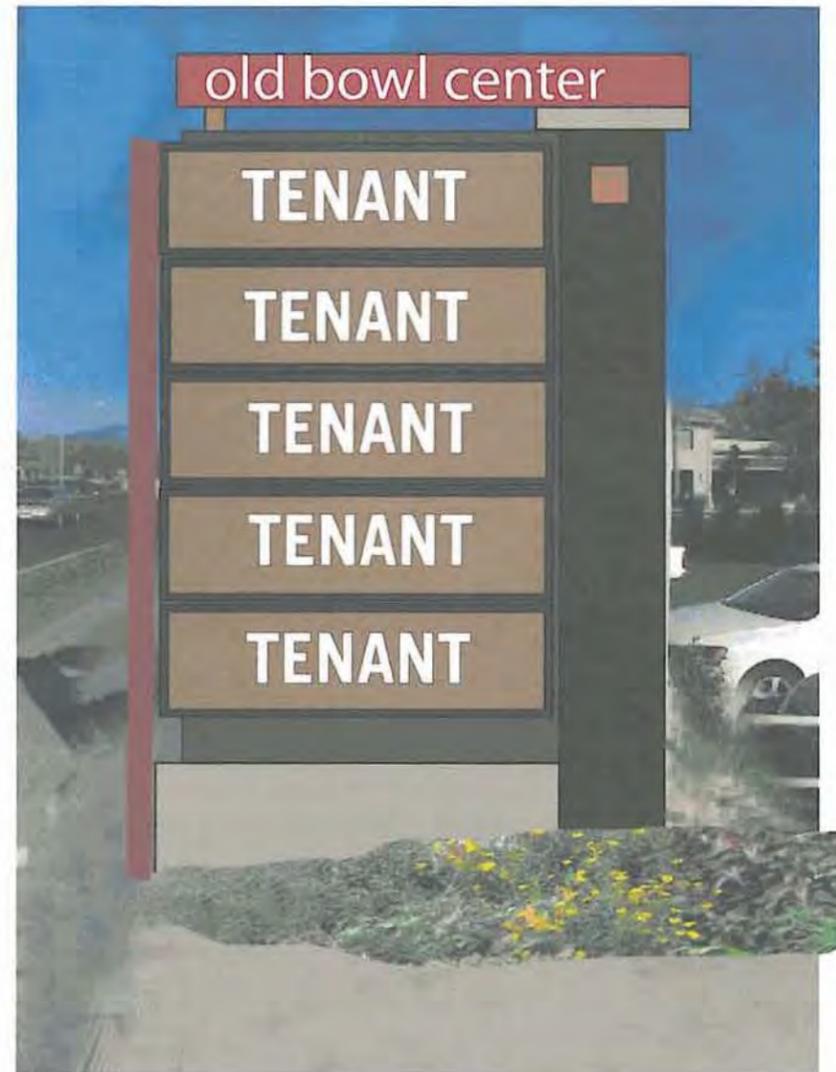
707 326-5851
robsand@vom.com

Front Main Freestanding Sign

F.1 Double-Faced Freestanding Sign



Existing Freestanding Sign



New design and fabrication/retro fitted on existing freestanding sign, made of painted aluminum sign structure with new individual tenant name faces (5 each 16.8" h x 5'-0" w = 7sf each (24" depth), total tenant spaces 35sf per side) with internally illuminated LED push-thru letters (backgrounds opaque), new column structure added to existing sign (preserving back posts/electrical connection). Materials/colors to match new sign system- rusted powder coat, burgundy, earth tones, white letters. Size and setback to remain same as existing sign. New sign top for center identity.

Sign Program for Old Bowl Center

robert sanders & co.

environmental graphic design
fabrication • installation

707 326-5851
robsand@vom.com

Tenant Store Signs

Front Building

Tenant Signs

Note: All tenant signs made of aluminum, acrylic lettering and radius decorative ends

10'



Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters, mounted on wall
Quantity- 1 Height-15" Width 9"
Sq. Ft.=11.25

Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters, mounted on wall
Quantity- 1 Height-15" Width 9"
Sq. Ft.=11.25



Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(Typical)
Burgundy face, white letters and powder coated rust ends

Logo Option



First floor tenants are allowed- one logo sign(up to 7 total in center)
Single-Faced, non-illuminated
Mounted on wood structure in gable areas or on walls adjacent to entrance
Quantity- 1 Height-42" Width 42" Sq. Ft.=12 Shapes optional/colors burgundy, black, white, rust
(To allow corporate logos by tenant entrances)

Side view 8" deep

Top view of radius end

Normal operating hours for Center are 8am to 11pm

T.1

The Fitness Factory

Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters, mounted on beam
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY FITNESS FACTORY)

T.2

Body Karma

Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters, mounted on beam
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY BODY KARMA)

T.3

Edward Jones

Tenant Sign Single-Faced, Internally Illuminated Push-Thru Letters, mounted on beam
Quantity- 1 Height-18" Width 10' Sq. Ft.=15(CURRENTLY EDWARD JONES)



Sign Program for Old Bowl Center

robert sanders & co.

environmental graphic design
fabrication • installation

707 326-5851
robsand@vom.com

Back Tenant Signs

Tenant Signs



Tenant Sign Single-Faced,
Internally Illuminated letters,
sign mounted on roof
Quantity- 1 Height-18"
Width 10' Sq.
Ft.=15(FUTURE TENANT)

Real Care Insurance

Tenant Sign Single-Faced, Internally Illuminated
Push-Thru Letters, sign mounted on roof
Quantity- 1 Height-18" Width 10' Sq. Ft.=15
(CURRENTLY REAL CARE)

TENANT NAME



Brookdale Senior Living

Tenant Sign Single-Faced, Internally Illuminated
Push-Thru Letters, mounted on wall
Quantity- 1 Height-18" Width 10' Sq.
Ft.=15(CURRENTLY BROOKDALE)

SVH Physical Therapy

Tenant Sign Single-Faced, Internally Illuminated
Push-Thru Letters, sign mounted on roof
Quantity- 1 Height-18" Width 10' Sq. Ft.=15
(CURRENTLY SVH PHYSICAL THERAPY)

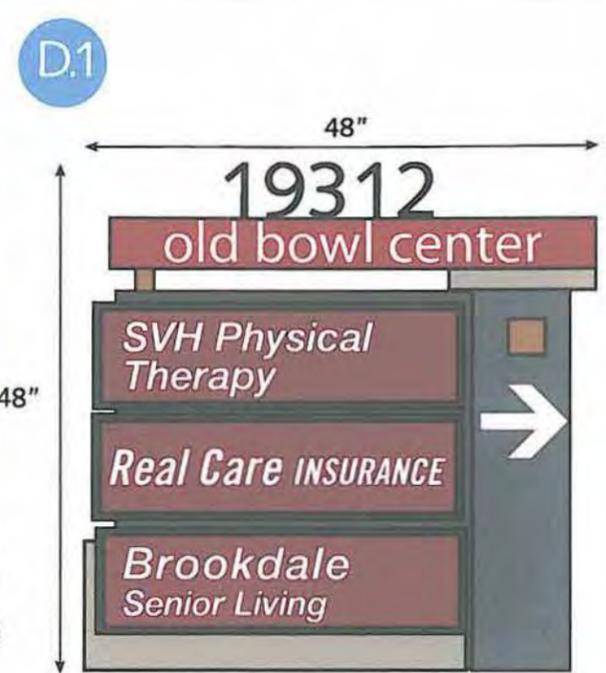


Tenant Sign Directory, Freestanding at rear entrance in landscape, Single-Faced,
Internally Illuminated LED push thru-Letters opaque background,
Quantity- 1 Height-7' Width 54", 12"Depth, Sq. Ft.=31.5
(SVH Admin. and FUTURE UPSTAIRS TENANTS)
Tenant sign faces 12"h x 42" w =3.5 sf
Materials/colors to match new sign system- rusted powder coat,
burgundy, earth tones, white letters.

Directional Signs



D.1



48"

48"

19312
old bowl center

SVH Physical
Therapy

Real Care INSURANCE

Brookdale
Senior Living

Directional Sign Double-Faced, internally LED Illuminated, Freestanding Cabinet made of aluminum, tenant signs push-thru letters/opaque background. Located/installed in front entrance in landscape area mounted in 2 footings/18" setback
Quantity- 1 Height-48" Width 48" Sq. Ft.=16 (Directs visitors to REAR BUILDING TENANTS)
Individual Tenant Signs 10" h x 36" w=2.5sf



36"

19312
old bowl center

SVH Physical
Therapy

Real Care INSURANCE

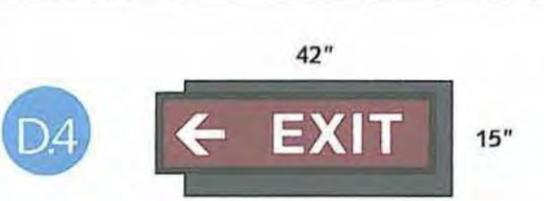
Brookdale
Senior Living

6'-6"

D.2 **D.3**



Directional Sign SINGLE-Faced, non-Illuminated Freestanding in landscape areas
Mounted on single heavy duty square tube steel post powder coated/installed in concrete footing
Quantity- 1 Height from ground- 6'-6" Width 42" sign area 36" x 36" Sq. Ft.=9 (REAR BUILDING TENANTS)
Materials/colors to match new sign system- rusted powder coat, burgundy, earth tones, white letters.



D.4

42"

15"

← EXIT



Directional Sign SINGLE-Faced, non-Illuminated Blade Sign mounted on wall
Quantity- 1 Height-15" Width 42" Sq. Ft.=4.35 (EXIT)



D.5

15"

36"

EXIT
↑



Directional Sign SINGLE-Faced, non-Illuminated Blade sign mounted on wall
Quantity- 1 Height-36" Width 15" Sq. Ft.=3.75 (EXIT)



D.6

42"

24"

EXIT →



Directional Sign SINGLE-Faced, non-Illuminated Freestanding in landscape
Quantity- 1 Height-24" Width 42" Sq. Ft.=7 (EXIT)
Height from ground 36"





City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 5

Meeting Date: 05/20/14

Applicant

Architectural Signs and Associates

Project Location

524 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1938
-

Request

Consideration of a new awning and a new wall sign for a retail store (Bossa Nova).

Summary

Background: On June 20, 2013, staff administratively approved a blade sign and an awning sign for Bossa Nova.

Awning: The proposal involves installing a new canvas fabric awning on the building. The awning would be installed on a welded steel frame above the Broadway entrance of the building. In terms of compatibility, the exterior color scheme of the building is a yellow color. A picture of the existing conditions and a sample of the awning material and color are attached for consideration. The proposed awning is comprised of one awning approximately 10.33 feet long and 1 foot high in addition to the 6 inch awning valance. The awning and valance would be composed of a green colored canvas fabric (see attached samples). The awning would be installed on a new black colored steel frame. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 7.66 feet of clearance above the public walkway, and would extend only 14 inches from the face of the building, resulting in 12.16 feet of clearance from the end of the awning to the face of the curb. The purpose of the awning is to provide weather protection for the retail store. *Note:* the applicant has stated that the documentation that demonstrates compliance with the NFPA 701 flame propagation standards or the materials shall be noncombustible will be submitted after the awning material has been fabricated.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Wall sign: A one-sided wall sign is proposed on the west facing elevation facing Broadway, above the proposed awning. The proposed sign is 18.77 square feet in area (26 inches tall by 104 inches wide). The sign would consist of an aluminum panel with acrylic lettering. Copy on the sign would consist of black lettering on a blue background. Illumination is not proposed.

Wall Sign Regulations (§18.20.180): Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

Aggregate Sign Area: Based on the property's frontage on Broadway (15 feet), the maximum aggregate sign area allowed for the parcel is 9 square feet. The total aggregate sign area for the property would be 20.27 square feet, including the projecting sign (1.5 square feet of aggregate sign area) and the proposed wall sign (18.77 square feet of aggregate sign area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this standard.

Number of Signs: A maximum of two signs are permitted for any one business (§18.16.010). The proposal is consistent with this requirement in that there would be 2 signs for the property including the proposed awning sign and existing projecting signs.

Variances: As noted above, the proposal would exceed the allowable aggregate sign area. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lisa Sevilla at (707) 933-2205 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or ModificationsAttachments

1. *Project narrative*
2. *Pictures of awning and sign*
3. *Awning samples*

cc: Architectural Sings and Associates
 Attn: Rochelle Zatkan
 918 Enterprise Way, Suite A
 Napa, CA 94558

Bossa Nova
524 Broadway, Suite A
Sonoma, CA 95476

Sonoma Court Shops
473 Jackson Street, #2
Sonoma, CA 94111-1607

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

Alan Jones, Administrative Captain

DRHPC Meeting of 5/20/14

BOSSA NOVA

524 BROADWAY

Sunbrella Awning Fabric will meet the Fire Retardant Specifications suggested by the California Fire Marshall.



MAY 05 2014





ARCHITECTURAL SIGNS & ASSOCIATES

110 ENTERPRISE WAY, SUITE D, WAPA, CA 95476
 WAPA P 707.258.0771 F 707.258.0781 Sonoma P 707.938.9210

www.asagraphics.com

CLIENT INFO
 Bossa Nova
 Sonoma Court Shops
 524 Broadway, Sonoma CA 95476

CONTACT Debbie Harder

PHONE

EMAIL
 debbie@bossanova-apparel.com

DESCRIPTION
 Building Front

AWNING COLOR Aquamarine

SIZE Noted

Project Director Steffan Gold

File Name
 Bossa Nova_Building Front_Not Scaled_v01

Date/Revisions
 4/24/14 AS

STATUS (Internal Use Only)



CLIENT INFO

Bossa Nova
 Sonoma Court Shops
 524 Broadway, Sonoma CA 95476

CONTACT Debbie Harder

PHONE

EMAIL

debbie@bossanova-apparel.com

DESCRIPTION

Building Sign

SIZE Noted

MATERIALS

Direct Digital Print to Aluminum Panel
 1/4" Black Acrylic

Project Director Steffan Gold

File Name
 Bossa Nova_Building Sign_v01

Date/Revisions
 4/24/14 AS

STATUS (Internal Use Only)

To whom it may concern,

I would like to install a new smaller awning on my business at 524 Broadway. The awning I have now runs continuously from the business/building next door. A remnant from a time when the space I have leased was attached to that business. The awning is out of scale for the size of my storefront, and leaves very little room for a sign above. It is crucial for the success of my business to have a sign that can be seen from across the street, and from the corner of Broadway and W. Napa Street, as I have had customers say they have seen my ads but could not easily locate me, with only a window decal as signage.

I believe that the new smaller awning, over the door and the window will be more visually pleasing, and starting from the waterline on the building will highlight the historical nature of the store front.

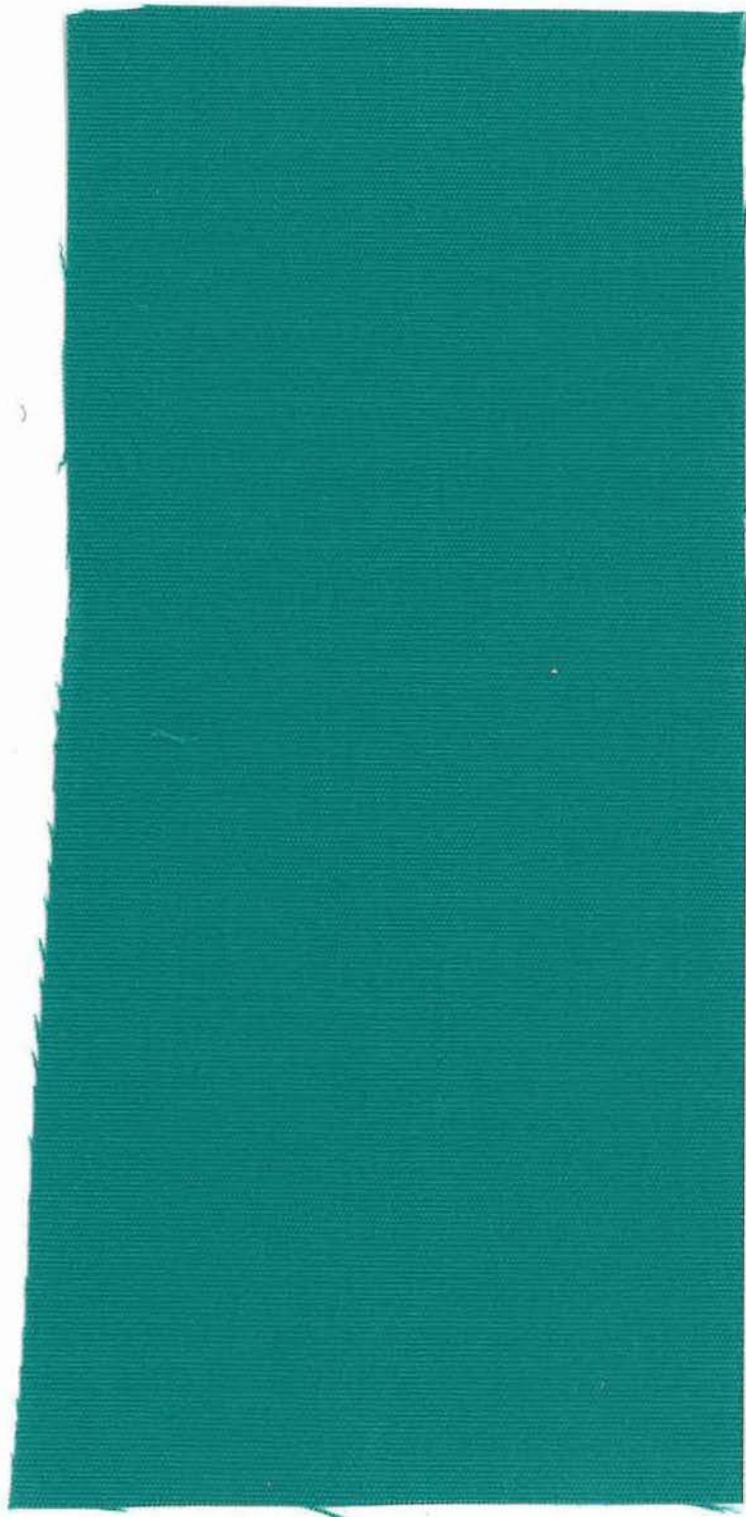
Thank you for your consideration of this matter.

Debbie Harder

Bossa Nova

524 Broadway

Sonoma Ca 95476





City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 6

Meeting Date: 05/20/14

Applicant Sonoma Signs	Project Location 19 West Napa Street
----------------------------------	--

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
- Listed on California Register of Historic Resources
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old
Year built: 1969

Request

Consideration of design review and sign review for a retail store (G' General Store).

Summary

Exterior Colors: A classic color scheme using black and white colors has been put forward for the DRHPC's consideration. The face of the building is proposed to be painted Kelly Moore Swiss coffee (23). The door and window trim, is proposed to be painted Kelly Moore carbon (407). Color samples are attached and a color board will be presented by the applicants at the upcoming DRHPC meeting. It should be noted that the applicant has painted a brush-out sample on the building (upper east side of building facing West Napa Street). Staff would note that the project narrative states that planter boxes are proposed in front of the building. The applicant has removed the planter boxes from the application after receiving information that planter boxes are not permitted in the Caltrans's right-of-way.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Illuminated Wall sign: A one-sided exteriorly illuminated wall sign is proposed on the north facing elevation facing West Napa Street, above the existing awning. The proposed sign is 42.66 square feet in area (32 inches tall by 16 feet wide). The sign would consist of an aluminum composite sign panel with vinyl lettering. Copy on the sign would consist of white lettering on a black background. Illumination is proposed in the form of the existing gooseneck lights (see attached pictures). The applicant has stated that the sign will be illuminated from sundown to 10:00 p.m. Normal business hours are as follows: Monday through Saturday 10 a.m. to 6 p.m. and Sundays 12 p.m. to 6 p.m. (there is possibility of the store remaining open later on Tuesday nights during the Farmers' Market season).

Wall signs: Three wall signs are proposed on the building. Two one-sided wall signs are proposed on the south and east facing building elevations. The proposed signs are 4 square feet in area (24 inches tall by 24 inches wide). The sign would

consist of an aluminum composite sign panel with vinyl lettering. Copy on the sign would consist of white lettering on a black background. One one-sided wall sign is proposed on the east facing building elevation. The proposed sign is 6 square feet in area (36 inches tall by 36 inches wide). The sign would consist of an aluminum composite sign panel with vinyl lettering. Copy on the sign would consist of white lettering on a black background.

Wall Sign Regulations (§18.20.180): Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

Projecting Sign: The proposed projecting sign is two-sided, with an area of ±11 square feet per side (44 inches tall by 36 inches wide). The maximum height of the sign would be 44 inches, with a clearance of 7.5 feet between grade and the bottom of the sign. The sign is proposed perpendicular to the street on the north side of the building above the front door. The sign would consist of an aluminum composite sign panel with vinyl lettering. Copy on the sign would consist of white lettering on a black background.

Projecting sign regulations: Projecting signs shall not exceed nine square feet in area on each side. Projecting signs shall not project over four feet from any wall surface nor be closer than four feet to any curb line of a public street. No projecting sign shall extend above the top level of the wall upon or in front of which it is situated, or in the case of buildings having sloping roofs, above the eaves of the roof. Any sign which is suspended or projects over any public or private walkway or walk area shall have an overhead clearance of at least seven feet (§18.20.150). The sign is consistent with this requirement in that it would have an overhead clearance of 7.5 feet and be located 6.5 feet from the curb line but not consistent with the requirement that projecting signs shall not exceed nine square feet in area on each side. The applicant is requesting a variance from this standard.

Window signs: Three window signs are proposed on the windows facing West Napa Street. Two one-sided window signs are proposed, one on each of the front windows. The proposed signs are 5 square feet in area (15 inches tall by 49 inches wide). The letting would consist of matte white cut vinyl. One window sign is proposed on the front door of the store facing West Napa Street. The proposed sign is 2.5 square feet in area (23 inches tall by 16 inches wide). The letting would consist of matte white cut vinyl

Window sign Regulations (§18.20.200): Permanent or temporary window signs shall not cover more than 20 percent of the aggregate area of each window facing a public right-of-way. Permanent window signs (except as specified in SMC 18.12.020(A)(7)) shall require review by the DRHPC, and shall be included in the total aggregate sign area allowable for the site. Display of temporary window signage shall not exceed 90 days per year. The window signs are consistent with this requirement in that it each window sign will covers only 14 percent of the area of the window.

Aggregate Sign Area: Based on the property's frontage on West Napa Street (34 feet), the maximum aggregate sign area allowed for the parcel is 19.6 square feet. The total aggregate sign area for the property would be 85.66 square feet, including the proposed wall signs (56.66 square feet of aggregate sign area), the proposed projecting sign (16.5 square feet of aggregate sign area), and the proposed window signs (12.5 square feet of aggregate sign area). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this standard.

Number of Signs: A maximum of two signs are permitted for any one business (§18.16.010). The proposal is not consistent with this requirement in that there would be 8 signs for the property including the four proposed wall signs, the proposed projecting sign, and three proposed wall signs. The applicant is requesting a variance from this standard.

Exemption Sign Regulations :(§18.12.080): Identification, directional, or information signs not exceeding one square foot in area, and four in number may be erected without a permit provided they are not illuminated and contain no reflective painted material. These signs shall not be included in the measurement of total allowable sign area on a site.

Variances: As noted above, the proposal would exceed the allowable are for a projecting sign, exceed the allowable aggregate sign area, and exceed the number of signs allowed. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;

3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lisa Sevilla at (707) 933-2205 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Pictures of awning and sign*
3. *Pictures of existing lighting*

cc: G's General Store/Sonoma Signs
254 First Street East
Sonoma, CA 95476

JP Morgan Chase Bank NA
P.O. Box 810490
Dallas, TX 75381-0490

JP Morgan Chase Bank, N. A.

1111 Polaris Pkwy., Ste OH1-0249
Columbus, OH 43082-2031

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email



G's General Store will be located at 19 West Napa Street. G's General Store is requesting approval of a cohesive Facade Program designed to meet the historical nature of the building and the client's retail brand

The facade program consists of the following elements:

Color Scheme:

A classic color scheme of black and white, the "Swiss Coffee" & "Carbon," offers a sleek and sophisticated palette. This monochromatic color energy is subtle and peaceful while reflecting Sonoma's heritage.

Parapet Wall Sign:

A new parapet sign will reflect a modern take on the classic general store. The sign will consist of an aluminum composite panel, painted matte black with matte white lettering. This sign will be seen by drive-by traffic from a multitude of directions.

Hanging Sign:

The hanging sign, located beneath the building overhang, will be seen by pedestrians walking in both directions and will utilize an existing bracket and lighting system. The sign will consist of aluminum composite sign panels, painted matte black with matte white lettering and will be illuminated from two external fixtures, utilizing 14 watt high-efficiency bulbs. Illumination is proposed until 11 pm.

Door + Window Graphics:

The door and window graphics will reflect the interior style of the business and compliment the surrounding area. The graphics will consist of matte white cut vinyl lettering applied to glass.

Upper Wall Logo, False Door + Rear Wall Signs:

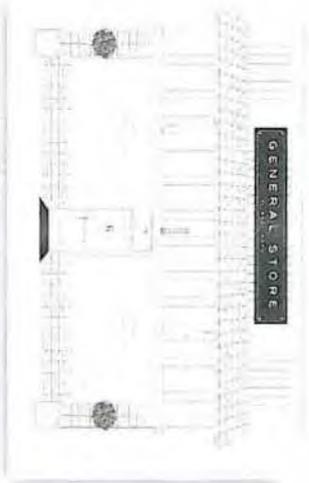
These way-finding signs will help claim identity to the store and will be attached to the building surface to help direct visitors to the main entrance. These signs will consist of aluminum composite panels, painted matte black with matte white lettering.

Planters:

A series of planters are proposed to add a touch of greenery to the facade. The planters will be constructed of wood or metal as featured, with a gloss black finish.

This facade program is tasteful, in proportion with the building and the historic nature of the Sonoma Plaza. We thank you in advance for your consideration of this facade program.





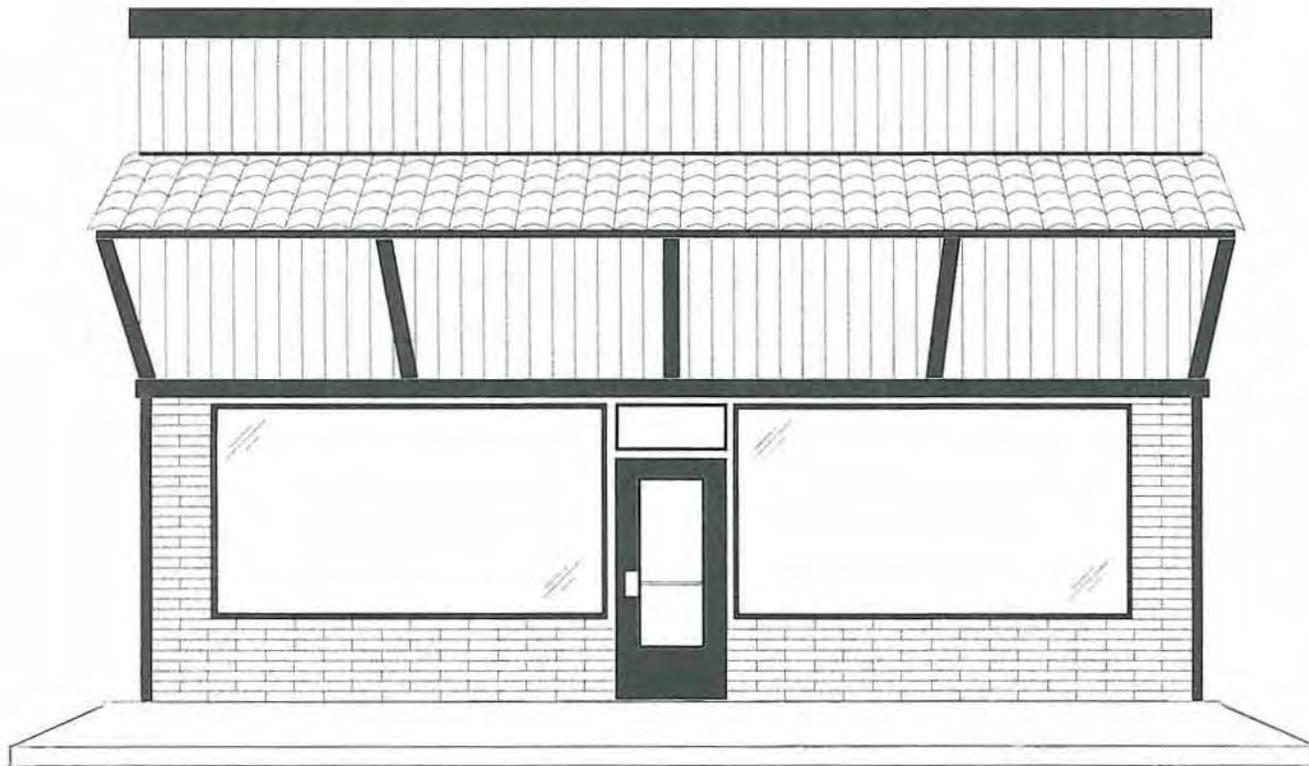
FAÇADE
(NORTH ELEVATION)



EAST ELEVATION



SOUTH ELEVATION



ALL COLORS:





407
Carbon

LL15-4

407
Carbon

23
Swiss Coffee

LL13-4

23
Swiss Coffee

ALL COLORS:
KELLY-MOORE
PAINTS™

MANUFACTURER PAINT CHIPS

RETAIL FACADE PROGRAM

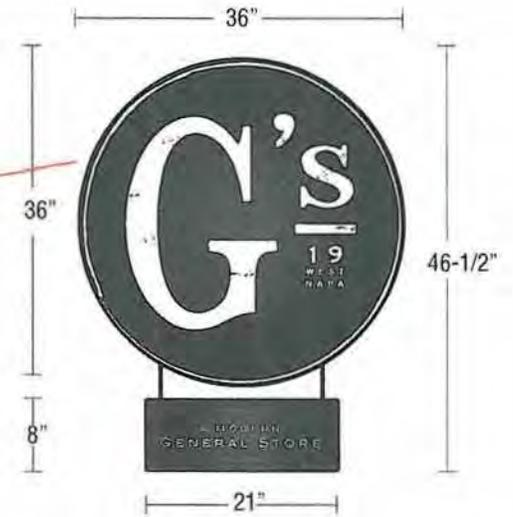
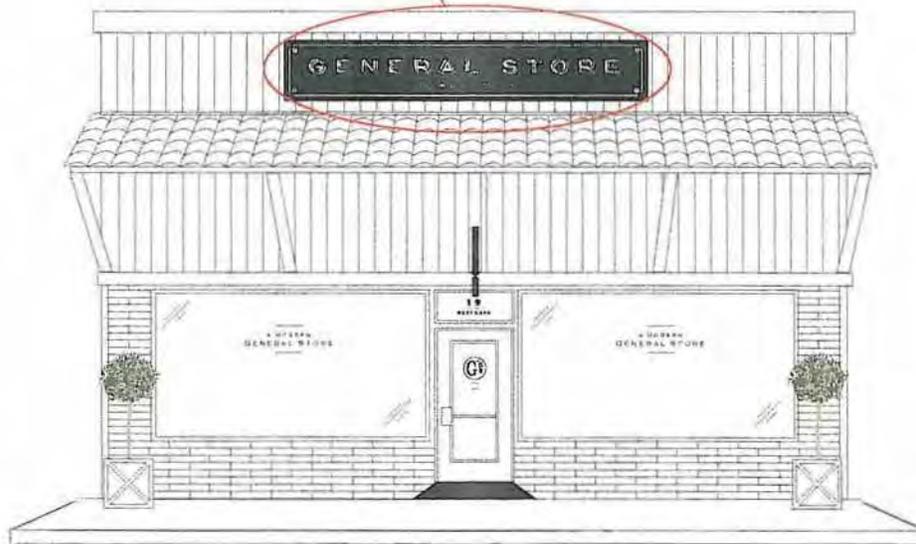
4.0



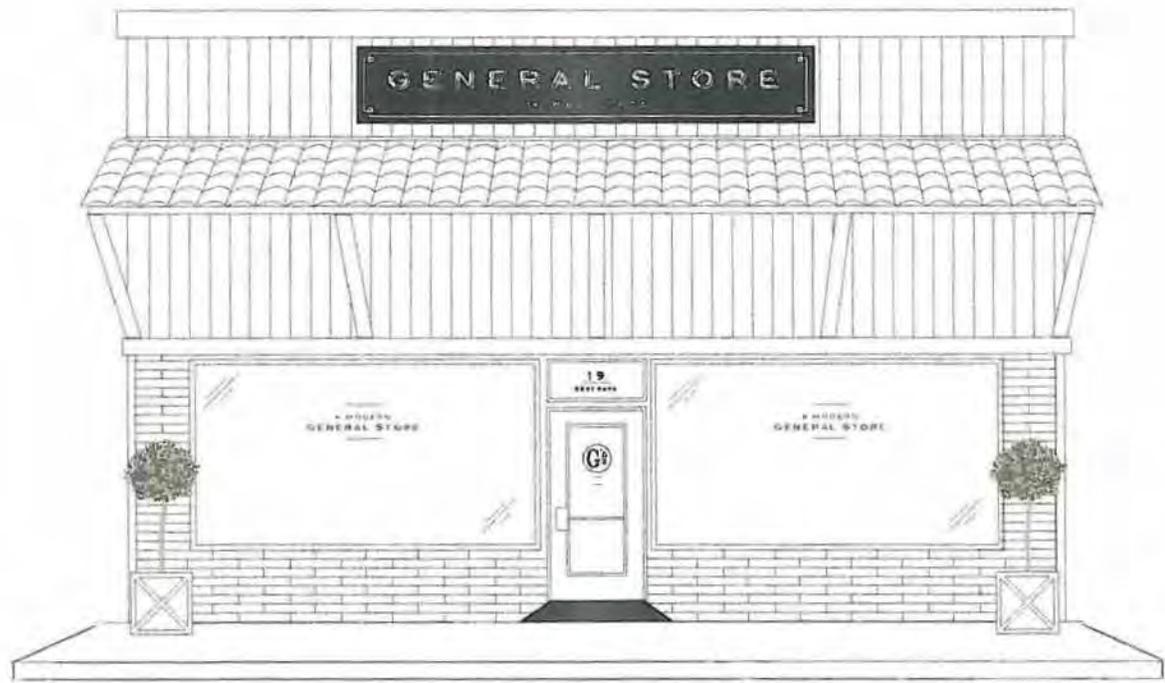
WALL SIGN

DETAILS:

- Aluminum Composite Sign Panel
- Matte Black Background
- Matte White Cut Vinyl Lettering



HANGING SIGN



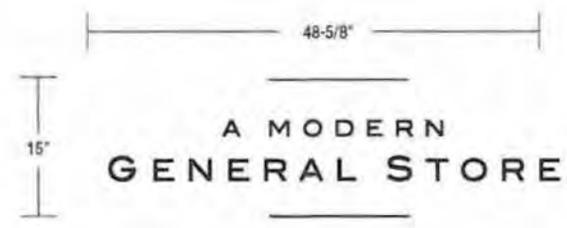
DETAILS:
 • Matte White Cut Vinyl



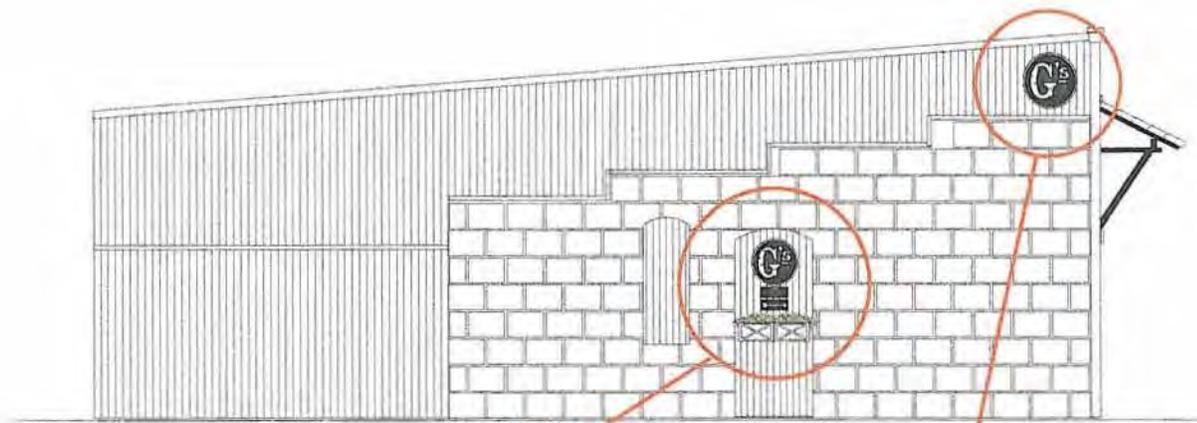
QTY 1



QTY 1



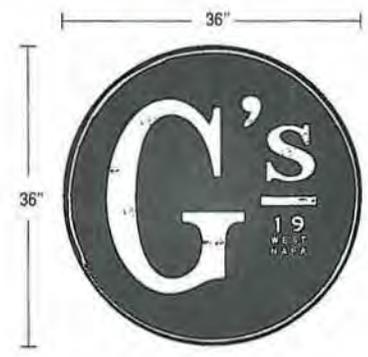
QTY 2



FALSE DOOR SIGN:



UPPER WALL LOGO:



QTY 1

- DETAILS:
- Aluminum Composite Sign Panel
 - Matte Black Background
 - Matte White Cut Vinyl Lettering

UPPER WALL LOGO + FALSE DOOR SPECS

RETAIL FACADE PROGRAM



- DETAILS:
- Aluminum Composite Sign Panel
 - Matte Black Background
 - Matte White Cut Vinyl Lettering



REAR PARKING LOT SIGN:









City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 7

Meeting Date: 05/20/14

Applicant

Marcus and Willers Architects

Project Location

165 East Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)*
- Listed on California Register of Historic Resources (Significant)*
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)*

Year Built: 1922

*Pinelli Bungalow. This structure, which is a contributing building to the Sonoma Plaza National Register District, will be retained as part of the project and rehabilitated as an office in accordance with the standards of the Secretary of Interior.

Request

Consideration of the design of Building 1, within the Mission Square development, a mixed use project featuring 3,514 sq. ft. of office space, 14 apartments, and associated parking and improvements.

Summary

Background: The Mission Square project has been the subject of a lengthy review process that began in 2005 and included the preparation of an environmental impact report and related addenda. After a number of reviews and refinements, a substantially revised and scaled-back proposal was approved by the Planning Commission at its meeting of November 14, 2013. This decision was appealed to the City Council, which conducted its review of the project on February 3, 2014. After holding a public hearing on the matter, the Council voted 4-1 to deny the appeal, thereby upholding the decision of the Planning Commission to approve the project.

Project Overview: The project consists of 14 apartment units and 3,514 square feet of office space. The existing Pinelli bungalow would be rehabilitated and used for office purposes and a new two-story, 2,434 square foot office building (Building 1) would be constructed west of the bungalow with a similar 20-foot setback from East Spain Street. The apartments would be accommodated in five new buildings in the interior of the site. Three two-story apartment buildings (Buildings 2, 3, and 4), containing three or four units each, would be arranged along the access driveway located on the west side of the property (the driveway would be widened to accommodate two-way travel and emergency access). Two one-story apartment buildings (Buildings 5 and 6), each containing two units, would be located on the east side of the site, their covered patios setback a minimum of 14 feet from the east property line and their east building walls setback a minimum of 20 feet. A small accessory building containing a laundry room and trash enclosure (± 325 square feet in area) is proposed south of Building 4. The new two-story office building would have a maximum height of 26 feet, the two-story apartment building would have a maximum height of 24 feet and the one-story apartment buildings would have a maximum height of 13.5 feet. The arrangement of the buildings creates an interior courtyard with pedestrian links focusing on a common outdoor space where an existing pecan tree is located. A parking lot with 36 spaces (including 19 covered spaces under two carports) would occupy the southern portion of the site and four parallel spaces would be provided along the access drive. Further details on the project are provided in the attached material.

Approved Project Elements: Under the Development Code, both the Planning Commission and the Design Review conduct what is defined as "architectural and site design review" for larger-scale projects such as Mission Square. Typically, the Planning Commission confines itself to things like the basic site plan, building height and massing, and overall architectural concepts. However, under the Development Code, they can go to whatever level of detail they choose. As previously reported to the DHRCP, with respect to the Mission Square project, the Planning Commission went into much greater detail in terms of architectural design details than is normally the case. This occurred because many members of the community who spoke about the project were concerned that unless such details (including materials and finishes) were well-executed, the project would diminish the integrity of the Plaza National Landmark District, in which a portion of the project site is located. The Planning Commission determined that these concerns needed to be addressed before a use permit for the project could be approved. Therefore, as part of an updated use permit submittal, the Planning Commission directed that the

applicants provide detailed information on finishes, materials, and architectural detailing. In their approval of the use permit, the approval, the Planning Commission signed off on the architectural treatments (excluding colors) of all of the primary buildings, with the exception of Building 1 (the two-story office building fronting on East Spain Street), which they referred to the DRHPC. Apart from the design of Building 1, the DRHPC review will be limited mainly to building colors and landscaping.

Building 1: Building 1 is a two-story structure with a height of 26 feet and an area of 2,434 square feet. It would be set back 20 feet from East Spain Street, in line with the Pinelli Bungalow, which is located to the east. This setback places the building deeper into the site relative to the Pinni Building (the adjoining building on the west) and the Blue Wing Inn (which has a zero front setback). The building plan is approximately square, with the second floor plate replicating the first floor. Design details include a covered porch that wraps around the building on the north and west elevations, wood doors, double-hung/casement fiberglass-clad wood windows that are recessed two inches into the building wall, and posts and beams made from re-claimed wood. The attached submittal includes three design variations, as follows:

- Option 1 has a more vertical quality in comparison to the other variants and a roof height of 26 feet at the peak.
- Option 2 reduces the height of the building one-foot by lowering the roof pitch. This option presents a more horizontal appearance, though the reduced roof pitch, the use of extended roof rafters (in contrast to the soffit in Option 1), and the introduction of an additional window on the second floor of the north elevation.
- Option 3 reduces the roof height by an additional 8 inches and adds a covered balcony to the second-floor of the north building wall.

In each option, the building walls would be finished in cement plaster (with “Paris White” being the proposed color) and dark composition shingles would be used on the roof elements (“Weathered Wood”). Complete details and specifications are set forth in the attached submittal. With respect to the three options, it is staff’s view that Option 2 should be selected. The horizontal emphasis and the use of exposed rafters suit the building better and further improve compatibility with its surroundings.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. *The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.*

Building 1 complies with all applicable requirements of the Development Code, including limitations on setbacks, coverage, Floor Area Ratio, and height. As part of its use permit review, the Mission Square project, including Building 1, was evaluated for consistency with the General Plan and was found to be consistent with all applicable General Plan policies.

2. *On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.*

Chapter 19.42 of the Development Code provides guidelines for infill development within the Historic Overlay zone. The guidelines that apply to Building 1 have been met in the design of the project, as follows:

- a. The front setback guideline is met, as Building 1 is set back 20 feet, the same distance as the Pinelli Bungalow. This setback exceeds those of the Blue Wing Inn and the Pinni Building, which are located west of the project site.
- b. Building 1 is oriented to the street, with parking located at the back of the site, consistent with the guidelines.
- c. Building 1 is compatible with the surrounding neighborhood with respect to location, mass, scale, proportion, and roof pitch. It is set back from East Spain Street in alignment with the Pinelli bungalow and its height of 26 feet is comparable to that of the Blue Wing Inn. It is separated from the Pinelli Bungalow by a 17-foot setback, thereby retaining the separate identity and integrity of the bungalow.
- d. The height of Building 1 (26 feet) is comparable to and compatible with building heights on adjoining properties and in the vicinity of the project site.
- e. Design details include double-hung, recessed windows, wood doors, and a covered porch, all features that are encouraged in the guidelines as a means of maintaining continuity with older building styles.
- f. High-quality materials and finishes, predominantly wood and stucco, would be used in its construction and the proposed building colors are appropriate to the setting.

3. *The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.*

See Finding #2, above. In its placement, scale, and architecture, Building 1 has been designed to fit into to its surroundings. The size and height of the building are comparable to many others in the vicinity. It is set back 20 feet from East Spain Street, in line with the Pinelli Bungalow, thereby contributing to a transition from the zero-setback commercial core to the west and the single-family neighborhoods to the east. The building form is simple and traditional, yet it does not attempt to replicate nearby historic structures.

4. *The project will not impair the historic character of its surroundings.*

The Environmental Impact Report for the Mission Square evaluated this issue in considerable detail. It concluded that the mitigated project, including Building 1, would not impair the historic character of tis surroundings.

5. *The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.*

The Pinelli Bungalow, which is a significant historic structure located on the site, will be preserved and rehabilitated in accordance with the Secretary of Interior Standards. The front setback of Building 1 is aligned with the Pinelli Bungalow and Building 1 is separated from the bungalow by a 17-foot setback, thereby retaining the identity and integrity of the bungalow as a separate structure.

6. *The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).*

See Finding #2, above.

7. *The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.*

Not applicable.

8. *The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.*

The Environmental Impact Report for Mission Square included a comprehensive evaluation of the project in terms of the Secretary of Interior Standards, which concluded that the mitigated project complies with the applicable standards.

In summary, it is staff's view that the findings for approval may be made.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

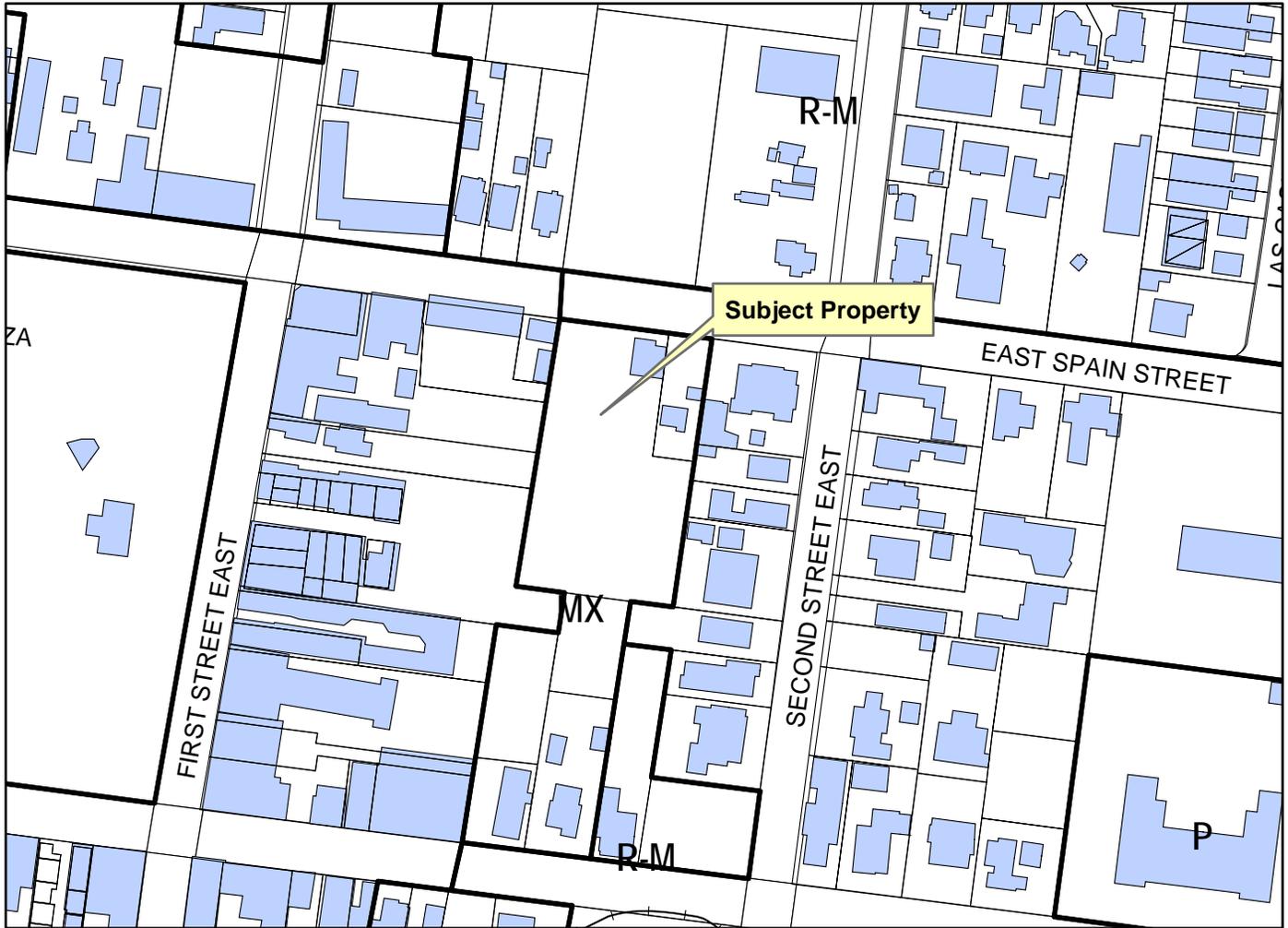
DRHPC Conditions or Modifications

Attachments

1. *Location map*
2. *Conditions of approval*
3. *Planning Commission minutes, 11/14/2013*
4. *Project narrative*
5. *Site plan*
6. *Design submittal*

cc: Carol Marcus
Marcus & Willers Architects
873 First Street West
Sonoma, CA 95476

Vicinity Map

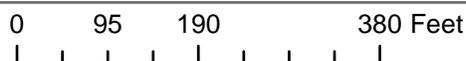
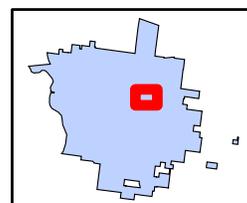


Project Summary

<i>Project Name:</i>	Mission Square
<i>Property Address:</i>	165 East Spain Street
<i>Applicant:</i>	Marcus and Willers Architects
<i>Property Owner:</i>	Linda Detert Trust
<i>General Plan Land Use:</i>	Mixed Use
<i>Zoning - Base:</i>	Mixed Use
<i>Zoning - Overlay:</i>	Historic
<i>Summary:</i>	Consideration of the design of Building 1, within the Mission Square development, a mixed use project featuring 3,514 sq. ft. of office space, 14 apartments, and associated parking and improvements.

Zoning Designations

- R-HS Hillside Residential (1 D.U./10acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Denisty Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture



1 inch = 200 feet

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Mission Square Mixed-Use Development
165 East Spain Street (APN 018-221-005)

November 14, 2013

1. The Mitigation Measures identified in the Mission Square Revised Final Environmental Impact Report dated May 2013 shall be implemented consistent with the Mitigation Monitoring and Reporting Program (MMRP) adopted by the Planning Commission on July 18, 2013.

Enforcement Responsibility: As specified in the MMRP
Timing: As specified in the MMRP

2. The project shall be constructed and operated in conformance with the approved design review submittal dated October 18, 2013, including design narrative, site plan (Sheet SP1 revised 10-18-13), civil plans (Sheets C1-C3 dated 10-16-13), and Elevation, Material & Colors and Exterior Details packet, except as modified by these conditions and the following:
 - a. All legal rights of access for properties that adjoin the west side of the project driveway shall be maintained through the preservation/improvement of existing driveway connections in consultation with affected property owners, including the California Department of Parks & Recreation.
 - b. If requested by the California Department of Parks & Recreation, historically appropriate fencing, in conjunction with a gate, shall be provided along the western project boundary where adjoining the Blue Wing Inn property. The fencing shall be designed in consultation with the California Department of Parks & Recreation.
 - c. The existing landscape clusters next to the Pinni building, including the fig tree and quince trees, shall be preserved.
 - d. The existing Pinelli bungalow shall be rehabilitated in conformance with the Secretary of Interior's Standards for the Treatment of Historic Properties. A compliance evaluation in this regard shall be prepared by a qualified historical consultant and submitted to the City prior to issuance of any building permit associated with work on the Pinelli bungalow.
 - e. While the overall height, massing and location of Building 1 is approved, the architectural concept, elevation details, exterior colors and materials of Building 1 shall be subject to review and approval by the DRC to address concerns raised by the public and the Planning Commission.
 - f. The backflow prevention device shall be located outside the 20-foot front yard setback along the East Spain Street frontage, subject to review and approval by the Fire Marshall and City Engineer.
 - g. The carport structures shall be pre-wired to accommodate solar panels.
 - h. The northerly segment of the driveway shall be designed and constructed with pavers for a minimum length of 50 feet from the driveway apron for aesthetic purposes and stormwater infiltration.
 - i. Weekly vibration monitoring inspections of the Blue Wing Inn and Pinni Building shall be conducted by a licensed structural engineer during earth-moving activities, contingent upon authorization by the owners of those properties. The schedule of inspections shall be subject to the review and approval of the Building Official.

Enforcement Responsibility: Planning Dept.; Building Dept.; Pubic Works Dept., City Engineer
Timing: Prior to final occupancy & Ongoing

3. A grading and drainage plan and an erosion and sediment control plan shall be prepared by a registered civil engineer and submitted to the City Engineer and the Sonoma County Water Agency for review and approval. The Preliminary Stormwater Mitigation Plan (SMP) for Mission Square prepared by Adobe Associates, Inc. dated July 3, 2012 shall be submitted in conjunction with the grading plans and the measures identified in the SMP shall be incorporated into the grading and drainage plans consistent with City of Santa Rosa and Sonoma County Low Impact Development (LID) Manual requirements. The required plans shall be approved prior to the issuance of a grading permit and commencement of grading/construction activities. The erosion control measures specified in the approved plan shall

be implemented throughout the construction phase of the project. An NPDES permit shall be required and the plans shall conform to the City of Sonoma Grading Ordinance (Chapter 14.20 of the Municipal Code).

Enforcement Responsibility: City Engineer; SCWA; Public Works Department

Timing: Prior to issuance of the grading permit

4. The following improvements shall be required and shown on the improvement plans and are subject to the review of the City Engineer, Planning Administrator and Fire Chief. Public improvements shall meet City standards. The improvement plans shall be prepared by a registered civil engineer and approved by the City Engineer prior to issuance of a grading permit or building permit. All drainage improvements shall be designed in accordance with the Sonoma County Water Agency "Flood Control Design Criteria" and the City of Santa Rosa and Sonoma County Low Impact Development (LID) Manual requirements. Plans and engineering calculations for drainage improvements, and plans for sanitary sewer facilities, shall be submitted to the Sonoma County Water Agency (and copy of submittal packet to the City Engineer) for review and approval.
 - a. The property frontage on East Spain Street shall be improved with curb, gutter, and sidewalk as required by the City Engineer. Existing curb and gutter along the East Spain Street frontage that are damaged or deemed by the City Engineer to be in disrepair shall be replaced to City standards. In addition, paving upgrades to centerline of the East Spain Street in front of the property may be required. The existing residential driveway serving the bungalow shall be eliminated. The new two-way project driveway shall be constructed in conformance with the City's standard specifications.
 - b. Storm drains and related facilities, including off-site storm drain facilities as necessary to connect to existing storm drain facilities.
 - c. Stormwater BMPs as approved in the Applicant's preliminary Stormwater Mitigation Plan (SMP) shall be shown on the drainage and improvement plans.
 - d. Grading plans shall be included in the improvement plans and are subject to the review and approval of the City Engineer, Planning Administrator and the Building Official.
 - e. Sewer mains, laterals and appurtenances, including off-site sewer mains and facilities as required by the Sonoma County Water Agency; water conservation measures installed and/or applicable mitigation fees paid as determined by the Sonoma County Water Agency. If any drains are planned for the trash enclosure area, they shall be connected to the sanitary sewer system.
 - f. Separate water service lines, connections, and meters shall be required for the commercial component, residential component, fire suppression, and landscape irrigation. In addition, each residential building shall be sub-metered and sub-metering is recommended for individual residential units. If use of the existing water service is proposed it shall be upgraded to current standards and appropriate size as necessary. The location of water meters and backflow assemblies shall be identified on the plans and the locations approved by the City Engineer and Fire Chief. The Applicant shall pay any required increased water fees applicable to the new use in accordance with the latest adopted rate schedule
 - g. Public fire hydrants connected to public water lines shall be required in the number and at the locations specified by the Fire Chief and the City Engineer. An easement shall be required for existing and proposed public water lines. Fire hydrants shall be operational prior to beginning combustible construction.
 - h. Private underground utility services, including gas, electricity, cable TV and telephone, to all residential units in the development.
 - i. Signing and striping plans shall be submitted to the City Engineer for review and approval. Said plans shall include "No Parking" signs/markings along the appropriate drive aisles, traffic control signs, and pavement markings as required by the City Engineer and Fire Department.
 - j. Parking and drive areas shall be surfaced with an all-weather City-approved surface material.
 - k. The property address numbers/range shall be posted on the property in a manner visible from the public street, and on the individual structures/units. Type and location of posting are subject to the review and approval of the City Engineer, Fire Chief and Planning Administrator.

- l. All public sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
- m. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to the approval of the improvement plans, whichever occurs first.
- n. All grading, including all swales, etc., shall be performed between April 1st and October 15th of any year, unless otherwise approved by the City Engineer.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department; Planning Department; Fire Department; SCWA

Timing: Prior to issuance of the grading permit

5. The applicant shall obtain an encroachment permit from the City of Sonoma for all work within the East Spain Street right-of-way.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department

Timing: Prior to City approval of public improvement plans

6. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempted.

Enforcement Responsibility: Public Works Department; Building Department; City Engineer; Affected agency

Timing: Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

7. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended.

Enforcement Responsibility: City Engineer; Public Works Department; Planning Department

Timing: Prior to the issuance of any grading/building permit; Ongoing

8. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be submitted to the City Engineer and Building Department as part of the plan check process prior to the issuance of a grading permit and/or approval of the improvement plans, as determined by the City Engineer. Recommendations identified in the geotechnical investigation and report shall be incorporated into the construction plans for the project and into the building permits.

Enforcement Responsibility: City Engineer; Building Department

Timing: Prior to issuance of any grading/building permit

9. Provisions shall be made to provide for temporary parking of construction related vehicles and equipment on or adjacent to the project site, and not in the adjacent neighborhoods, to be approved by the City of Sonoma Building, Planning, and Public Works Departments. The contractors shall be required to maintain traffic flow on all affected roadways adjacent to the project site during non-working hours, and to minimize traffic restrictions during construction. Traffic control and access for the alley shall also be addressed. The contractors shall notify all appropriate City of Sonoma and Sonoma County emergency service providers of planned construction schedules and roadways affected by construction in writing at least 48 hours in advance of any construction activity that could involve road closure or any significant constraint to emergency vehicle movement through the project area or the adjacent neighborhoods.

Enforcement Responsibility: Building, Planning & Public Works Departments; Police & Fire Departments

Timing: Ongoing during construction

10. Any wells on the site shall be abandoned in accordance with permit requirements of the Sonoma County Department of Environmental Health; or equipped with a back-flow prevention device as approved by the City Engineer.

Enforcement Responsibility: Sonoma County Environmental Health Dept.; City Engineer; Public Works Dept

Timing: Prior to approval of the Grading Plans and Improvement Plans

11. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:
 - a. Sonoma County Water Agency [For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans];
 - b. Sonoma County Department of Environmental Health [For abandonment of wells]
 - c. Sonoma Valley Unified School District [For school impact fees]

Enforcement Responsibility: *Building Department; Public Works Department*
Timing: *Prior to the issuance of any grading/building permit*

12. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Water Agency immediately to determine whether such fees apply.**

Enforcement Responsibility: *Building Department*
Timing: *Prior to the issuance of any building permit*

13. All Building Department requirements shall be met, including Building Code requirements related to compliance with CALGreen standards and ADA requirements (i.e. disabled access, handicap parking, accessible paths of travel, accessible bathrooms, etc.). A building permit shall be required. To limit the impact of project-related groundbourne vibration impacts, the following conditions shall be incorporated into construction contract agreements in order to prevent groundbourne vibration levels in excess of 0.08 inches per second PPV from occurring:
 - a. The weight rating of all vibratory roller compactors used on the site shall have a maximum weight rating of 2 tons.
 - b. If pavement of the existing driveway is to be removed, jackhammers shall be used in lieu of hoe rams or other large impact-type breakers.

Prior to the issuance of any building permit or grading permit, the applicant shall provide written documentation verifying that these limitations have been imposed on all contractors. Compliance with this condition shall be monitored by Building Department staff throughout the course of construction.

Enforcement Responsibility: *Building Department*
Timing: *Prior to and during construction*

14. All Fire Department requirements shall be met, including requirements related to emergency vehicle access and the installation of a fire hydrant on site. Automatic fire sprinkler systems shall be provided in all buildings. Red-curb and/or "No Parking Fire Lane" signs shall be provided along both sides of the two-way driveway. An approved all-weather emergency vehicle access road to within 150 feet of all portions of all structures shall be provided prior to beginning combustible construction.

Enforcement Responsibility: *Fire Department; Building Department*
Timing: *Prior to the issuance of any building permit*

15. Three units within the development shall be designated as affordable units for households in the low and/or moderate income categories. The affordable units shall be recorded against the deed of the lot on which they lie at the County Recorder's Office, with a standard City Affordability Agreement subject to review and approval by the Planning Director. The developer shall enter into a contract with the City assuring the continued affordability of the designated units for a minimum period of 45 years and establishing maximum rents.

Enforcement Responsibility: *Planning Department, Building Department*
Timing: *Prior to occupancy of any unit.*

16. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation and replacement:

23. As set forth under Mitigation Measure NOISE-5, to limit the impact of project-related construction noise impacts the following conditions shall be incorporated into construction contract agreements:

- Limit construction activities, deliveries of materials or equipment to the site to the hours between 8:00 a.m. and 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays. Construction shall be prohibited on Sundays and all holidays recognized by the City of Sonoma.
- Do not allow start up of construction related machinery or equipment prior to 8:00 a.m. Monday through Friday, and 9:00 a.m. Saturday.
- Select quiet construction equipment, particularly air compressors, whenever possible.
- Properly muffle and maintain all construction equipment powered by internal combustion engines.
- Prohibit unnecessary idling of internal combustion engines. Equipment shall be turned off when not in use.
- Do not allow machinery to be cleaned or serviced past 6:00 p.m. Monday through Friday, and 6:00 p.m. on Saturdays.
- Locate all stationary noise-generating construction equipment such as compressors as far as practical from existing nearby residences and other noise-sensitive land uses. Acoustically shield such equipment.
- Notify adjacent residents to the project site of the construction schedule in writing.
- Control noise from construction workers' radios so they are not audible at existing residences that border the project site.
- Designate a "noise disturbance coordinator" who shall be responsible for responding to any local complaints about construction noise. This individual would likely be the contractor or a contractor's representative. The coordinator would determine the cause of the noise complaint (e.g. starting too early, bad muffler, etc.) and would require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the written notice sent to neighbors regarding the construction schedule.

Enforcement Responsibility: Applicant; Planning Department; Building Department; Building Inspector
Timing: Prior to issuance of building/grading permit; Ongoing during construction

Item #2 – Public Hearing – Consideration and possible action on an application for a Use Permit, Site Design and Architectural Review, and Parking Exception for the Mission Square project, a mixed-use development that includes 3,514 sq. ft. of office space, 14 apartments, and associated parking improvements at 165 East Spain Street.

Applicant/Property Owner: Marcus & Willers Architects/Marcus and David Detert

Senior Planner Gjestland presented staff's report.

Comm. Howarth confirmed with staff that the proposed parking configuration meets current commercial standards, however the residential parking spaces are one foot less in width than would normally be required, which is why an Exception from the parking standards is being requested. Comm. Howarth noted that the Planning Commission has been considering amending the City's parking regulations, including reducing the dimensional standards for parking spaces.

Lori Bremner, the property owner's representative, introduced the project team.

Marcus Detert, co-property owner, (129 Clark Dr. San Mateo) indicated that Lori Bremner and project architects held a neighborhood meeting last week to discuss and view the project.. He feels the project team has adequately responded to the Planning Commission's request for more information at last meeting with the detailed design review submittal. He hopes the Planning Commission will approve the project which he feels respects the historic character of Sonoma.

Kristina Lawson ESQ., project attorney, agrees with the staff recommendation for project approval this evening. She noted that staff's brief oral presentation did not fully convey the lengthy review process for the Mission Square project, which began seven years ago following consideration of a separate hotel proposal for the site. The project has now been reduced to 14 residential units and 3,500 sq. ft. of office space. She emphasized that the Planning Commission certified the EIR for the Mission Square project in July 2013 and that a detailed design review submittal has been submitted for consideration this evening as requested. She addressed recent concerns raised about the well on the property, noting that this is not a new issue and that various cultural resource studies have been conducted, including an on-site archaeological investigation by Tom Origer & Associates, with participation by the Federated Indians of Graton Rancheria. She noted that these evaluations did not identify the well as a significant cultural resource and pointed out that the EIR includes mitigation measures addressing cultural resources.

Tim Schramm, project engineer (Adobe Associates, 1220 North Dutton Santa Rosa) addressed the grading and drainage plan for the project, which includes a vegetated swale along the south property line appropriately sized for the treatment/infiltration of runoff from the roofs and parking lot. He estimates there will be 30 trucks of exported soil from the site and referenced the fire truck turning template, noting the Autoturn program was used to confirm the City's fire apparatus parameters are met in terms of access.

Comm. Tippell confirmed with the project engineer that there would be 265 cubic yards of cut/export, including wet and dry trench spoils, but also 698 cubic yards of imported base rock for the drive and parking areas.

Mr. Schramm noted the drainage plan also includes a new catch basin with filterra unit on the west side of the driveway that would accommodate runoff from the driveway. The remainder of site runoff would be conveyed to the bioswale on the south side of the property through curb openings.

Comm. Felder asked for further clarification on the drainage system and expressed concern that surface runoff will flow onto the adjoining properties to the west. The project engineer confirmed the drainage plan includes a drain inlet in the southwest corner of the site to convey overflow from the bioswale north to the filterra unit on the west side of the drive and that these systems have been appropriately sized to meet applicable Low Impact Development stormwater regulations. Comm. Felder indicated that he remained skeptical about the drainage plan.

Comm. Tippell has scrutinized the drainage plan/design and feels it is adequate. However, he noted that asphalt is proposed for all driveway and parking areas and asked if the applicants would consider permeable pavers for the first 50-60 feet of driveway in order to improve aesthetics and enhance groundwater recharge and stormwater filtration. Mr. Schramm noted that additional stormwater BMPs beyond the proposed bioswale and filterra unit are not necessary to meet applicable stormwater requirements and that the site's clay soils are highly expansive which can be problematic for pavers.

Comm. Felder confirmed with the project engineer that an underground storm drain goes from the north through the property and/or along its west side. The exact location has not been plotted yet.

Carol Marcus, project architect (Marcus & Willers Architects), anticipates DRC review of the landscape plan, exterior lighting, signage, and rehabilitation plan for the Pinelli bungalow if necessary. She requested the opportunity to address the Planning Commission at the end of the public hearing to answer questions and also for the project team to address any concerns or questions that may come up through the Planning Commission's discussion. She proceeded to play a virtual tour of the project proposal (an interactive 3D-model video) that illustrated the project features. In general, the architecture and details of the proposed buildings do not attempt to replicate the style of historic buildings in the area, which is consistent with the Secretary of the Interior's Standards. Rather they draw from forms, materials, finishes and textures that are familiar to the area and are designed as quiet, simple buildings that are sensitive to the historic district. The new buildings will exceed CALGreen building standards, feature Marvin integrity windows, and have the least invasive type of foundation system possible.

Ms. Marcus emphasized they will be rehabilitating the Pinelli bungalow for office use rather than restoring it. Not all windows will be replaced exactly in kind; however they do not expect major changes to the exterior of the bungalow. She noted they added a colonnade to the west side of Building 1 and selected exterior materials for longevity and low maintenance. She pointed out that the cement plaster proposed for the project is common in the historic district and presented a material and color board to the Planning Commission, as well as a roof sample and window sample. Ms. Marcus explained that Buildings 2, 3, and 4 have double-hipped roofs, and 6" by 6" chamfered porch/balcony posts to break down their mass. Buildings 5 and 6 would be differentiated by the use of board and batten siding. Building 7 would have "barn" doors on the east/enclosure side and the carports would be white and fully cantilevered to allow for maximum vehicle mobility. She noted the carport spaces would be fully functional with a width of nine feet and that nearby parking for the Mercato complex has 8' by 14' spaces that work. She emphasized there would also be an opportunity for shared parking and requested approval of the parking exception. She noted that neighbors would prefer a CMU wall rather than wooden

fencing for the required noise barrier at the southeast corner of the site. They are happy to accommodate this request; however the footing for a CMU wall could require a reduction in the length of adjoining parking spaces by 2 feet in order to maintain the bioswale on the south side of the site.

Comm. Edwards confirmed with the project architect that the backflow prevention device would likely be located in the landscape area northeast of the Pinelli bungalow and that the number of office tenants could range from one to seven.

Comm. Tippell commended the applicant on the video presentation, which he found very helpful. He inquired whether solar panels or pre-wiring for solar on the carports was considered. The project architect indicated that pre-wiring for solar could be considered and clarified that a common laundry facility is proposed as another "green" feature rather than laundry appliances in the individual units.

Comm. Heneveld confirmed the location of the sound wall required by Mitigation Measure NOISE-4 and that finish color of the carports would be factory applied.

Comm. Howarth does not like the location of backflow prevention devices within front yards, especially in the historic zone, and noted that other cities approach this differently. He does not want this feature to be prominent in the streetscape. The project architect indicated they were open to alternate locations provided the City would allow for it.

Comm. Howarth confirmed that windows proposed for Building 1 are not true divided lights. He noted the depth of the recess/reveal into the building wall for windows on Building 1 and asked the project architect why this detail was not brought into Buildings 2, 3, and 4. The project architect responded explained that it is because 2"x6" construction is proposed for Building 1 whereas the other buildings would employ 2"x4" construction.

Paul Harris, project landscape architect (Imagine Sonoma Landscape, 801 Camelia St. Berkeley) has designed a simple and practical landscape plan with medium to low water use plants and no lawn that uses crushed stone as mulch and boulders to delineate spaces. Different low fence options are presented that draw from local examples. The plan is conceptual at this point and would be refined for review by the DRC.

Comm. Howarth confirmed with the landscape architect that roof drainage would ultimately be directed to the bioswale on the south side of the property per the civil drainage plans. In addition, there would be drainage areas between the buildings lined with river cobble.

Chair Roberson opened the public hearing.

Karla Noyes, resident outside City limits, feels the project is much improved but urged the Planning Commission to keep their standards high to avoid bad and/or cheap designs.

Patricia Cullinan, 425 Denmark Street, has concerns about vibration impacts, drainage, and the design of Building 1. She feels the vibration analysis should have included the Pinni and Viviani buildings. In addition, there should be a pre-construction survey, insurance requirements, and monitoring plan to ensure that vibration levels do not exceed the threshold and cause damage. She has concerns about site drainage and a cone of saturation potentially affecting the Blue Wing Inn building. Building 1 will be the largest on the block and overwhelm the Blue Wing Inn and other structures on East Spain Street.

Mary Martinez, 414 First St. East, says the 100-year flood comes every 10 years to this area and the property currently functions as a drainage swale. She does not feel that drainage has been adequately addressed. She believes that no exceptions should be made to the parking standards, noting that up to seven tenants could occupy the office space thus exacerbating on-street parking impacts.

Barbara Wimmer, President of the Sonoma League for Historic Preservation and resident, at 19060 Junipero Serra Dr., stated it is the position of the League that the project needs further modification to achieve compatibility with the historic setting, particularly with respect to the design of Building 1. She indicated that the project should be designed in a "more historical manner."

Comm. Tippell asked Ms. Wimmer to clarify what a more historical manner would be. Ms. Wimmer stated she doesn't have an answer. She indicated the League is mainly concerned with the design of Building 1, which should be further refined. The remainder of the project is acceptable.

Bob Garant, Board member of the Sonoma League for Historic Preservation and resident at 617 First St. West, clarified that the League does not want to force any particular architectural style for Building 1. However, they feel Building 1 is a rather massive and will overwhelm adjacent buildings. He suggested that Building 1 should be raised on a plinth and concurred with previous comments about possibly recessing the windows and using a different exterior finish. He feels the building has no continuity with surrounding structures and emphasized the main concern is with its massing. The League requests that the Planning Commission to push on this issue.

Comm. Tippell confirmed with Mr. Garant that the primary concern is with the proportion and detailing of Building 1, not about wanting any particular architectural style.

Robert Demler, Vice-President of the Sonoma League for Historic Preservation and resident, at 649 First St. West, noted the importance of site's historic setting. He does not like the design of Building 1, which he feels does not harmonize with or enhance the historic district. In his personal opinion, employing an adobe architectural style for Building 1 like the Blue Wing or Ray adobe would better, preferably with a second floor balcony.

Kimberly Blattner, 426 Second St. East, feels that the project design is less than ordinary and needs more work, especially considering the unique and important location of the site. She believes the property owners are not demanding enough of the project architect. She commented that the residential buildings all look like cheap student housing and requested that the Planning Commission send it back.

Carol Marcus, project architect, disagrees with public comments that the project would overwhelm the Blue Wing Inn. She pointed out that Building 1 and the Blue Wing Inn would not be seen side by side given the intervening Pinni building and noted that Building 1 would be setback 20 feet from the property line along East Spain Street in contrast to the Blue Wing Inn which has no setback.

Tim Schramm, project engineer, argued against the use of permeable pavers to reduce stormwater runoff noting that site soils have been classified as Group C with low infiltration rates. He emphasized that the project Stormwater Mitigation Plan and Preliminary Grading and Drainage Plan employ bioswales in conjunction with other BMPs to meet applicable stormwater

requirements. He noted the drainage design will also need to demonstrate compliance with the SCWA Flood Design and Drainage Requirements through a plan check process.

Comm. Tippell is familiar with the site soil type and proposed drainage design approach, which he feels the project engineer did a good job with. He is suggesting the use of permeable pavers for only a portion of the driveway for aesthetics primarily and only secondarily for stormwater benefits.

Comm. Howarth agreed with some of the public comments about the design of Building 1 and asked the project architect if they had conducted a design study of exterior material/finish options that considered nearby buildings. The project architect indicated they did not perform such a study but considered the durability, sustainability, and overall compatibility of their exterior material/finish choices.

Chair Roberson closed the public hearing.

Comm. Tippell noted that the Planning Commission validated the site plan through the EIR certification process, so he feels the land plan is acceptable. He is also comfortable with the parking exception. He has three issues: 1) the applicant should consider an alternative surface for a portion of the driveway leading from East Spain St.; 2) prewiring of the carports should be required to accommodate future solar; and 3) he shares some of the concerns regarding the design of Building 1. With respect to Building 1, he does not want to direct a particular architectural style but would like to see something a bit different and feels that more design consideration should be required. He is comfortable approving the project tonight, including the parking exception, with the requirement that the design of Building 1 be subject to further consideration by the Design Review Commission.

Comm. Edwards agrees with Comm. Tippell's concerns about the design of Building 1, which he feels does not fit into the historic setting. He believes more work could be done to reduce its mass and suggested a balcony and possibly the use of stone or more wood. He is not convinced that pervious pavers for the driveway make sense given the high groundwater table on the property, as evidenced by the artesian well, which had hot water coming out of it at one time according to Bob Cunnard.

Comm. Felder indicated he no longer has concerns about parking but is skeptical that drainage is adequately addressed despite the project engineer's explanation. He feels that drainage needs to be looked at more closely. He has greater concern about vibration impacts on the Blue Wing Inn and Pinni building and would insist on a condition requiring documentation of their current condition and regular inspections/monitoring by a qualified consultant during grading to ensure that vibration levels do not exceed the threshold identified in the EIR. Regardless, he cannot support the project due to the massing and height of Building 1. He is not satisfied with the design approach given the important historic aspect of the streetscape.

Comm. Henevald concurs with some of the previous commissioner comments but disagrees about the design of Building 1, noting that the hipped roof helps soften it. He commented that the plainness of Building 1 seems to be the main concern of the commission overall. He is not concerned about drainage as applicable regulations and review of drainage plans by Sonoma County Water Agency are stringent. He feels that parking is adequate and that prewiring the carports for solar makes sense.

Comm. Howarth hears from the majority of the commission that there is concern with Building 1 not fitting in. He is comfortable with parking and drainage but cannot support the project without

modifications to Building 1. He likes the suggestion of pavers on a portion of the driveway for aesthetic reasons and feels that construction should be prohibited on weekends since associated noise may adversely impact neighbors during development of the project.

Planning Director Goodison clarified that Mitigation Measure NOISE-5 set forth in the EIR and MMRP prohibits construction activity on Sundays and designated Holidays.

Chair Roberson confirmed with Planning Director Goodison that drainage infrastructure was installed with the Mercato II complex to address flooding in the area and the infrastructure was sized to accommodate development of the subject property. He is predominantly in favor of the project, which he feels is respectful and compatible with the surrounding area in general. The parking exception is reasonable and he agrees that pre-wiring the carports for solar is a good idea. His concerns about drainage have been adequately addressed by the information provided and the drainage plan review process. With respect to Building 1, it should not replicate historic structures and must be a modern building that fits into its surroundings. He appreciates the applicant's efforts to keep Building 1 subordinate to historic buildings in the area, though it may be too muted. Regardless, this design issue should be referred to the DRC for consideration. He is impressed with the applicant's video, which is helpful visualizing the project.

A discussion ensued about the location of the backflow prevention device. Planning Director Goodison suggested a condition requiring that it be located outside the front yard setback subject to review and approval of the Fire Marshall and City Engineer.

Com Tippell indicated he is comfortable approving the project tonight with the requirement that the design of Building 1 be reviewed by the DRC.

Comm. Felder and Comm. Edwards feel the design of Building 1 is too significant of an issue to pass on to the DRC and that it should be resolved at the Planning Commission level.

Chair Roberson feels that the Planning Commission has conducted a thorough review of the project and that the design of Building 1 should be referred to the DRC since it is primarily an aesthetic concern, rather than an issue of placement or massing.

Comm. Tippell made a motion to approve the Use Permit, Site Design and Architectural Review, and Parking Exception with the following amendments to the conditions of approval:

1. The architectural concept, elevation details, exterior colors and materials of Building 1 shall be subject to review and approval by the DRC to address concerns raised by the public and the Planning Commission
2. The backflow prevention device shall be located outside the 20-foot front yard setback along the East Spain Street frontage, subject to review and approval by the Fire Marshall and City Engineer.
3. The carport structures shall be pre-wired to accommodate solar panels
4. The northerly segment of the driveway shall be designed and constructed with pavers for a minimum length of 50 feet from the driveway apron for aesthetic purposes and stormwater infiltration.
5. Weekly vibration monitoring inspections of the Blue Wing Inn and Pinni Building shall be conducted by a licensed structural engineer during earth-moving activities, contingent upon authorization by the owners of those properties.
6. The limitations on construction hours and other measures set forth in Mitigation Measure NOISE-5 shall be explicit within the conditions of project approval.

Comm. Howarth seconded the motion.

Roll Call Vote:

Ayes: Comms. Tippell, Henevald, Howarth, and Chair Roberson. Noes: Comms. Felder and Edwards. Comms. Willers and Cribb recused. The motion was approved 4-2.

Comm. Willers returned to the dais.

Comm. Cribb left the meeting.

Item #3- Public Hearing- Consideration of amendments to Title 19 of the Sonoma Municipal Code to: 1) clarify provisions related to density bonuses and inclusionary housing; 2) modify provisions pertaining to use permit requirements for emergency shelters in the “P” zoning district; 3) establish a definition for Agricultural Employee Housing”; and, 4) allow for residential care facilities in the Mixed Use zone.

Planning Director Goodison presented staff’s report.

Comm. Tippell discussed a hypothetical scenario in which a housing development provides for affordable unit referring to two moderate and one low income unit in a different zoning District.

Planning Director Goodison says it only applies to Sonoma Residential Housing.

Comm. Willers believes that clarity is always beneficial in business.

Planning Director Goodison conducted a staff straw poll with all the Commissioners favoring making the necessary changes.

Comm. Tippell made a motion to make a change as defined: Within the Sonoma Residential zone, in cases where the inclusionary requirement results in an odd number of units, the applicant shall have the option of pricing the odd unit at either the moderate income level of the low income level. Comm. Willers seconded. The motion passed 6-1 (Comm. Edwards dissenting).

Issues Update:

1. The Planning Commissioners Conference is on 12-7 at Sonoma State University. Please R.S.V.P. to Cristina.
2. The AT&T cell tower was appealed to the City Council based on the issue of EMF.
3. The City Council upheld the Planning Commission’s decision to approve the Nicora Place project.
4. The Sonoma Valley Hospital reception/tour was held today for the completed expansion/addition. Another tour can be arranged for those that could not attend.

Comments from the Audience: Robert Garrant, Engineer, (617 First Street West) suggested that the City consider making changes to the placement of the fire sprinkler system requirements, by making an allowance for underground options to be considered.

Comm. Edwards made a motion to adjourn. Comm. Howarth seconded. The motion was unanimously approved 7-0. (Comm. Cribb abstained)

Marcus & Willers Architects

873 First Street West, Sonoma, CA 95476

(707) 996-2396

April 22, 2014

Ms. Wendy Atkins
Associate Planner
City of Sonoma
No. 1 the Plaza
Sonoma, California 95476

Re.: Mission Square Building #1 submittal for May 20 DRHPC meeting

Mission Square Design Narrative

Project Background:

Mission Square is designed to provide residential rental opportunities and small office spaces within close proximity to the Sonoma Plaza. The proposed development is the product of considerable public input, which has resulted in a project which we feel both respects and enhances the historic district in which it lies.

At its July 18, 2013 meeting, the Sonoma Planning Commission certified the EIR for Mission Square. At that meeting, the development team was asked to prepare a Design Review submittal for the Planning Commission, so that the commission could fully understand the design intent in its deliberations for the Use Permit. At its November 14, 2013 meeting, the Commission approved the Use Permit, Site Design, Architectural Review and Parking Exception for Mission Square, with several Conditions of Approval, one of which was to have the the architectural concept, elevation details, exterior colors and materials of Building 1 (the new commercial building) reviewed by the DRHPC. The commission's decision was appealed to the City Council, which denied the appeal at its February 3, 2014 meeting, upholding the Planning Commission's approval.

Mission Square is comprised of 14 apartment units and 3,514 square feet of office space. The existing Pinelli bungalow is reused as a small-scale office building. A new, 2,434 square foot, two-story office building (Building 1) is placed to the west of the bungalow. Both office buildings face East Spain Street and maintain the existing front setback of the Pinelli bungalow.

Mission Square strives to recognize and reinforce existing patterns of development within the historic Sonoma Plaza district. The commercial buildings maintain and reinforce the scale and use of buildings along East Spain Street and provide a transition between the more intensive retail uses to the west and the residential uses to the east. A covered walkway along the west side of the new commercial building reinforces a common pattern around the Plaza, and provides

a pedestrian-friendly transition to the residential portion of the development. It is our intention that the ensemble of buildings weaves into the fabric of the historic district by utilizing massing, materials and building elements such as balconies, porches and railings commonly found in the district surrounding historically significant buildings.

Building 1:

The Mission Square project is located on one of the most historically significant blocks in Sonoma. Mission Square's neighbors, The Mission, the Blue Wing Inn, the Barracks and the Pinni Building are designated as landmarks, and rightly so. The Historic Overlay zone is a landmark district, though not every building in the district is a landmark in its own right. Rather, the scale, proportions and use of materials of these buildings on and near the Plaza provide a backdrop against which the truly landmark buildings sit, creating a fabric which is respectful of the landmark buildings. It is our intent, in designing Building 1, to create a building that is respectful of the landmarks around it, through our choices of massing, materials, details and colors.

What is notable about the landmark buildings surrounding Mission Square is their simplicity, in form, in the use of materials, and in detailing. We have taken our cues for the design of Building 1 from these buildings. The building is approximately square in plan, and the ground floor plate is repeated on the second floor, as is done in the Blue Wing Inn, and in many of the other historically significant buildings around the Plaza. The building's footprint is limited by the setbacks required by the EIR and the Planning Commission. More specifically, we have been required to maintain seventeen feet from the existing Pinelli Bungalow, twenty feet from Spain Street in order to match the setback of the Pinelli Bungalow, and fifteen feet from the residential buildings we have proposed to the south. Because we have maintained the fig and quince trees to the east of the Pinni Building, the driveway access to the property shifted to the east, further constraining the building footprint of Building 1.

The materials have been selected for their compatibility with the historic district, for their durability, and for their ease of maintenance. The walls are finished in 3-coat cement plaster with a super-fine texture and integral color. The windows are double-hung, made of fiberglass-clad wood, and the doors are wood, with painted wood trim. The roof is asphalt shingles. Posts and beams are from reclaimed timbers.

Based on concerns raised by the public and the Planning Commission, we have prepared three options for the design of Building 1. Option One is the proposal we presented at the November 2013 Planning Commission and the February 3 City Council meetings. There was concern that the ridge height of this proposal was too far in excess of that of the Blue Wing Inn. It should be noted that the floor-to-floor height of the Blue Wing Inn is approximately eight and a half feet, placing the ground floor ceiling at about seven and a half feet. It would not be desirable or code-compliant to replicate these heights in today's construction. Option Two lowers the ridge height by a foot by reducing the pitch of the roof, and lowers the perceived height of the building by extending roof rafters rather than providing a soffit on the overhang. Not only does this reduce the perceived mass of the building, which was the overriding concern in November, but it adds

more refined detailing at its edges. Option Two also raises the height of the first floor colonnade, which changes the proportion of the building from more vertical, as it was in Option One, to more horizontal. We have also added one window to the second floor on the north elevation in Option Two to reinforce the horizontal proportion, and to create a window pattern more indicative of commercial use. In Option Three we have further reduced the height of the building by nine inches by lowering the roof pitch, and have added a balcony to the upper floor on the north, projecting the roof over it.

In presenting these options, we feel we have further refined the design of Building 1, have reduced its massing, and are creating a building that will be an asset to the historic district. We look forward to meeting with you in May.

Mission Square

165 East Spain Street, Sonoma, California

DESIGN REVIEW SUBMITTAL

April 22, 2014

BUILDING 1

ELEVATIONS

EXTERIOR IMAGES

MATERIALS & COLORS

EXTERIOR DETAILS

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





NORTH



EAST



SOUTH



WEST

Mission Square Building 1 Option 1

165 East Spain Street, Sonoma, California

DESIGN REVIEW SUBMITTAL October 18, 2013

EXTERIOR MATERIALS

ROOF: CERTAIN-TEED 40-YEAR ASPHALT SHINGLES
 WALL: 3-COAT CEMENT PLASTER
 TEXTURE: SUPER-FINE FINISH, INTEGRAL COLOR
 TRIM: PAINTED WOOD
 POSTS & BEAMS: RECLAIMED TIMBERS

WINDOWS: MARVIN INTEGRITY ULTREX
 TYPE: DOUBLE HUNG
 ENTRY DOOR: HALF-LITE 2-PANEL
 MECHANICAL ROOM DOOR: WOOD PLANK

MARCUS & WILLERS ARCHITECTS
 SONOMA, CALIFORNIA

707 996 2396





Building 1 from across the street



Building 1 North Elevation

Building 1 at Entry Drive



Building 1 West Elevation



Mission Square Building 1 Option 1

165 East Spain Street, Sonoma, California

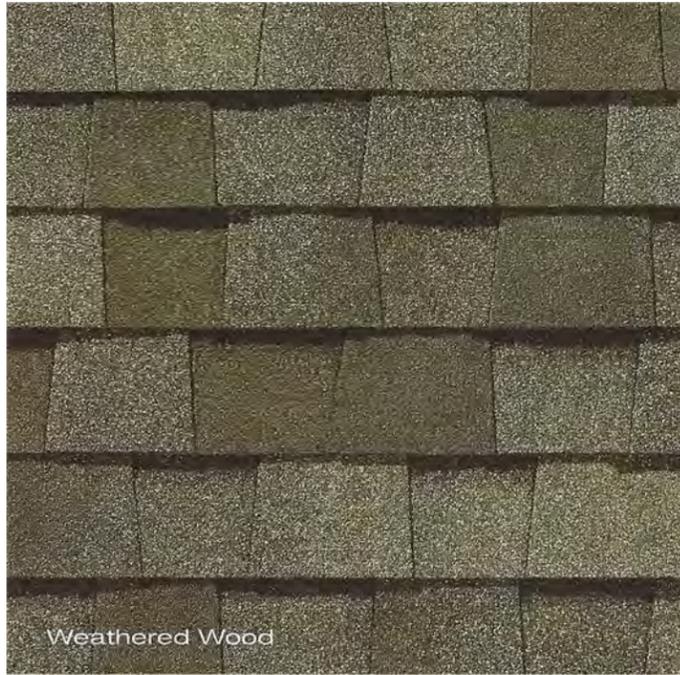
DESIGN REVIEW SUBMITTAL October 18, 2013

Exterior Images

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





Roofing

CertainTeed *Landmark* series 40 year Asphalt Shingles
 Color: Weathered Wood



Entry Door

Simpson 1/2 Lite 2 panel
 Type: 6044
 Color: Dry Sage



Plank Door

Simpson: Plank



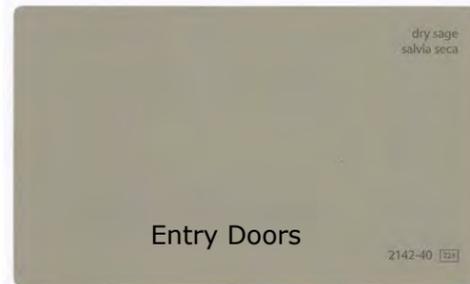
Windows

Marvin Integrity Wood Ultrex
 Type: Double Hung and Casement
 Color: Bronze



Walls

Cement Plaster, Super Fine Texture
 Integral Color: Paris White



Entry Doors



Gutters



Porch Ceilings



Trim & Soffit



Gutter

Mission Square Building 1 Option1
 165 East Spain Street, Sonoma, California

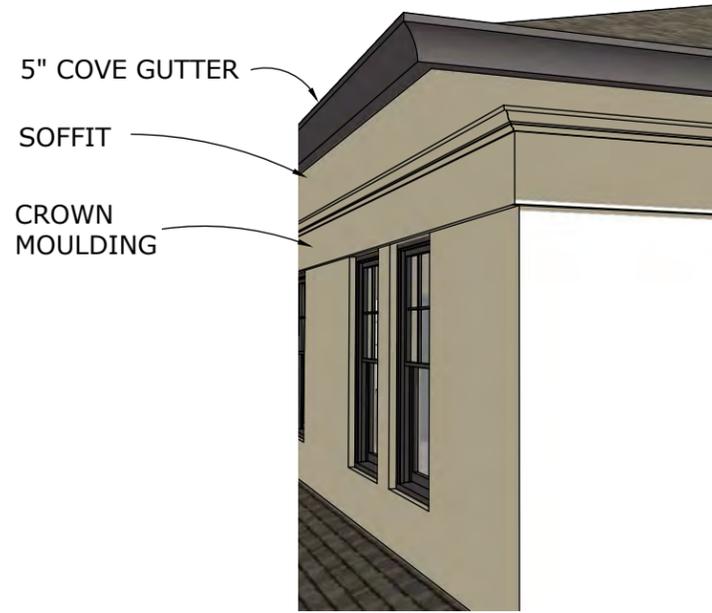
DESIGN REVIEW SUBMITTAL October 18, 2013

Materials & Colors

MARCUS & WILLERS ARCHITECTS
 SONOMA, CALIFORNIA

707 996 2396

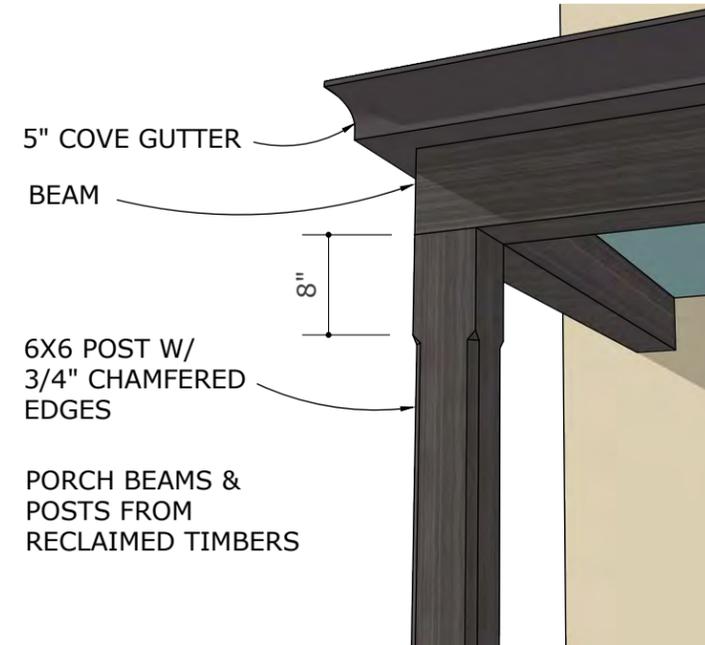




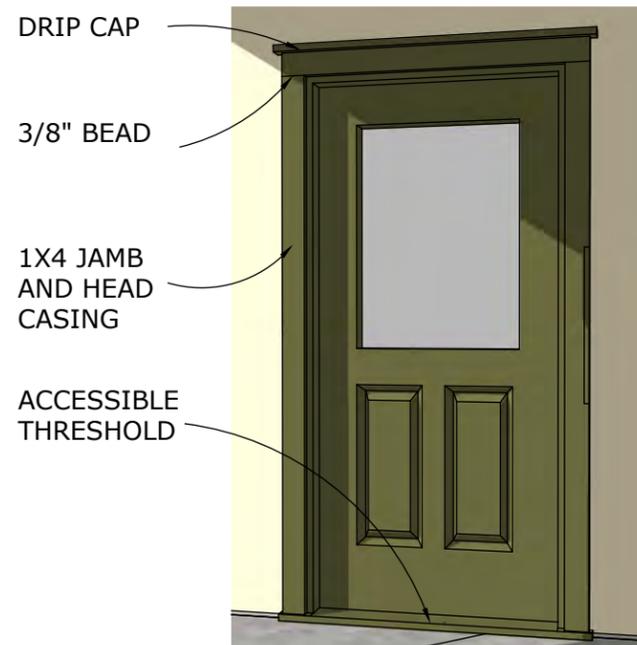
WALL TO ROOF



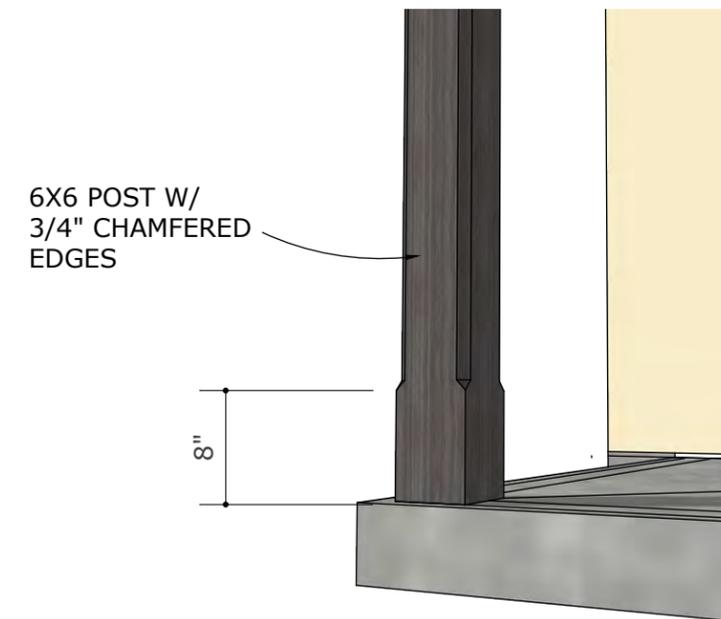
WINDOW EDGE



PORCH ROOF



DOOR TRIM



POST BASE





NORTH



EAST



SOUTH



WEST

Mission Square Building 1 Option 2

165 East Spain Street, Sonoma, California

DESIGN REVIEW SUBMITTAL April 22, 2014

EXTERIOR MATERIALS

ROOF: CERTAIN-TEED 40-YEAR ASPHALT SHINGLES
 WALL: 3-COAT CEMENT PLASTER
 TEXTURE: SUPER-FINE FINISH, INTEGRAL COLOR
 TRIM: PAINTED WOOD
 POSTS & BEAMS: RECLAIMED TIMBERS

WINDOWS: MARVIN INTEGRITY ULTREX
 TYPE: DOUBLE HUNG
 ENTRY DOOR: HALF-LITE 2-PANEL
 MECHANICAL ROOM DOOR: WOOD PLANK

MARCUS & WILLERS ARCHITECTS
 SONOMA, CALIFORNIA

707 996 2396





Building 1 from across the street



Building 1 North Elevation

Building 1 at Entry Drive

Building 1 West Elevation



Mission Square Building 1 Option 2

165 East Spain Street, Sonoma, California

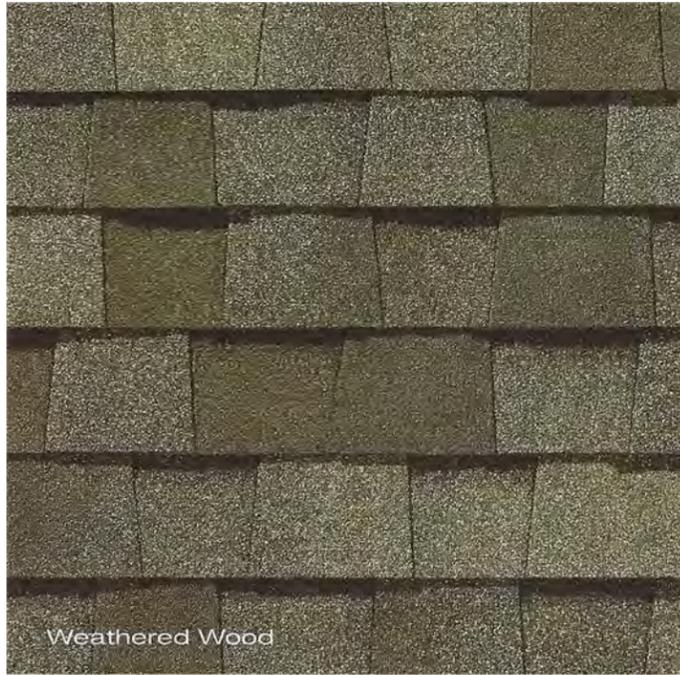
DESIGN REVIEW SUBMITTAL April 22, 2014

Exterior Images

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





Roofing

CertainTeed *Landmark* series 40 year Asphalt Shingles
Color: Weathered Wood



Entry Door

Simpson 1/2 Lite 2 panel
Type: 6044
Color: Dry Sage



Plank Door

Simpson: Plank



Windows

Marvin Integrity Wood Ultrex
Type: Double Hung and Casement
Color: Bronze



Walls

Cement Plaster, Super Fine Texture
Integral Color: Paris White



Entry Doors

2142-40



Porch Ceilings

813



Posts, Beams, Exposed Rafters
Reclaimed Douglas Fir



Gutter and Downspouts
6" Half Round Copper Gutters
3" Diameter Copper Downspouts

Mission Square Building 1 Option 2
165 East Spain Street, Sonoma, California

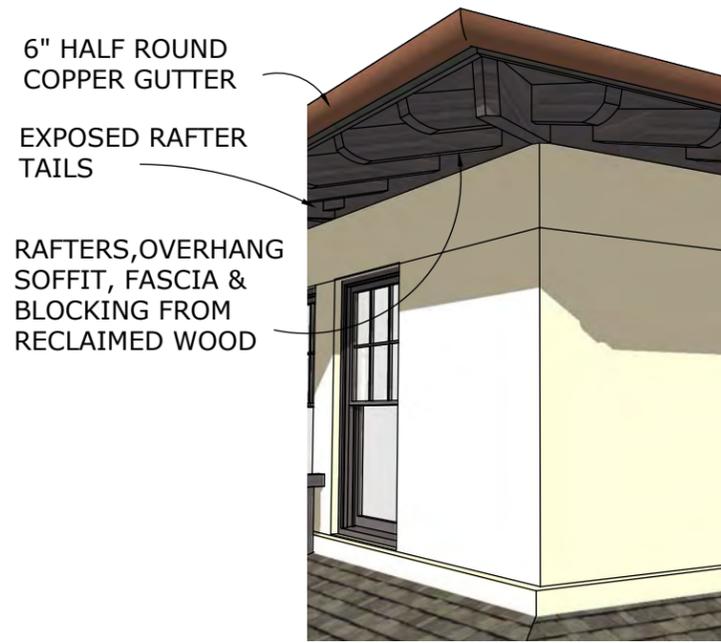
DESIGN REVIEW SUBMITTAL April 22, 2014

Materials & Colors

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

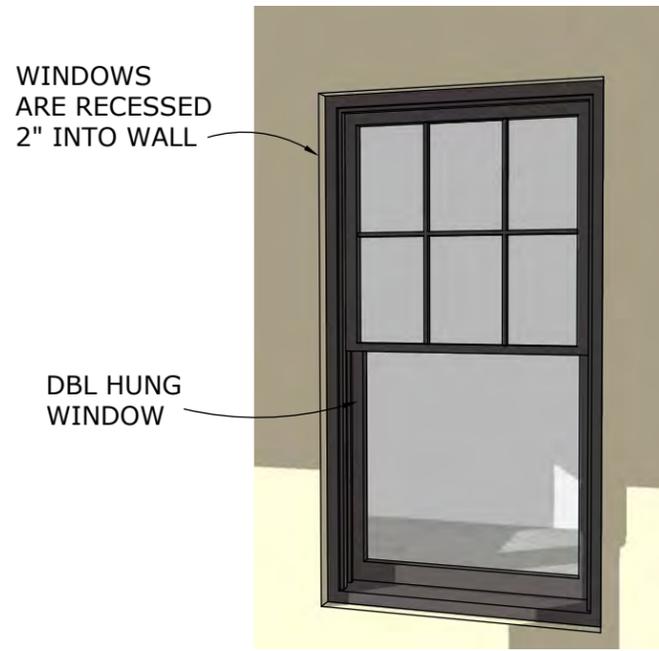
707 996 2396





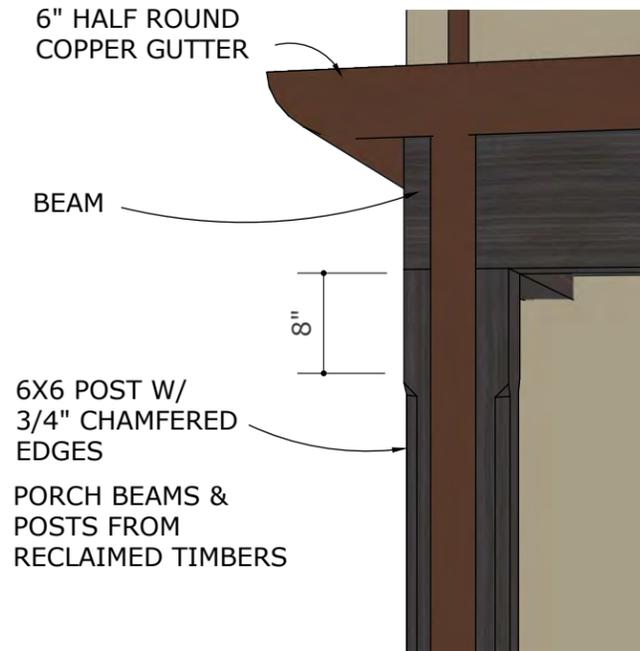
6" HALF ROUND COPPER GUTTER
 EXPOSED RAFTER TAILS
 RAFTERS, OVERHANG SOFFIT, FASCIA & BLOCKING FROM RECLAIMED WOOD

WALL TO ROOF



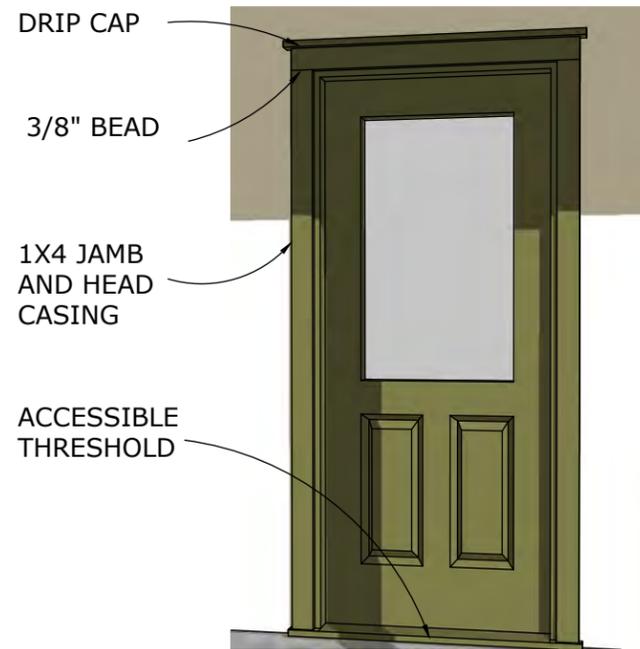
WINDOWS ARE RECESSED 2" INTO WALL
 DBL HUNG WINDOW

WINDOW EDGE



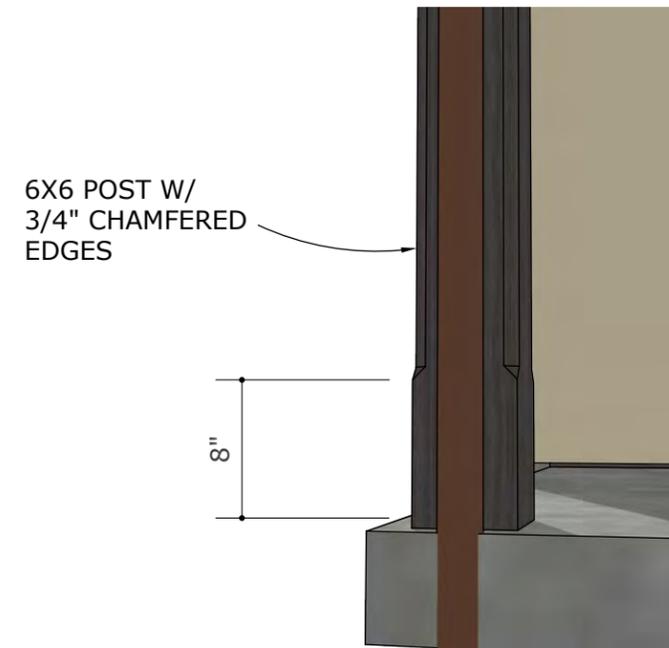
6" HALF ROUND COPPER GUTTER
 BEAM
 8"
 6X6 POST W/ 3/4" CHAMFERED EDGES
 PORCH BEAMS & POSTS FROM RECLAIMED TIMBERS

PORCH ROOF



DRIP CAP
 3/8" BEAD
 1X4 JAMB AND HEAD CASING
 ACCESSIBLE THRESHOLD

DOOR TRIM



6X6 POST W/ 3/4" CHAMFERED EDGES
 8"

POST BASE





NORTH



EAST



SOUTH



WEST

Mission Square Building 1 Option 3

165 East Spain Street, Sonoma, California

DESIGN REVIEW SUBMITTAL April 22, 2014

EXTERIOR MATERIALS

ROOF: CERTAIN-TEED 40-YEAR ASPHALT SHINGLES
 WALL: 3-COAT CEMENT PLASTER
 TEXTURE: SUPER-FINE FINISH, INTEGRAL COLOR
 TRIM: PAINTED WOOD
 POSTS & BEAMS: RECLAIMED TIMBERS

WINDOWS: MARVIN INTEGRITY ULTREX
 TYPE: DOUBLE HUNG
 ENTRY DOOR: HALF-LITE 2-PANEL
 MECHANICAL ROOM DOOR: WOOD PLANK

MARCUS & WILLERS ARCHITECTS
 SONOMA, CALIFORNIA

707 996 2396





Building 1 from across the street



Building 1 North Elevation

Building 1 at Entry Drive

Building 1 West Elevation



Mission Square Building 1 Option 3

165 East Spain Street, Sonoma, California

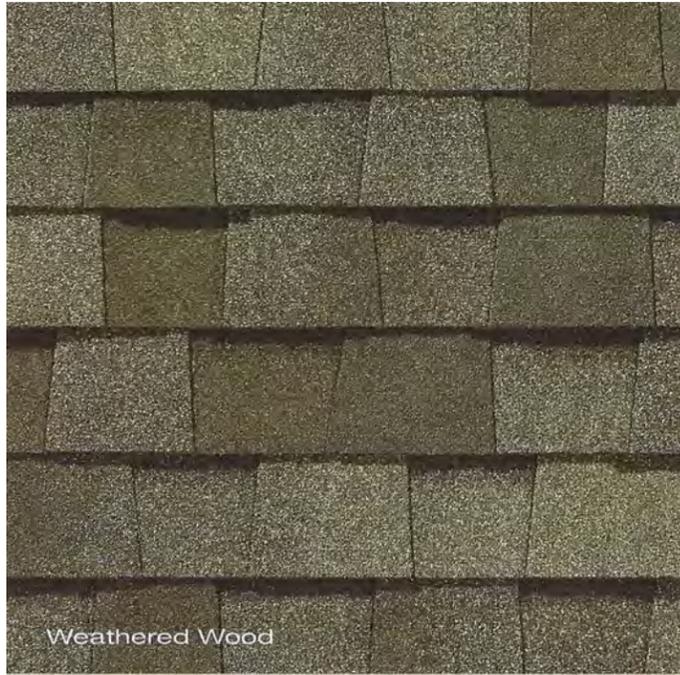
DESIGN REVIEW SUBMITTAL April 22, 2014

Exterior Images

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





Roofing

CertainTeed *Landmark* series 40 year Asphalt Shingles
Color: Weathered Wood



Entry Door

Simpson 1/2 Lite 2 panel
Type: 6044
Color: Dry Sage



Plank Door

Simpson: Plank



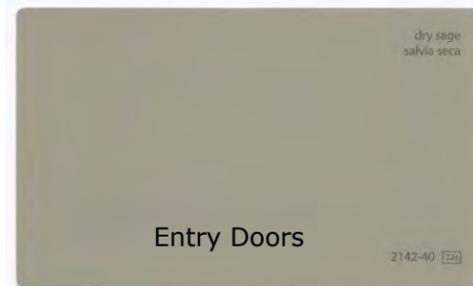
Windows

Marvin Integrity Wood Ultrex
Type: Double Hung and Casement
Color: Bronze



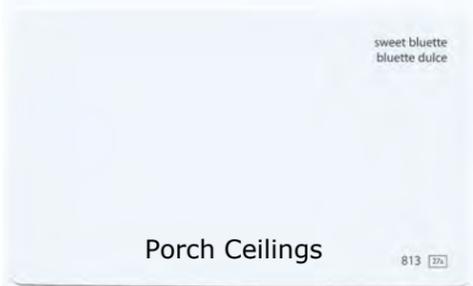
Walls

Cement Plaster, Super Fine Texture
Integral Color: Paris White



Entry Doors

2142-40



Porch Ceilings

813



Posts, Beams, Exposed Rafters
Reclaimed Douglas Fir



Gutter and Downspouts
6" Half Round Copper Gutters
3" Diameter Copper Downspouts

Mission Square Building 1 Option 3
165 East Spain Street, Sonoma, California

DESIGN REVIEW SUBMITTAL April 22, 2014

Materials & Colors

MARCUS & WILLERS ARCHITECTS
SONOMA, CALIFORNIA

707 996 2396





6" HALF ROUND COPPER GUTTER
EXPOSED RAFTER TAILS

RAFTERS, OVERHANG SOFFIT, FASCIA & BLOCKING FROM RECLAIMED WOOD

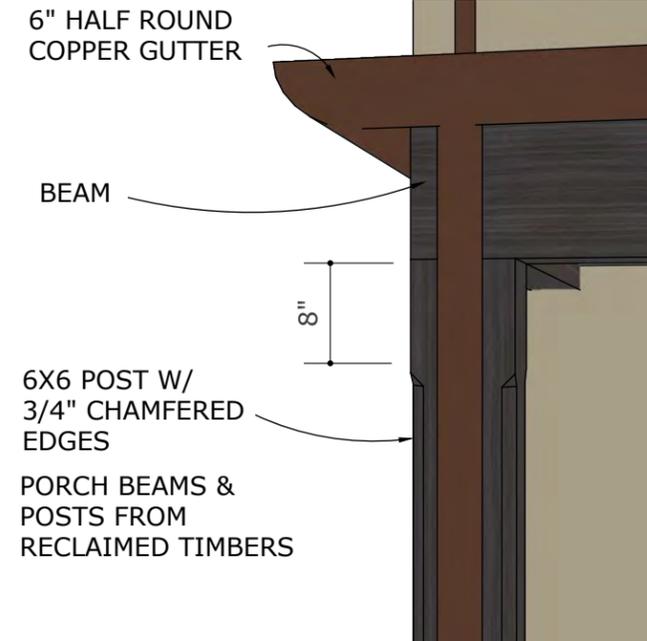
WALL TO ROOF



WINDOWS ARE RECESSED 2" INTO WALL

DBL HUNG WINDOW

WINDOW EDGE



6" HALF ROUND COPPER GUTTER

BEAM

8"

6X6 POST W/ 3/4" CHAMFERED EDGES

PORCH BEAMS & POSTS FROM RECLAIMED TIMBERS

PORCH ROOF

6X6 POST W/ 3/4" CHAMFERED EDGES

RAIL CAP FROM 3X4

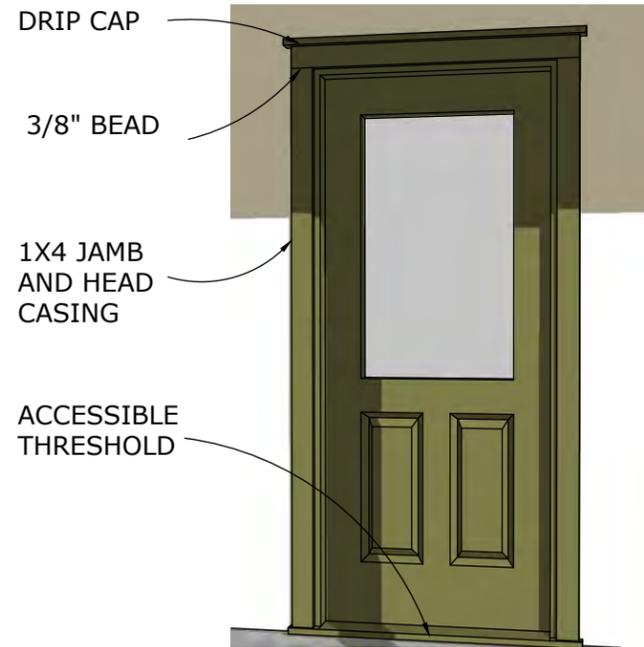
VERT. RAIL 2X2'S AT 4" O.C.

BOTTOM RAIL FROM 1X4 EA. SIDE

RAILINGS & POSTS FROM RECLAIMED WOOD

42"

BALCONY RAILING



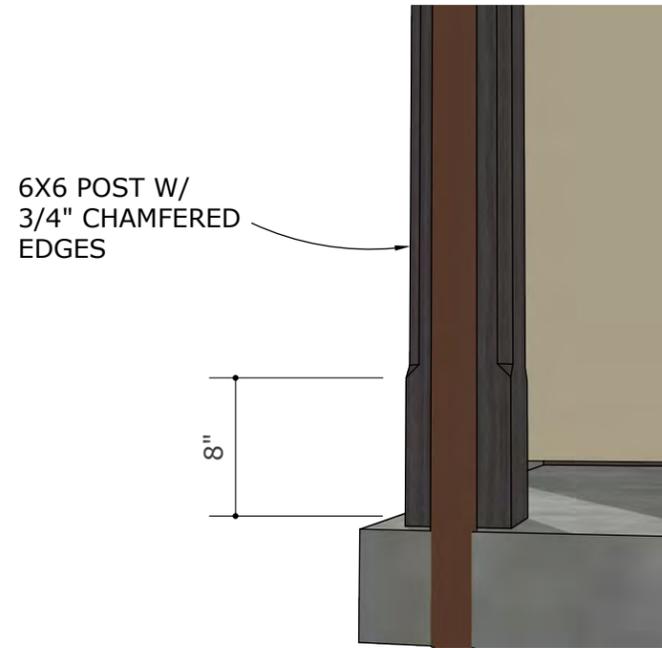
DRIP CAP

3/8" BEAD

1X4 JAMB AND HEAD CASING

ACCESSIBLE THRESHOLD

DOOR TRIM



6X6 POST W/ 3/4" CHAMFERED EDGES

8"

POST BASE





City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 8
Item:

Meeting Date: 05/20/14

Applicant

Darci Reimund Designs

Project Location

171 West Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year Built: 1869 and 1910
-

Request

Application for design review for exterior building modifications (paint colors) associated with a bed and breakfast (An Inn to Remember) located at 171 West Spain Street.

Summary

Background: On October 19, 2010, The Design Review Commission approved two wall signs and a freestanding sign and new paint colors associated with An Inn to Remember.

Project Description:

At this time, the applicant is proposing a new color scheme for the existing buildings. The applicant is proposing to paint the exterior of the front and rear buildings white (Benjamin Moore white dove RM1k). The front door on the front building and the front doors on the guest rooms on the rear building are proposed to be painted blue (Benjamin Moore I've Got the Blues 774) (see attached color samples).

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
 2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
 3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
 4. The project will not impair the historic character of its surroundings.
 5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
 6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
 7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
 8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.
-

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

cc: Darci Reimund Designs
 155 Grove Drive
 Portola Valley, CA 94028-7638

Alice and Paelo Adriani
171 West Spain Street
Sonoma, CA 954756

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

Attachments:

1. Project narrative
2. Picture of existing conditions
3. Site plan
4. Color samples



DARCI REIMUND
DESIGNS

RECEIVED
APR 10 2014
CITY OF SONOMA

155 Grove Drive
Portola Valley, CA. 94028

T 650-701-4998
drd@darcireimunddesigns.com

www.darcireimunddesigns.com

April 10, 2014
City of Sonoma
Attn: Design Review and Historical Preservation Committee
No. 1 The Plaza
Sonoma, CA. 95476

To Whom This May Concern,

We are very excited to be updating a local bed and breakfast, An Inn to Remember, in town at 171 W. Spain Street. The new owners are updating the interiors to reflect Sonoma, and its wonderful casual but elegant living. In our efforts to match the interiors with the exterior and create a flow between the two, we wish to paint the exterior color of the front and rear buildings white, specifically Benjamin Moore's White Dove. This will make the building feel timeless, current, and stylistically appealing to its many visiting guests, but will also nod to history with the traditional use of white for this style of building. The only color, Benjamin Moore's I've Got the Blues, to be used will be located on the front door, as well as the 3 guest rooms facing the street on the rear building. Only 2 of the 3 rooms are visible from the driveway and street, and the third room is facing the neighbor's fence. We are looking forward to creating a timeless, current, and stylistically appealing local accommodations that will continue to support Sonoma and its tourism with its close proximity to the Plaza.

Sincerely yours,

A handwritten signature in black ink that reads 'Darci Reimund'.

Darci Reimund

Principal, Darci Reimund Designs



DARCI REIMUND
DESIGNS



Create. Inspire. Innovate. Redefine. Welcome.

Darci Reimund Designs is a full-service design firm specializing in high-end residential projects. Our design is reflective of our clients' lifestyles and needs. We believe that each space should tell a story based on its functionality, while weaving in individual style. Utilizing a mixture of modern, rustic, stylized and traditional pieces with simple, clean lines; Darci Reimund Designs organically blends the lines between form and function, casual and formal that inspires the essence of living well.

Design Philosophy

Our goal is to create welcoming interiors that are rich and layered with style. We incorporate classic principles of scale, proportion and quality in each design, and focus on a collaborative approach with our clients. In the end, this helps our clients develop and define their own taste and style. We provide value by encouraging quality and timelessness, ultimately achieving a beautiful, comfortable and functional space.

707.938.2909

[Click to Email Us](#)

[HOME](#) [ROOMS & SUITES](#) [SPECIALS](#) [ACTIVITIES](#) [LOCATION](#) [HISTORY](#) [RESERVATIONS](#) [CONTACT](#)



History

Our inn consists of two homes, the front house built in 1910 and the rear house, built in 1869. The rear house was relocated from its original location at Napa Street and Second Street West (where WestAmerica Bank is now located) in the 1970s, and in 1981 became the first licensed Bed and Breakfast inn within the City of Sonoma.

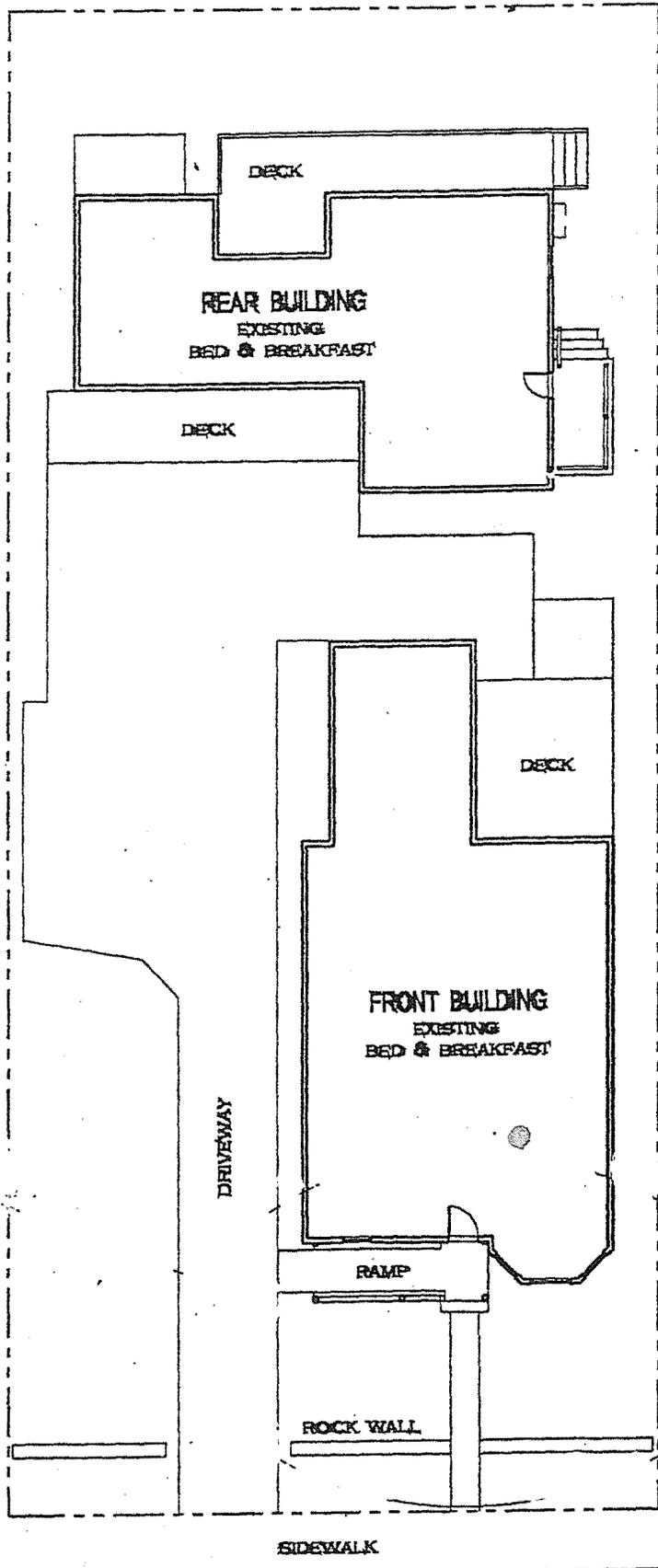
The homes have undergone considerable renovation and change since opening as a B&B. Originally, most rooms shared baths, but previous owners undertook the project of creating private baths for each room. In addition, gas fireplaces and whirlpool tubs were added to many rooms, as well as more decks and porches.

The gardens have been groomed and changed over the years as well. All the lawn areas were replaced with perennial gardens, flowering shrubs and trees. An outdoor gazebo for afternoon snacks and guest gatherings was added, and both homes are accessible to wheelchairs via ramps.



At: Inn 2 Remember * 171 West Spain Street * Sonoma, CA 95476 * 707.938.2909

[Weather](#) | [Facebook](#) | [Trip Advisor](#) | [Sonoma Valley Sun](#)



— WEST SPAIN STREET —

EXISTING SITE PLAN

1/16" = 1'-0"

APR 10 2014

white dove
blanco paloma

RM 1k

TOP: COLOR FOR ENTIRE HOUSE: SIDING,
TRIM, WINDOWS, LATTICE WORK,
SIDE DOORS, SCREEN DOORS.



BOTTOM: COLOR FOR ONLY FRONT DOOR
AND 3 GUEST ROOMS ON
REAR BUILDING.

MAR 14 2018



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 9

Meeting Date: 05/20/14

Applicant

Victor Conforti, Architect

Project Location

830 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)*
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built: 1936

*Note: A subsequent analysis performed by a qualified consultant found that the Caltrans study that initially identified this building as significant was in error because the building was actually constructed outside of the period of significance used on the Caltrans study.

Request

Design review of a proposed addition to the residence at 830 Broadway.

Background

On January 9, 2014, the Planning Commission approved a Use Permit to construct three residential units on the property. On March 18, 2014, the DRHPC approved an application for design review for three residential units on the property.

Summary

The applicant is proposing to add 114 square feet of building area to an existing residence at the rear portion of the house.

Site Description: The subject property is a 16,448-square foot parcel located on the east side of Broadway south of Chase Street. The property is currently developed with a residence fronting Broadway (constructed in 1939) and detached accessory structure behind. The eastern side of the property adjoins Nathanson Creek and is subject to a creek setback overlay zone. The residence is not eligible for listing on the California Register of Historic Resources (refer to enclosed Survey and Evaluation for 830 Broadway, dated October 17, 2013). The property is zoned Mixed Use (MX) and lies within the City's Historic Overlay Zone. Directly adjoining land uses include office buildings to the north and west, a mixed-use building to the south, and a single-family home to the east.

Project Description: The project involves construction of a ±114 square foot, one-story addition at the rear of the home. The addition would increase the floor area of the residence from ±1,142 square feet to ±1,256 square feet. In addition, the project proposes replacing the existing entry door, replacing rotted siding, installing new ornamentation and trim, installing a new porch and restoring the stairs, installing a new roof, and replacing existing rotted windows. The purpose of the project is to increase the area of bedroom number 1 and to repair damaged portions of the structure. Further details can be found in the attached project narrative and accompanying materials.

Zoning Requirements: The standards of the Mixed Use zone applicable to the proposal are as follows:

- **Setbacks:** The new addition meets or exceeds the normal setback requirements.
- **Coverage:** At 24%, site coverage is less than the 60% maximum allowed in the Mixed Use zone.
- **Floor Area Ratio:** The project would result in a F.A.R. of 0.39, which is less than the 1.0 maximum allowed.
- **Parking:** One covered parking space is provided in a garage. This meets the requirement.
- **Height:** The one-story residence would have a maximum ridge height of 17 feet, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

Design Review: Alterations to existing structures requiring a Building Permit that result in substantive changes to a primary or street-side building elevation located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
A survey and evaluation was completed for the property on January 29, 2014. This evaluation found that the residence and garage/studio are not historic resources and are not eligible for listing on the California Register of Historic, which means that the residence is not an "historical resource" under CEQA.
2. Environmental features on or adjacent to the site;
Staff is not aware of any environmental features on or adjacent to the site.
3. The context of uses and architecture established by adjacent development;
The adjacent properties include office buildings to the north and west, a mixed-use building to the south, and a single-family home to the east.
4. The location, design, site plan configuration, and effect of the proposed development.
The applicant has indicated that the structure is a member of the Minimal Traditional Style 1935 to 1950, which is described by the following features:
 - a. *The addition follows the Minimal Traditional Style, is placed at the rear of the building to eliminate visual impact from the street, and uses appropriate materials, details, and gable roof forms to relate to the existing home.*
 - b. *The entire original home will be retained, and original material retained, restored or recreated using materials to match the design and texture of the original.*
 - c. *Where replacement is necessary, substitution of new materials will incorporate the design and texture of the original materials.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the remodel and addition.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was also necessary, the DRHPC is responsible for reviewing and acting upon the project elevation details, exterior colors, and materials, landscaping (including fences and walls), lighting, site details (such as the placement of bike racks and trash enclosures), and activities proposed for the existing residence.

With respect to these items staff would note that the subject property is not historically significant and the surrounding neighborhood reflects a wide variety of architecture and construction dates between 1880 and 1930. In addition, the proposal would not affect any environmental features on or adjacent to the site. One of the more important aspects for the DRHPC to consider is how the proposal relates to the adjacent development.

Compliance with CEQA: The proposal is a discretionary project subject to the requirements of the California Environmental Quality Act (CEQA). Per the historic resource evaluation prepared by Baseline Consulting dated October 17, 2014 (attached) the property does not meet any of the criteria for listing on the California Register of Historical Resources. Accordingly, the residence is not considered an historical resource as defined under CEQA and, pursuant to Section 15301 of the CEQA Guidelines, the remodel/addition project is categorically exempt (Class 1 – Existing Facilities).

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following

findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features;
4. The project will not impair the historic character of its surroundings;
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site;
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone); and
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Historic Resources Inventory.
2. Material and color selections for carport and apartment.
3. Material and color selections for duplex.
4. Bicycle rack drawing and specification sheet.
5. Door window and lighting specification sheets.
7. Site plan, floor plans, elevations, second floor unit plans

cc: Victor Conforti, Architect
755 Broadway
Sonoma, CA 95476

Rich Merlo
19125 Seventh Street East
Sonoma, CA 95476

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

NARRATIVE DRHPC APPLICATION

Remodel and Minor Addition

830 Broadway Sonoma, CA 95476

April 22, 2014

This is an application for a remodel and minor addition to an existing home located at 830 Broadway. According to a recent historic evaluation report by Finline Consultants, the house was built in 1939 and was inadvertently included in the Cal Trans Broadway District historic evaluation report with the group of home built between 1890 and 1930. The Finline report also found that the home did not meet the requirements for an historic structure under CEQA, and was therefore not deemed a significant historic resource.

The home is in the Historic Overlay District, and was built before 1945, so requires DRHPC review under the **Guidelines for Preservation and Adaptive Reuse**.

The home is of the Minimal Traditional Style (1935 to 1950), which is described by the following features:

Minimal Traditional houses have many of these features:

- Small with minimal decorations
- Low or moderately pitched roof
- Minimal eaves and roof overhang
- Side gable, often with one front-facing cross gable
- Front door entrance under the front cross gable
- One story, with an attic story
- Shutters are common
- Exterior siding of wood, brick, or a mix of sidings
- Small fireplace and chimney

Preservation and rehabilitation of existing structures:

1. General rehabilitation principles: The home is a member of the Minimal Traditional Style 1935 to 1950, which is described by the following features:
 - a. The addition follows the Minimal Traditional Style, is placed at the rear of the building to eliminate visual impact from the street, and uses appropriate materials, details, and gable roof forms to relate the existing home.
 - b. The entire original home will be retained, and original material retained, restored or recreated using materials to match the design and texture of the original.
 - c. Where replacement is necessary, substitution of new materials will incorporate the design and texture of the original materials.

2. Doors: Wood paneled doors will be used to replace the existing entry door, which is a modern replacement of the original door.
3. Exterior Materials: The home uses an interesting siding pattern of two 1x6 T&G separated by one 1x8 T&G. Most of the original siding will remain, and be restored and painted. Damaged and rotted siding will be replaced with new wood siding matching the existing.
4. Ornamentation and trim: Corner trim and fascia along with gable trim and molding will be restored or replaced with matching wood materials. Window and door trim will be replaced with matching 1x6 wood materials to match the original.
5. Porches and stairs: The front entry porch is currently covered by a hybrid trellis/solid roof, which is not original. This will be removed and the existing original low slope roof over the interior entry area will be extended to cover the porch. The steps will remain and be resorted as needed. A simple railing, appropriate to the style of the home, will be added.
6. Roofs: Composition roofing will be used to replace the existing composition shingles. The color selected is "weathered wood" to simulate the original wood shingles that would have been used on the original home.
7. Windows: Most of the existing window are severely damaged or rotten and require replacement. To avoid the maintenance issues of painted wood windows, which require frequent repainting over the life of the structure, we are proposing fiberglass windows with wood interior section. These will match the size and look or the existing double hung windows. These windows have sash elements (operating portions) that have a flat section, sloping projecting sill, and simple detail to match the existing wood windows.

Additions to existing structures: The addition has been designed with care match the existing homes forms, finishes and materials.

1. Site plan considerations: The minor addition is placed at the rear of the house and set back from both sides, to virtually eliminate visibility from the front street view of the home.
2. Architectural compatibility: We have incorporated the distinctive architectural features of the original home: Door and windows size and type; exterior materials; floor height; roof material, pitch and height; trim and decoration.
3. Roof pitch and style: These features match the existing home

Colors: Comments by L. T. Designs, Leslie Tipple

For a 1939 traditional sided Minimal Traditional Style, we selected a color palette of rich sage-green with a good amount of depth, Kelly Moore's "Daddy-O" with a LRV (light reflectance value) of 42 for the body color of this home, setting the foundation. The trim color of "Salisbury Stone" is more muted than a typical off-white and reflects a gray under tone, just like old stone. "Black Bean" real wood windows in the Milgard "Essence" line is like eyeliner for windows while honoring the Minimal Traditional Style, architectural style. Window mullions will be kept the same patterns of the existing home typical of this style. The thick exterior wood window trim will remain the same. The front door stain is in a "Rich Mahogany" a deep reddish-brown from the "Old Master's Color

Selections" for Quality Stains and finishes. An asphalt shingle will be utilized from GAF Timberline Cool series in color "Weathered Wood" incorporates both brown and gray tones.

These colors of sage, stone, black and cherry also compliments the two contiguous existing buildings, to the north a barn-red sided traditional (Len Tillman) and a dark brown shingle-sided office to the south side of Broadway.

Thanks you for your consideration.



Victor Conforti - Architect

MATERIAL AND COLOR SELECTIONS

Main House

830 Broadway, Sonoma CA

Craftsman's/Traditional- Color Palette by L.T. Designs 4-18-14



1=Roofing: GAF Timberline Cool Roof series
Weathered wood composition shingles

2= Siding body, fascia gutter & downspouts.
Kelly Moore: Body color: "Daddy-O" HL 4260-2

3= Window trim, door trim & garage door:
Kelly Moore: "Salisbury Stone" HL 4282-1

4= Front Doors :
Kelly Moore: "Rich Mahogany" Old Master stain

5=Wood Windows
Milguard Essences: "Black Bean"



[Print](#)



Craftsman Two Panel - Three Lite (TDL)

6803

Series: [Craftsman Collection](#)

Type: Exterior Decorative

Standard Features

[Available in Any Wood Species](#)

Available in Virtually Any Size

[Textured Glass Options](#)

[Try the Glass Taste Test](#)

[Available with UltraBlock® Technology.](#)

[5-year warranty](#)

Privacy Rating: 1

Panels: 3/4" VG Flat Panel

Moulding: na

Glass: 3/4" Insulated Glazing

Caming: na

Customer Service: 1-800-SIMPSON (746-7766)

Email: SimpsonCustomerService@brandner.com

[Search For Your Door](#)
[Test Drive a Door](#)
[View Product Lines](#)
[View Wood Options](#)
[View Glass Options](#)
[Glass Taste Test](#)

Search By Design Number

Know the design number of the door you would like to view? Enter it here at any time.

Here are the Simpson doors which meet your search criteria.

To sort these results, simply click on the column title of your choice.

Results per page: 10 50 100

Search By Door Style

Is the door you are looking for an interior or exterior door?

[Interior](#) [Exterior](#)



[Dentil Shelf - Large Tooth](#)
9541

Door Type	Door Series	Door #
Dentil Shelf	Craftsman Collection	9541

Are you looking for a door with glass or without glass?

[With Glass](#) [Without Glass](#)

How much glass do you want in your door?



[Full Lite](#)



[3/4 Lite](#)



[1/2 Lite](#)



[1/4 Lite](#)

Do you plan to paint or stain your door?

[Paint](#) [Stain](#)



Door Options

[View Detailed Drawing](#)

Thermal French with WaterBarrier® Technology

7002WB

Series: [Performance Series®](#)
Type: Exterior French & Sash

Standard Features



[Available in Any Wood Species](#)



Available in Virtually Any Size



[Textured Glass Options](#)

[Try the Glass Taste Test](#)



[Available with UltraBlock® Technology.](#)

[5-year warranty](#)



Privacy Rating: 1

Panels: na

Moulding: na

Glass: 3/4" Insulated Glazing

Caming: na

Shown with optional WaterBarrier Technology.

[What is it?](#)



BELLEVILLE®

Fiberglass Entry Doors

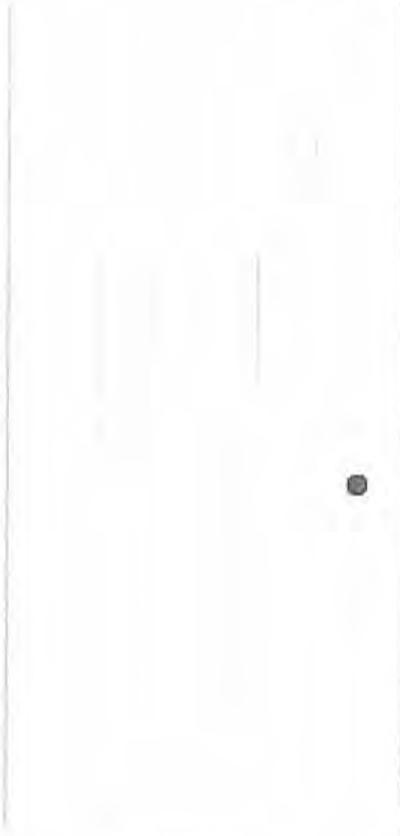
Belleville Smooth 3 Panel Door Rectangle Lite with Clear Glass

The Belleville® Fiberglass Door Collection combines superior beauty and architectural design with maximum flexibility. Belleville doors have a high-definition panel profile and are available in both a variable-depth wood grain texture and a beautiful smooth finish.

All Masonite clear glass is tempered. Clear glass units are dual sealed for increased energy efficiency.

- Ideal for painting and will not rust or dent like steel doors
- Energy saving polyurethane door core
- High-definition embossed profile adds architectural interest and elegance
- Ideal for coastal applications
- Limited lifetime warranty

+ [See the Features of a Belleville Door](#)



MSRP \$578.00
BLS-228-010-3

Where to Buy

[Home Depot - San Mateo](#) 1.83 mi
2001 Chess Drive
San Mateo, CA 94404
6505259343 [Website](#)

[Home Depot - San Carlos](#) 2.80 mi
1125 Old Country Road
San Carlos, CA 94070
6505929200 [Website](#)

[Home Depot - East Palo Alto](#) 8.86 mi
1781 East Bay Shore Blvd
East Palo Alto, CA 94303
6504626800 [Website](#)

[Silicon Valley Dream Homes, Inc.](#) 12.77

Location:	Entry
Glass:	Clear Glass
Style:	3 Panel Rectangle Lite
Configuration:	Single Door
Material & Texture:	Belleville Smooth
Configuration & Size	
Configuration:	Single Door
Transom Shape:	None

Clear Glass

Full View



Close-up view

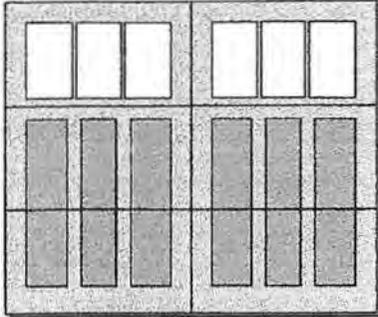


Privacy View

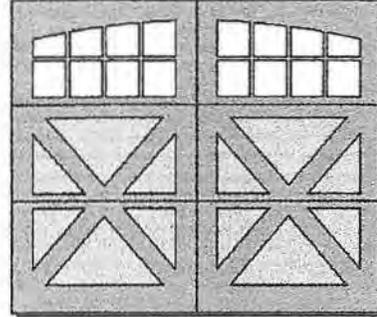


Heritage Classic

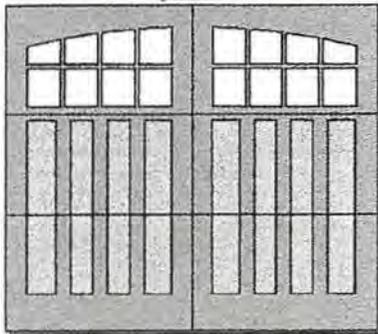
Manufactured by: **NWD**
SINCE 1949



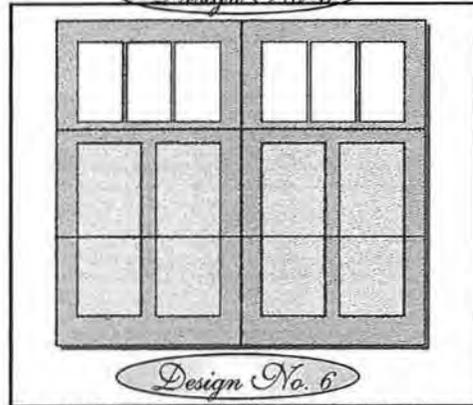
Design No. 1



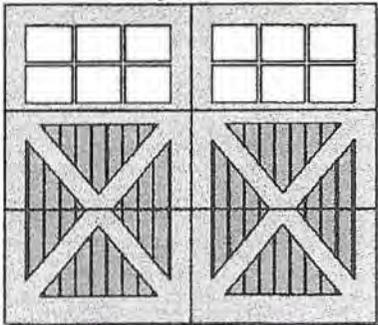
Design No. 5



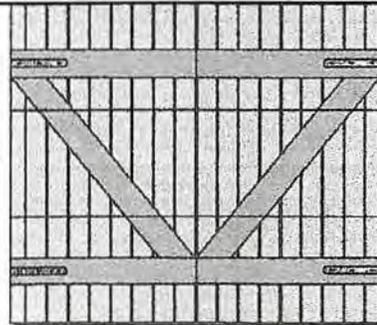
Design No. 2



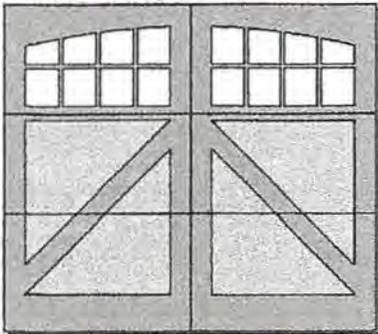
Design No. 6



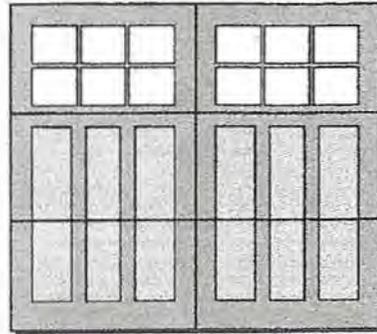
Design No. 3



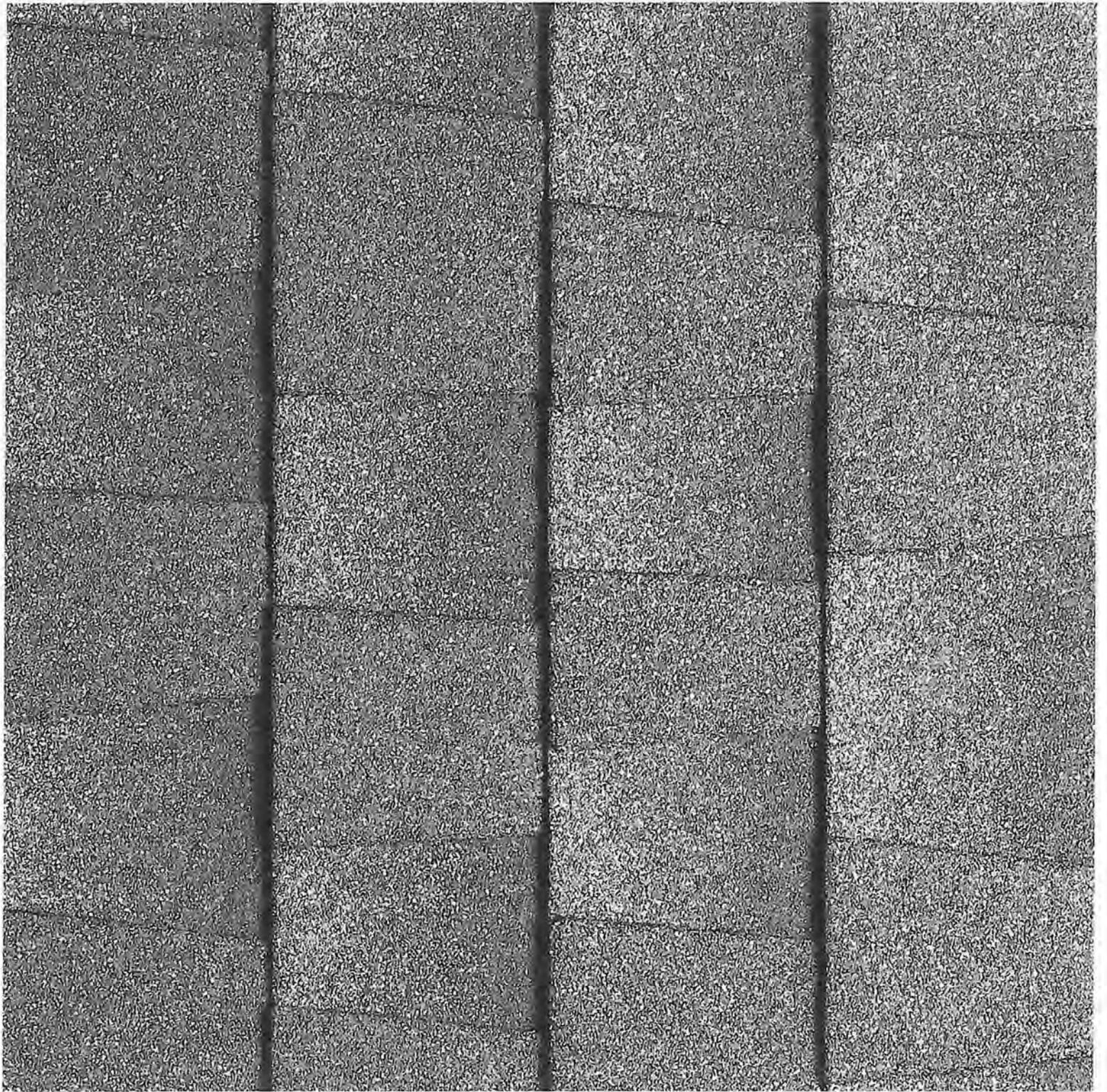
Design No. 7



Design No. 4



Design No. 8





One Light Aged Bronze Wall Lantern

Item Number 9365AGZ

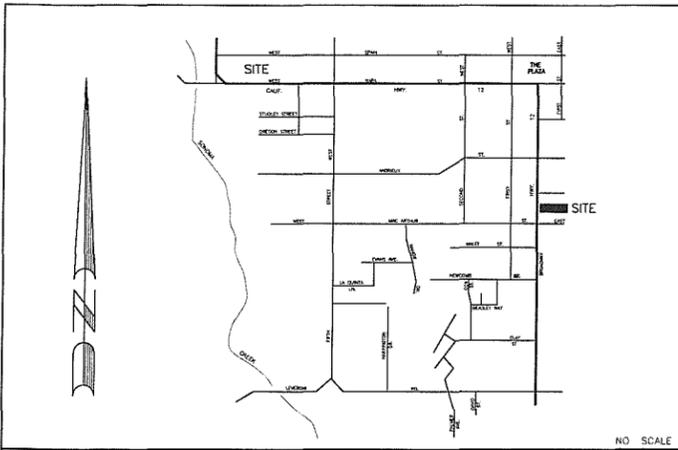
Dimensions 10.75" Tall x 8.00" Wide

Vendor Kichler

Sockets 1 Medium Bulb, 75 watts

Price \$132.50

Description This One Light Wall Lantern is part of the Chicago Collection and has an Aged Bronze Finish. It is Outdoor Capable.



LOCATION MAP

NOTE:

1. See civil drawings for grading and drainage.
2. See landscape plan for walkway and area lighting U.N.O.
3. See landscape plan for site details and landscape features not shown (hose bibs, etc.)
4. See structural plans and soils report for building slab preparation & foundations.
5. See PGE for utility installation.

EXISTING RESIDENCE	908 SF
PROPOSED ADDITION	114 SF
EXISTING GARAGE	234 SF
TOTAL	1256 SF
TWO STORY UNITS:	
FIRST FLOOR	740 SF
SECOND FLOOR	680 SF
TOTAL	1420 SF
GARAGE UNIT:	
SECOND FLOOR	1080 SF
GARAGE:	
	1240 SF

NOTE: All construction on this project shall conform to the 2013 CALIFORNIA BUILDING CODE (TITLE 24), CALIFORNIA ELECTRICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA GREEN BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ENERGY CODE & shall comply with all local codes & ordinances, whether shown on these plans or not.

The arborist's report shall clearly describe in writing all trees on the property. The report shall indicate the genus and species, the shape, the trunk diameter of each tree and the nonintrusion zone around each tree as determined by the table in SMC 12.09.020(H) and shall indicate those trees which are proposed to be altered, removed, or relocated and the reasons therefore. Tree delineations by trunk location and an accurate outline of each tree's nonintrusion zone must be shown on the project site plan or tentative map, and on every page of the development and improvement plans where any work is proposed within the nonintrusion zone of any protected tree. The property owner of the property and the person in control of the proposed development shall protect and preserve each tree situated within the site of the proposed development during the period the application(s) for the proposed development is being considered by the city.

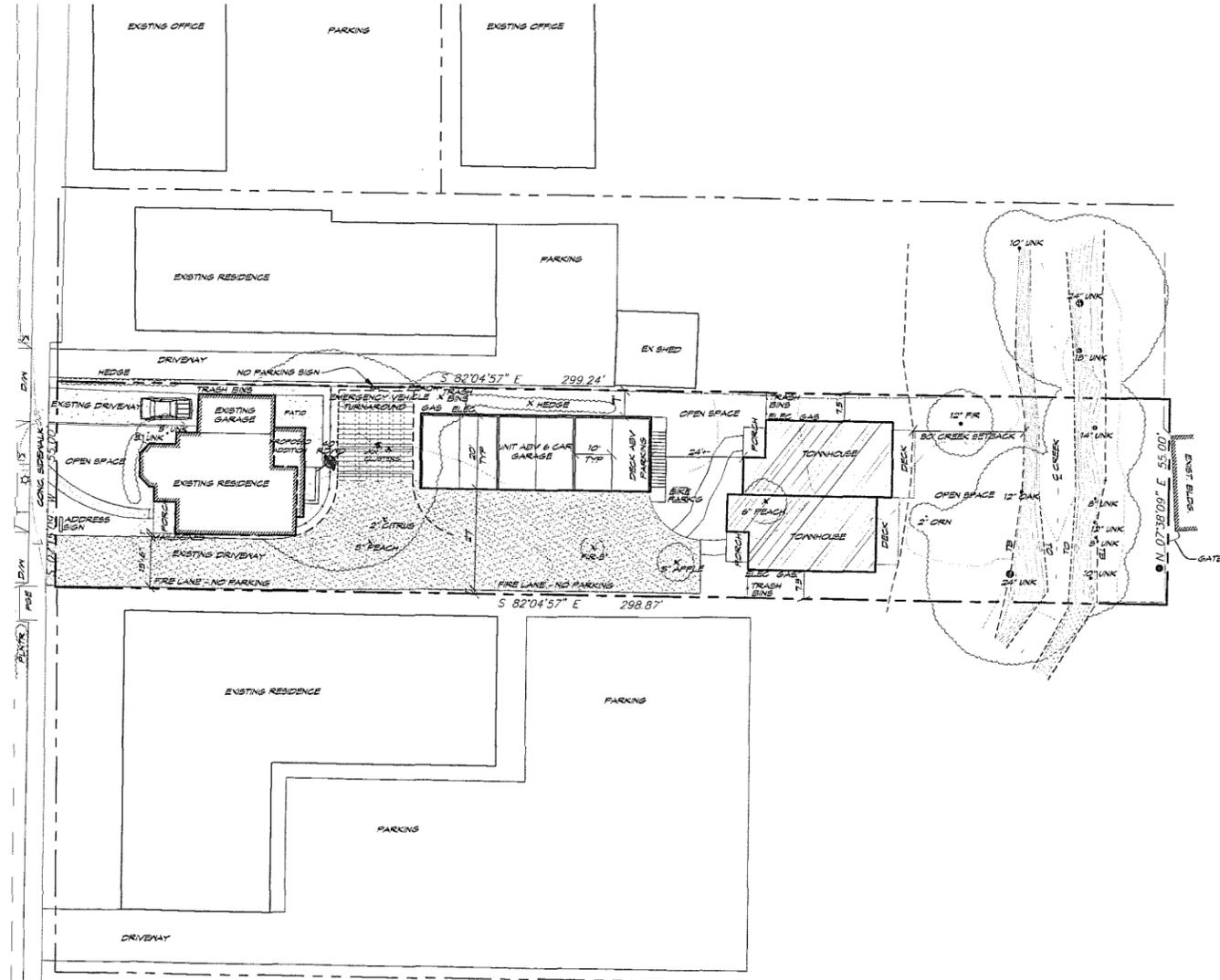
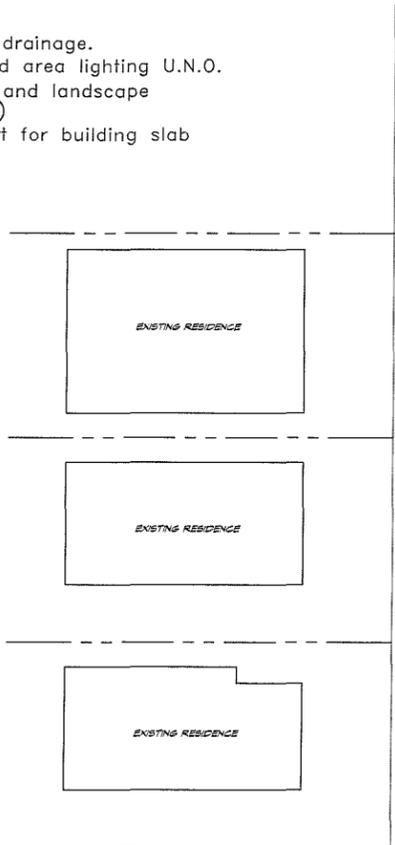
ZONING: RESIDENTIAL R-M
 TOTAL LOT SIZE: 16,448 SF
 TOTAL ACREAGE: 0.377 ACRES
 DENSITY: 10.6 UNITS/ACRE (MAXIMUM 20 UNITS/ACRE)
 TOTAL BLDG AREA = EXISTING RESIDENCE & GARAGE = 1,142 SF
 PROPOSED ADDITION = 114 SF
 1420 X 2 TWO STORY UNITS = 2,840 SF
 GARAGE UNIT = 1,080 SF
 GARAGE FOOTPRINT = 1,240 SF
TOTAL: 6,416 SF

TOTAL F.A.R. = 0.39 (MAX. F.A.R. ALLOWED 1.0)

PROPOSED BUILDING AREA: (E) RESIDENCE, ADDITION & GARAGE = 1,256 SF
 COVERAGE = 24 % (MAX. COVERAGE ALLOWED 60%) 740 SF X 2 BDLGS = 1,480 SF
 (N) GARAGE = 1,240 SF
TOTAL SF = 3,955 SF

PARKING REQUIRED: COVERED 3 UNITS X 1 PER = 3
 UNCOVERED 3 UNITS X 1/2 PER = 1.5
 GUEST 25% X 4.5 = 1
TOTAL REQUIRED 5.5

COVERED PROVIDED: 4.5
 GUEST PROVIDED: 1.5
TOTAL PROVIDED 6



PROPOSED SITE PLAN

SCALE: 1"=20'-0" A.P. No. 018-412-081

EXISTING DIMENSIONS ARE APPROXIMATE
 VERIFY EXISTING DIMENSIONS AND CONDITIONS IN FIELD

MAY 06 2014

NOTE:
 GENERAL CONTRACTOR SHALL PROVIDE
 ALL UTILITIES INCLUDING SEWER, WATER,
 POWER, GAS, TELEPHONE & CABLE TV
 PER SERVICE PROVIDER REQUIREMENTS
 FOR LANDSCAPING SEE DESIGN BY OTHERS

REVISIONS	BY

VICTOR CONFORTI - ARCHITECT
 755 BROADWAY, SONOMA, CA 95476 - (707) 996-7923

PROPOSED SITE PLAN



THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF VICTOR CONFORTI ARCHITECT. THEY ARE NOT TO BE USED IN WHOLE OR IN PART BY OTHERS OR FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN AUTHORIZATION OF VICTOR CONFORTI - ARCHITECT. ALL RIGHTS RESERVED.

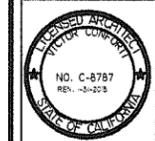
REMODEL & ADDITION FOR:
DIANE & RICH MERLO
 830 BROADWAY
 SONOMA CALIFORNIA 95476

Date	4-18-2014
Scale	AS NOTED
Drawn	DVA
Job	
Sheet	A1.1
Of	Sheets

REVISIONS	BY

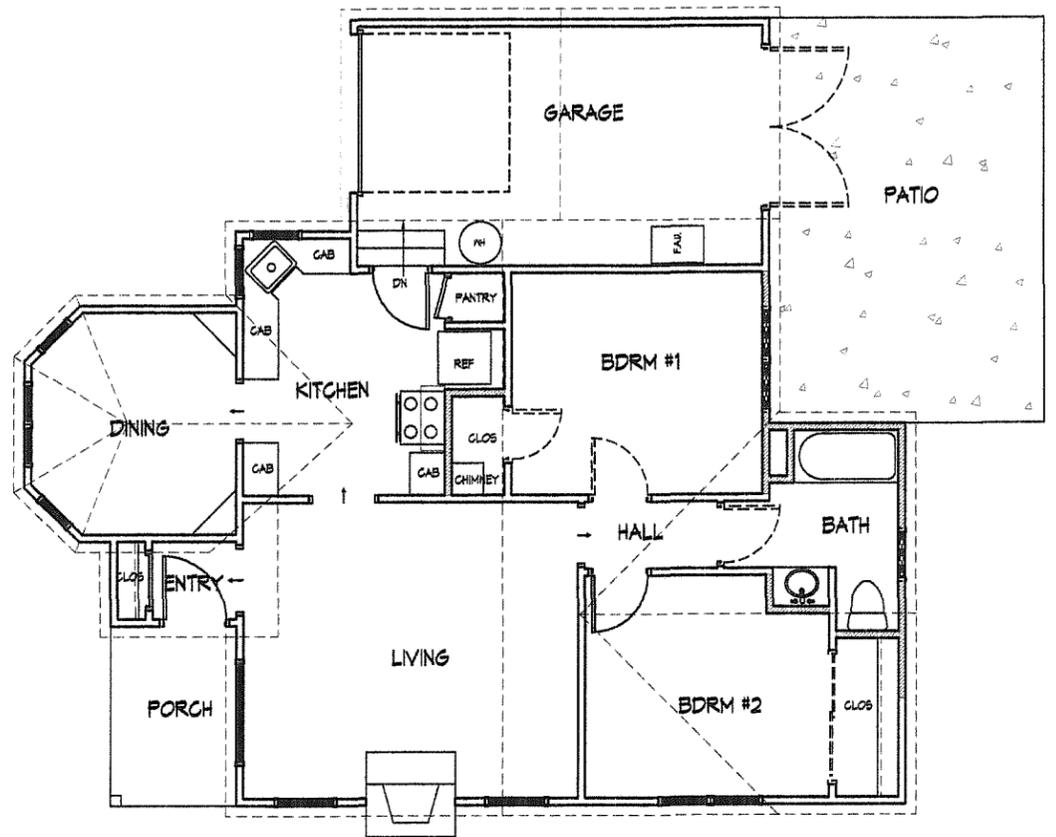
VICTOR CONFORTI - ARCHITECT
 755 BROADWAY, SONOMA, CA 95476 - (707) 996-7923

FLOOR PLANS



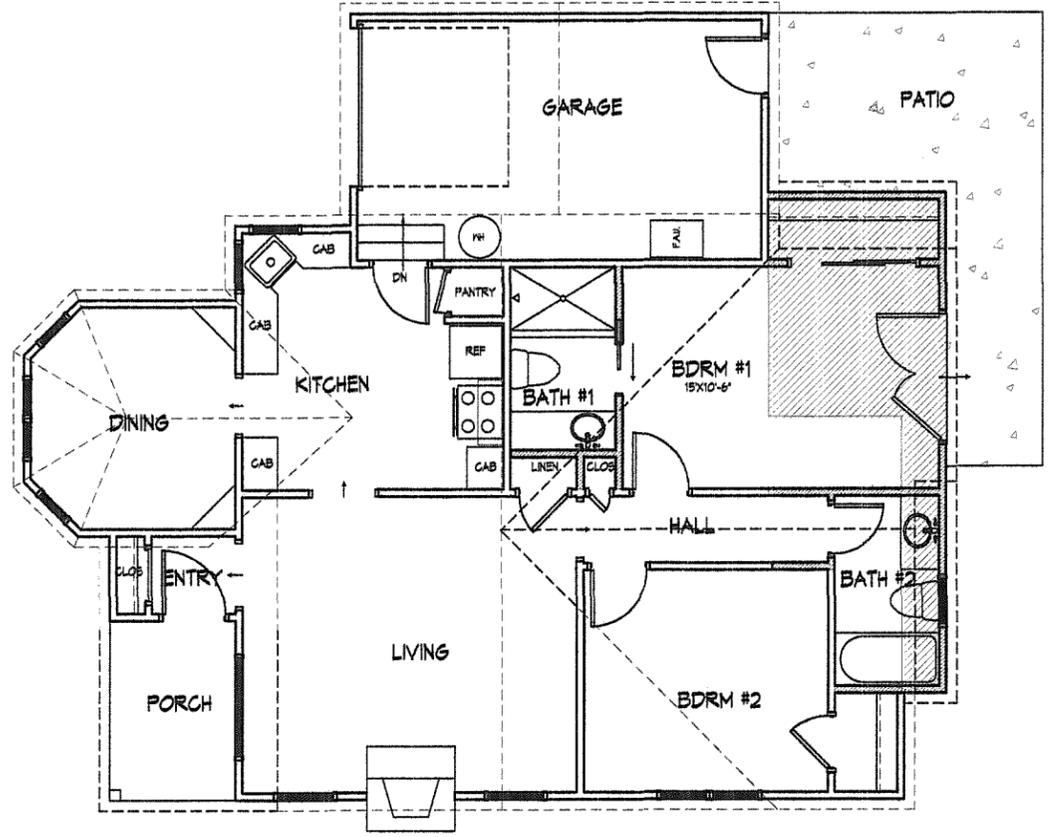
REMODEL & ADDITION FOR:
DIANE & RICH MERLO
 830 BROADWAY
 SONOMA CALIFORNIA 95476

Date 4-18-2014
 Scale AS NOTED
 Drawn DVA
 Job
 Sheet **A2.1**
 Of Sheets



AS BUILT FLOOR PLAN
 RESIDENCE 1028 SF
 GARAGE 234 SF
 1/4" = 1'-0"

- WALLS TO BE REMOVED
- WALLS TO REMAIN
- DOORS TO BE REMOVED
- WINDOWS TO BE REMOVED



PROPOSED FLOOR PLAN
 RESIDENCE 1022 SF
 GARAGE 234 SF
 1/4" = 1'-0"

- NEW WALLS
- EXISTING WALLS

REVISIONS	BY

VICTOR CONFORTI - ARCHITECT
 755 BROADWAY, SONOMA, CA 95476 - (707) 986-7923

EXTERIOR ELEVATIONS

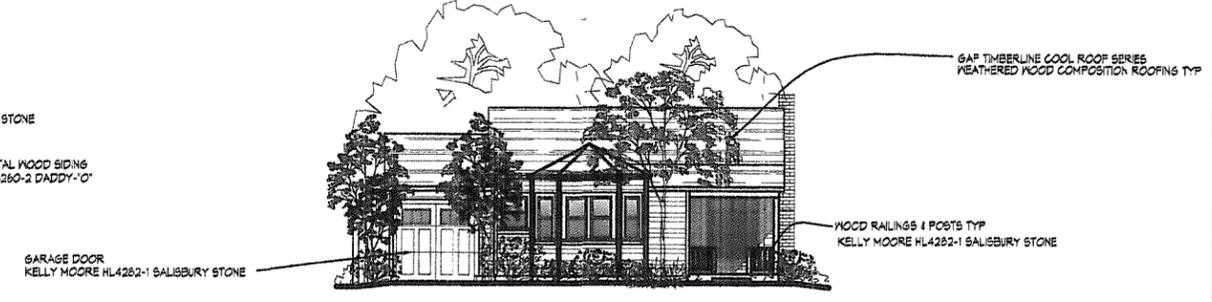


REMODEL & ADDITION FOR:
DIANE & RICH MERLO
 830 BROADWAY
 SONOMA CALIFORNIA 95476

Date: 4-15-2014
 Scale: AS NOTED
 Drawn: D/WA
 Job:
 Sheet:
A3.1
 Of _____ Sheets

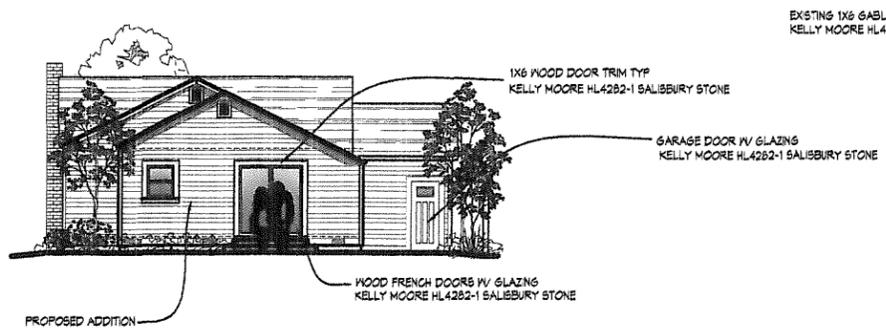


SOUTH ELEVATION
 DRIVEWAY SIDE 1/8" = 1'-0"

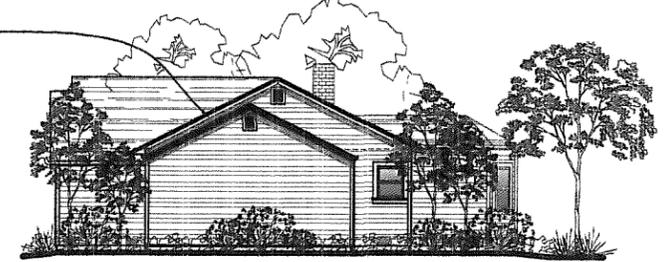


WEST ELEVATION
 BROADWAY SIDE 1/8" = 1'-0"

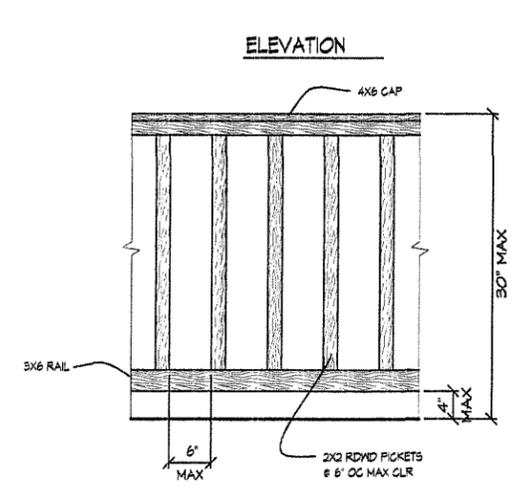
NOTE: MATCH EXISTING DETAILS



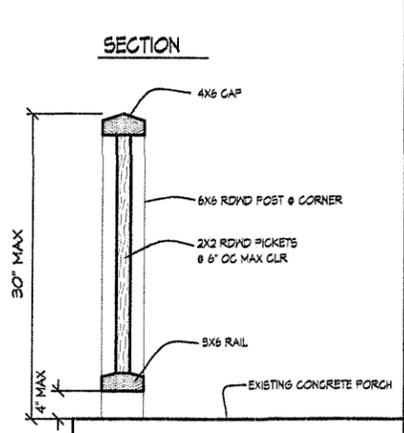
EAST ELEVATION
 REAR YARD 1/8" = 1'-0"



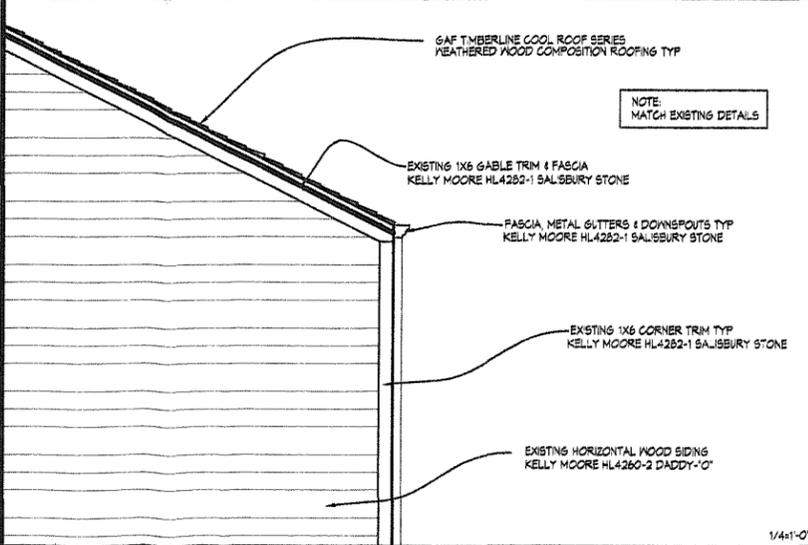
NORTH ELEVATION
 GARAGE SIDE 1/8" = 1'-0"



NOTE: WOOD RAILINGS TYP KELLY MOORE HL4282-1 SALISBURY STONE

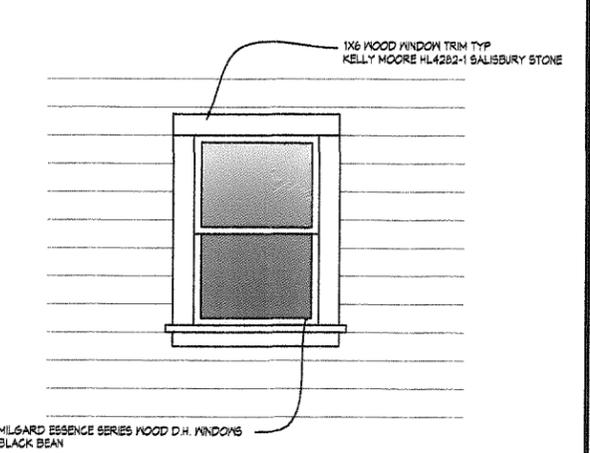


NTS



NOTE: MATCH EXISTING DETAILS

1/4\"/>



MILGARD ESSENCE SERIES WOOD D.H. WINDOWS BLACK BEAN

NTS

① WOOD RAILINGS & POSTS @ EXISTING FRONT PORCH ENTRY

② TYP EXISTING EAVE SECTION

③ TYPICAL EXISTING WINDOW TRIM

BASELINE ♦ CONSULTING

13750 Arnold Drive, Suite 3
P.O. Box 207
Glen Ellen, CA 95442

October 22, 2013

Rich Merlo
P.O. Box 260
Sonoma, CA 95476

Re: Addendum to Survey and Evaluation for 830 Broadway (APN 018-412-031)

Dear Rich,

This addendum is intended to clarify what is known about the structure behind the residence on your property at 830 Broadway, Sonoma (sources cited are listed in Baseline Consulting's evaluation letter for the property, dated October 17, 2013):

- Neither of the earlier historical resource surveys identify the structure behind the house as a historical resource. In fact this structure is not mentioned at all in these surveys (CALTRANS 2002; DePetris 1978).
- The structure behind the house, labeled as connected 'Carports,' 'Existing building' and 'Coop' on the existing site plan, does not appear in the records of the County Assessor or Recorder's Office. It does not appear on the 1941 update of the Sanborn map of Sonoma (which does show the house). It also does not appear on the earliest available aerial photo of the property from 1942, so must have been built after that date (Aero Service Corporation 1942; County of Sonoma 1938, 1949; Ford 2004; Sanborn Map Company 1941).
- Assessor Records researched for the property covered the period between 1948 and 1978. The fact that the structure behind the house does not appear in these records suggests that it was built after this date and thus is 35 years old or less (County of Sonoma 1949).
- No evidence was found to indicate this structure was ever used as a residence (all sources cited above).

Sincerely,

Arthur Dawson
Historical Consultant

BASELINE ✦ CONSULTING

13750 Arnold Drive, Suite 3
P.O. Box 207
Glen Ellen, CA 95442

October 17, 2013

Rich Merlo
P.O. Box 260
Sonoma, CA 95476

Re: Survey and Evaluation for 830 Broadway (APN 018-412-031)

Dear Rich,

This letter and the attached Department of Parks and Recreation (DPR) 523 forms comprise the evaluation of your property at 830 Broadway as required by the City of Sonoma in order to proceed with planned construction on the property. Because two previous surveys found the property eligible for listing in the California Register of Historical Resources, it is considered a historical resource under CEQA (Section 15064.5). However, Baseline Consulting's independent research and evaluation found a preponderance of evidence demonstrating that it is not historically or culturally significant. The 'Summary and Recommendations' section on page 5 includes a discussion of the discrepancies between Baseline's findings and the surveys done in 1978 and 2002. (These surveys are included for reference, beginning on page 9.)

Previous Surveys

A survey of the property at 830 Broadway was completed in May, 1978. The year of initial construction was listed as 1939 'Factual' (rather than estimated). The house was recorded as the 'Lester and Katherine Tynan residence' and described as follows:

Craftsman, hipped roof, cottage. Built in 1939 by Tynan has a slanted bay window with double hung glass with trim. There is a trellis in wood on either side of the front door porch. The large front window has multi-panes. There are two brick chimneys, one in the middle and the other on the gable side. Green hedge in front. Large trees at the back.

The 1978 survey also made the following determination of the property's "historical and/or architectural" significance:

Is a fine example of a small cottage with large slanted bay window. Is in the middle of older homes and bungalow style.

It was given an old National Register (NR) status code of 5; "Ineligible for the National Register but still of local interest." No updates were recorded by the League after its initial survey.

The property was also surveyed in 2002 as part of the Broadway Street Historic District delineated by CALTRANS during a historic resource evaluation for a project on Broadway/Highway 12. This survey for the District stated that:

The Broadway Street Historic District appears eligible for the National Register of Historic Places at the local level of significance under Criteria A and C, for its association with the development of the town during its tourism and post gold-rush period and for its design and concentration of architectural styles. The concentration of buildings and period of significance date between 1890 and 1930.

During the delineation of District, an intensive survey of 830 Broadway was completed. The survey described the property as follows:

This one story residence has end gables, with an octagonal, hip-roof projecting wing on the front. There is an exterior, brick chimney on the south wall, as well as a brick chimney extending from the roof ridge at the center of the building. On the left side of the façade is an attached garage at the rear of the building, and there is a small recessed porch on the right side. The exterior walls are clad in horizontal wood siding with corner boards, and the windows are 1/1 wood sash in wood frames.

There are shrubs and a young tree adjacent to the building façade, while the rest of the yard is grass, with a driveway to the garage and a curving, concrete walkway to the front porch.

830 Broadway was listed as a "Contributor" to the Broadway Street Historic District and given an old NR status code of 5S; "Eligible for Local Listing Only."

Research & Field Methods

Research for this survey and evaluation was conducted at the Depot Museum in Sonoma; the Sonoma League for Historic Preservation; the History and Genealogy Annex of the Sonoma County Library in Santa Rosa; the U.S. Geological Survey website; the Bob Curtis aerial photograph collection housed at DraftTech in Santa Rosa; the Sonoma County Assessor and Recorder's Office in Santa Rosa; the City of Sonoma; the Bancroft Library in Berkeley; the Northwest Information Center in Rohnert Park; and online at www.ancestry.com.

Interviews were conducted with the current owners, Rich and Diane Merlo. Sources of information include: 19th century deeds and maps; U.S. Census records; Voter Registers; early aerial photos; legal descriptions and deeds; and several books on local history. The site was recorded, photographed and investigated in March 2013 by Arthur Dawson, Kara Brunzell, and George McKale.

Historical Overview

While the parcel at 830 Broadway has changed hands a number of times over the last 155 years, it remained undeveloped well into the 20th century, when the current dwelling was constructed.

The earliest record for the property appears in an 1858 deed from a Sheriff's sale for failure to pay taxes. The transaction included over one hundred lots scattered throughout the City of Sonoma; one of these was Town Lot 112, of which the owner was listed as 'unknown.' The current parcel at 830 Broadway makes up a portion this lot. The purchaser of these properties was William Atterbury (County of Sonoma 1858).

The day after the sheriff's sale, Atterbury sold Lot 112 to S.W. Davies. Two years later, Davies and his wife Mary sold the property to George McConnell. At that time, many of the city's streets existed only on paper. After the city lost its incorporation in the 1860s, trustees of the "ex-City of Sonoma" sold off many of these undeveloped streets, including the portion of First Street East which had been planned to run along the eastern border of Town Lot 112. George McConnell acquired this land from the city, thus extending his property by a street-width to the east (County of Sonoma 1858, 1860; Trustees of the former City of Sonoma 1863).

The next owner, Gilbert Shattuck, purchased Town Lot 112 in 1869 from McConnell and his wife Mary. Shattuck lived in San Francisco and like the previous owners, apparently did not develop the property. After Shattuck died in 1876, his widow, Hannah, sold the property to David Wooster, a well-known San Francisco surgeon (County of Sonoma 1869, 1877; San Francisco Call 1894).

Wooster owned the lot for about twenty years, selling it in the late 1890s to Jean Taylor and Francis Burtis. Taylor and Burtis began subdividing the lot; in 1899 they sold the southerly 200 feet of Lot 112 to Blanche Weems. Weems sold the undeveloped property to Samuel and Ella Woodworth in the early years of the 20th century. The Woodworths further subdivided the lot and, in 1919, Samuel granted Ella a deed of gift for the southerly 148 feet. By 1923 the boundaries of the current parcel at 830 Broadway had been established; however there were still no structures on it. After Samuel died, Ella deeded the parcel to their son, Reuben in 1924 (County of Sonoma 1895 - c. 1925, 1899, 1919, 1924, Sanborn Map Company 1888 - 1941).

In 1938 Reuben sold the property to Lester Tynan, who built the house the following year. As far as is known, the house has served as a residence since its construction. The 1941 update of the Sanborn map of Sonoma shows the house with the same footprint it has today, which also matches the County Assessor's record from 1949. The structure behind the house, labeled as connected 'Carports,' 'Existing building' and 'Coop' on the existing site plan (Ford 2004), does not appear in the records of the County Assessor or Recorder's Office and cannot be easily dated. It does not appear on the earliest available aerial photo of the property from 1942, so must have been built after that date (Aero Service Corporation 1942; County of Sonoma 1938, 1949; DePetris 1978; Sanborn Map Company 1888-1941).

The Tynan family became the longest owners of the property, holding it for more than 65 years. In 2004 the Tynan Family Trust sold it to the Merlo Family Trust. Current owners

Rich and Diane Merlo have not made any substantive changes to the property since that time (County of Sonoma 2004; Merlo 2013).

Evaluation

(The following is our independent evaluation of the house and parcel; the 'Summary and Recommendations' discusses the conclusions reached by other researchers.)

There are four 'tests' for the historical significance of a property or site in the State of California. These Criteria for Evaluation are modeled after the National Criteria for Evaluation. They are used by the State of California and many local agencies to determine whether, under the California Environmental Quality Act (CEQA), impacts to a historical site as a result of a project proposal have the potential to create substantial adverse change to the resource. They are also used by many local agencies to determine the historical significance of a property.

In order to be determined significant, a historical resource must meet one or more of the following four criteria. The following is an evaluation of the site and structures at 830 Broadway with respect to these criteria:

1. *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or*

The house at 830 Broadway occupies a neighborhood with a "high concentration of buildings . . . constructed between 1880 and 1930, whose plan and physical development reflect the day-to-day activities during this period." (CALTRANS 2002). These older buildings were constructed during the City of Sonoma's expansion and development in the early 20th century and represent a significant contribution to this broad pattern of local history. The majority of these buildings were built between 1890 and 1910, ~~90% were in existence by 1925.~~ The house at 830 Broadway was constructed in 1939, decades after the peak of Sonoma's early 20th-century development and well outside the period of significance for the Broadway Street Historic District as defined by the 2002 Caltrans report. Thus it was not part of a broad historical pattern and is not eligible for listing in the CRHR under Criterion 1.

2. *It is associated with the lives of persons important to local, California, or national history; or*

The parcel at 830 Broadway was owned by a number of people who were citizens of Sonoma and San Francisco in the latter 19th and early 20th centuries. The most prominent of these was Dr. David Wooster. Born in New York State, he became an assistant surgeon in the army during the Mexican War. When the war was over, he completed medical school and came to California overland in 1850. After working as both a surgeon and a miner in Yuba City, he moved to San Francisco and began practicing medicine there in 1856. When the Civil War broke out, he enlisted in the Union Army and served in Arizona and New Mexico. Later he became the Examiner of Drugs for the City of San Francisco. He was especially interested in heart disease

and published a book on it, as well as another on hip joint diseases. He founded the Pacific Medical and Surgical Journal in 1858 and served as its editor for four years. He also was the author of the first work on diphtheria ever published in the United States. When he died in 1894, his obituary called him “one of the oldest and best-known surgeons” in San Francisco (San Francisco Call 1894).

While Dr. Wooster meets the criteria for a person important to local, California, and perhaps even national history, there is no visible evidence to convey his association with the property, which was not developed during his ownership. Therefore the house at 830 Broadway is not eligible for listing in the CRHR under Criterion 2.

3. *It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; or*

The house at 830 Broadway does not embody distinctive characteristics of type, period, or method of construction; is not the work of a master architect; nor does it possess high artistic values. Therefore the house at 830 Broadway is not eligible for listing in the CRHR under Criterion 3.

4. *It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.*

A field review did not identify prehistoric or historical archaeological resources within the project area. Given that the property at 830 Broadway is not immediately adjacent to known significant historical resources, the possibility for archaeological resources being identified during ground-disturbing activities is moderate.

Therefore the property is not eligible for listing in the CRHR under Criterion 4.

Summary and Recommendations

Our evaluation concluded that 830 Broadway does not meet any of the current criteria for historical significance. The buildings and property do not hold a significant association with patterns of local history. They are not associated with persons known to be significant in local, state or national history. Additionally, we did not find them qualified as historical resources under Criterion 3 for architectural significance, or Criterion 4 for archaeological significance. Thus Baseline Consulting determined 830 Broadway to be “ineligible for NR, CR or Local designation through survey evaluation,” the definition for California Historical Resource (CHR) Status Code 6Z (Office of Historic Preservation 2004).

Following current standards, Baseline Consulting does not agree with previous evaluations (both completed more than ten years ago) which found the property to be a historical resource based on its architectural significance (current Criterion 3). Previous surveys described the house as a “Craftsman, hipped roof, cottage.” The house does not exhibit the commonly accepted elements of a Craftsman building, such as low-pitched roof with wide eaves, exposed rafter tails, decorative braces at open eaves, and heavy battered porch columns. Its construction date of 1939 is nine years after the end of the Craftsman period,

which is usually defined as 1905 – 1930 (McAlester, 1984). In addition, the house's construction date is outside the period of significance, 1890 – 1930, determined by CALTRANS for the Broadway Street Historic District. Thus Baseline Consulting finds it ineligible for "contributor" status to the District as it is currently defined.

Given the property at 830 Broadway is not immediately adjacent to archaeological resources, no further study for such resources is recommended at this time. If archaeological resources in the project area are encountered during the course of the project, they should be avoided or evaluated for their California Register significance. If human remains are encountered during the course of the project, the County Coroner and an archaeologist should be contacted immediately to evaluate the situation. Project personnel should not collect or move any archaeological material. Fill soils that may be used for construction purposes should not contain archaeological materials.

Evaluators Qualifications

I have 15 years professional experience as a historian based in Sonoma County, have a degree in Natural Resources with an emphasis in history and am listed as a qualified historical consultant on the roster on file with the State of California Office of Historic Preservation's Eastern Information Center at the University of California at Riverside. Kara Brunzell holds a Master's degree in Public History and has worked multiple facets of historic preservation and cultural resource evaluation. She is listed as an architectural historian on the California Office of Historic Preservation's roster of qualified consultants. George McKale has worked for many years as a professional archaeologist. He holds a Master's Degree in Cultural Resources Management and has conducted prehistoric and historical cultural studies throughout California. In his role as Sonoma's official City Historian, he has developed extensive knowledge of the town's history and preservation efforts, and works closely with local government in these areas.

Sincerely,

Arthur Dawson
Historical Consultant

Sources

- Aero Service Corporation. 1942. "COF-4-45." Aerial photo taken May 19 for the U.S. Department of War. Philadelphia (central office).
- California Department of Transportation (CALTRANS). 2002. "Historic Resource Evaluation Report for the Visual Enhancement-Pedestrian and Street Lighting Project in Sonoma County in the City of Sonoma on Broadway (State Route 12) Between West Napa Street and MacArthur Street. 04-SON-12-KP 60.4/61.2; EA 299100 (TEA HB1)."
- County of Sonoma. 1895 – c. 1925. "Sonoma SW" breadboard map 89 and associated book: "Vol. 61." Recorder's Office.
- County of Sonoma. 1858. "Sheriff's Tax Deed." Conveys property to William Atterbury. March 10. Recorder's Office.
- County of Sonoma. 1858. "This Indenture" Conveys property from William Atterbury to S.W. Davies. March 11. Recorder's Office.
- County of Sonoma. 1860. "This Indenture" Conveys property from S.W. Davies to George McConnell. March 27. Recorder's Office.
- County of Sonoma. 1869. "This Indenture" Conveys property from George McConnell to Gilbert Shattuck. September 1. Recorder's Office.
- County of Sonoma. 1877. "This Indenture" Conveys property from Gilbert Shattuck to David Wooster. September 1. Recorder's Office.
- County of Sonoma. 1899. "This Indenture" Conveys property from Jean and James Taylor to Blanche Weems. January 24. Recorder's Office.
- County of Sonoma. 1919. "Deed of Gift" Conveys property from Samuel Woodworth to his wife, Ella. October 29. Recorder's Office.
- County of Sonoma. 1924. "Deed of Gift" Conveys property from Ella Woodworth to her son, R. Mac Woodworth. February 21. Recorder's Office.
- County of Sonoma. 1938. "This Indenture" Conveys property from R. Mac Woodworth to Lester Tynan. February 3. Recorder's Office.
- County of Sonoma. 1948-1971. "Residential Building Record." Assessor's Office.
- County of Sonoma. 2004. "Grant Deed" Conveys property from Lester Tynan to Rich and Diane Merlo. June 30. Recorder's Office.
- De Petris. 1978. "Historical Resources Inventory" for 830 Broadway, Sonoma, CA. Brief survey done for the Sonoma League for Historic Preservation.
- Merlo, Rich and Diane. 2013. Personal communication. Current owners of property at 830 Broadway.

- Michael Ford Land Surveying Inc. 2004. "830 Broadway, Sonoma, California. Topographic Map." Kenwood, California.
- Office of Historic Preservation. 1995. Instructions for Recording Historical Resources. California Office of Historic Preservation.
- Office of Historic Preservation. 2004. Technical Assistance Bulletin #8: User's Guide to the California Historical Resource Status Codes & Historic Resources Inventory Directory. California Office of Historic Preservation.
- McAlester, Virginia and Lee. 1984. *A Field Guide to American Houses*. Random House. New York, New York. Page 453.
- Parmelee, Robert. 1972. *Pioneer Sonoma*. Published by the Sonoma Valley Historical Society. Sonoma, California. Page 122.
- Rosenus, Alan. 1999. *General Vallejo and the Advent of the Americans: A Biography*. Heyday Books/Urion Press. Berkeley, California.
- Sanborn Map Company. 1888-1941. "Sonoma, Calif." Insurance maps and updates published by Sanborn Map Company. New York in 1888, 1891, 1897, 1905, 1911, 1923, 1934 and 1941.
- San Francisco Call. 1894. "Dr. Wooster Dead." Volume 76, Number 113. September 21. Newspaper.
- Smilie, Robert S. 1975. *The Sonoma Mission; The Founding, Ruin and Restoration of California's 21st Mission*. Valley Publishers. Fresno, CA. Page 96.
- State of California. 1866-1898. *Great Register of Voters*. Accessed online at ancestry.com. March 2013 [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2011.
- State of California. 1900-1916. *Great Register of Voters*. Accessed online at ancestry.com. March 2013 [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2011.
- Trustees of the former City of Sonoma. 1863. "Know all men by these presents." Delineates streets which have not been developed and will be abandoned. June 27.
- U.S. Bureau of the Census. 1870 – 1940. *Decennial Censuses of the United States*. Washington, D.C.: National Archives and Records Administration. Accessed through Ancestry.com. 2013.
- vonGeldern, Otto. 1875. "Plan of Sonoma." Bancroft Library, University of California, Berkeley. Map.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

(State use only)

Ser _____ Site _____ Mo. _____ Yr. _____

UTM _____ Q _____ NR 5 SHL _____

Lat _____ Lon _____ Era _____ Sig _____

Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

1. Common name: TYNAN, Lester and Katherine
 2. Historic name, if known: _____
 3. Street or rural address 830 Broadway
City: Sonoma ZIP: 95476 County: Sonoma
 4. Present owner, if known: Tynan, L and K Address: 830 Broadway
City: Sonoma ZIP: 95476 Ownership is: Public Private
 5. Present Use: Residence Original Use: Residence
- Other past uses: _____

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Craftsman, hipped roof, cottage. Built in 1939 by Tynan, has a slanted bay window with double hung glass with trim. There is a trellis in wood on either side of the front door porch. The large front window has multi-panes. There are two brick chimneys, one in the middle and the other on the gable side.

Green edge in front. Large trees at the back.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

See City Map Area 13.



UTM (SONOMA QUAD)
10/547,560/4,238,570
10/548,700/4,238,420
10/548,420/4,236,210
10/547,300/4,236,340

8. Approximate property size:

Lot size (in feet) Frontage 45
Depth 300;
or approx. acreage _____

9. Condition: (check one)

a. Excellent b. Good c. Fair
d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

a. Open land b. Scattered buildings
c. Densely built-up d. Residential
e. Commercial f. Industrial
g. Other

12. Threats to site:

a. None known b. Private development
c. Zoning d. Public Works project
e. Vandalism f. Other

13. Date(s) of enclosed photograph(s): May 1978

(NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
 f. Other
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction 1939 This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): Tynan
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
 f. Windmill g. Watertower/tankhouse h. Other i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

Is a fine example of a small cottage with large slanted bay window.
 Is in the middle of older homes and bungalow style.

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
 c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
 g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

23. Date form prepared: May 31, 1978 By (name): Carla De Petris
 Address: _____ City Sonoma ZIP: 95476
 Phone: 938-0510 Organization: Sonoma League for Historic Preservation

(State Use Only)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Caltrans ID, County/Route/Postmile/EA: 04-SON-12; KP 60.4/61.2 EA 299100/ TEA HB1) Map Ref. # N/A

P1. Resource name(s) or number: Broadway Street Historic District

***P2. Location:** *a. County: Sonoma

*c. Address: see continuation sheet

City: Sonoma

Zip: 95476

*e. Assessor's Parcel Number: see continuation sheet

***P3a. Description:**

There is a high concentration of buildings that face Broadway Street that were constructed between 1880 and 1930, whose plan and physical development reflect the day-to-day activities during this period. These buildings are mostly one and two-story residential building constructed in the Victorian, Queen Anne, Craftsman, and Tudor Revival styles. They all sit on large lots with large set-backs, and face the very wide Broadway Street. The character-defining features of this district include planting strips, stone gutters and curbs, large mature street trees, sidewalks, mature landscaping, side driveways with rear detached garages or backhouses, and low fences and rock walls. This was a pedestrian-oriented neighborhood, with the homes looking out onto the wide boulevard, Broadway Street, and toward the Plaza at its terminus. This neighborhood is contained within the four-block radius planned by Vallejo in the 1830s. The district includes forty-one (41) buildings facing Broadway Street, and is roughly bounded by Patten Street to the north, and midway between Chase Street and MacArthur Street to the south.

***P3b. Resource Attributes:** HP-39 (district)

***P4. Resources Present:** Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo date:

September 17, 2002

View looking northeast

***P6. Date Constructed/Sources:**

1880-1930

***P7. Owner and Address:**

See individual primary records

***P8. Recorded by:**

Andrea Galvin

Department of Transportation

Division of Environmental Analysis

Cultural & Community Studies Office

1120 N Street

Sacramento, CA 95814

***P9. Date Recorded:**

September 26, 2002

***P10. Survey Type:**

Intensive

***P11. Report Citation:** Historic

Resource Evaluation Report for the

Visual Enhancement-Pedestrian and

Street Lighting Project in Sonoma County in the City of Sonoma on Broadway (State Route 12) Between West Napa Street and MacArthur Street. 04-SON-12-KP 60.4/61.2; EA 299100 (TEA HB1)

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Photograph Record Other

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND OBJECT RECORD	Primary # _____ HRI# _____
---	-------------------------------

*Resource Name or # Broadway Street Historic District

- B1. Historic name: Broadway Street
- B2. Common name: Broadway Street
- B3. Original Use: Residential Neighborhood
- B4. Present use: Mixed Use
- *B5. Architectural Style: Victorian, Queen Anne, Craftsman, Tudor Revival
- *B6. Construction History: Broadway Street laid out in 1840s, section of Broadway between Patten Street and MacArthur Street developed between 1880 and 1930. A few recent buildings constructed on prior vacant lots.
- *B7. Moved? No Yes Unknown Date: N/A Original Location: N/A
- *B8. Related Features: Roadway, sidewalks, stone gutters, planting strips, street trees, fences, yards and view shed of Plaza
- B9a. Architect: various
- B9b. Builder: various
- *B10. Significance: Theme: Residential Development Area: Sonoma
 Period of Significance: 1880-1930 Property Type: Residential Applicable Criteria: A, C -local

The Broadway Street Historic District appears eligible for the National Register of Historic Places at the local level of significance under Criteria A and C, for its association with the development of the town during its tourism and post gold-rush period and for its design and concentration of architectural styles. The concentration of buildings and period of significance date between 1880 and 1930. The houses along Broadway Street represent a high concentration of good examples of architectural styles popular between this period. Additionally, the size of the street, and the view shed of the Plaza represent the planning and small town values as a main residential street. Broadway Street is exceptional in its width for a small town, and still retains the stone gutters, street trees, planting strips and sidewalks that were installed in the 1920s. Most importantly, it still retains the feeling of prominence with its axis directed toward the historically significant Plaza, drawing the visitor down the street toward the center of town.
 (see continuation sheet)

B11. Additional Resource Attributes:

***B12. References:**

- Sonoma Assessor's Records
- Historic Maps
- Interview; Newton Dal Poggetto, lawyer & long time resident, September 23, 2002

B13. Remarks:

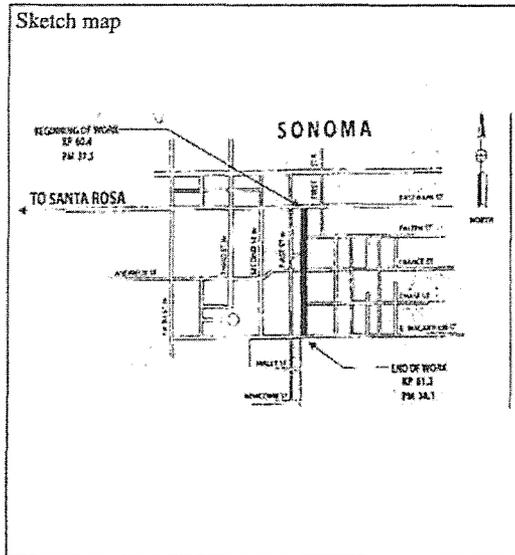
** Several properties located within this historic district have been previously evaluated in a city survey completed by the Sonoma League for Historic Preservation in 1976; the status of this survey is listed in the matrix of properties under P2c.

*** The city of Sonoma has an historic overlay zone that included Broadway Street. In conformance with the City of Sonoma Housing Element (Updated August 28, 2002), new residential development are subject to architectural guidelines to ensure compatibility with the qualities and character of neighboring development.

*B14. Evaluator: Andrea Galvin, Caltrans

*Date of Evaluation: September 26, 2002

(This space reserved for official comments.)



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET	Primary # _____ HRI# _____ Trinomial _____
--	--

Continuation Update

Resource Name or # Broadway Street Historic District

P2c.-e. Address & Assessor's Parcel Numbers (continued):

Map ID #	Street #	APN #	Description/ Use	Year Built	Prior OHP Designation (** B13)	District Status
12	620	018-302-019	Office Building	1868	3S	Contributor
13	640	018-302-020	Office Building- Pacific Union	1997		Historically compatible new construction *** B13.
14	654	018-302-007	Office Building- Broadway Realty	1956		Non-contributor
15	662	018-302-008	SFR	1900/1890s	3S	Contributor
16	678	018-302-009	Vacation Rentals	1928		Contributor
17	688	018-302-012	SFR-Studio	1998		Historically compatible new construction *** B13
18	698	018-302-018	SFR	1904/1906	3S	Contributor
19	702-708	018-352-031	Office Building	1963		Non-contributor
20	720	018-352-003	SFR	1905/1890s	5S	Contributor
21	730	018-352-004	Office Building	1897/1910	4S	Contributor
22	746	018-352-005	Commercial (NEC)- law offices	1910/1880s	4S	Contributor
23	752	018-352-006	Commercial Building	1886/1906	4S	Contributor
24	762	018-352-007	Commercial Building	1900/1900	4S	Contributor
25	770	018-352-008	Quadruplex	1905/1890	3S	Contributor
26	778	018-352-039	SFR	1912/1910	4S	Contributor
27	786	018-352-043	B&B	1889/1907	3S	Contributor
28	790	018-352-044	B&B	1965		Non-contributor
29	800	018-412-028	Office Building	1978		Non-contributor
30	822	018-412-006	Office Building- Fidelity National Title	1912/1917	3S	Contributor
31	830	018-412-031	SFR	1939	5S	Contributor
37	853	018-411-020	SFR- business	1900/1910	4S	Contributor
38	843	018-411-013	Commercial (NEC)	Ca. 1910		Contributor
39	835	018-411-022	Office Building	1906		Contributor
40	827	018-411-004	SFR	1904/1900	4S	Contributor
41	819/823	018-411-024	Duplex	1989		Historically compatible new construction *** B13
42	809	018-411-002	Office Building	1909	4S	Contributor
43	801	018-411-018	Bookkeeping	Ca. 1980s		Historically compatible new construction *** B13
44	793	018-351-009	Office Condo	Ca. 1990s		Historically compatible new construction *** B13
45	783	018-351-008	Halby Marketing Inc.	1925/	4S	Contributor

				1880		
46	779	018-351-007	SFR	1911		Contributor
47	771	018-351-023	SFR	1920		Contributor
48	763	018-351-014	Medical Building	1937		Non-contributor
49	755	018-351-015	SFR- Architect's Office	1910		Contributor
50	735	018-351-018	Stores & Residential- Hospice	1909/ 1900	4S	Contributor
51	725	018-351-025	Triplex- State Farm	1905	3S	Contributor
52	711	018-351-021	Bancroft's Flowers	1967		Non-contributor
53	691	018-303-022	Restaurant Building	1870	4S	Non-contributor
54	681	018-303-021	Motel- Inn	1889/ 1870	3S	Contributor
55	669	018-303-002	Office Building-Sonoma Masonic Temple	1973		Non-contributor
56	645/ 651	018-301-006	Commercial Building- Broadway Hair Co.	1928		Contributor
57	635	018-301-005	Apartment	1905		Contributor

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI# _____
Trinomial _____

Continuation Update

Resource Name or # Broadway Street Historic District

*B10. Significance: (continued):

Context for Significance:

Guadalupe Vallejo laid out the village of Sonoma in 1835. The Pueblo of Sonoma was laid out according to the plans of the Laws of the Indies, established in 1573 by King Phillip II of Spain, and was the last town to be laid out according to his standards for planning. The gridiron arrangement of the blocks surrounding the main Plaza radiated out four blocks in each direction and included a wide boulevard, *El Calle Grande*, (now Broadway Street) that acted as a view shed for the Plaza at its terminus. The original planning of Vallejo's Plaza and streetscape still exists today, and a portion of the town, including the Plaza has been designated as a National Historic Landmark District.

The town of Sonoma was slow to develop until the gold rush, as it was not easily accessible by water or land. Despite these limitations however, it did attract the new elite who were enamored with the respectability, wealth and sophistication of General Vallejo. Sonoma became the social center of Alta California. Sonoma grew steadily until the end of the century, due largely in part to the rush of gold seekers and many new agricultural-related industries. The 1880s marked a large period of development for the region, as the valley became known as one of the finest vineyard sections in the State. The Sonoma Valley, in particular was well suited for the cultivation of premium wine grapes, and as this industry grew, the town prospered.

The direction of Sonoma's development during this period is defined by the architectural style and materials used as wood, brick, and stone buildings of two and three stories replaced a number of the crumbling adobe structures from the prior Mexican era. The houses along Broadway Street were mostly constructed during this period. Most of the buildings are one or two story, single family residences built in the Victorian and Queen Ann style. Some of the buildings were constructed after the turn of the century in the Craftsman and Tudor Revival styles that reflected the changing trends in architecture of following decades. This street historically served as the main residential street. Some of the families who lived there were pioneer families of Sonoma but most residents were ordinary citizens who contributed to the community as shop owners, teachers, mailmen, and mayors. It is a stereotypical main street for a turn-of-the century town. What is not stereotypical is the size of the street. This street is wider than most, and remains so, reflecting the Laws of the Indies, established in 1573 by King Phillip II of Spain.

Although Broadway Street was laid out in Vallejo's day, this section of town did not develop until the post-gold rush and tourism period. The concentration of turn-of-the century houses close to the town center defines the size and development pattern of the early town. The life and values of a newly established small-town destination can be seen in the size and architectural style of the houses facing this main street into town. Unlike other California towns that were developing after the gold rush (mining towns, agricultural communities, etc.), the types of businesses and houses represented around the Plaza and along Broadway Street reflect an image of higher society that attracted tourists, wine connoisseurs, and respectable citizens. The size of the buildings, the architectural styles, attention to design and ornament, the size of the lots, the streetscape, and its location all indicate the values of the new elite that populated the area. Even today, though the town remains small, its design and attention to architecture within the town core reflect the same desire for a reputation of respectability, wealth and sophistication that Vallejo, and the pioneers sought toward the end of the nineteenth century.

Integrity:

Of the forty-one (41) buildings that make up the potentially eligible historic district, twenty-eight (28) were constructed between the period of significance and possess sufficient integrity to merit inclusion to the National Register of Historic Places as contributors to the historic district. Of the remaining thirteen (13) non-contributing buildings, five were constructed within the past decade and were subject to design review under a City Overlay Zone. In compliance with the City of Sonoma's Housing Element, these properties were designed using architectural guidelines to ensure compatibility with the qualities and character of neighboring development. Therefore, these buildings, although non-contributing to the historic district, are historically compatible in design and do not substantially diminish the sense of time and place the district provides. Therefore, there are only seven buildings of the forty-one located within the historic district that lack cohesive association to the district's period of significance.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 CONTINUATION SHEET

Primary # _____
 HRI# _____
 Trinomial _____

Continuation Update

Resource Name or # Broadway Street Historic District

*B10. Significance: (continued):

Recently, the commercial section of Broadway Street (first block south of Plaza) has filtered into the residential section of the street. However, instead of demolishing the turn-of the century residences, they have adapted the use to non-intrusive offices that have attracted businesses such as law offices and realtors. This has protected the historic character of Broadway Street. Additionally, historically compatible free-standing signage for these businesses now adorn the front yards of the historic homes, that although not historically appropriate, adds to the feeling and continuity of the district. The fact that these older homes are preserved and are subject to design review attests to the ongoing values that Sonoma residents hold; that Broadway Street and the buildings facing it are important visually, as they provide a first impression of the town for visitors entering town from the south.



Photo showing historically compatible new construction (left) next to District Contributor built in 1904 (right). View taken looking northeast at the intersection of Broadway and France Streets.



Photo showing free-standing historically compatible signage, low fences and rock walls, and mature landscaping. View taken looking southwest toward Andrieux Street.

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD	Primary # _____ HRI # _____ Trinomial _____ NRHP Status Code _____
Other Listings _____ Review Code _____	Reviewer _____ Date _____

Caltrans ID, County/Route/Postmile/EA: 04-SON-12; KP 60.4/61.2 EA 299100/ TEA HB1) Map Ref. # 31

***P1. Resource name(s) or number:** Broadway Street Historic District (contributor)

***P2. Location:** *a. County: Sonoma

*c. Address: 830 Broadway Street

City: Sonoma

Zip: 95476

*e. Assessor's Parcel Number: 018-412-031

***P3a. Description:**

This one story residence has end gables, with an octagonal, hip-roof projecting wing on the front. There is an exterior, brick chimney on the south wall, as well as a brick chimney extending from the roof ridge at the center of the building. On the left side of the façade is an attached garage at the rear of the building, and there is a small, recessed porch on the right side. The exterior walls are clad in horizontal wood siding with corner boards, and the windows are 1/1 wood sash in wood frames.

There are shrubs and a young tree adjacent to the building façade, while the rest of the yard is grass, with a driveway to the garage and a curving, concrete walkway to the front porch.

***P3b. Resource Attributes:** HP2 – single family residence

***P4. Resources Present:** Building Structure Object Site District Element of District Other



***P5b. Photo date:**
September 17, 2002
View looking east

***P6. Date Constructed/Sources:**
1939 (assessor's records)

***P7. Owner and Address:**
William & Mildred Tynan
3573 Mariposa Court
Napa, CA 94558

***P8. Recorded by:**
Andrew Hope
Department of Transportation
Division of Environmental Analysis
Cultural & Community Studies Office
1120 N Street
Sacramento, CA 95814

***P9. Date Recorded:**
September 26, 2002

***P10. Survey Type:**
Intensive

***P11. Report Citation:** Historic Resource Evaluation Report for the Visual Enhancement-Pedestrian and Street Lighting Project in Sonoma County in the City of Sonoma on Broadway (State Route 12) Between West Napa Street and MacArthur Street. 04-SON-12-KP 60.4/61.2; EA 299100 (TEA HB1)

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Photograph Record Other

DPR 523A (1/95)

***Required information**



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 10
Item:

Meeting Date: 05/20/14

Applicant

Wade Design Architects

Project Location

563 Second Street East

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: circa 1908
-

Request

Design review of a proposed addition to the residence located at 563 Second Street East.

Summary

The applicant is proposing to add 5,371 square feet of building area to an existing residence at the rear portion of the house.

Site Description: The subject property is a 25,010-square foot parcel located on the west side of Second Street East midblock between East Napa Street and Patten Street. The property is currently developed with a ±2,448 square foot residence, ±1,340 square foot barn, and ±298 square foot shed. The residence was built around 1908 and is not eligible for listing on the California Register of Historic Resources (refer to enclosed Historical Evaluation of the Property at 563 Second Street East, Sonoma, Sonoma County, California, dated February, 2014). The property is zoned Low Density Residential (R-L) and lies within the City's Historic Overlay Zone. Directly adjoining land uses include single-family homes to the north, south, and east.

Proposed Project: The project involves remodeling the existing home, adding a 5,371 square foot addition (including a 1,113 square-foot attached three-car garage). The existing barn is proposed to be demolished. The exterior of the existing portion of the residence will remain essentially as it is currently constructed, with the exception of the east elevation where the new addition will be attached. In addition, new windows are proposed on the north and south elevations of the existing house. The new windows will be wood units created by NorthStar Wood Works, or another custom manufacturer, to match the existing windows in style, material, and color. Existing wood siding will be repainted. Architectural details for the residential addition include a spectrum of natural and warm neutral tones and material consisting of stone, wood, metal, plaster, and concrete. In addition, Versa Star recessed exterior can lights and BK Delta Star wall mounted adjustable down lights are proposed. Harbor mist colored GAF shingle roofing would be used throughout. In total, the proposed would increase the floor area of the residence by 5,371 square feet. Further details can be found in the attached project narrative and accompanying materials.

Zoning Requirements: The standards of the Low Density Residential zone applicable to the proposal are as follows:

- **Setbacks:** The new addition meets or exceeds the normal setback requirements.
- **Coverage:** At 39%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- **Floor Area Ratio:** The project would result in a F.A.R. of 0.32, which is less than the 0.35 maximum allowed.
- **Parking:** Three covered parking spaces are provided in an attached garage. This meets the requirement.
- **Height:** The one-story residence would have a maximum ridge height of 26 feet, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

Design Review: Alterations to existing structures that increase floor area by 10% or 200 square-feet, whichever is greater located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
A survey and evaluation was completed for the property in February, 2014. This evaluation found that the residence, barn, and shed are not historic resources and are not eligible for listing on the California Register of Historic, which means that the residence is not an "historical resource" under CEQA.
2. Environmental features on or adjacent to the site;
Nathanson Creek borders the property to the west. The required 30-foot creekside setback is met.
3. The context of uses and architecture established by adjacent development;
The adjacent properties to the north, south, and east are developed with single family residences.
4. The location, design, site plan configuration, and effect of the proposed development.
The addition and remodel is located in the Low Density Residential zoning district. The contemporary design of the addition may not be compatible with the surrounding neighborhood, but this portion of the addition would not be visible from Second Street East. The site plan configuration employs a courtyard scheme which, allows for the new two-story structures to be shielded behind the existing two-story Craftsman style home.

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the Planning Commission was not necessary, the DRHPC is responsible for reviewing and acting upon the project site plan, building massing and elevations, elevation details, and exterior materials.

CEQA Compliance: *As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA).* Per the historic evaluation prepared by Tom Origer & Associates dated February 2014 (attached) the property does not meet any of the criteria for listing on the California Register of Historical Resources. Accordingly, the residence is not considered an historical resource as defined under CEQA and, pursuant to Section 15301 of the CEQA Guidelines, the remodel/addition project is categorically exempt (Class 1 – Existing Facilities).

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features;
4. The project will not impair the historic character of its surroundings;
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site;
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic

Preservation and Infill in the Historic Zone); and

7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design and Historic Preservation Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Historical Evaluation of the property at 563 Second Street East Sonoma, Sonoma County, California, dated February, 2014.
3. Site plan
4. Floor plans
5. Outdoor light specification sheet.
6. Elevations
7. Exterior Materials Palette
8. Site photos
9. Front view

cc: Wade Design Architects
 29 Magnolia Avenue
 San Anselmo, CA 94960

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne Bowers, via email

May 20, 2014

Project Narrative for residence addition at 563 2nd Street East

This project proposes a contemporary addition to the existing Craftsman style home currently on the site. Although an historian's evaluation has found that the existing structure is not historically significant in nature and has outlined these findings in a report, we have endeavored to treat the existing home with sensitivity and to allow it to remain relatively unchanged in terms of street presence. Our client's desire for a clean-lined, modern addition allows for an honest "reading" of the division between old and new. This is a recognized strategy for architectural expansions and renovations, in which the existing building's legibility remains precise and is respected without emulation.

Main considerations for the overall massing of the design were the linear nature of the lot, as well as a desire to minimize presence at the street frontage and to foster sensitivity with the existing neighboring homes. For these reasons a courtyard scheme has been employed, which allows for two new 2-story structures to be shielded behind the existing 2-story Craftsman. The street presence is preserved, with a new glass entry hall placed to the south and set back from the main façade of the Craftsman in deference. At the side elevations, the massing undulates from single story up to 2-story, in rhythm with the existing trees, in order to prevent any long uninterrupted expanses of wall to the neighboring properties to the north and south. Utilizing flat roofs and terraces further minimizes the vertical presence of the addition, in lieu of pitched roofs that would add substantial height and shadowing.

Though the existing structure has not been found to be historically significant, the exterior of the Craftsman will be largely preserved, in keeping with the character of the neighborhood. The wood siding will be repainted and roofing will be replaced with a traditional shingle, shown in the Materials Palette. Instead of acting as an entry, the front porch will become a self-contained open-air outdoor space, and pedestrians will be directed to the new entry hall via a new walkway and landscaping. An existing low stone hedge at the front porch will be completed to create a level of privacy and reinforce that the addition is the preferred entry portal to the home. On the north and south elevations of the existing house, the new windows will be wood units created by NorthStar Wood Works, or another custom manufacturer, to match the existing windows in style, materiality, and color. At the west elevation, a new flat roof will intersect the existing sloped roof and a new exterior plaster wall will replace the existing wood wall. On the existing east (street) elevation, no windows or doors will be added or removed.

The materials of the addition are shown in the attached Materials Palette, and adhere to a spectrum of natural and warm neutral tones, with honest expression of the underlying materiality of stone, wood, metal, plaster, and concrete. Wood and plaster will be the primary wall finish materials. This reflects the materiality of the existing structures on the property as well those on the neighboring properties. Doors and windows at the addition will be custom metal units by manufacturers such as Vitrocsa and Jada Metals.

Also attached is a site plan from an arborist denoting which existing trees are deemed significant. The courtyard scheme allows for many of the trees to remain, as the new addition is situated to avoid conflicts and highlight specimen trees. The new structures and landscaping will also be maintained at the creek setback in an effort to minimize encroachment on the natural features of the property.

Overall, the project represents our proposal for a sensitive contemporary addition in an otherwise traditional setting, designed to minimize impact on neighbors through the use of thoughtful massing and material color choices. We believe this proposal for development complies with applicable policies and regulations set forth by the City of Sonoma, and responds appropriately to the site and surrounding context. Lastly, our clients have met with their immediate neighbors to the north and south and have presented these proposed plans with no objections.

Below is a summary of areas for the project.

AREAS SUMMARY (sq. ft.)

Ground Floor	5313
Main House	4200
Garage	1113
Upper Floor	2506
Guest Suites	1016
Above Master	801
Exercise/Caretaker	689
TOTAL RESIDENCE	7819
Existing Shed	298
Porches	1621
TOTAL	9738
Max. F.A.R. area allowed	8753.5
Max. coverage	10004

**Historical Evaluation of the
Property at 563 Second Street East
Sonoma, Sonoma County, California**

Vicki R. Beard, M.A.

February 2014



**Historical Evaluation of the
Property at 563 Second Street East
Petaluma, Sonoma County, California**

Prepared by:

A handwritten signature in black ink, appearing to read "V. R. Beard", written over a horizontal line.

Vicki R. Beard, M.A.

Tom Origer & Associates
Post Office Box 1531
Rohnert Park, California 94927
(707) 584-8200
(707) 584-8300 (fax)

Prepared for:

Keith and Cherie Hughes
563 2nd Street East
Sonoma, California 95476

February 2014

ABSTRACT

Tom Origer & Associates completed an architectural and historical evaluation of the house at 563 2nd Street East in Sonoma, Sonoma County, California, as requested by Keith and Cherie Hughes, property owners. The study was designed to determine the property's potential for inclusion on the California Register of Historical Resources based on the eligibility criteria set forth in Title 14 CCR, §4852, and follows guidelines for the California Environmental Quality Act.

Historical research was conducted at the Sonoma County Assessor's and Recorder's offices, the History Annex of the Sonoma County Library, the Sonoma Depot Museum, and various online databases such as the Online Archive of California, Calisphere, and Ancestry.com. A field visit was made to the property to examine and photograph the house exterior.

The study found that while the house is an example of the work of the well-known local contractor Ralph E. Murphy, it lacks adequate integrity to represent his body of work and is not eligible for inclusion on the California Register

In addition to this report, Department of Parks and Recreation (DPR) forms were completed and are appended to the report. Documentation pertaining to this study is on file at Tom Origer & Associates (File No. 14-004).

Synopsis

Project: Evaluation of the house 563 2nd Street, Sonoma
Location: 563 2nd Street, Sonoma, Sonoma County, California
APN: 018-261-021
Quadrangle: Sonoma, California 7.5' series
Study Type: Historical/architectural evaluation
Scope: Property specific
Finds: Does not appear eligible for the California Register

Project Personnel

This report was prepared by Vicki R. Beard, who has been with Tom Origer & Associates since 1990. Ms. Beard holds a Master of Arts in cultural resources management with an emphasis in historical resources, and meets the Secretary of the Interior's standards for archaeology, history, and architectural history. Graduate coursework and applied studies included building and structure evaluation, and historical research. Post-graduate work was completed in historical architecture through the Architecture Department at the University of California Berkeley; heritage resource management at the University of Nevada, Reno; and architectural history and historic landscapes through the National Preservation Institute, Alexandria, Virginia. Professional affiliations include the Society of Architectural Historians, Northern California Chapter of the Society of Architectural Historians, and Vernacular Architecture Forum. She is also listed on the Register of Professional Archaeologists.

CONTENTS

Abstract	i
Synopsis	i
Project Personnel.....	ii
Introduction	1
Regulatory Context.....	1
Significance Criteria.....	2
Study Procedures	2
Historical Setting.....	2
Historic Context	6
Evolution of Residential Architecture, 1835 to 1950.....	6
Property Description.....	8
Conclusion.....	10
Assessment of Significance.....	10
Assessment of Integrity.....	11
Summary and Recommendations.....	11
Materials Consulted.....	12
Appendix A: Resource Documentation	

FIGURES

Figure 1. Project vicinity	1
Figure 2. Study location	3
Figure 3. City of Sonoma shown on Thompson's 1877 atlas map.....	5
Figure 4. Drawing of Simmons' powder divider	6
Figure 5. The Hughes house at 563 2nd Street East.....	9
Figure 6. South and west elevations	9
Figure 7. North elevation.....	9

INTRODUCTION

Tom Origer & Associates completed an architectural and historical evaluation of the property at 563 2nd Street East in Sonoma, Sonoma County, California (Figures 1 and 2), as requested by the property owners, Keith and Cherie Hughes. Buildings on the property include an early 20th century dwelling, a barn, and a shed. In 1979, an inventory of historic buildings in Sonoma was completed by the Sonoma League for Historic Preservation. The Hughes' house was not included in the list of historic buildings.

Pursuant to the California Environmental Quality Act and its Guidelines, the purpose of this study was to determine if the subject property meets criteria for inclusion on the California Register based on the eligibility criteria set forth in Title 14 CCR, §4852. Study included photo-documentation and historical research. The results of the study are presented in this report and on the Department of Parks and Recreation (DPR) forms provided in Appendix A. Documentation pertaining to the study is on file at Tom Origer & Associates (File No. 14-004).

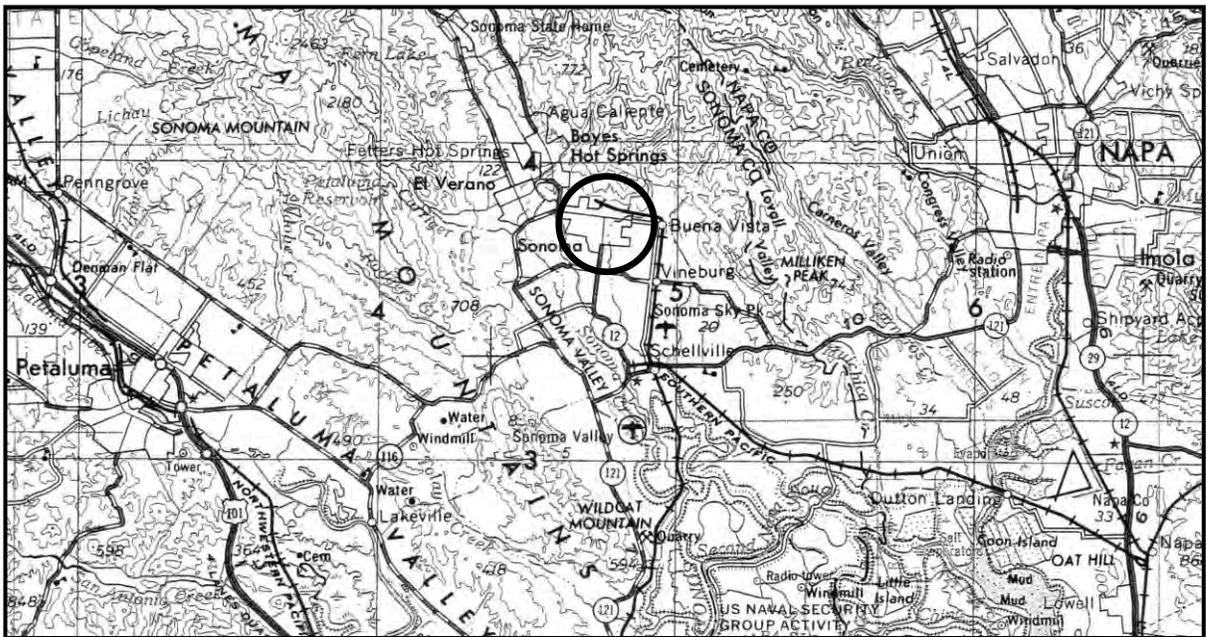


Figure 1. Project vicinity (adapted from the USGS 1980 Santa Rosa 1:250,000-scale map).

REGULATORY CONTEXT

This study adhered to requirements of the California Environmental Quality Act (CEQA), which mandate that cultural resources be considered as part of the environmental review process. This is accomplished by an inventory of resources within a study area, evaluation of resource importance, and an assessment of potential project effects on resources found to be important. Determining a resource's importance is discussed below.

Significance Criteria

Under CEQA, when a project might affect a cultural resource (i.e., site, building, structure, object, or district) the project proponent is required to conduct an assessment to determine whether the effect may be one that is significant. Consequently, it is necessary to determine the importance of resources that could be affected.

The importance of a resource is measured in terms of criteria for inclusion on the California Register (Title 14 CCR, §4852) listed below. A resource may be important if it meets any one of the criteria below, or if it is already listed on the California Register or a local register of historical resources.

An important historical resource is one which:

1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. Is associated with the lives of persons important to local, California, or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important to the prehistory or history of the local area, California or the nation.

In addition to meeting one or more of the above criteria, eligibility for the California Register requires that a resource retains sufficient integrity to convey a sense of its significance or importance. Seven elements are considered key in assessing a property's integrity: location, design, setting, materials, workmanship, feeling, and association.

STUDY PROCEDURES

Archival research was completed at the Sonoma County Assessor's and Recorder's offices, the History Annex of the Sonoma County Library, and the Sonoma Depot Museum. Additionally, documents, maps, and secondary sources at the offices of Tom Origer & Associates and various online databases such as the Online Archive of California, Calisphere, and Ancestry.com were searched.

A field examination of the house was conducted on January 21, 2014. The exterior of the building was photographed and notes were made regarding style, construction techniques, and modifications. Descriptions are provided in the Property Description section of the report.

HISTORICAL SETTING

The property at 563 2nd Street East is located 0.1 miles south of the plaza in downtown Sonoma, as shown on the Sonoma 7.5' USGS topographic map (Figure 2). Historically, this area was once claimed by the Mission San Francisco Solano de Sonoma (hereafter, the Sonoma Mission), The last of 21 missions established in California by Franciscan missionaries between 1769 and 1823. In 1833, the Mexican government began secularizing California mission lands.

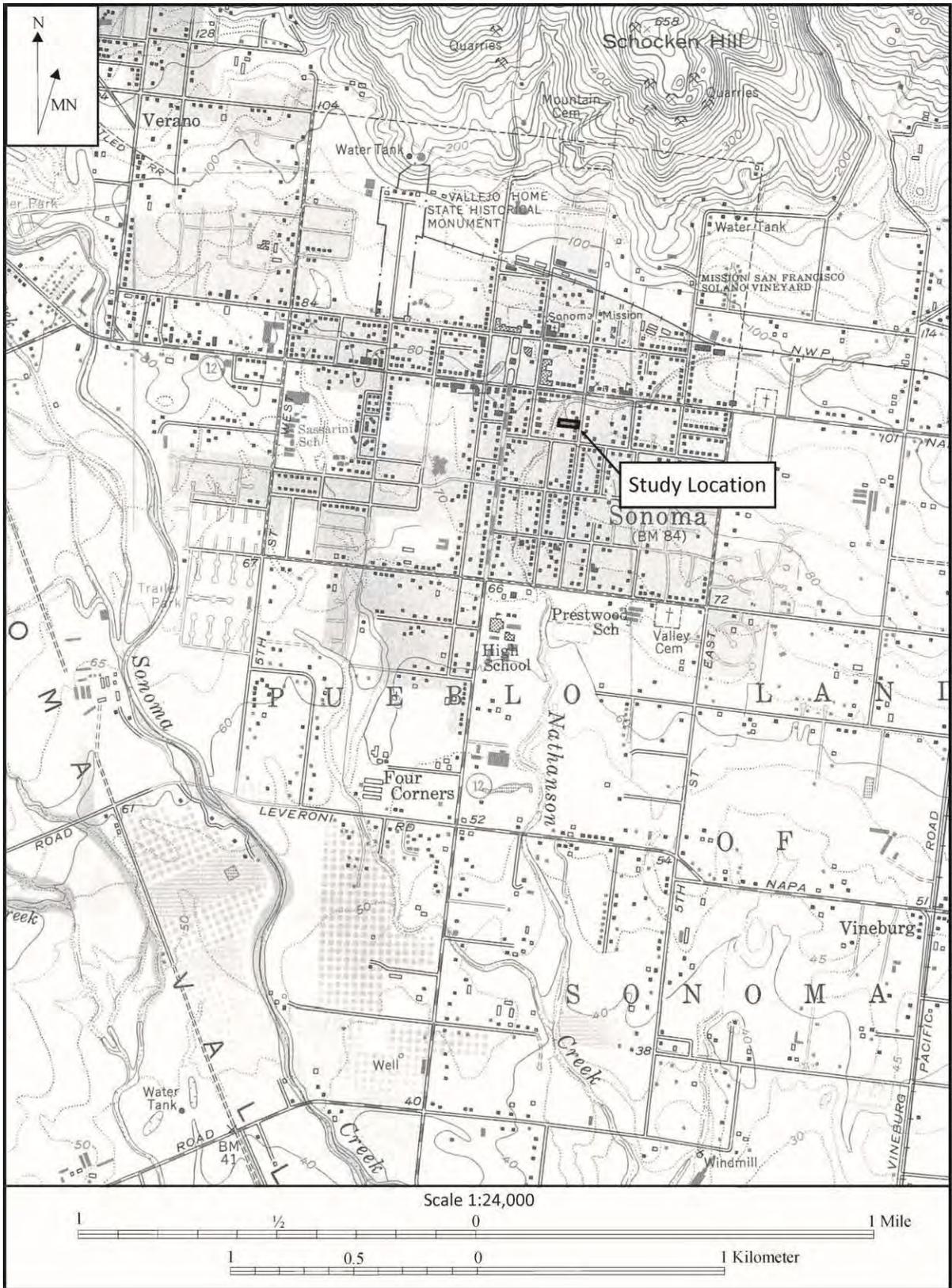


Figure 2. Study location (adapted from the USGS 1980 Sonoma 7.5' map).

After futile starts in the Petaluma and Santa Rosa areas, Governor José Figueroa commissioned General Mariano Vallejo, former *Commandante* of the San Francisco Presidio and *comisionado* of the Mission San Francisco de Solano (Sonoma Mission), to establish a presidio and pueblo at Sonoma. About 6,064 acres of mission lands were set aside for the pueblo in 1834, excluding a two-acre parcel containing the mission buildings and the 12-acre mission vineyard.

The Mexican pueblo of Sonoma grew and prospered between 1835 and 1846, in part due to a steady influx of Americans. Many of the American men married into prominent Mexican families. Through these unions, Americans became landowners, and they brought with them many American attitudes regarding land use and business dealings. This phenomenon occurred throughout California and served to weaken the Mexican government's grasp on region. During the mid-1840s, the United States government actively pursued nonviolent acquisition of California as a U.S. territory, but progress toward that end was too slow for some. In early 1846, disgruntled Americans in the Sacramento Valley rallied around U.S. explorer John C. Fremont and in June of that year, a group of men seized Mariano Vallejo and imprisoned him in Sacramento. A crude flag with the image of a bear was raised in the Sonoma plaza, giving rise to the name Bear Flag Revolt. The year 1846 marked the end of Mexican domain and the beginning of the American era in Sonoma, and in September 1850, the Mexican pueblo of Sonoma officially became a United States town when California was admitted to the union.

Surveyor, Jasper O'Farrell prepared a plat of the town in 1850 dividing Sonoma into small "town lots" and various sized "out lots" (O'Farrell 1850). The subject parcel was part of Lot 59, which belonged to the heirs of Catherine Lewis at the turn of the 20th century. It was acquired by F.E. Clewe in 1901, and over the next five years the block changed hands another four times. The last of the four owners divided the block, selling most of it to Mary Brady in 1907. In 1909, the subject parcel was purchased by Ralph E. Murphy, a local contractor who became well known to Sonoma residents through his association with winemaker and entrepreneur Samuele Sebastiani, and as a developer himself. Murphy was the contractor for many of Sebastiani's commercial and residential projects in Sonoma, and was the owner/developer of the Breitenbach Tract.

In his adolescence, Murphy came to California with his mother (c. 1893) and the two lead a somewhat nomadic life for many years. Murphy worked for a while in his uncle's El Verano vineyard. The 1910 census shows that Murphy was renting a house in Agua Caliente while working as a foreman, but no other details about his work were provided (USBC 1910). In his early 20s, Murphy embarked on a career in carpentry, reportedly learning the trade while on an extended stay in Illinois to tend a sick relative (Brown 1985). He returned to Sonoma about 1905, married Mabel Thomas, and began a 40-year career in house carpentry.

Murphy's work began in 1905 and paralleled the growth of the Arts and Craft movement in the United States. The Arts and Craft movement began in England during the late 1800s, and is widely considered a response to changes in work and living conditions brought about by the Industrial Revolution. Its proponents stressed simplicity and informality without the loss of craftsmanship. In architecture, emphasis was placed on using natural and locally available materials, visible handicraft, and regard for location. Oak Park, Illinois, the San Francisco Bay Area, and Pasadena, California became focal points of the Arts and Craft movement in the United States and resulted in regional interpretations of Arts and Craft style. In the Midwest, Frank Lloyd Wright developed the Prairie Style. The First Bay Tradition grew out of the works of several San Francisco Bay Area architects lead by Bernard Maybeck, and Charles and Henry Greene were the preeminent Arts and Craft architects in Pasadena.

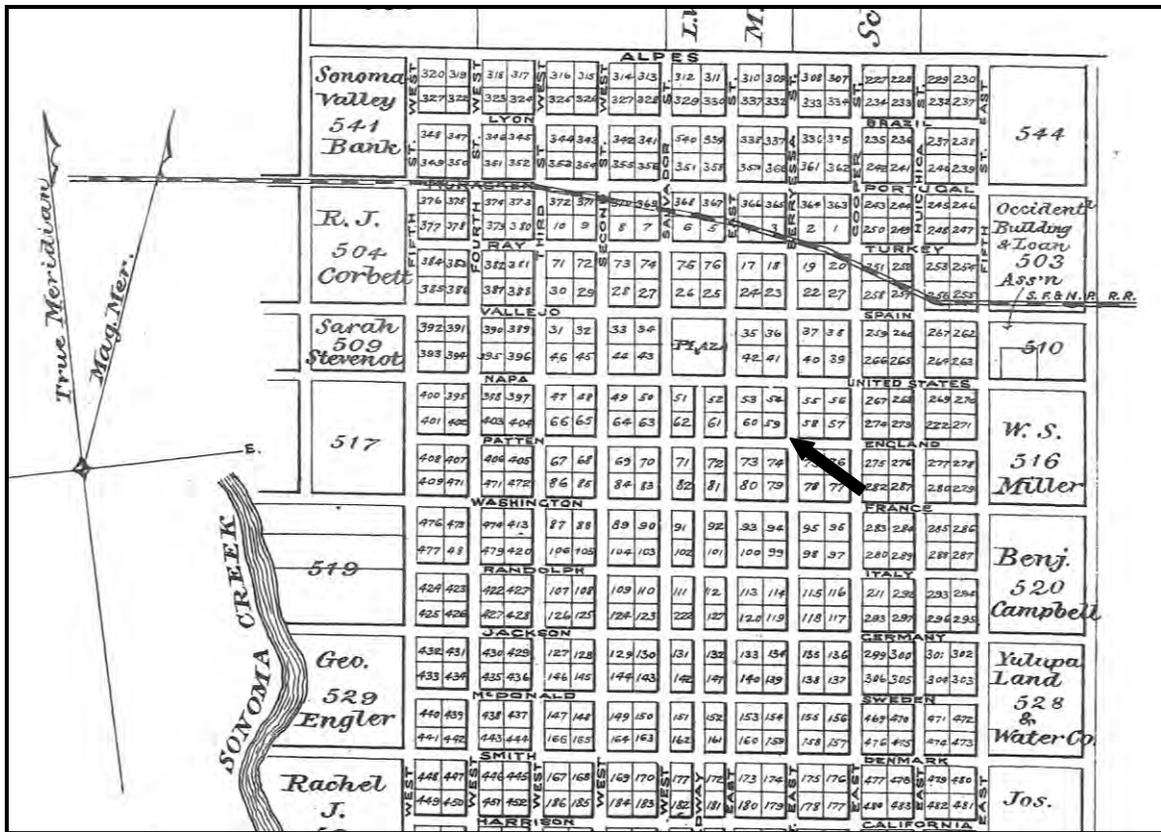


Figure 3. City of Sonoma shown on Thompson's 1877 atlas map. The study parcel is part of Block 59.

One of the most popular Arts and Craft styles in the United States was the Craftsman, named after a magazine published by furniture designer turned house designer, Gustav Stickley, during the early 20th century. With roots in California, the Craftsman style spread throughout the country between 1905 and 1920. It was during that period that Ralph Murphy began constructing homes in Sonoma. There are many extant examples of Murphy's work, and a lot are built in the Craftsman style. It is clear that Murphy embraced the principles of the Arts and Craft movement, not only in his choice of materials but in the high degree of workmanship and great attention to detail exhibited in his work. Locally, Murphy is considered the "king of the Craftsman," and an article in the *Sonoma Index-Tribune* (1923) praised Murphy as having "...erected many of the most beautiful homes, largest resorts, and business blocks of the community."

Census rolls show that Murphy and his family were living on the property in 1910. In 1920, Murphy sold the property to Leland and Florence Brubeck. At that time, the house was being rented by Lloyd and Mabel Simmons and the Brubecks lived nearby on Patten Street. The Simmons purchased the property outright in 1923.

Simmons began his career as a pharmacist in Southern California, where he purchased the Chino branch of Pierce & Robins in 1899 (Weicker 1899:585). Within very few years, Simmons had moved his wife and daughter to Oakland where he had a pharmacy on 8th Street (Husted 1904). They moved again in 1903, this time settling in Sonoma. Soon after, Simmons opened a drug store on East Napa Street, advertising himself as "L.S. Simmons, The Prescription Druggist."

Anecdotal accounts and historical records suggest that Simmons was an industrious man. His store was renowned for the homemade ice cream that Simmons made fresh each morning. He was also something of an inventor. In 1922, the National Association of Retail Druggists reported that Simmons had received a patent for a powder divider, a device that measured single doses of prescription powders and was expected to save pharmacists much time (National Association of Retail Druggists 1922:178). In his patent application, Simmons wrote, "It frequently becomes necessary to divide substances into given amounts. Particularly is this the case when preparing medicines in powdered form to be taken in uniform doses. The invention provides means whereby a powder may be divided into like portions of uniform amount by bulk and which will admit of the work being quickly, accurately and conveniently performed.

Simmons sold the pharmacy to his son-in-law Neal Dodge in 1950. Dodge and his wife Gladys met while both working at the pharmacy. They married in 1921. Census records show that the two families lived together in the house on 2nd Street (USBC 1930, 1940).

Mabel Simmons died in 1951, and the house was sold to Ray and Loraine DeVoss the following year. In 1954, it was purchased by Fred and Sybil Knorre. Prior to their move to Sonoma, the Knorres lived in San Francisco where Fred was a salesman. The house stayed in the Knorre family until 1993.

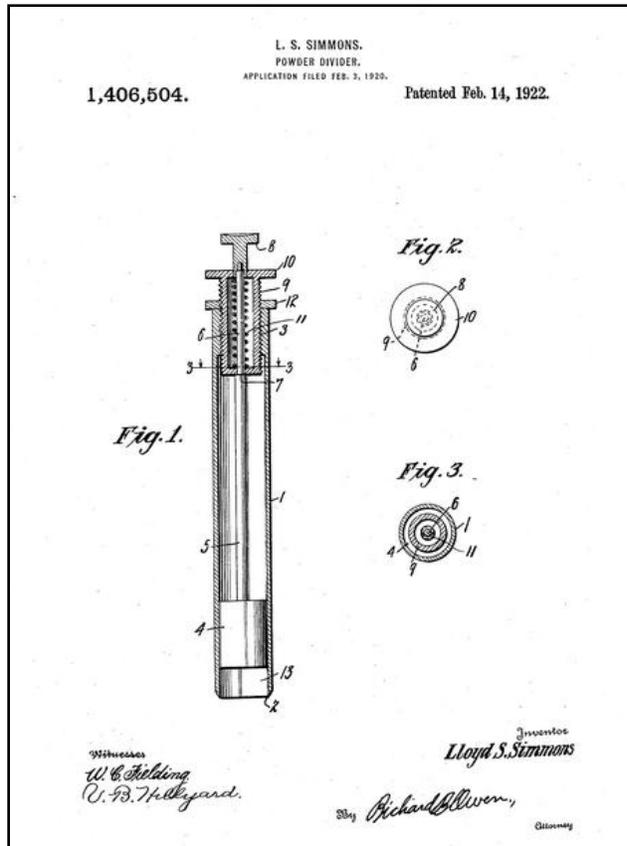


Figure 4. Drawing of Simmons' powder divider (United States Patent and Trademark Office 1922)

HISTORIC CONTEXT

To evaluate the significance of a resource, it is necessary to understand historic patterns and themes that are important on national, state, and local levels. The significance of a historic property can be judged and explained only when it is evaluated within its historic context. Historic contexts are those patterns or trends in history by which a specific occurrence, property, or site is understood and its meaning (and ultimately its significance) within history or prehistory is made clear.

Preliminary research found that the house could best be evaluated within the context of the *Evolution of Residential Architecture, 1835 to 1950*.

Evolution of Residential Architecture, 1835 to 1950

Residential architecture in Sonoma is marked by a wide range of architectural styles reflecting the lives of many economic classes. The earliest dwellings were adobe houses and rustic cabins built from locally available materials. As time went by and the town grew and prospered, homes became

more sophisticated. Architecturally defined styles such as the Italianate, Second Empire, Gothic, Greek Revival, Queen Anne, and Craftsman are well represented, as are vernacular forms that sometimes take on attributes of true styles.

Life in early Sonoma revolved around promoting the mission and establishing a military presence. Priest resided at the mission while the soldiers were housed in barracks. After the missions were secularized in 1834 and lands began to be parceled out to private citizens, adobe houses were built, primarily around the plaza. Two notable adobe homes in Sonoma are the former Jacob P. Leese and Salvador Vallejo adobes. When Leese built his adobe in 1836 there were no other private residences in the area. Salvador Vallejo built a two-story adobe the same year and resided there for about 10 years. Both of these homes are used for commercial pursuits at present.

In the mid-19th century, people from all over the world flocked to California. Until that time, life in California revolved around ranching on a grand scale, with vast acres of land tied up in Mexican ranchos. The typical rancho home was an adobe-brick structure, often one-storied, and L- or U-shaped or built around a courtyard. In this area, General Vallejo's Petaluma Adobe stands as an example of the thick-walled adobes built of mud and straw bricks, often by Native American labor.

As time went by and the town grew and prospered, homes became more sophisticated. With the influx of people during the mid-nineteenth century, new house forms were added to the California building stock. People tended to bring with them regional ideas of what a house should be. Historian Harold Kirker writes of that time, “[t]he coming together of a score of cultures on a rich and isolated frontier produced the California Renaissance” (Kirker 1986:55). The nineteenth century was a time of romantic revivals and eclecticism in architecture. California experienced a lag in adopting new styles, especially away from metropolitan areas, because of its relative isolation but with the arrival of the railroad in 1869 the state was able to close the gap.

In the decades preceding the population boom in California the architectural world experienced a period of Greek Revival architecture (circa 1825 to 1850) during which time homes often featured classic elements such as columns, pediments, and other details inspired by Greek forms. Overlapping with the Greek Revival era, Gothic Revival and Italianate architecture were presented as alternatives to the classical Greek designs. Both were popular between 1840 and 1880. During that period, industrialization brought many innovations to architecture resulting in Victorian Architecture (circa 1860 to 1900) with such popular forms as Stick, Eastlake, Queen Anne, Romanesque, and Second Empire.

Beginning with Georgian Revival toward the end of the 19th century, Colonial Revival styles captured America’s imagination and for the most part remained at the forefront of popularity through the first half of the 20th century. The earliest Colonial Revival homes generally were interpretations of colonial styles imposed on Victorian and post-Victorian forms, but as the 20th century progressed more attention was paid to historical accuracy. This eclectic period in American architecture included such revival forms as Dutch Colonial, French Eclectic, Spanish Eclectic, and Tudor.

Interrupting the Colonial Revival period, the Modern movement turned away from imitation with renewed concern for handicraft and interest in the surrounding environment. The architectural atmosphere of the time was one of simplification rather than elaboration, and new homes emphasized efficiency, informality, and neatness. The resulting homes reflect the principles of “structural simplicity, balanced proportions, and minimal decoration” (Clark 1986:132). Ornate house styles of the preceding Victorian era were considered European imitations, and America and its architects were seeking their own identity. The Craftsman and Prairie styles grew out of this movement, as did the First Bay Tradition.

Of note is another phenomenon of the late-19th and early-20th centuries when a more generic group of homes appeared that borrowed minimally from specific styles. Architectural historians Massey and Maxwell (1996:211) offer the term “Builder Style” to describe these working-class homes that were “long on function, and short on stylistic effects and architectural grandeur.” These homes were widespread throughout the United States, chiefly because they were promoted by pattern book designers, constructed in great numbers by early developers, and were readily available through mail-order catalogs after about 1908. Still, traditional, architect-designed homes also continued during the twentieth century as modern styles began to take hold.

Between 1920 and 1940, two distinct modern styles evolved: the zigzagging patterns and vertical lines of Art Deco architecture and the smooth, white walls and the streamlined appearance of Art Moderne architecture. Contemporaneous with these was the International style which continues into the present. This style featured asymmetrical facades, flat roofs, flush windows, and unadorned wall surfaces, doorways, and windows. During World War II, house construction in the United States declined sharply but resumed with vigor in the post war years. New home designs were initially based on the Tudor design of the 1920s and 1930s, but were replaced in the 1950s by the long, rambling Ranch style, which became the dominant house form in the United States.

Sonoma’s existing house stock shows that it followed a similar evolution in residential architecture. As the town grew and prospered, homes became more sophisticated, and while some neighborhoods reflect affluence and social stature through high-style homes, most do not. Sonoma’s housing inventory includes many modest homes belonging to those who worked in stores, factories, canneries, and support industries. These houses tend to be smaller, wood-frame buildings (often referred to as vernacular buildings) that exhibiting little or no architectural detailing.

PROPERTY DESCRIPTION

The house at 563 2nd Street East is 1-1/2 story, Craftsman home built on a rectangular plan. The roof is side-gabled with exposed rafter tails. Decorative brackets are found at the gable ends and on the shed-roof dormer facing 2nd Street. The house is clad with channel rustic siding.

The front entry of the house appears relatively unchanged (Figure 5). It features a full-width porch beneath the principal roof, which breaks above the porch. Stone columns at the corners frame a slightly arched porch entry. The sides of the porch are also arched. One side has been enclosed with a window. Low rock pedestals on either side of the porch steps match the roof support columns. The doorway is centrally placed and flanked by wide, fixed windows. These windows each have one large pane topped by a smaller, leaded glass window. The large, shed-roofed dormer at the upper level has a row of five windows.

At the rear of the house, the original roofline has been altered to accommodate a new room at the upper level. Figure 6 shows that the wall at the southwest corner meets the roof, and that bands of windows were installed just beneath the roof/wall junction. Figure 7 shows the old roofline at the northwest corner and a new wall that extends from the old roof to the new roof. A small addition extends from the rear of the house on the north side. This addition has a separate, gabled roof. Doorways and windows at the rear of the house also appear to have been added and/or reconfigured.



Figure 5. The Hughes house at 563 2nd Street East.



Figure 7. South and west elevations showing raised roof and extended wall.



Figure 6. North elevation with original roof pitch exposed beneath raised roof section. The low-pitched gable roof covers a small addition. plane.

At present, the house has a mix of fixed and double-hung windows. Some appear to be metal or vinyl sashed. At the upper level, rows of square windows are common while at the lower level there are groups of tall, narrow windows. Beneath the gables are paired, double-hung windows.

Other buildings on this property include a barn/workshop and a shed. The barn is a 1-1/2 story, gabled building with a shed-roofed bay. Cladding is a mismatch of wood siding and shingles, and the windows have been recycled from other buildings. Some look like they might have been on the house originally. The south side of the barn has a cut-away area with an exterior workbench.

The shed is a low, rectangular structure with a shed roof. It has vertical board siding and a roof of corrugated metal sheets. The shed does not appear on the 1923 Sanborn insurance map of this property. There is a garage shown on the Sanborn map in the general area of the current barn; however, the footprint of the garage does not match that of the barn. It might have been converted to its present configuration.

CONCLUSION

The purpose of this evaluation was to determine if buildings on this property are historically significant based on the California Register criteria provided in an earlier section of the report. Restated briefly, a building (or any other cultural resource) acquires significance from its association with an important event or pattern in history; through its association with an important person; because it represents a particular type, period, region or method of construction, the work of a master, or possesses high artistic values; or because it contains information that can be studied to enhance our understanding of history.

In addition to meeting one or more of the above criteria, eligibility for the California Register requires that a resource retain sufficient integrity to convey a sense of its significance or importance. As defined by the State, "Integrity is the authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance" (California Office of Historic Preservation 2001:11). Seven elements are considered key in considering a property's integrity: location, design, setting, materials, workmanship, feeling, and association.

Assessment of Significance

The following conclusions were reached with regard to each of the California Register criteria.

Criterion 1

In order to be considered important under Criterion 1, the property needs to be able to convey its importance in events or patterns that are significant in federal, state, or local history. This house is not directly tied to a particular event or pattern of events and does not meet Criterion 1 for inclusion on the California Register.

Criterion 2

Under Criterion 2, a property can be significant because of its association with an important person. This house is associated with two notable individuals. Contractor Ralph Murphy owned and lived in the house during the second decade of the 20th century, and it was likely Murphy who constructed the house. Further discussion of Murphy and the potential importance of the house is presented under Criterion 3.

The house is also associated with Lloyd Simmons, who lived in the house for more than 30 years. While Simmons has some local prestige as the proprietor of the pharmacy on Napa Street East the house does not represent the nature of his importance. A better representative would be the store itself. Criterion 2 is not met.

Criterion 3

Criterion 3 speaks to the architectural significance of a property, and to meet this criterion a property should be a good representative of an architectural style or a transitional form between styles, the work of a master, or have high artistic value. The house at 563 2nd Street East is of the Craftsman style and was probably built by Ralph Murphy. Murphy was a well respected, local builder He worked closely with Samuele Sebastiani to bring the Craftsman bungalow to Sonoma. The bungalow was the emblem of progress and efficiency during the early part of the 20th century, an image that Samuele Sebastiani cultivated in both industry and real estate, and that Murphy perpetuated in his buildings.

Sonoma's existing building stock includes many Craftsman homes, and many were constructed by Ralph Murphy. This particular house is not architecturally distinctive as either an example of the Craftsman style or of Murphy's body of work and does not meet Criterion 3.

Criterion 4

Criterion 4 generally applies to archaeological resources or resources that, through study of construction details, can provide information that cannot be obtained in other ways. This building possesses no intrinsic qualities that could answer questions or provide important information about our history, and Criterion 4 is not met.

Assessment of Integrity

With reference to the seven key elements of integrity that are applied to potentially significant historical buildings, the house at 563 2nd Street East retains excellent integrity of location, setting, association, and feeling. There have been some modifications at the rear of the house that detract from its integrity of design, workmanship, and materials but would not have influenced the building's eligibility for inclusion on the California Register had the eligibility criteria been met.

SUMMARY AND RECOMMENDATIONS

Tom Origer & Associates completed an architectural/historical evaluation of the house at 563 2nd Street East in Sonoma, as requested by the property owners, Keith and Cherie Hughes. This study found that while the house is an example of the work of local contractor Ralph E. Murphy. Murphy was a prolific builder and this particular house is not a distinctive example of his work. In our opinion, this house does not meet the criteria for inclusion on the California Register.

MATERIALS CONSULTED

- Bowers, A.
1867 Map of Sonoma County, California. 2nd edition. A. Bowers.
- Brown, A.
1985 The Uses of Wood in Sonoma Valley: Ralph Murphy - Builder. Document on file at the Sonoma League for Historic Preservation, Sonoma.
- Clark, C.
1986 *The American Family Home, 1800-1960*. University of North Carolina Press, Chapel Hill.
- General Land Office
1859 Plat of the Mission Lands of San Francisco Solano. Department of the Interior, Washington, D.C.

1876 Plat of the Pueblo Lands of Sonoma. Department of the Interior, Washington, D.C.
- Hannaford, D. and R. Edwards
1990 *Spanish Colonial: or Adobe Architecture of California, 1800-1850*. Architectural Book Publishing Company, Inc
- Hoover, M., H. Rensch, E. Rensch, W. Abeloe
1966 Historic Spots in California. 3rd ed., Stanford University Press. Stanford.
- Hoover, M., H. Rensch, E. Rensch, W. Abeloe, and D. Kyle
1990 Historic Spots in California. 4th ed., Stanford University Press. Stanford.
- Howe, J.
2002 *The Houses We Live In*. Thunder Bay Press, San Diego.
- Husted, F.
1904 *Husted's Oakland , Alameda, & Berkeley Directory for the Year 1904*. F.M. Husted, Oakland.
- Kirker, H
1986 *California's Architectural Frontier: Style and Tradition in the Nineteenth Century*. 3rd edition. Gibbs M. Smith, Inc., Salt Lake City.

1991 *Old Forms on a New Land: California Architecture in Perspective*. Roberts Rinehart Publishers, Niwot, Colorado.
- Lancaster, C.
1995 *The American Bungalow, 1880-1930*. Dover Publications, New York.
- Massey, J. and S. Maxwell
1996 *House Styles in America*. Dovetale Publishers, Gloucester, M
- Mathes, V. and D. Smith
2004 *Images of America: Sonoma Valley*. Arcadia Publishing, San Francisco.

McAlester, V. and L. McAlester

1991 *A Field Guide to American Houses*. Alfred A. Knopf, New York.

O'Farrell, J.

1850 Map of the Town of Sonoma. Robert D. Parmelee Collection, Sonoma, California.

Office of Historic Preservation

1995 *Instructions for Recording Historic Resources*. Office of Historic Preservation, Sacramento.

Reiff, D.

2000 *Houses from Books: Treatises, Pattern Books, and Catalogs in American Architecture, 1738-1950*. Pennsylvania State University Press, University Park.

Reynolds, W. and T. Proctor

1898 *Illustrated Atlas of Sonoma County, California*. Reynolds and Proctor, Santa Rosa.

Sanborn Map Company

1911 Sonoma, California. Sanborn Map Company, New York.

1923 Sonoma, California. Sanborn Map Company, New York.

1941 Sonoma, California. Sanborn Map Company, New York.

Smeins, L.

1996 *Building an American Identity: Pattern Book Homes & Communities, 1870-1900*. Alta Mira Press, Walnut Creek.

Sonoma Index-Tribune

1923 Ralph E. Murphy. *Sonoma Index-Tribune* June 30, 1923.

Sonoma League for Historic Preservation

1979 *City of Sonoma, Sonoma County, California Historic Resources Survey*. Report on file at the Northwest Information Center, Rohnert Park, California.

United States Army Corps of Engineers

1915 Sonoma, California. 15' tactical map. Department of the Interior, Washington, D.C.

1942 Sonoma, California. 15' series map. War Department, Washington, D.C.

United States Bureau of Census

1860 Sonoma County, California. Manuscript census, population schedule.

1870 Sonoma County, California. Manuscript census, population schedule.

1900 Sonoma County, California. Manuscript census, population schedule.

1910 Sonoma County, California. Manuscript census, population schedule.

1920 Sonoma County, California. Manuscript census, population schedule.

1930 Sonoma County, California. Manuscript census, population schedule.

1940 Sonoma County, California. Manuscript census, population schedule.

United States Geological Survey

1902 Napa, California. 30' series map. Geological Survey, Washington, D.C.

1951 Sonoma, California. 15' series map. Geological Survey, Washington, D.C.

United States Patent and Trademark Office

1922 Patent No: US001406504. <<http://www.uspto.gov/>>

Weicker, T. (editor)

1899 Merck's Report, Vol. 8. Merck & Company, New York.

Appendix A
Resource Documentation

PRIMARY RECORD

Primary # P-
HRI #
Trinomial:
NRHP Status Code:
Resource Name or #: 563 2nd St East

Other Listings:
Review Code: Reviewer: Date:
Page 1 of 11

P1. Other Identifier:

P2. Location: Unrestricted **a. County:** Sonoma
b. USGS 7.5' Quad: Sonoma **Date:** 1980
T N/R W; 1/4 of 1/4 of Sec. ; MDBM
c. Address: 563 2nd St East **City:** Sonoma **Zip:** 95476
d. UTM: Zone: 10 547680 mE 4238180 mN
e. Other Locational Information:

P3a. Description: The house at 563 2nd Street East is a 1-1/2 story, Craftsman home built on a rectangular plan. The roof is side-gabled with exposed rafter tails. Decorative brackets are found at the gable ends and on the shed-roof dormer facing 2nd Street. The house is clad with channel rustic siding.

The front entry of the house appears relatively unchanged. It features a full-width porch beneath the principal roof, which breaks above the porch. Stone columns at the corners frame a slightly arched porch entry. The sides of the porch are also arched. One side has been enclosed with a window. Low rock pedestals on either side of the porch steps match the roof support columns. The doorway is centrally placed and flanked by wide, fixed windows. These windows each have one large pane topped by a smaller, leaded glass window. The large, shed-roofed dormer at the upper level has a row of five windows.

P3b. Resource Attributes: HP2. Single family property **P4. Resources Present:** Building

P5. Photograph or Drawing: **P5b. Description of Photo:** View of house from 2nd St East



P6. Date Constructed/Age and Sources:
1908 County records
(1909 Est. from records)

P7. Owner and Address:
Keith & Cherie Hughes
563 2nd St East
Sonoma, CA 95476

P8. Recorded by:
V. Beard
Tom Origer & Associates
P.O. Box 1531
Rohnert Park, CA 94927

P9. Date Recorded:
January 2014

P10. Type of Survey:
Property specific

P11. Report Citation:
Beard, V.
2013 *Historical Evaluation of the Property at 563 Second Street East, Sonoma, Sonoma County, California.*

P12. Attachments: Building, Structure, and Object Record; Continuation Sheets; Location Map

CONTINUATION SHEET

Primary #:
HRI #:
Trinomial:
Resource Name or #: 563 2nd St East
Date: January 2014

Page 2 of 11
Recorded by: V. Beard

P3a. Description: (continued from page 1)

The roof pitch was changed at the rear half of the house creating more space for the upper level. The original roof line was left intact on the north elevation and a new roof and wall set back from the original wall plane. On the south elevation, the wall plane extends from the ground to the roof, and ribbons of windows are situated at the roof/wall junction. A small addition extends from the rear of the house on the north side. This addition has a separate, gabled roof. Doorways and windows at the rear of the house also appear to have been added and/or reconfigured.

At present, the house has a mix of fixed and double-hung windows. Some appear to be metal or vinyl sashed. At the upper level, rows of square windows are common while at the lower level there are groups of tall, narrow windows. Beneath the gables are paired, double-hung windows.



Figure 1. Leaded glass window on facade.



Figure 2. Rear of house.



Figure 3. North elevation with original roof pitch exposed beneath raised roof section. The low-pitched gable roof covers a small addition.



Figure 4. South and west elevations showing raised roof and extended wall plane.

CONTINUATION SHEET

Primary #:

HRI #:

Trinomial:

Resource Name or #: 563 2nd St East

Date: January 2014

Page 3 of 11

Recorded by: V. Beard

P3a. Description: (continued from page 1)

Other buildings on this property include a barn/workshop and a shed. The barn is a 1-1/2 story, gabled building with a shed-roofed bay. Cladding is a mismatch of wood siding and shingles, and the windows have been recycled from other buildings. Some look like they might have been on the house originally. The south side of the barn has a cut-away area with an exterior workbench.

The shed is a low, rectangular structure with a shed roof. It has vertical board siding and a roof of corrugated metal sheets. The shed does not appear on the 1923 Sanborn insurance map of this property. There is a garage shown on the Sanborn map in the general area of the current barn; however, the footprint of the garage does not match that of the barn. It might have been converted to its present configuration.



Figure 5. Front of barn.



Figure 6. Rear and south barn elevations.



Figure 7. Front of Shed.



Figure 8. Side view of Shed.

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # P-
HRI #
NRHP Status Code:
Resource Name or #: 563 2nd St East

Page 4 of 11

B1. Historic Name:

B2. Common Name:

B3. Original Use: Single family residence

B4. Present Use: Single family residence

B5. Architectural Style: Craftsman

B6. Construction History: The house was constructed

B7. Moved? No **Date:** NA

Original Location: NA

B8. Related Features:

B9a. Architect:

B9b. Builder: Ralph E. Murphy

B10. Significance: **Theme:** Evolution of Residential Architecture, 1835 to 1950 **Area:** Sonoma
Period of Significance: 1835 to 1950
Property Type: Building
Applicable Criteria: None

Context Statement

See page 5

B11. Additional Resource Attributes:

B12. References:

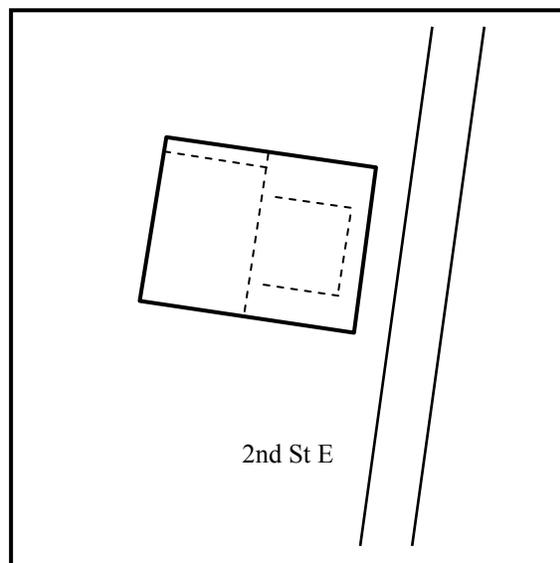
See Continuation Sheet page 9

B13. Remarks:

B14. Evaluator: V. Beard

Date of Evaluation: January 2014

Schematic of house at 563 2nd Street East



CONTINUATION SHEET

Page 5 of 11

Recorded by: V. Beard

Primary #:

HRI #:

Trinomial:

Resource Name or #: 563 2nd St East

Date: January 2014

B11. Significance: (Continued)

Evolution of Residential Architecture, 1835 to 1950

Residential architecture in Sonoma is marked by a wide range of architectural styles reflecting the lives of many economic classes. The earliest dwellings were adobe houses and rustic cabins built from locally available materials. As time went by and the town grew and prospered, homes became more sophisticated. Architecturally defined styles such as the Italianate, Second Empire, Gothic, Greek Revival, Queen Anne, and Craftsman are well represented, as are vernacular forms that sometimes take on attributes of true styles.

Life in early Sonoma revolved around promoting the mission and establishing a military presence. Priest resided at the mission while the soldiers were housed in barracks. After the missions were secularized in 1834 and lands began to be parceled out to private citizens, adobe houses were built, primarily around the plaza. Two notable adobe homes in Sonoma are the former Jacob P. Leese and Salvador Vallejo adobes. When Leese built his adobe in 1836 there were no other private residences in the area. Salvador Vallejo built a two-story adobe the same year and resided there for about 10 years. Both of these homes are used for commercial pursuits at present.

In the mid-19th century, people from all over the world flocked to California. Until that time, life in California revolved around ranching on a grand scale, with vast acres of land tied up in Mexican ranchos. The typical rancho home was an adobe-brick structure, often one-storied, and L- or U-shaped or built around a courtyard. In this area, General Vallejo's Petaluma Adobe stands as an example of the thick-walled adobes built of mud and straw bricks, often by native Californians.

As time went by and the town grew and prospered, homes became more sophisticated. With the influx of people during the mid-nineteenth century, new house forms were added to the California building stock. People tended to bring with them regional ideas of what a house should be. Historian Harold Kirker writes of that time, "[t]he coming together of a score of cultures on a rich and isolated frontier produced the California Renaissance" (Kirker 1986:55). The nineteenth century was a time of romantic revivals and eclecticism in architecture. California experienced a lag in adopting new styles, especially away from metropolitan areas, because of its relative isolation but with the arrival of the railroad in 1869 the state was able to close the gap.

In the decades preceding the population boom in California the architectural world experienced a period of Greek Revival architecture (circa 1825 to 1850) during which time homes often featured classic elements such as columns, pediments, and other details inspired by Greek forms. Overlapping with the Greek Revival era, Gothic Revival and Italianate architecture were presented as alternatives to the classical Greek designs. Both were popular between 1840 and 1880. During that period, industrialization brought many innovations to architecture resulting in Victorian Architecture (circa 1860 to 1900) with such popular forms as Stick, Eastlake, Queen Anne, Romanesque, and Second Empire.

Beginning with Georgian Revival toward the end of the 19th century, Colonial Revival styles captured America's imagination and for the most part remained at the forefront of popularity through the first half of the 20th century. The earliest Colonial Revival homes generally were interpretations of colonial styles imposed on Victorian and post-Victorian forms, but as the 20th century progressed more attention was paid to historical accuracy. This eclectic period in American architecture included such revival forms as Dutch Colonial, French Eclectic, Spanish Eclectic, and Tudor.

Interrupting the Colonial Revival period, the Modern movement turned away from imitation with renewed concern for handicraft and interest in the surrounding environment. The architectural atmosphere of the time was one of simplification rather than elaboration, and new homes emphasized efficiency, informality, and neatness. The resulting homes reflect the principles of "structural simplicity, balanced proportions, and minimal decoration" (Clark 1986:132). Ornate house styles of the preceding Victorian era were considered European imitations, and America and its architects were seeking their own identity. The Craftsman and Prairie styles grew out of this movement, as did the First Bay Tradition.

Of note is another phenomenon of the late-19th and early-20th centuries when a more generic group of homes appeared that borrowed minimally from specific styles. Architectural historians Massey and Maxwell (1996:211) offer the term "Builder Style" to describe these working-class homes that were "long on function, and short on stylistic effects and architectural

CONTINUATION SHEET

Primary #:

HRI #:

Trinomial:

Resource Name or #: 563 2nd St East

Date: January 2014

Page 6 of 11

Recorded by: V. Beard

grandeur.” These homes were widespread throughout the United States, chiefly because they were promoted by pattern book designers, constructed in great numbers by early developers, and were readily available through mail-order catalogs after about 1908. Still, traditional, architect-designed homes also continued during the twentieth century as modern styles began to take hold.

Between 1920 and 1940, two distinct modern styles evolved: the zigzagging patterns and vertical lines of Art Deco architecture and the smooth, white walls and the streamlined appearance of Art Moderne architecture. Contemporaneous with these was the International style which continues into the present. This style featured asymmetrical facades, flat roofs, flush windows, and unadorned wall surfaces, doorways, and windows. During World War II, house construction in the United States declined sharply but resumed with vigor in the post war years. New home designs were initially based on the Tudor design of the 1920s and 1930s, but were replaced in the 1950s by the long, rambling Ranch style, which became the dominate house form in the United States.

Sonoma’s existing house stock shows that it followed a similar evolution in residential architecture. As the town grew and prospered, homes became more sophisticated, and while some neighborhoods reflect affluence and social stature through high-style homes, most do not. Sonoma’s housing inventory includes many modest homes belonging to those who worked in stores, factories, canneries, and support industries. These houses tend to be smaller, wood-frame buildings (often referred to as vernacular buildings) that exhibiting little or no architectural detailing.

Property History

The subject parcel was part of Lot 59 of O’Farrell’s 1850 map of Sonoma and belonged to the heirs of Catherine Lewis at the turn of the 20th century. F.E. Clewe acquired it in 1901, and over the next five years the block changed hands another four times. The last of the four owners divided the block, selling most of it to Mary Brady in 1907. In 1909, the subject parcel was purchased by Ralph E. Murphy, a local contractor who became well known to Sonoma residents through his association with winemaker and entrepreneur Samuele Sebastiani, and as a developer himself. Murphy was the contractor for many of Sebastiani’s commercial and residential projects in Sonoma, and was the owner/developer of the Breitenbach Tract.

In his adolescence, Murphy came to California with his mother (c. 1893) and the two lead a somewhat nomadic life for many years. Murphy worked for a while in his uncle’s El Verano vineyard. The 1910 census shows that Murphy was renting a house in Agua Caliente while working as a foreman, but no other details about his work was provided (USBC 1910). In his early 20s, Murphy embarked on a career in carpentry, reportedly learning the trade while on an extended stay in Illinois to tend a sick relative (Brown 1985). He returned to Sonoma about 1905, married Mabel Thomas, and began a 40-year career in house carpentry.

Murphy’s work began in 1905 and paralleled the growth of the Arts and Craft movement in the United States. The Arts and Craft movement began in England during the late 1800s, and is widely considered a response to changes in work and living conditions brought about by the Industrial Revolution. Its proponents stressed simplicity and informality without the loss of craftsmanship. In architecture, emphasis was placed on using natural and locally available materials, visible handicraft, and regard for location. Oak Park, Illinois, the San Francisco Bay Area, and Pasadena, California became focal points of the Arts and Craft movement in the United States and resulted in regional interpretations of Arts and Craft style. In the Midwest, Frank Lloyd Wright developed the Prairie Style. The First Bay Tradition grew out of the works of several San Francisco Bay Area architects lead by Bernard Maybeck, and Charles and Henry Greene were the preeminent Arts and Craft architects in Pasadena.

One of the most popular Arts and Craft styles in the Unites States was the Craftsman, named after a magazine published by furniture designer turned house designer, Gustav Stickley, during the early 20th century. With roots in California, the Craftsman style spread throughout the country between 1905 and 1920. It was during that period that Ralph Murphy began constructing homes in Sonoma. There are many extant examples of Murphy’s work, and a lot are built in the Craftsman style. It is clear that Murphy embraced the principles of the Arts and Craft movement, not only in his choice of materials but in the high degree of workmanship and great attention to detail exhibited in his work. Locally, Murphy is considered the “king of the Craftsman,” and an article in the *Sonoma Index-Tribune* (1923) praised Murphy as having “...erected many of the most beautiful homes, largest resorts, and business blocks of the community.”

CONTINUATION SHEET

Page 7 of 11
Recorded by: V. Beard

Primary #:
HRI #:
Trinomial:
Resource Name or #: 563 2nd St East
Date: January 2014

Census rolls show that Murphy and his family were living on the property in 1910. In 1920, Murphy sold the property to Leland and Florence Brubeck. At that time, the house was being rented by Lloyd and Mabel Simmons and the Brubecks lived nearby on Patten Street. The Simmons purchased the property outright in 1923.

Simmons began his career as a pharmacist in Southern California, where he purchased the Chino branch of Pierce & Robins in 1899 (Weicker 1899:585). Within very few years, Simmons had moved his wife and daughter to Oakland where he had a pharmacy on 8th Street (Husted 1904). They moved again in 1903, this time settling in Sonoma. Soon after, Simmons opened a drug store on East Napa Street, advertizing himself as "L.S. Simmons, The Prescription Druggist."

Anecdotal accounts and historical records suggest that Simmons was an industrious man. His store was renowned for the homemade ice cream that Simmons made fresh each morning. He was also something of an inventor. In 1922, the National Association of Retail Druggists reported that Simmons had received a patent for a powder divider, a device that measured single doses of prescription powders and was expected to save pharmacists much time (National Association of Retail Druggists 1922:178). In his patent application, Simmons wrote, "It frequently becomes necessary to divide substances into given amounts. Particularly is this the case when preparing medicines in powdered form to be taken in uniform doses. The invention provides means whereby a powder may be divided into like portions of uniform amount by bulk and which will admit of the work being quickly, accurately and conveniently performed."

Simmons sold the pharmacy to his son-in-law Neal Dodge in 1950. Dodge and his wife Gladys met while both working at the pharmacy. They married in 1921. Census records show that the two families lived together in the house on 2nd Street (USBC 1930, 1940).

Mabel Simmons died in 1951, and the house was sold to Ray and Loraine DeVoss the following year. In 1954, it was purchased by Fred and Sybil Knorre. Prior to their move to Sonoma, the Knorres lived in San Francisco where Fred was a salesman. The house stayed in the Knorre family until 1993.

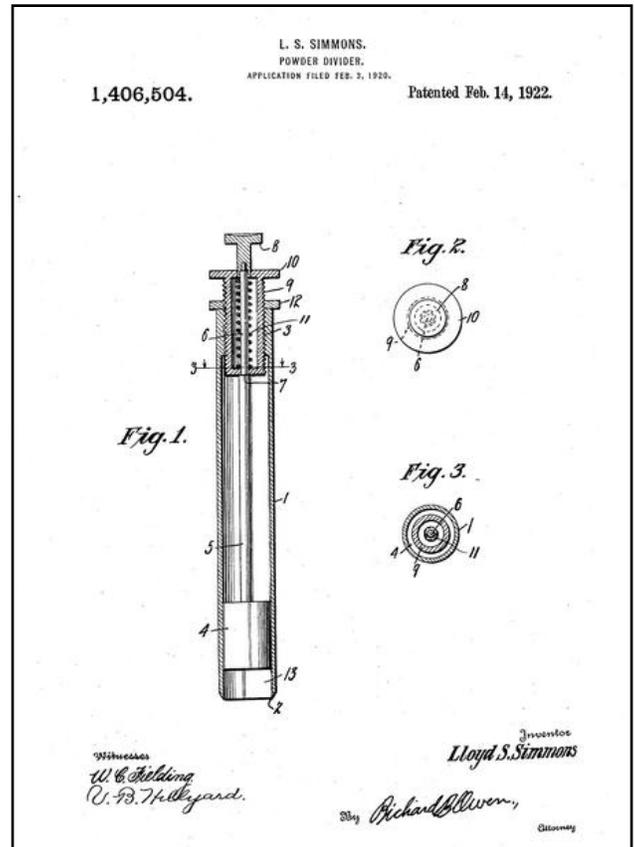


Figure 9. Drawing of Simmons' powder divider (United States Patent and Trademark Office 1922)

CONTINUATION SHEET

Page 8 of 11
Recorded by: V. Beard

Primary #:
HRI #:
Trinomial:
Resource Name or #: 563 2nd St East
Date: January 2014

Statement of Significance

This building was evaluated for inclusion on the California Register of Historical Resources (California Register). Briefly, a resource eligible for the California Register is one that meets one of the following criteria.

1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. Is associated with the lives of persons important to local, California, or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important to the prehistory or history of the local area, California, or the nation.

In addition to meeting one or more of the above criteria, eligibility to the California Register requires that a resource retain sufficient integrity to convey a sense of its significance or importance. As defined by the State, "Integrity is the authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance" (California Office of Historic Preservation 2001:11). Seven elements are considered key in considering a property's integrity: location, design, setting, materials, workmanship, feeling, and association.

The following conclusions were reached regarding the property's eligibility for the California Register as an individual resource:

Criterion 1. In order to be considered important under Criterion 1, the property needs to be able to convey its importance in events or patterns that are significant in federal, state, or local history. This house is not directly tied to a particular event or pattern of events and does not meet Criterion 1 for inclusion on the California Register.

Criterion 2. Under Criterion 2, a property can be significant because of its association with an important person. This house is associated with two notable individuals. Contractor Ralph Murphy owned and lived in the house during the second decade of the 19th century, and it was likely Murphy who constructed the house. Further discussion of Murphy and the potential importance of the house is presented under Criterion 3.

The house is also associated with Lloyd Simmons, who lived in the house for more than 30 years. While Simmons has some local prestige as the proprietors of the pharmacy on Napa Street East the house does not represent the nature of his importance. A better representative would be the store itself. Criterion 2 is not met.

Criterion 3. Criterion 3 speaks to the architectural significance of a property, and to meet this criterion a property should be a good representative of an architectural style or a transitional form between styles, the work of a master, or have high artistic value. The house at 563 2nd Street East is of the Craftsman style and was probably built by Ralph Murphy. Murphy was a well respected, local builder He worked closely with Samuele Sebastiani to bring the Craftsman bungalow to Sonoma. The bungalow was the emblem of progress and efficiency during the early part of the 20th century, an image that Samuele Sebastiani cultivated in both industry and real estate, and that Murphy perpetuated in his buildings.

Sonoma's existing building stock includes many Craftsman homes, and many were constructed by Ralph Murphy. This particular house is not architecturally distinctive as either an example of the Craftsman style or of Murphy's body of work and does not meet Criterion 3.

Criterion 4. Criterion 4 generally applies to archaeological resources or resources that, through study of construction details, can provide information that cannot be obtained in other ways. This building possesses no intrinsic qualities that could answer questions or provide important information about our history, and Criterion 4 is not met.

CONTINUATION SHEET

Page 9 of 11
Recorded by: V. Beard

Primary #:
HRI #:
Trinomial:
Resource Name or #: 563 2nd St East
Date: January 2014

Assessment of Integrity

With reference to the seven key elements of integrity that are applied to potentially significant historical buildings, the house at 563 2nd Street East retains excellent integrity of location, setting, association, and feeling. There have been some modifications at the rear of the house that detract from its integrity of design, workmanship, and materials but would not have influenced the building's eligibility for inclusion on the California Register had the eligibility criteria been met.

In summary, this house does not meet the criteria for inclusion on the California Register.

B12. References:

Brown, A.

1985 The Uses of Wood in Sonoma Valley: Ralph Murphy - Builder. Document on file at the Sonoma League for Historic Preservation, Sonoma.

Clark, C.

1986 *The American Family Home, 1800-1960*. University of North Carolina Press, Chapel Hill.

Hannaford, D. and R. Edwards

1990 *Spanish Colonial: or Adobe Architecture of California, 1800-1850*. Architectural Book Publishing Company, Inc

Howe, J.

2002 *The Houses We Live In*. Thunder Bay Press, San Diego.

Husted, F.

1904 *Husted's Oakland, Alameda, & Berkeley Directory for the Year 1904*. F.M. Husted, Oakland.

Kirker, H

1986 *California's Architectural Frontier: Style and Tradition in the Nineteenth Century*. 3rd edition. Gibbs M. Smith, Inc., Salt Lake City.

1991 *Old Forms on a New Land: California Architecture in Perspective*. Roberts Rinehart Publishers, Niwot, Colorado.

Lancaster, C.

1995 *The American Bungalow, 1880-1930*. Dover Publications, New York.

Massey, J. and S. Maxwell

1996 *House Styles in America*. Dovetale Publishers, Gloucester, M

McAlester, V. and L. McAlester

1991 *A Field Guide to American Houses*. Alfred A. Knopf, New York.

O'Farrell, J.

1850 Map of the Town of Sonoma. Robert D. Parmelee Collection, Sonoma, California.

Reiff, D.

2000 *Houses from Books: Treatises, Pattern Books, and Catalogs in American Architecture, 1738-1950*. Pennsylvania State University Press, University Park.

CONTINUATION SHEET

Primary #:

HRI #:

Trinomial:

Resource Name or #: 563 2nd St East

Date: January 2014

Page 10 of 11

Recorded by: V. Beard

Sanborn Map Company

1911 Sonoma, California. Sanborn Map Company, New York.

1923 Sonoma, California. Sanborn Map Company, New York.

1941 Sonoma, California. Sanborn Map Company, New York.

Smeins, L.

1996 *Building an American Identity: Pattern Book Homes & Communities, 1870-1900*. Alta Mira Press, Walnut Creek.

Sonoma Index-Tribune

1923 Ralph E. Murphy. *Sonoma Index-Tribune* June 30, 1923.

United States Bureau of Census

1860 Sonoma County, California. Manuscript census, population schedule.

1870 Sonoma County, California. Manuscript census, population schedule.

1900 Sonoma County, California. Manuscript census, population schedule.

1910 Sonoma County, California. Manuscript census, population schedule.

1920 Sonoma County, California. Manuscript census, population schedule.

1930 Sonoma County, California. Manuscript census, population schedule.

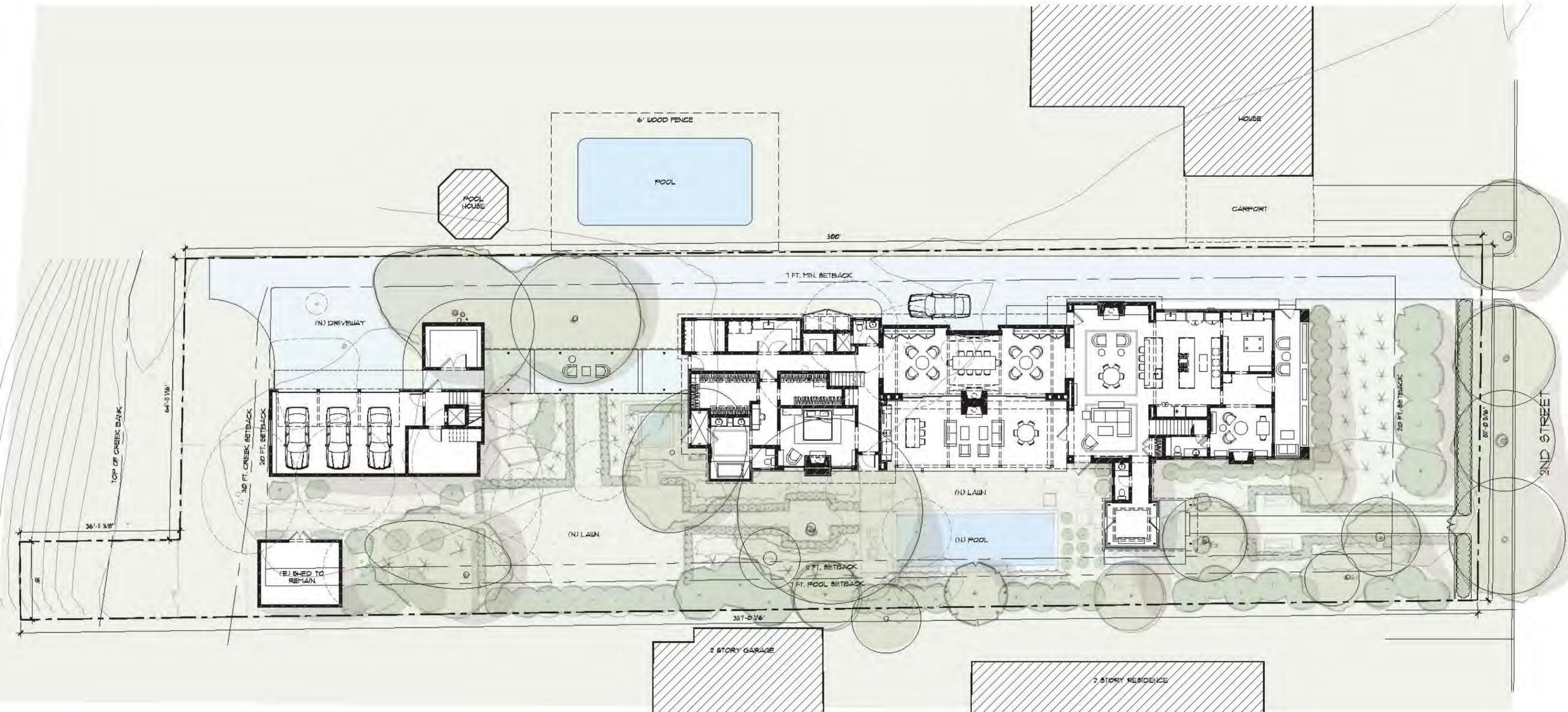
1940 Sonoma County, California. Manuscript census, population schedule.

United States Patent and Trademark Office

1922 Patent No: US001406504. <<http://www.uspto.gov/>>

Weicker, T. (editor)

1899 Merck's Report, Vol. 8. Merck & Company, New York.



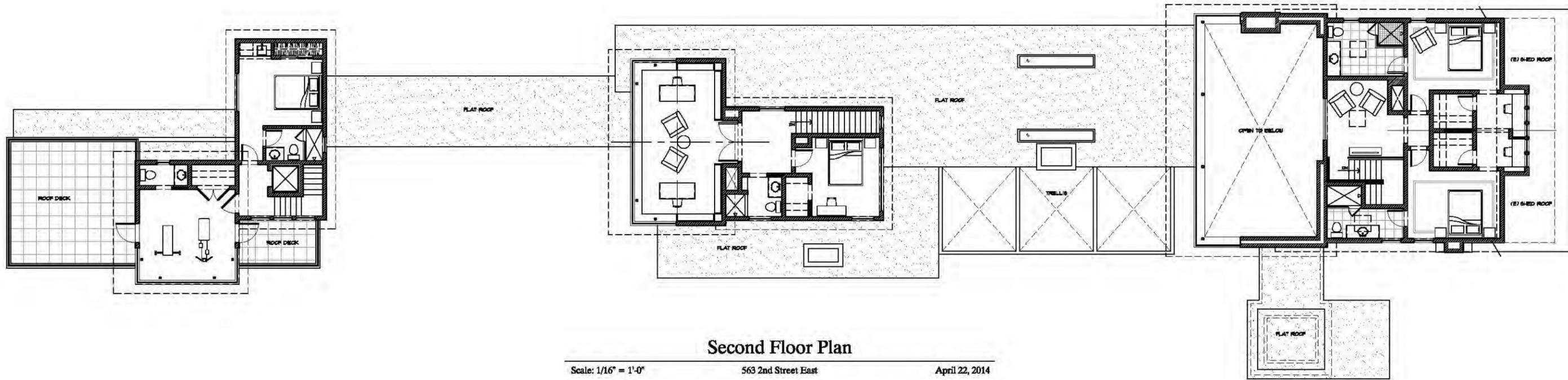
Site Plan

Scale: 3/64" = 1'-0"

563 2nd Street East

April 22, 2014



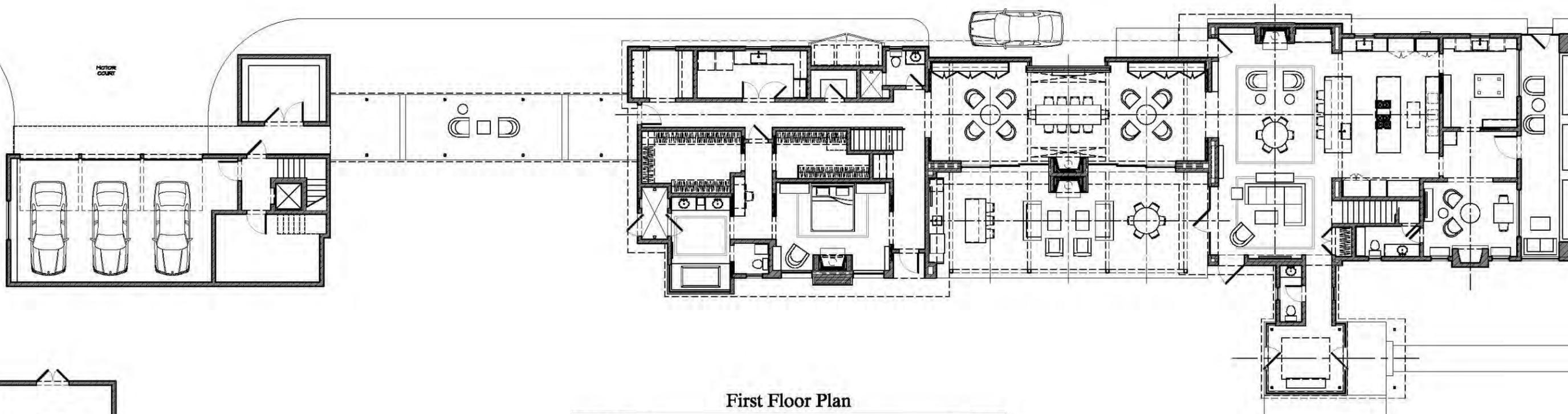


Second Floor Plan

Scale: 1/16" = 1'-0"

563 2nd Street East

April 22, 2014



First Floor Plan

Scale: 1/16" = 1'-0"

563 2nd Street East

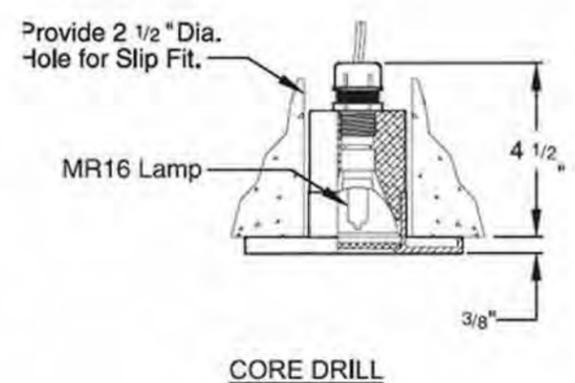
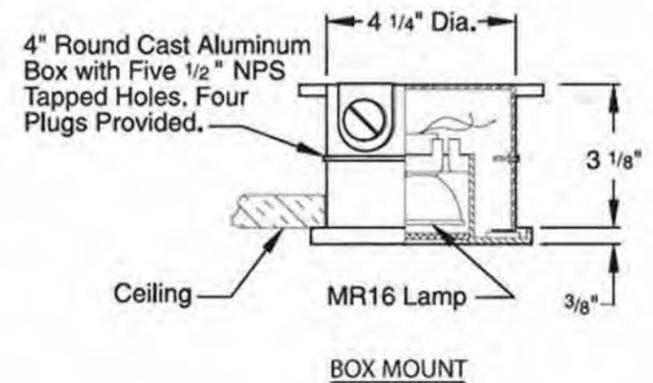
April 22, 2014





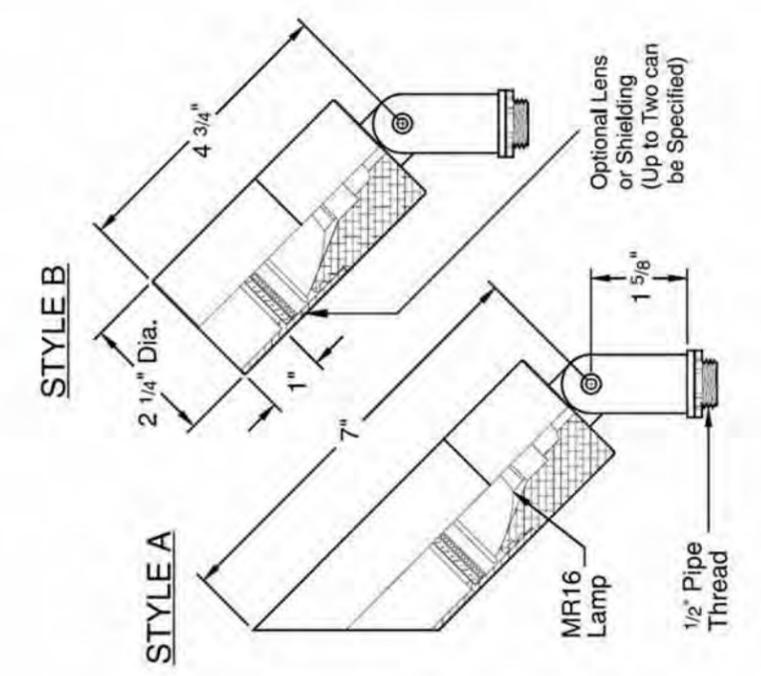
Versa Star™

Shown in Bronze Wrinkle Finish (BZW)



Delta Star™

Shown in Bronze Wrinkle Finish (BZW)



+25'-6 1/2"
(E) RIDGE HT.



Front Elevation

Scale: 1/8" = 1'-0"

563 2nd Street East

April 22, 2014



Elevation Facing Pool

Scale: 1/16" = 1'-0"

563 2nd Street East

April 22, 2014

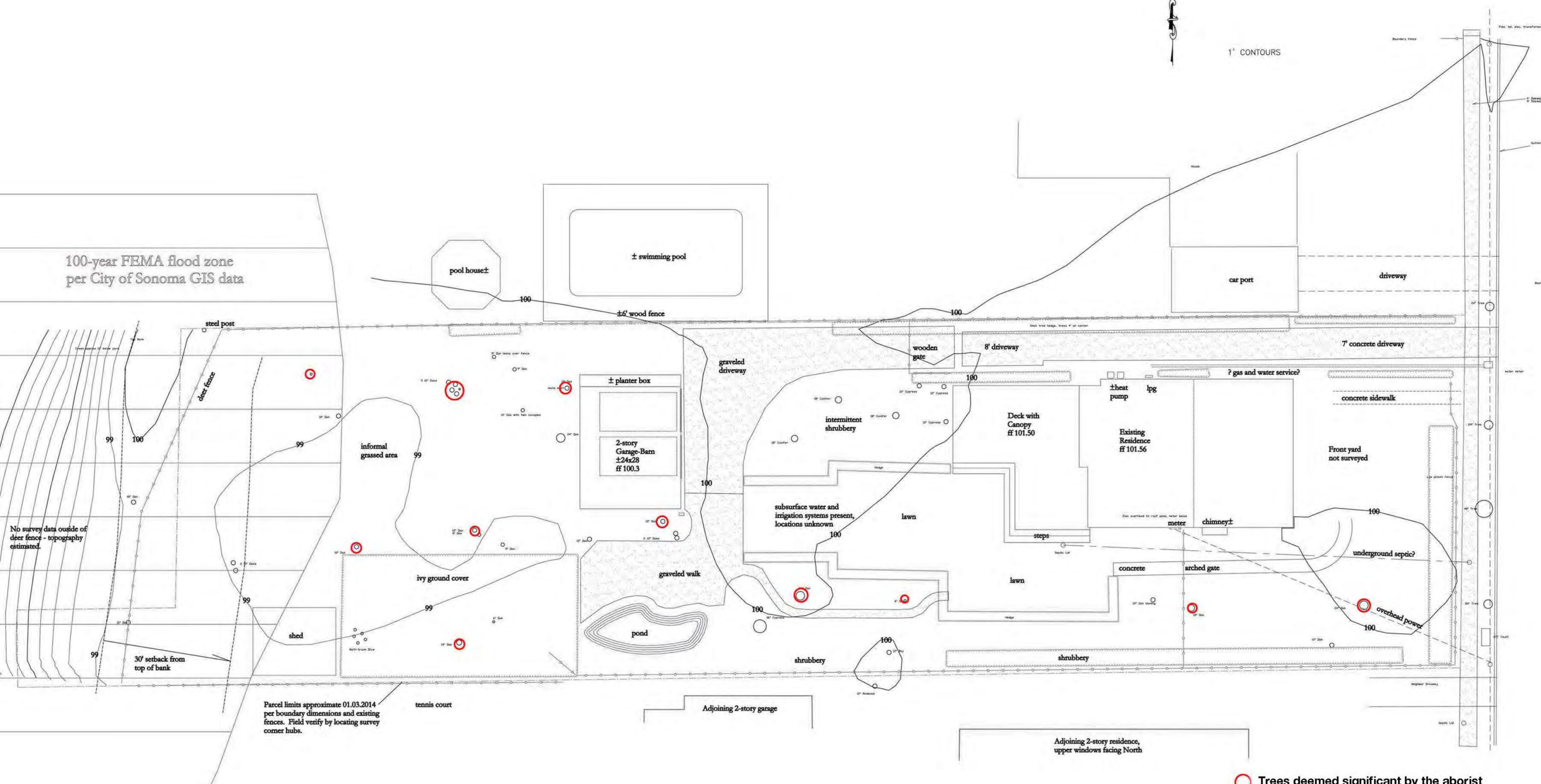


Elevation Facing Driveway

Scale: 1/16" = 1'-0"

563 2nd Street East

April 22, 2014



LEGEND

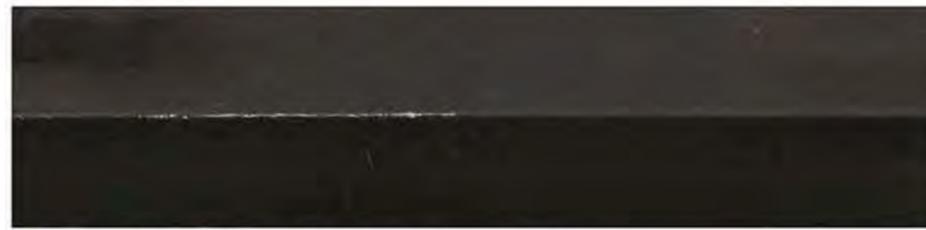
- UNPAVED ROAD
- FENCE
- DRAINAGE
- Drain Culvert
- Parcel limit ±
- TREE
- DRIPLINE
- BUILDING
- CONTOURS

Hughes Residence - 2nd Street East
 Scale: 1" = 10'-0"

Local site topography at 1" = 12' with 1' contours by linear field data collected using EDM equipment January 2014 by I. Horizontal and vertical datum assumed. Property limits not utilities may be present within the proposed work areas, and appropriate means prior to final design and construction. FF and dimensions at time of construction.



Diamond pattern shingle roofing at existing home.
GAF Sienna in "Harbor Mist" color or similar



Darkened steel or painted metal at door and window systems and railings



Steelscape Vintage at Roof fascia and metal trims and flashings



Clear Western red cedar with quarter strength Eewood treatment at
roof eaves and overhangs



Exterior wall plaster in limestone texture finish, "Grey Gris" color by Eco-Stucco or similar



Exterior wall plaster in limestone texture finish, "Custom 2012" color by Eco-Stucco or similar



Ipe ironwood at wood clad walls



Integral color concrete at landscape
walks, Davis Colors "Pewter" or similar



Farrow & Ball "Savage Ground no.213
paint at existing home wood siding



Splitface ashlar pattern stone at walls and fireplaces, SBI "Lisbon" or similar



Honed or flamed limestone at walkways and terraces, SBI "Silver Creek" or similar

Exterior Materials Palette

563 2nd Street East, Sonoma April 22, 2014



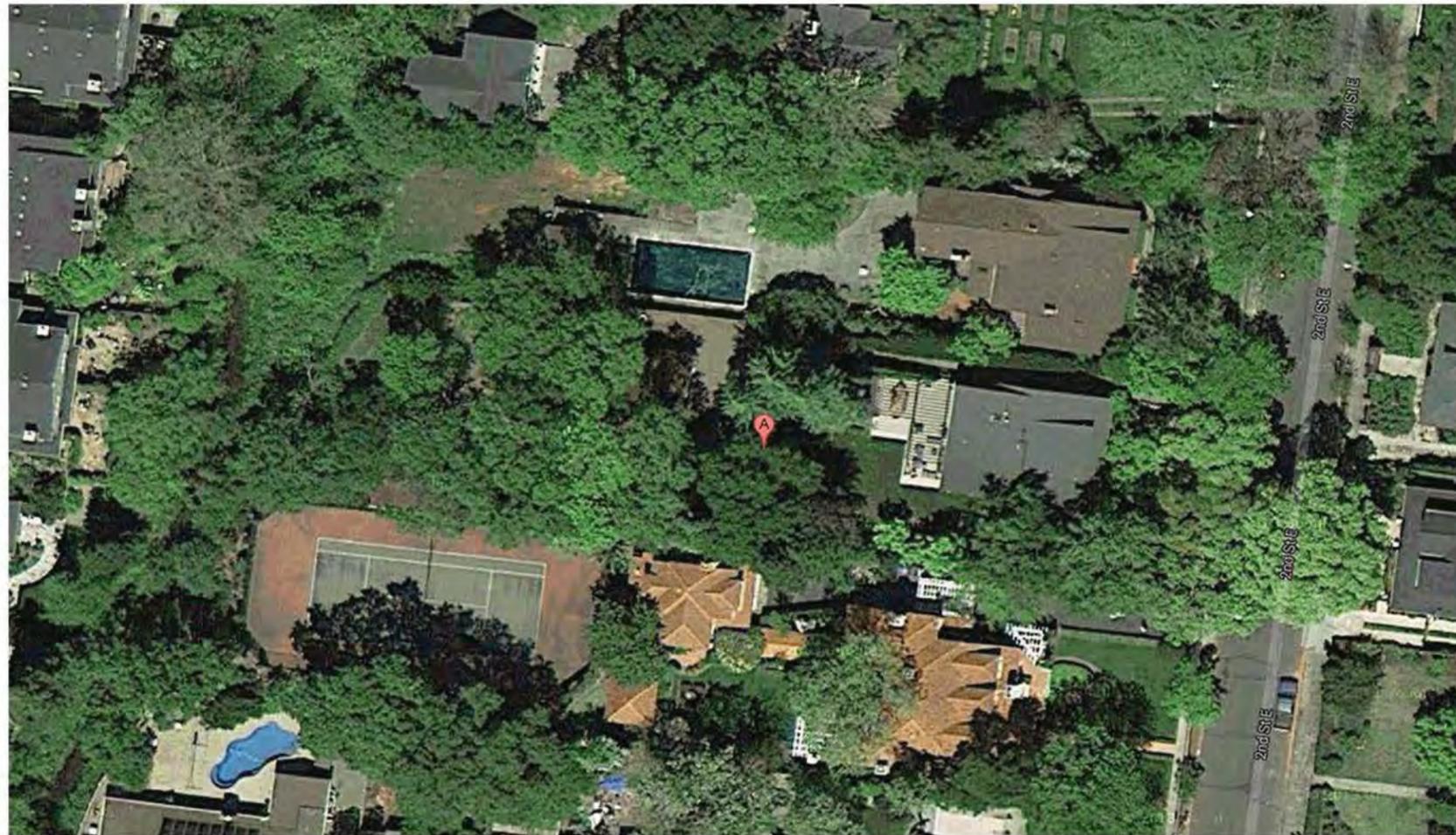
VIEW LOOKING WEST FROM BEHIND (E) HOUSE



VIEW TO WEST OVER BACKSIDE OF PROPERTY



VIEW OF PROPERTY FROM STREET



AERIAL VIEW

Site Photos



Front View



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 11
Item:

Meeting Date: 05/20/14

Applicant

BVD Cope C/O Williams-Sonoma

Project Location

599 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1950
-

Request

Consideration of revised building elevation details and exterior color and materials for a mixed-use building. (Williams-Sonoma) located at 599 Broadway.

Summary

Background: On October 10, 2013, the Planning Commission approved a Use Permit and Parking Exception to establish a cooking school and café with a retail component and industry accommodation residential unit within the existing building located at 599 Broadway (the building has historically been used for general retail, a catering business, and a restaurant). On November 19, 2013, the Design Review Commission approved building elevation details, exterior colors and materials, lighting, trash enclosure, and a bicycle rack for the building. On January 21, 2014, the Design Review and Historic Preservation Commission (DRHPC) approved a new awning, an outdoor fireplace and arbor, a fountain, a fence, and a landscape plan. At this time the applicant is before the DRHPC for consideration of revised building elevation details and revised exterior colors and materials. Please see the attached project narrative for a summary of the proposed changes to the approved project.

Exterior Materials & Details: A variety of new exterior materials and finishes would be employed in conjunction with the building elevation changes. Aside from modifications to the façade, only minor changes to the existing building footprint and structure are proposed. Modifications to the east elevation include recreating the façade of the original Williams-Sonoma store including the addition of an awning along the entire Broadway frontage, and consolidating the remaining storefronts into a single space with recessed entry (for ADA compliance) and a fixed window system. Specification sheets on the door and window features are attached for consideration.

Exterior Colors: A color scheme using neutral tones has been put forward for the DRHPC's consideration. The restored retail door is proposed to be painted Benjamin Moore golden bounty (294). The exterior fascia and columns is proposed to be painted a custom color by Creative Paints (beige), the exterior window and door is proposed to be painted a custom color by Creative Paints (green), and the exterior walls are proposed to be painted a custom color by Creative Paints (dark beige). Color samples are attached and a color board will be presented by the applicants at the upcoming DRC meeting.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.

6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Signs: Any proposed signs shall be subject to DRHPC review or staff review, as applicable.

Landscaping: Any proposed modifications to the approved landscaping plan shall be subject to DRHPC review or staff review as applicable.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 938-3681 for information regarding City Encroachment Permits. In addition, The applicant/business shall obtain a Sidewalk Seating Permit from the Planning Department for seating proposed on the sidewalk directly in front of the business on Broadway. The sidewalk seating shall comply with the standards and limitations set forth under Chapter 12.06 of the Sonoma Municipal Code, including proof of insurance (sidewalks along State Highway 12 may be subject to Caltrans requirements).

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved
 Disapproved
 Referred to: _____
 Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Amendment to the Historical Review Letter dated 04/28/14*
3. *Specifications and cut sheets for the residence skylights and light fixtures*
4. *Paint samples*
5. *Drawings*

cc: BVD Cope
C/O Williams-Sonoma
3250 Van Ness Avenue
San Francisco, CA 94109

Williams-Sonoma Inc.
3250 Van Ness Avenue
San Francisco, CA 94109

Crome Architecture
905 Fourth Street
San Rafael, CA 94901

Kara Lilledahl, via email

Mary Martinez
P.O. Box 534
Sonoma, CA 95476

Patricia Cullinan, via email

Yvonne bowers, via email

April 28, 2014

Design Review Commission
City of Sonoma
1 The Plaza
Sonoma, California 95476

As required for the Design Review Committee submittal for the proposed project at 599 Broadway in Sonoma, please find the following project narrative for resubmittal:

Narrative for 599 Broadway Project Resubmittal

The design intent of this project is a restoration, or recreation, of the original shop that Chuck Williams built. The shop only occupied the southernmost tenant space, and the restored store will match that original footprint. The facade and signage will match archival photos and records.

The remainder of the building fronting Broadway will be developed as a culinary center, supplementing the visitor's experience when visiting the restored shop. Alterations to this portion of the building are in keeping with the historical context of the Williams-Sonoma storefront and are an improvement to the established Broadway streetscape.

The residence on the property, which Chuck Williams lived in with his mother for just over two years in the late 1950's, will be restored and continue as an accessory residential use. It will not be rented or leased out, and will be used primarily by chefs, executives and guests visiting the property. Any new replacement materials will replicate the existing home's look and feel.

The revisions since the November 19, 2013 Design Review Commission Approval include:

- Retain historic envelope of entire commercial space, including wall alignment, window placement, and tube steel columns.
- Restore historic awning along entire Broadway frontage in lieu of the mixture of awning and trellis previously approved.
- Continuous existing parapet is to remain with a clean cement plaster wrap over the top in lieu of a sheet metal parapet cap.
- Restored retail storefront to be anodized aluminum finish in lieu of painted, to better match the historic conditions.
- Restored retail door to be painted to match its original color in lieu of matching the new doors.
- Culinary Center windows to match existing openings, with doors infilled with fixed windows, with wood frames in lieu of sliding system.
- Double entry doors at Broadway to include a fixed transom and wider sidelites.
- Elimination of the fixed window adjacent to the Broadway entry doors.
- Culinary Center entry door on the West side has been revised to a

Crome Architecture

- double door in lieu of the previously approved single door with a sidelite.
- Added set of double doors on the West elevation to access an electrical closet. To be painted to match adjacent cement plaster.
- Elimination of the trellis over the path leading to the West entrance.
- Existing deck to be removed and replaced with a new configuration that will resemble the existing and will be submitted under a separate landscape review.
- North elevation is to be existing concrete block painted to match adjacent new cement plaster wall and parapet.
- Existing wood fixed window at the Northeast corner to remain and be restored.
- Elimination of the two windows on the North elevation of the Residence. Infill to match existing adjacent horizontal wood siding as previously approved.
- Reconfigure the entry door off of the deck into the Residence to be a sliding glazed "barn" door in lieu of double French doors as previously approved.
- All doors and windows in the Residence to be replaced with new to match existing.

There have been no changes to the parking configuration as it was approved by the October 10, 2013 Planning Commission approval for Use Permit and Parking Exception. Unless otherwise noted above, there have been no changes to the wood door and window specifications, composite shingle roofing, and bike racks as they were approved by the November 19, 2013 Design Review Commission. Landscaping, site enclosures, site walls and fencing, site lighting, residence deck, and signage will be reviewed under a separate design review submittal.

Attached is an updated Historical Evaluation of the property for historic preservation of the original Williams-Sonoma store and adjacent units based on the proposed revisions from the previously review elevations. In summary, they "find that the project is consistent with the *Standards for Rehabilitating Historic Buildings*, and will not affect the building's potential eligibility for inclusion on the California Register."

Thank you,



Max Crome, Architect
Crome Architecture

VELUX America Inc.
SPECIFICATION FOR MODEL FS
"NO LEAK" FIXED SKYLIGHT

SECTION 08620
UNIT SKYLIGHTS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Performance and product component information for VELUX® FS fixed deck mount skylight.
- B. VELUX Skylight Adhesive Underlayment provided with flashing kits.
- C. Engineered flashings [EDL for shingle and thin roofing materials] [EDM for metal roofing materials like standing seam] [EDW for tile or thick roofing material] [EKL for stacking skylight side by side and over and under with thin roofing materials] [EKW for stacking skylights side by side and over and under with thick or high profile roofing materials]

1.02 REFERENCE STANDARDS

- A. ASTM E 283 – *Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specific Pressure Differences Across the specimen.*
- B. ASTM E 330 – *Standard Test Method for Structural Performance of Exterior Windows, and Doors Skylights and Curtain Walls by Uniform Static Air Pressure Difference.*
- C. ASTM E 331 – *Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.*
- D. ASTM E 1886 – *Standard Test Method for Performance of Exterior Windows, Curtain Walls, Doors, and Impact Protective Systems Impacted by Missile(s) and Exposed to Cyclic Pressure Differentials.*
- E. ASTM E 1996 – *Standard Specification for Performance of Exterior Windows, Curtain Walls, Doors, and Impact Protective Systems Impacted by Windborne Debris in Hurricanes.*
- F. National Fenestration Rating Council, NFRC 100, *Procedure for Determining Fenestration Product U-factors.*

- c. KLI 110 wall mounted keypad

1.04 PERFORMANCE REQUIREMENTS

- A. The FS deck mount skylight is independently tested in accordance with listed standards for compliance with the unit skylight provisions of the 2003, 2006 and 2009 IBC, IECC, and IRC as follows:
- a. AAMA/WDMA/CSA 101/I.S.2/A440-05 (NAFS – 05) and/or AAMA/WDMA/CSA 101/I.S.2/A440-08 (NAFS – 08)

Performance Grades must be greater than or equal to:
 - i. Downward design pressure = 100 psf
 - ii. Uplift Design Pressure = 40 psf
 - b. AAMA/WDMA/CSA 101/I.S.2/A440-02 (NAFS – 02)

Rated pressures must be greater than or equal to:
 - i. Downward design pressure = 100 psf
 - ii. Uplift Design Pressure = 50 psf
- B. Air leakage: Maximum of 0.4 l/s/m² (0.08 CFM/ft²) of total unit area, measured at a pressure of 75 Pa (1.57 psf) in accordance with ASTM E 283, per the NAFS standards in (A).
- C. Water infiltration: No water penetration noted as measured in accordance with ASTM E 331 with a test pressure differential of 720 Pa (15.0 psf). Exceeds requirements of NAFS standards in (A).
- D. Thermal Performance: U-factor = 0.45 Btu/hr*²ft²*F° or less, SHGC = 0.26 or less and [Vt = 0.52 or greater (clear)] or [Vt = 0.39 or greater (white)]. Tested and certified in accordance with NFRC 100 and 200 procedures. Applicable to aluminum and copper clad models. 2010 ENERGY STAR qualified in all U.S. zones. Applicable to aluminum and copper-clad models.
- E. FS skylights with impact glazing (06): Tested and certified in accordance with ASTM E 1886 and ASTM E 1996, Rated for Wind Zone 3, Missile Level C, Cycle Pressure +50 / -50.
- F. Limit member deflection to flexure limit of glass with full recovery of glazing materials.
- G. System accommodates, without damage to components or deterioration of seals, movement between frame and perimeter components.

1.05 SUBMITTALS

- A. Product Data: Manufacturer's installation details and product data sheets include:
 - a. Preparation details and installation instructions
 - b. Product Data sheets with storage and handling information
 - c. Architectural roof sectional drawings can be found at www.VELUXusa.com.
 - d. Code compliance information can be found within the specification, or by contacting VELUX at 800-888-3589 or by visiting www.VELUXusa.com
- B. Architectural/Cross Sectional Drawings
 - a. Mounting details
 - b. Frame sizes
 - c. Flashing details
- C. Shop Drawings
 - a. Indicate material types, gauge, finishes, and installation details
- D. Maintenance Data: For unit skylights (unit skylight flashing system), (sunscreening accessories) to be included in maintenance manuals.
- E. Warranty: Sample of warranty or special warranty.

1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications:
 - a. Skylight manufacturer shall have a minimum of ten years experience in design and fabrication of deck mount glass skylights.
 - b. Skylights shall be manufactured to the highest standards of quality and craftsmanship in ISO 9001 and ISO 14001-certified facilities.
 - c. Flashings shall be engineered and manufactured to match up with the roofing material and skylight.

- d. Skylight installed with three layers of protection; deck seal mounting system, adhesive underlayment wrapped round the skylight frame and onto the roof deck, and engineered flashing, carries a "No Leak" installation warranty.
- B. Source Limitations: Obtain unit skylights, flashings, and accessories from a single source and from a single manufacturer.
- C. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency and marked for intended location and application.
- D. Unit Skylight Standard: Comply with AAMA/WDMA 101/I.S.2./NAFS, *North American Fenestration Standard Voluntary Performance specifications for Windows, Skylights and Glass Doors*, and all later editions, for minimum standards of performance, materials, components, accessories, and fabrication. Comply with more stringent requirements if indicated.
 - a. Provide third-party certified unit skylight with attached label.
- E. Thermal Performance – rated per applicable NFRC procedures.
 - a. Provide NFRC–certified unit skylight ratings on an attached label.
 - b. Qualify under ENERGY STAR® criteria in all 50 states and attach verifying label.

1.07 COORDINATION

- A. Coordinate unit skylight installation requirements with roofing system.
- B. Coordinate size and locations of site built curbs with ECB flashing for actual unit skylight if the slope of the roof is less than 14 degrees.
- C. Pre-installation conference: conduct conference at (project site).

1.08 WARRANTY

- A. Standard VELUX product warranty, as specified in VELUX Warranty, publication XUS 20194.
- B. 10-year "NO LEAK" installation warranty. (Ref. 1.06(d))

1.09 DELIVERY, HANDLING, STORAGE

- A. Deliver products in manufacturer's original containers, dry and undamaged, with seals and labels intact.
- B. Store and protect products in accordance with manufacturer's recommendations.

PART 2 PRODUCTS

2.01 MANUFACTURER

- A. Acceptable Manufacturer: VELUX America Inc., P.O. Box 5001, Greenwood, SC 29648; Toll Free Tel: 800-888-3589; Fax: 865-388-1329; Web: www.VELUXusa.com
- B. Substitutions: Not permitted

2.02 MATERIALS

- A. Wood: Kiln-dried, laminated Ponderosa Pine pre-finished white.
- B. Maintenance free exterior cladding: [Roll formed 0.65 mm aluminum frame coverings,] [0.55 mm copper frame coverings,] prefinished, production engineered, and fabricated to fit exterior exposed surfaces (Alloy AA 3003 H12 and AA 3003 H16).
- C. Dual sealed Glazing
 - a. Dual sealed thermal pane with warm edge technology, 95% argon gas fill, and with three layers of LoE³ silver that increases visible light over standard low-e coatings while lowering the solar heat gain. The following glazing options are available:
 - i. 04 – Tempered LoE³ pane with Neat coated exterior over a laminated heat strengthened interior pane with 0.030" interlayer.
 - ii. 05 – Tempered LoE³ pane over tempered interior pane.
 - iii. 06 – Tempered LoE³ pane with Neat coated exterior over laminated heat strengthened interior pane with 0.090" interlayer.
 - iv. 08 – Tempered LoE³ pane with Neat coated exterior over a white laminated heat strengthened interior pane with 0.030" interlayer.
 - v. 10 – Tempered LoE³ pane with Neat coated exterior over a laminated tempered interior pane with 0.030" interlayer to achieve higher snow load ratings.

- D. Operators and Manual Operator Accessories
 - a. Manual control rods and extension poles available or manual operated sunscreening accessories.
 - b. Battery operated control rod for suncreening accessories.
- E. Field Fasteners: 1-1/4 inch ring shank nails provided for attaching deck seal mounting flange to roof decking. Ring shank nails are double hot dipped zinc coated.
- F. Weather stripping: Factory applied neoprene and thermoplastic elastomeric weather stripping throughout entire frame, profiled to effect weather seal.
- G. Mounting System: Continuous corrosion resistant mounting system with a durable foam seal and rough opening alignment notches.

2.03 FLASHING OPTIONS

- A. Type EDL Flashing is a prefabricated step flashing system designed for use with roofing materials less than 5/16" thick and for slopes of 14 degrees to 85 degrees.
- B. Type EDW Flashing is a prefabricated gutter flashing system designed for use with roofing material greater than 3/4" thick, or high profile material, and for roof slopes of 14 degrees to 85 degrees. Sill flashing section consists of corrugated apron to allow form fit of high profile material.
- C. Type EDM Flashing is a prefabricated flashing system designed for use with metal roofing materials and for roof slopes of 14 degrees to 85 degrees. Sill flashing section consists of corrugated apron to allow form fit of roofing material profile.
- D. Type ECB Counter Flashing is a flashing systems designed for use on site-fabricated curbs with deck mounted skylights on low-pitched roof slopes of 0 degrees to 14 degrees. ECB counter flashing should be used with membrane roofing.
- E. Type EKL gang flashing system for use with roofing materials less than 5/16" thick and for slopes of 14 degrees to 85 degrees.
- F. Type EKW gang flashing system for use with roofing material greater than 3/4" thick, or high profile material, and for roof slopes of 14 degrees to 85 degrees. Sill flashing section consists of corrugated apron to allow form fit of high profile material.

2.04 FABRICATION

- A. Fabricate frame with slip mortise and tendon corners that are glued and nailed for strength and stability.
- B. Fabricate frame components with precision tolerances enabling installation and movement of sash and dynamic movement of perimeter weather stripping.
- C. Provide permanent external drainage channels to manage water flow and drain to the exterior. Provide internal drainage of glazing spaces to exterior through gasketing.
- D. All units factory glazed with hot melt silicone-based exterior seal.
- E. No site fabrication needed.
- F. Rough opening to be framed per manufacturer's listed dimensions.

2.05 FINISHES

- A. Exterior surfaces: Exposed exterior wood surfaces to be covered with roll formed maintenance-free [aluminum] [copper as a special made to order] cladding pieces. [Aluminum has a neutral gray, Kynar® 500 polyvinylidene fluoride resin finish.] [Copper is roll-formed, mill finish.]
- B. Maintenance-free flashing: Roll formed aluminum, neutral gray, baked on polyester polyamid primer and finish coats. Copper is roll-formed, mill finish.
- C. Interior surface: Exposed interior wood surfaces to be prefinished white with factory applied finish.]

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify rough opening dimension and squareness, proper orientation of skylight, proper roof pitch, and flashing.

3.02 INSTALLATION

- A. Install skylight in accordance with manufacturer's installation instructions and local code requirements.

- B. Use the alignment notches on the deck seal mounting system to align skylight flush with the rough opening, free of warp or twist; maintain dimensional tolerances.
- C. Attach and seal the skylight to roof sheathing by nailing through the predrilled holes in the deck seal mounting system. One fastener required in each predrilled hole.
- D. Apply one layer of VELUX skylight adhesive underlayment around the perimeter of the skylight frame.
- E. Install the manufacturer's engineered perimeter flashing in accordance with manufacturer's installation instruction to achieve a weather tight installation.
- F. Install sun screening products and electrical controls.
- G. Provide thermal isolation when components penetrate or disrupt building insulation. Pack fibrous insulation in rough opening to maintain continuity of thermal barriers.

3.03 CLEANING

- A. Clean exposed skylight according to manufacturer's written instructions. Touch up damage to metal coatings and finishes.
- B. Remove excess sealants, dirt, and other substances.
- C. Remove and replace glazing that has been broken, chipped, cracked, abraded or damaged during the construction process.
- D. During the construction process, protect the skylight surfaces from contact with contaminants.

3.04 FIELD QUALITY CONTROL

- A. Install skylight, adhesive skylight underlayment, and flashing in accordance with manufacturer's installation instructions.

Fixed skylights

A complete system of skylights and accessories to fit any lifestyle

The No Leak Skylight

• No Leak Promise • No Worries

Benefits:

- ▶ Pre-finished white wood frame and protective aluminum or copper cladding.
- ▶ Integrated gaskets drain condensation to the outside.
- ▶ Streamlined exterior profile does not obstruct your roofline.
- ▶ Pre-mounted Pick&Click!™ system brackets make the installation of sunscreen blinds a snap.

Tom Origer & Associates
Archaeology / Historical Research

April 28, 2014

Max Crome
Crome Architecture
905 Fourth Street
San Rafael, California 94901

Dear Mr. Crome:

At the request of your office, we reviewed proposed changes to the approved design for the 599 Broadway facade. In our previous letter we discussed the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*, and how they applied to the Williams-Sonoma rehabilitation. This letter is an addendum to our previous assessment and addresses the following changes.

1. Elimination of the parapet cap.
2. Revision of the Williams-Sonoma awning to extend the full length of the building and better match the original awning.
3. Retention of the existing wall configuration and continuous parapet. This includes elimination of the proposed sliding door system.
4. Inclusion of new windows and doors to match the existing (original) wood windows.
5. Retention of the existing tubular steel columns.

Elimination of the parapet cap and redesign of the Williams-Sonoma awning are negligible changes that are in keeping with the Secretary's *Standards*.

The biggest difference in the new facade is the elimination of the sliding door system. The system was designed to simulate the original storefront but was not part of the original building. The change to fixed windows with transoms is a better way to achieve that appearance. The addition of a swinging door will not detract from the desired look. In our opinion, changes to the Culinary Center storefront are entirely in keeping with the Secretary's *Standards*.

Retention of the tubular steel columns is preferable as they are original to the building.

After reviewing the design changes, we find that the project is consistent with the *Standards for Rehabilitating Historic Buildings*, and will not affect the building's potential eligibility for inclusion on the California Register.

Please contact me if you have any questions or need additional information.

Sincerely,



Vicki Beard
Senior Associate

FL1

SSL
SOLID STATE LIGHTING

MODEL FL1 • 12V • 50W • MR16 • 10W LED

**SHIELDED TRELLIS MOUNT ACCENT LIGHT - DOWNWARD AIMED
10W LED**

FLOOD/ACCENT - 12V



Shown in Clear Anodized Aluminum Finish (CLA)

Precision-machined lighting fixture for MR16 halogen lamps or integral LED lamp module with driver. Can be utilized for ground-mounted landscape up lighting, tree-mounted down lighting and wall or ceiling mount lighting applications.

Features:

- Patented* 'double-taper' locking knuckle that locks and stays locked.
- Molded silicone wire 'pass-thru', in LED version, creates a water-tight lamp compartment.

Construction: Available in machined aluminum, machined brass or machined stainless steel.

Styles: Removable caps with borosilicate clear glass lens, glued in. Available in four cutoff styles.

Socket: GY-6.35 bi-pin porcelain sockets. LED version has lamp module and driver installed.

Lamp: Utilizes MR16 halogen lamps to 50W or integral 10W Solid State LED with driver.

Accessories: Up to 3 lens or shielding options can be specified; 2 for the LED module.

Finishes: 14 standard powder coated aluminum finishes, clear anodized aluminum finish, 3 brass finishes & 3 stainless steel finishes. See FINISHES section of catalog, inside back cover.

Mounting: Available with patented, standard 'K1' style double-taper knuckle with 180° vertical aiming or optional, patented 'Rotate & Lock', 'K2' style double-taper knuckle with additional 360° rotational aiming. 'K2' style knuckle recommended for wall or ceiling mount applications for simple adjustment of luminaire.

Labels: CSA listed for wet location for landscape use (UL 1838) and for wall or ceiling mount use (UL1598). Remote magnetic or approved electronic transformer required for LED module.

Dimensions: 2 3/8" diameter, 8" maximum length.

Warranty: Aluminum is warranted for 5 years. Brass and stainless steel are warranted 25 years.

*K1 and K2 Style knuckle designs are protected under U.S. Patents #6,966,679, #7,108,405 and #7,458,552.

NEW LED Solid State version of this Model is now available.

Features:

- Same design as standard Model FL1 with integral LED module and driver.
- Three beam patterns available: 12° Spot, 21° Narrow Flood and 41° Flood.
- Replaceable LED lamp module with thermal control to prevent overheating.
- Two power settings: 10 watts (428 lumens) or 6.7 watts (325 lumens).
- 3000K Color, 83 CRI average, 12V AC/DC. Dimmable. L70 = 60,000 hours.
- Five-year warranty. (Solid state version is not interchangeable with halogen version of this product.)

Applications:

Landscape • Wall • Ceiling



See catalog page 30 for mounting options, power options & accessories.

Metals:	6061-T6 Aluminum	C36000 Brass	304 Stainless Steel	Cap Styles:	C1	C2	C3	C4

K2 knuckle option:



Our standard 'patented' mounting knuckle design for our lighting fixtures is called 'K1' in our catalog number logic. This knuckle offers 180° of vertical aiming adjustability. In order to provide for a horizontal AND rotational aiming adjustment, we offer a second 'patented' mounting knuckle style called our 'K2' design. This patented knuckle design provides a full 360° of rotational aiming adjustment in addition to the 180° of vertical adjustment. The 'K2' knuckle is a recommended option for any wall or ceiling mount installation of our fixtures.

Flush lens option:



To reduce the amount of mineral deposits on the fixture lens, you can specify our 'Flush Lens' option on our Model FL1. This flush lens is a custom-cut piece of machined glass that is 'stepped' so that the lens forms a 'flush' fit into any of our cap styles. This lens option is recommended whenever high amounts of minerals exist in your water supply. To specify this lens, just indicate 'F' with the cap style you choose....i.e. 'C1F' lens style.





LED RECESSED ADJUSTABLE

1-1/4" PINHOLE APERTURE

IC Rated, 13W LED

IC43L-433N, IC943L-433N

PRODUCT DESCRIPTION

Recessed adjustable 13W LED luminaire with 1 1/4" pinhole aperture produces up to 450 fixture lumens and approximates the performance of a 50W MR16 lamp. Fixture has 50° visual cutoff and features precision geared hot-aiming. Sealed Air-Loc® housing ensures maximum energy savings and controls plenum sound transmission. Low profile IC rated housing for use in insulated or non-insulated areas.

PRODUCT SPECIFICATIONS

LLED Light Engine Consistent fixture to fixture color consistency within 3-step MacAdam ellipse • 2700K, 3000K, 3500K, or 4000K color temperatures are available with 85 CRI typical • 3000K also available with 93 CRI typical and R9 >80.

Modular Optics Available with 12° Spot, 24° Narrow Flood, or 35° Flood field interchangeable optics • Patent pending auto-adjusting optic holder maximizes luminaire efficiency by maintaining optimal LED optic position • Accommodates up to three (3) additional beam control lenses and/or filters.

Adjustability Acu-Aim™ precision geared hot-aiming achieves 370° rotation, 45° tilt • Optimized center beam optics translates light engine forward as it is aimed off nadir, ensuring maximum light and low brightness • Black aiming mechanism preserves dark aperture.

Reflector .040" aluminum angle-cut reflector in black Alzak finish shields housing interior.

Trims Style Trim Ring and Flush Mount Trims utilize torsion spring retention for tight, secure fit to ceiling • Trim ring features beveled knife edge for clean ceiling interface • For flush mount installations in drywall ceilings use the FMA4 flush mount adapter • For flush mount installations in wood, stone, or tile ceilings the FMA4-SC*** must be used (specify ceiling thickness and adapter finish).

LED Driver Choice of three drivers to accommodate voltages from 120-277 volts AC • Dedicated 120V (-I) driver is dimmable with most incandescent, magnetic low voltage and electronic low voltage dimmers • Universal Voltage (-U) driver is dimmable with most 0-10V protocol dimmers • Lutron A Series (-L) driver is 3-wire dimmable and compatible with EcoSystem® • For a list of compatible dimmers, refer to ACXLLED-DIM • Power Factor > 0.9 • Field replaceable from below or above ceiling.

Life Rated for 50,000 hrs at 70% lumen maintenance.

Warranty 5 years from date of purchase on LED components • Standard Juno Lighting Group product guarantee terms and conditions apply.

Codes/Labels UL and cUL listed for through branch wiring, damp locations • Meets energy code Air Leakage requirements per ASTM E283 • Union made.

Mounting

IC43L features Patented (US Patent 8,038,113) Pro-VI™ Bar Hanger System with locking set screws, permitting quick placement of housing within 24" O.C. joists or suspended ceilings • Robust bar eliminates flexing regardless of fixture position • Integral T-bar notch with locking tabs secures housing to suspended ceiling grid • Captive bugle-headed ring shank nail for quick one-step installation • Bar Hanger foot aligns to bottom of construction joist and breaks away for use in suspended ceilings.

IC943L is equipped with vertically adjustable mounting brackets that accept 1/2" conduit, "C" channels (HB-26 or HB-50), linear flat bars (LB-27) or 26" telescoping Real Nail bar hangers (HB-1).

Junction Box Rated for 4 No. 12 AWG 90° C through branch circuit conductors and includes (6) 1/2", (1) 3/4", and (4) Non-metallic sheathed cable knock-outs • Push-in electrical connectors for field connections.

Housing/Mounting Frame Black steel plaster frame and housing painted for visually dark interior • V-Notch in plaster frame and Patent pending Tru-Line™ Platform featuring +/- 1/2" translation aids fixture alignment after installation, prior to drywall.

Ceiling Thickness 1/2" - 7/8" ceiling standard • For thicker ceilings, order CTA4N-125 (7/8"-1 1/4"), CTA4N-163 (1 1/4"-1 5/8") or CTA4N-200 (1 5/8"-2") • CTA4N not required for wood, stone, or tile flush mount applications.

Project: _____

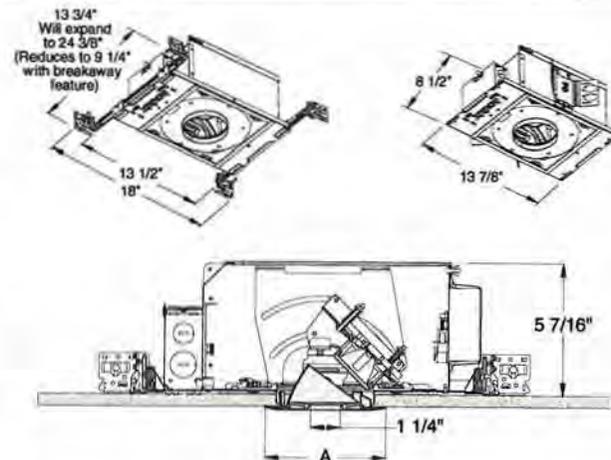
Fixture Type: _____

Location: _____

Contact/Phone: _____



DIMENSIONS



4 1/4" CEILING CUTOUT
(REFER TO INSTRUCTION SHEET FOR
FLUSH MOUNT CEILING CUTOUT)

	A
Trim Ring	5"
Flush Mount	3 7/8"

ELECTRICAL DATA

Driver Option	Dedicated 120V (-I)		Universal Voltage (-U)		Lutron A Series (-L)	
	120	277	120	277	120	277
Voltage	120	277	120	277	120	277
Input Power	12.8	13.7	13.7	14.1	12.6	13.6
Input Current	0.10	0.11	0.11	0.05	0.10	0.05
Frequency	50/60Hz		50/60Hz		50/60Hz	
Power Factor	0.99	0.99	0.99	0.90	0.99	0.94

LED RECESSED ADJUSTABLE

1-1/4" PINHOLE APERTURE

IC Rated, 13W LED

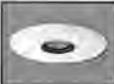
IC43L-433N, IC943L-433N

Ordering Information Housing, trim and accessories each ordered separately

Example: **IC43L-830-N-1**

Housings	CRI/Color Temperature	Beam Optics	Drivers	Options
IC43L	827 2700K, 85CRI	S 12' Spot	I 120V, Forward & Reverse Phase Dimming	CP Chicago Plenum
IC943L	830 3000K, 85CRI	N 24' Narrow Flood		
	835 3500K, 85CRI	F 35' Flood	U 120-277V, 0-10V Dimming	
	840 4000K, 85CRI		L 120-277V, Lutron 3-wire Dimming, Ecosystem Compatible	
	930 3000K, 93CRI			

Example: **433N-WH**

Trim/Description		
		
Trim Ring	Flush Mount'	Description
433N-WH	433N-WH-FM	White Trim Ring
433N-ABZ	-	Aged Bronze Trim Ring
433N-SC	-	Satin Chrome Trim Ring
433N-BL	433N-BL-FM	Black Trim Ring

'Flush Mount' trims must be used with Flush Mount Adapter, ordered separately.
Product specifications subject to change without notice.

Flush Mount Adapters

FMA4	Drywall Ceiling Adapter
FMA4-SC087-WH	Wood, Stone, Tile, 1/2"-7/8" Thick Ceiling, Adapter, White
FMA4-SC087-BL	Wood, Stone, Tile, 1/2"-7/8" Thick Ceiling, Adapter, Black
FMA4-SC125-WH	Wood, Stone, Tile, 7/8"-1 1/4" Thick Ceiling, Adapter, White
FMA4-SC125-BL	Wood, Stone, Tile, 7/8"-1 1/4" Thick Ceiling, Adapter, Black
FMA4-SC163-WH	Wood, Stone, Tile, 1 1/4"-1 5/8" Thick Ceiling, Adapter, White
FMA4-SC163-BL	Wood, Stone, Tile, 1 1/4"-1 5/8" Thick Ceiling, Adapter, Black

Optical Accessories

Cat. #	Description	Cat. #	Description
TIR-1-SP	12' Spot Optic	T7404	Med. Blue Dichroic Lens
TIR-1-NFL	24' Narrow Flood Optic	T7405	Yellow Dichroic Lens
TIR-1-FL	35' Flood Optic	T7406	Magenta Dichroic Lens
T741	Med. Pink Color Filter	T7411	Blue Green Dichroic Lens
T742	Warm Red Color Filter	T7416	Daylight Blue Correction Lens
T743	Daylight Blue Color Filter	T7420	Diffuse Spread Lens
T744	Med. Blue Color Filter	T7422	UV Filter Lens
T745	Med. Amber Color Filter	T7477	Prismatic Lens
T746	Med. Green Color Filter	T7478	Linear Spread Lens
T7401	Red Dichroic Lens	T7459BL	Hexcell Louver
T7403	Med. Green Dichroic Lens		

Misc. Accessories

CTA4N-125	1 1/4" Thick Ceiling Adapter
CTA4N-163	1 5/8" Thick Ceiling Adapter
CTA4N-200	2" Thick Ceiling Adapter
HB-1	(2) Real Nail 3 Bar Hangers
HB-26	(2) 26" C-Channel Bar Hangers
HB-50	(2) 50" C-Channel Bar Hangers
LB-27	(2) 27" Linear Bar Hangers
EMI-20	20W Emergency Lighting Inverter

To order, specify catalog number.



LED RECESSED ADJUSTABLE

1-1/4" PINHOLE APERTURE

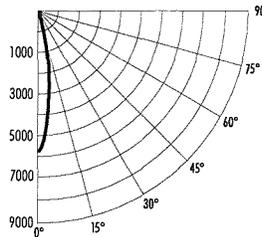
IC Rated, 13W LED

IC43L-433N, IC943L-433N

PHOTOMETRIC REPORT
 Test Report: PT05121502
 Catalog No: IC43L-830-S-1 (Aim at 0°)
 with 433N-WH trim
 Luminaire Spacing Criterion: 0.28
 Watts: 12.9
 Lumens: 435
 Luminaire LPW: 33.7

Candlepower Distribution (Candelas)

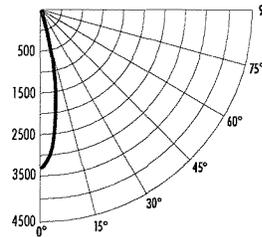
Degrees Vertical	0°
0°	5754
5°	4022
10°	1439
15°	169
20°	35
25°	8
30°	0
35°	0
40°	0
45°	0
50°	0
55°	0
60°	0
65°	0
70°	0
75°	0
80°	0
85°	0
90°	0



PHOTOMETRIC REPORT
 Test Report: PT05121607
 Catalog No: IC43L-830-N-1 (Aim at 0°)
 with 433N-WH trim
 Luminaire Spacing Criterion: 0.34
 Watts: 12.9
 Lumens: 465
 Luminaire LPW: 36.0

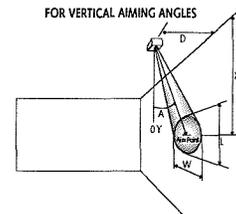
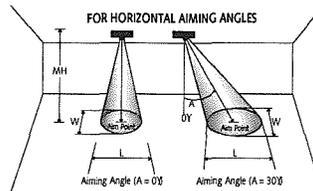
Candlepower Distribution (Candelas)

Degrees Vertical	0°
0°	3472
5°	2978
10°	1819
15°	611
20°	97
25°	18
30°	0
35°	0
40°	0
45°	0
50°	0
55°	0
60°	0
65°	0
70°	0
75°	0
80°	0
85°	0
90°	0



CBCP • Centerbeam candlepower
FC • Footcandles at beam center (aim point)

In vertical aiming applications, aim point (X) is determined by dividing distance from the wall (D) by the tangent of the desired aim angle (A) (0.5774 for 30°, 1.0 for 45°).



LED	Beam Type	Beam Spread°	Rated Life	CBCP	0°		30°			30°				40°						
					MH	FC	L	W	FC	L	W	D	FC	X	L	W	FC	X	L	W
					3000K, 80 CRI	SP	12°	50,000	9586	6	266	1.3	1.3	173	1.7	1.5	3	133	5.2	2.6
	NFL	24°	50,000	4338	4	271	1.7	1.7	176	2.3	2.0	2	136	3.5	3.9	1.7	288	2.4	2.2	1.3
	FL	35°	50,000	1678	4	105	2.5	2.5	68	3.5	2.9	2	52	3.5	7.2	2.5	111	2.4	3.6	2.0
					6	47	3.8	3.8	30	5.2	4.4	3	23	5.2	10.8	3.8	50	3.6	5.3	2.9
					8	26	5.0	5.0	17	7.0	5.8	4	13	6.9	14.4	5.0	28	4.8	7.1	3.9
					10	17	6.3	6.3	11	8.7	7.3	5	8	8.7	18.0	5.0	18	6.0	8.9	4.9
					12	12	7.6	7.6	8	10.4	8.7	6	6	10.4	21.6	7.6	12	7.2	10.7	5.9

Multipliers: 827 - 0.92
 930 - 0.92
 835 - 1.01
 840 - 1.02



1300 S. Wolf Road • Des Plaines, IL 60018 • Phone (847) 827-9880 • Fax (847) 827-2925
 220 Chrysler Drive • Brampton, Ontario • Canada L6S 6B6 • Phone (905) 792-7335 • Fax (905) 792-0064
 Visit us at www.junolightinggroup.com

Printed in U.S.A. ©2013 Juno Lighting, LLC.

**SHIELDED WALL SCONCE
26W FLUORESCENT**

E2

CLASSIC WALL MOUNT (CWM)



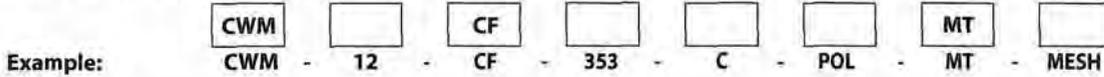
Compact Fluorescent



Classic Wall Mount (CWM)

PROJECT:	
TYPE:	
CATALOG NUMBER:	
SOURCE:	
NOTES:	

CATALOG NUMBER LOGIC



Series
CWM - Classic Wall Mount

Shade Size
12 - 12 Inch
15 - 15 Inch

Source
CF - Compact Fluorescent

Lamp
0 - By Others
353 - CF13W/GU24/2700K (13W)
354 - CF13W/GU24/4100K (13W)
355 - CF18W/GU24/2700K (18W)
356 - CF18W/GU24/4100K (18W)
357 - CF26W/GU24/2700K (26W)
358 - CF26W/GU24/4100K (26W)

Ring Stack
C - Copper
S - Stainless Steel*

Finish
NAT - Natural
NAT - Natural
BP - Brown Patina*
NIC - Nickel Plate*
BZW - Bronze Wrinkle Powder Coat
(See Powder Coat Finish Chart for Available Choices.)

*Stainless Steel Rings are provided in Natural (NAT) regardless of finish choice.

Standard Finish

Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Premium Finish

ABP	Antique Brass Powder	HUG	Hunter Green
AMG	Aleutian Mountain Granite	MDS	Mojave Desert Sandstone
AQW	Antique White	NBP	Natural Brass Powder
BCM	Black Chrome	OCP	Old Copper
BGE	Beige	RMG	Rocky Mountain Granite
BPP	Brown Patina Powder	SDS	Sonoran Desert Sandstone
CAP	Clear Anodized Powder	SMG	Sierra Mountain Granite
CMG	Cascade Mountain Granite	TXF	Textured Forest
CRI	Cracked Ice	WCP	Weathered Copper
CRM	Cream	WIR	Weathered Iron

Voltage
MT - 120/208/240/277 Volt Multi Tap 50/60 Hz.

Option
CLR - Clear Coat Protection (For use with Natural (NAT) Finishes)
MESH - Mesh Screen (Finish to match fixture)
DT - Dark Top (Eliminates glow in window above shade, Finish to match fixture)

LAMP DATA

Lamp #	Watts	Description	Rated Life	Initial Lumens	Design Lumens	CRI	CCT(K)
353	13	CF13W/GU24/2700K	10,000	900	900	82	2,700
354	13	CF13W/GU24/4100K	10,000	900	900	82	4,100
355	18	CF18W/GU24/2700K	10,000	1,250	1,250	82	2,700
356	18	CF18W/GU24/4100K	10,000	1,250	1,250	82	4,100
357	26	CF26W/GU24/2700K	10,000	1,250	1,250	82	2,700
358	26	CF26W/GU24/4100K	10,000	1,250	1,250	82	4,100

TEKA ILLUMINATION

40429 Brickyard Drive • Madera, CA 93636 • USA
559.438.5800 • FAX 559.438.5900
www.tekaillumination.com • info@tekaillumination.com

SUBMITTAL DATE
2-15-13

DRAWING NUMBER
SUB-2014-00



Compact Fluorescent

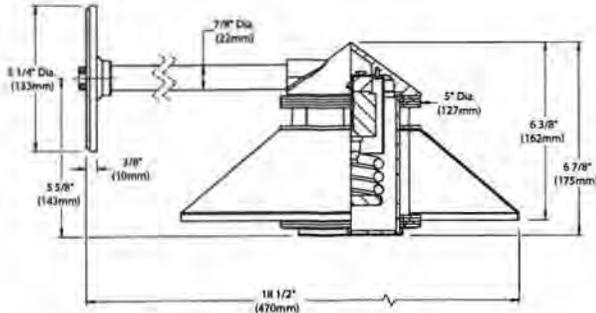
CLASSIC WALL MOUNT (CWM)

PROJECT: _____

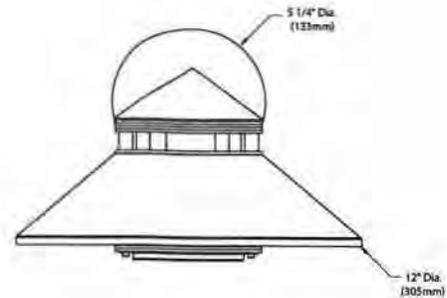
TYPE: _____

SIDE VIEW

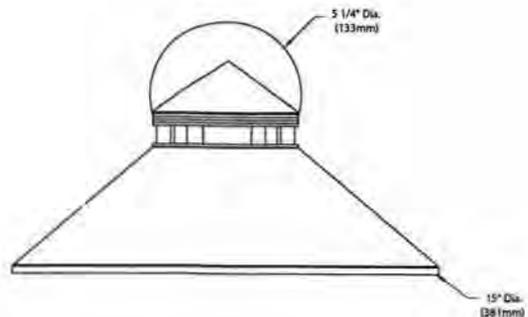
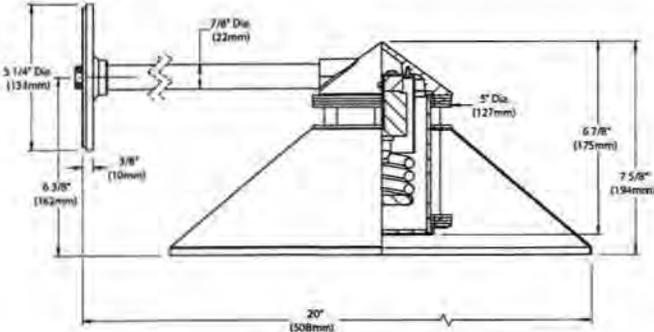
12" Diameter



FRONT VIEW



15" Diameter



SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced onsite. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult www.tekallumination.com/greensource for program requirements.

Enduring Metals

Constructed from copper, bronze, and stainless steel. These lifetime materials are inherently corrosion resistant. Factory-applied finishes are also available.

Installation

5" diameter, machined aluminum mounting plate with textured black finish. For use with 4" octagonal junction box (by others). Supplied with [2] tamper-resistant, black oxide stainless steel mounting screws.

Canopy

5-1/4" diameter canopy conceals mounting plate and hardware. Hand spun from high purity, solid copper plate with tamper resistant, machined brass lock collar.

Shade

Hand spun from high purity, solid copper plate. Specify 12" or 15" diameter.

Lens

3-5/8" dia. translucent acrylic lens with clear acrylic downlight lens provides sealed optical compartment.

Stem

Machined from heavy wall 7/8" O.D. brass.

Body

Cast bronze. High temperature, silicone 'O' Ring provides water tight seal to shade assembly.

Lamp Holder

Specification grade, ceramic body holder for GU24 lamp base. Nickel alloy contacts and heat resistant, spring loaded, stainless steel retaining clips

Lamp

For use with self ballasted 2 pin GU24 twist and lock compact fluorescent lamp.

Ring Stack

Solid copper or stainless steel accent rings with solid brass spacers.

Wiring

Teflon® coated wire, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

Hardware

Tamper-resistant, stainless steel hardware.

Finish

Natural (NAT): Copper and bronze components are sand blasted to expose the porous metal surface. Over time, and with exposure to the elements, the metals will naturally 'weather' resulting in a unique patina.

Factory Applied: Hand-crafted metal finishes include natural (NAT), brown patina (BP), and nickel plate (NIC).

Powder Coat: Class 'A' TGIC polyester powder coating. RoHS compliant.

Clear Coat Protection

Optional ceramic clear coating seals and protects underlying metals and protects against discoloration, fading, and wear. Highly impervious to chemicals, solvents, and graffiti. For use with natural (NAT) finishes.

Warranty

5 year limited warranty.

Listings

ETL Listed to ANSI/UL Standard 1598 and Certified to CAN/CSA Standard C22.2 No. 250. RoHS compliant. Made in USA.



*Teflon is a registered trademark of DuPont Corporation.

TEKA ILLUMINATION

40429 Brickyard Drive • Madera, CA 93636 • USA
559.438.5800 • FAX 559.438.5900
www.tekallumination.com • info@tekallumination.com

SUBMITTAL DATE

2-15-13

DRAWING NUMBER

SUB-2014-00

WILLIAMS-SONOMA

599 BROADWAY - STORE & CULINARY CENTER

599 BROADWAY
SONOMA, CA 95476

DESIGN REVIEW RESUBMITTAL

DATE: 04/08/2014
JOB NO: WS-13088
SCALE: AS NOTED
CHECKED:

WILLIAMS-SONOMA

WILLIAMS-SONOMA
STORE &
CULINARY CENTER

599 BROADWAY
SONOMA, CA 95476



Project Directory

OWNER:
WILLIAMS-SONOMA, INC.
3250 VAN NESS AVENUE
SAN FRANCISCO, CA 94109
TEL: 415.788.0410
FAX: 415.439.1052
CONTACT: THOMAS THUMAN
EMAIL: TTHUMAN@WSGC.COM

DESIGNER:
WADE DESIGN ARCHITECTS
29 MAGNOLIA AVENUE
SAN ANSELMO, CA 94960
TEL: 415.578.2856
FAX: 415.578.2867
CONTACT: LUKE WADE
EMAIL: LUKE@WADE-DESIGN.COM

ARCHITECT:
CROME ARCHITECTURE
905 FOURTH STREET
SAN RAFAEL, CA 94901
TEL: 415.453.0700
FAX: 415.453.0785
CONTACT: MAX CROME
EMAIL: MAX@CROMEARCHITECTURE.COM

Drawing Index

- A0.0 COVER SHEET
- A0.1 PROPOSED SITE PLAN
- A1.1 PROPOSED FLOOR PLAN
- A2.1 BUILDING ELEVATION (UPDATED)
- A2.2 BUILDING ELEVATION (UPDATED)
- A2.3 BUILDING ELEVATIONS (UPDATED)
- A2.4 BUILDING ELEVATIONS (UPDATED)
& FINISH SCHEDULE
- A4.1 FINISH DETAILS
- A4.2 FINISH DETAILS

NOTE:

ALL PLANTING, IRRIGATION, HARDSCAPE MATERIALS, FENCES, DECK, SITE WALLS, ENCLOSURES, SITE LIGHTING AND RELATED LAYOUTS WILL BE SUBMITTED SEPARATELY AS A COMPLETE LANDSCAPE PACKAGE.

ALL MONUMENT, WAY-FINDING, BUILDING, AND WINDOW SIGNAGE WILL BE SUBMITTED SEPARATELY AS A COMPLETE SIGNAGE PACKAGE.

905 Fourth Street San Rafael California 94901 • 415.453.0700 • 415.453.0785

Crome Architecture

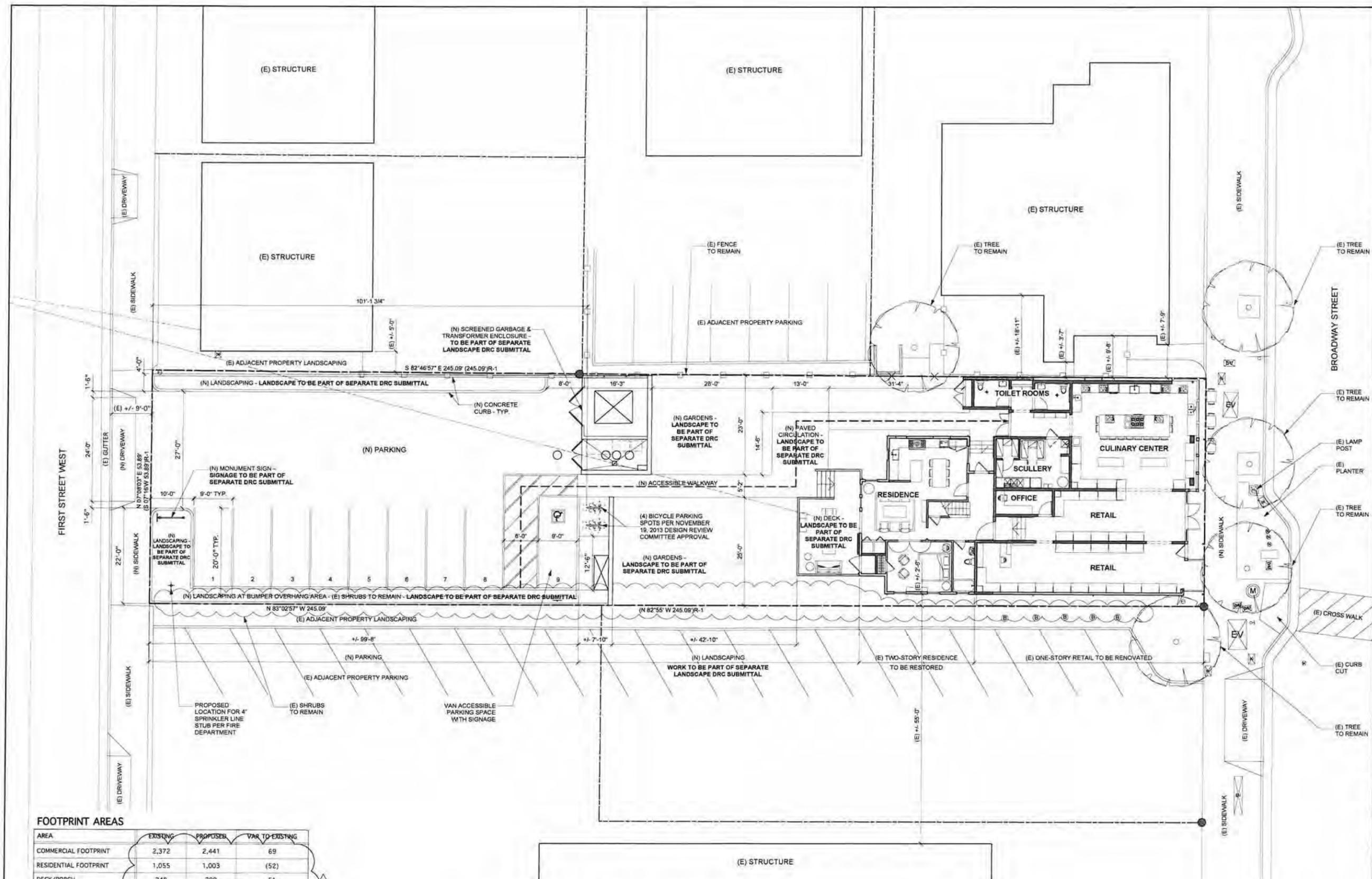
SUBMITTAL
DESIGN REVIEW 10/22/2013
DESIGN REVIEW RESUBMITTAL  04/28/2014

COVER SHEET

SHEET NUMBER

A0.0

04/28/2014



FOOTPRINT AREAS

AREA	EXISTING	PROPOSED	VAR TO EXISTING
COMMERCIAL FOOTPRINT	2,372	2,441	69
RESIDENTIAL FOOTPRINT	1,055	1,003	(52)
DECK/PORCH	248	299	51
HARDSCAPE	557	5,812	5,255
LANDSCAPE	8,691	3,368	(5,323)
TOTAL LOT SIZE	12,923	12,923	0

FLOOR AREA RATIO (FAR)

	BLDG. S.F.	SITE S.F.	FAR
EXISTING	3,675	12,923	0.2844
PROPOSED	3,743	12,923	0.2896

599 Broadway Proposed Site Plan

Scale: 1" = 10'-0"

Sonoma, California

April 28, 2014



SUBMITTAL	
DESIGN REVIEW	10/22/2013
DESIGN REVIEW	04/28/2014
RESUBMITTAL	

PROPOSED SITE PLAN

SHEET NUMBER

A0.1

WALL TYPE LEGEND

- (N) EXTERIOR WALL
- (N) INTERIOR WALL
- (N) RATED WALL
- (E) WALL TO REMAIN - TYP.
- (L-4) LIGHT FIXTURE TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

WILLIAMS-SONOMA
 WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER
 599 BROADWAY
 SONOMA, CA 95476

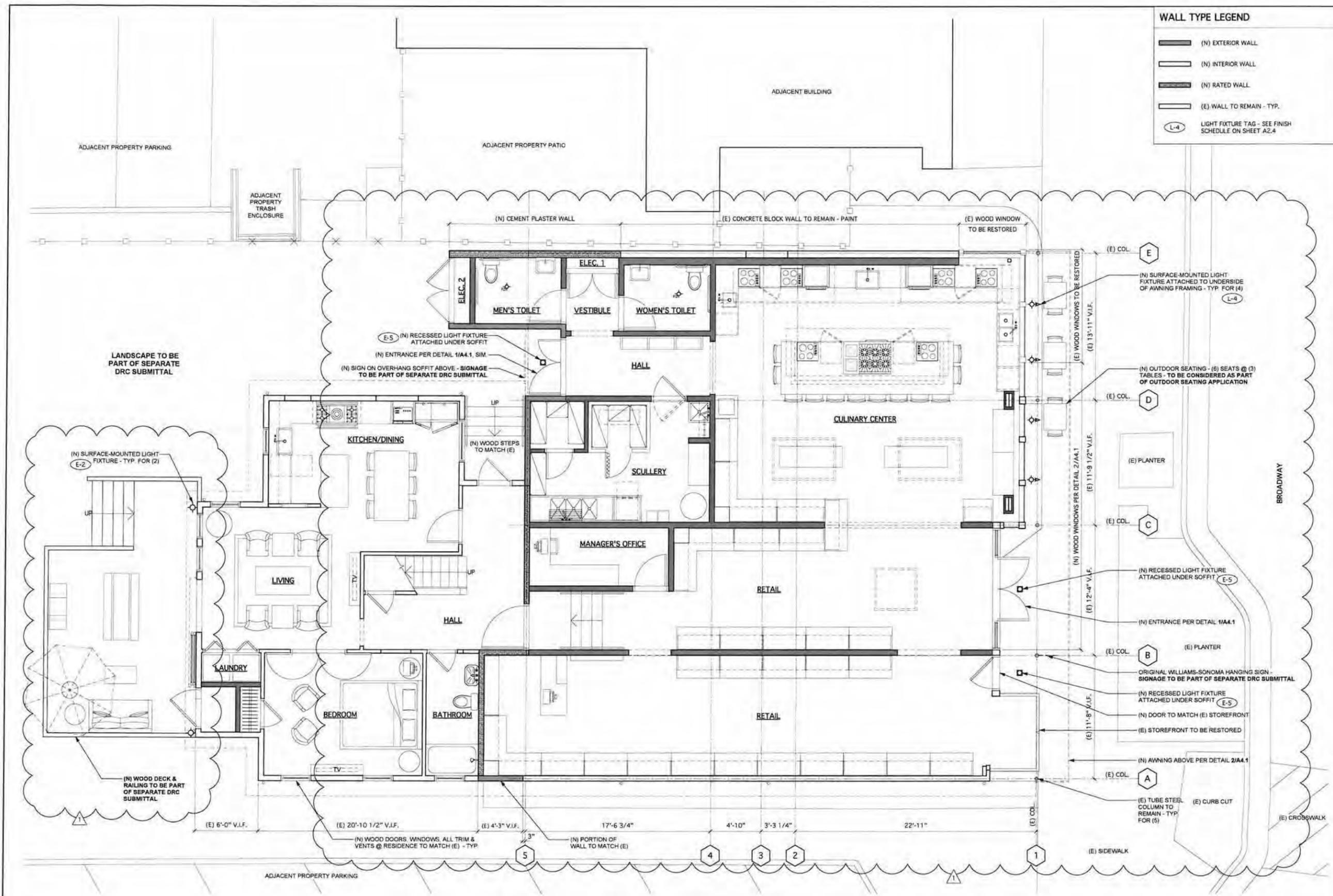
905 Fourth Street San Rafael, California 94901 T 415.453.0700 F 415.453.8875

Crone Architecture

SUBMITTAL
 DESIGN REVIEW 10/22/2013
 DESIGN REVIEW RESUBMITTAL 04/28/2014

PROPOSED FLOOR PLAN

SHEET NUMBER
A1.1



599 Broadway Proposed Floor Plan

Scale: 1/4" = 1'-0" Sonoma, California April 28, 2014



SYMBOL LEGEND

(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

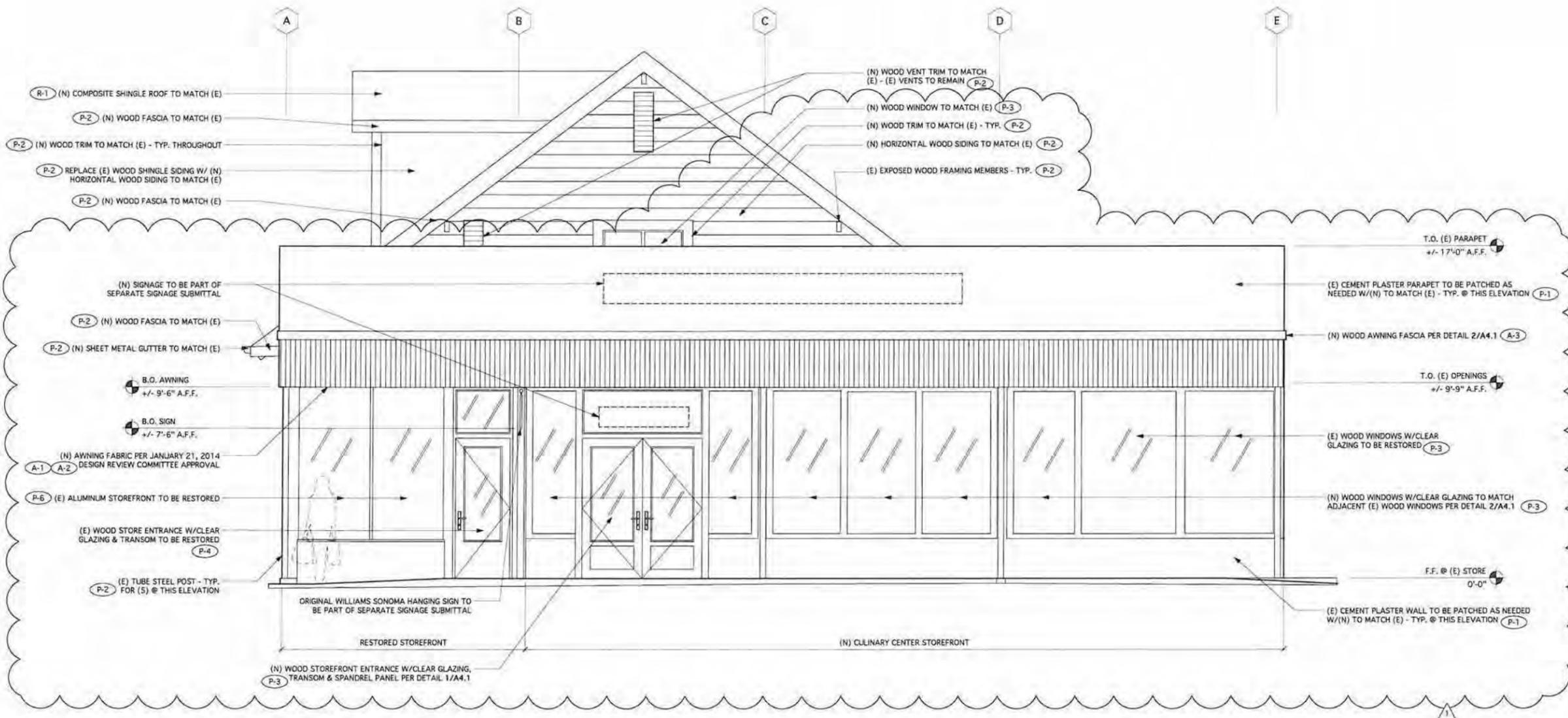
WILLIAMS-SONOMA

**WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER**

599 BROADWAY
 SONOMA, CA 95476

905 Fourth Street, San Rafael, California 94901 T 415 453 0700 F 415 453 0875

Crome Architecture



599 Broadway Storefront (East) Elevation

Scale: 3/8" = 1'-0"

Sonoma, California

April 28, 2014

SUBMITTAL	
DESIGN REVIEW	10/22/2013
DESIGN REVIEW RESUBMITTAL	04/28/2014

**UPDATED
 BUILDING ELEVATION**

SHEET NUMBER

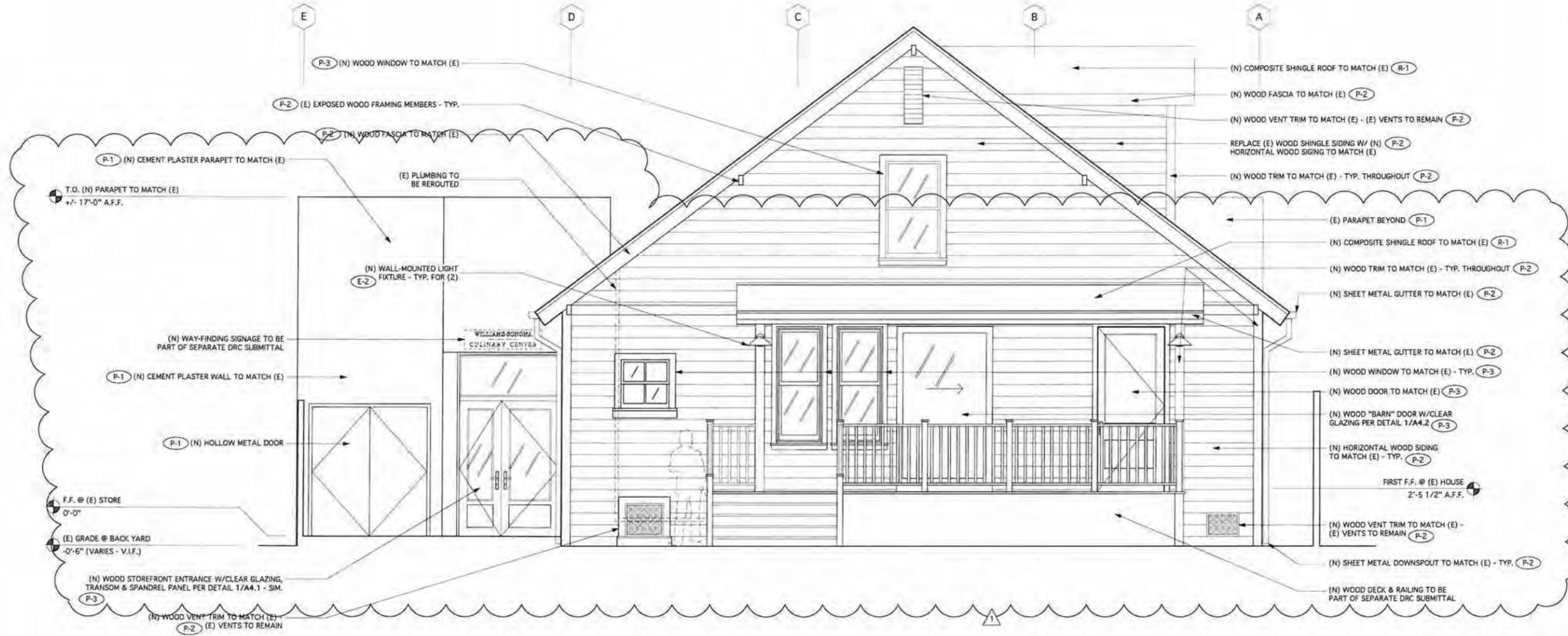
A2.1

SYMBOL LEGEND

(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

WILLIAMS-SONOMA
 WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER
 599 BROADWAY
 SONOMA, CA 95476



905 Fourth Street, San Rafael, California 94901 • 415.553.0700 F 415.453.0875

Crome Architecture

599 Broadway Rear (West) Elevation

Scale: 3/8" = 1'-0"

Sonoma, California

April 28, 2014

SUBMITTAL	
DESIGN REVIEW	10/22/2013
DESIGN REVIEW RESUBMITTAL	04/28/2014

UPDATED
 BUILDING ELEVATION

SHEET NUMBER

A2.2

SYMBOL LEGEND

(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

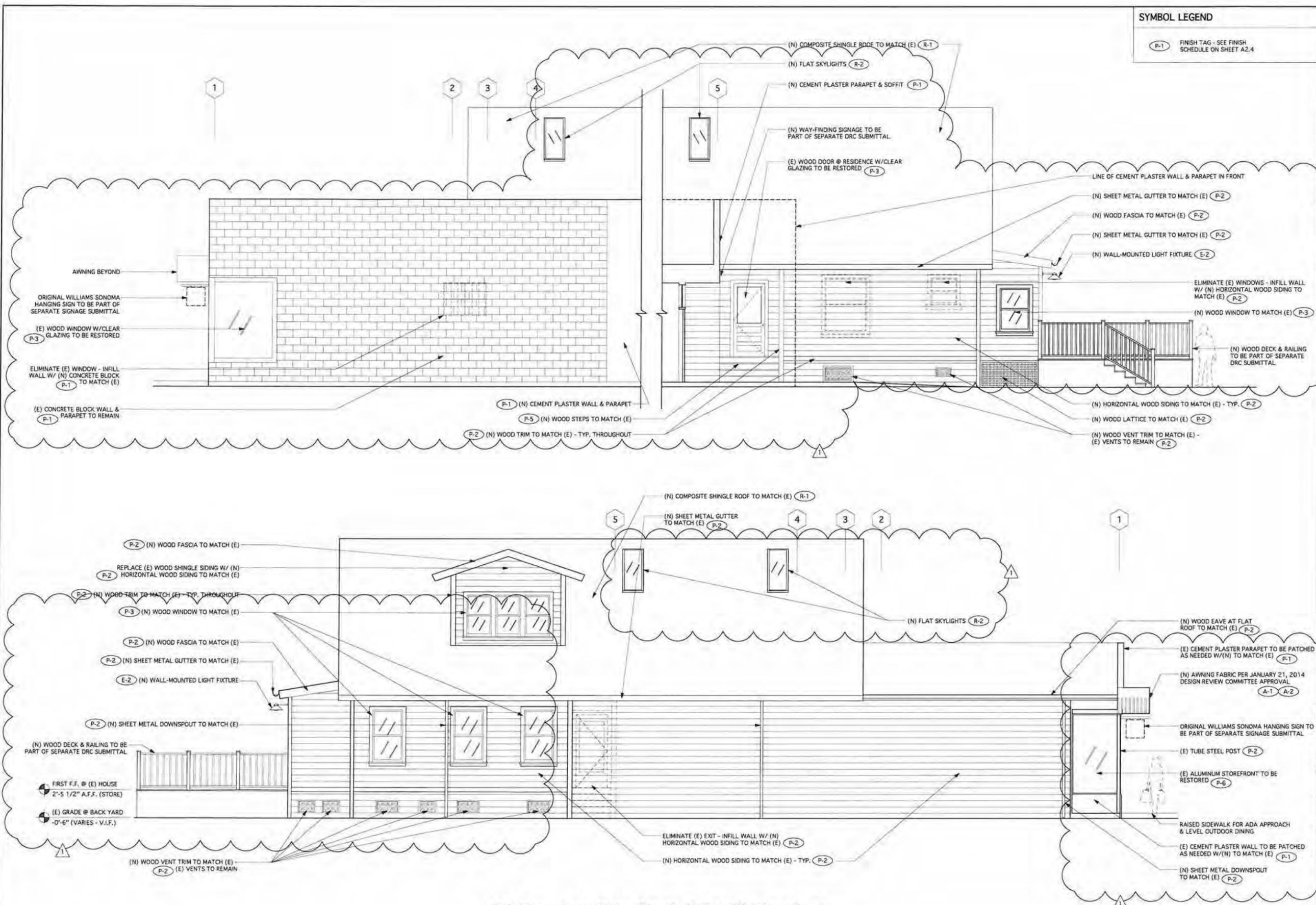
WILLIAMS-SONOMA

WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER

599 BROADWAY
 SONOMA, CA 95476

905 Fourth Street, San Rafael, California 94901 | 415-453-0700 | 415-453-0875

Crone Architecture



599 Broadway Side (North & South) Elevations

Scale: 1/4" = 1'-0"

Sonoma, California

April 28, 2014

SUBMITTAL	
DESIGN REVIEW	10/22/2013
DESIGN REVIEW	04/28/2014
RESUBMITTAL	

UPDATED BUILDING ELEVATION

SHEET NUMBER

A2.3

SYMBOL LEGEND

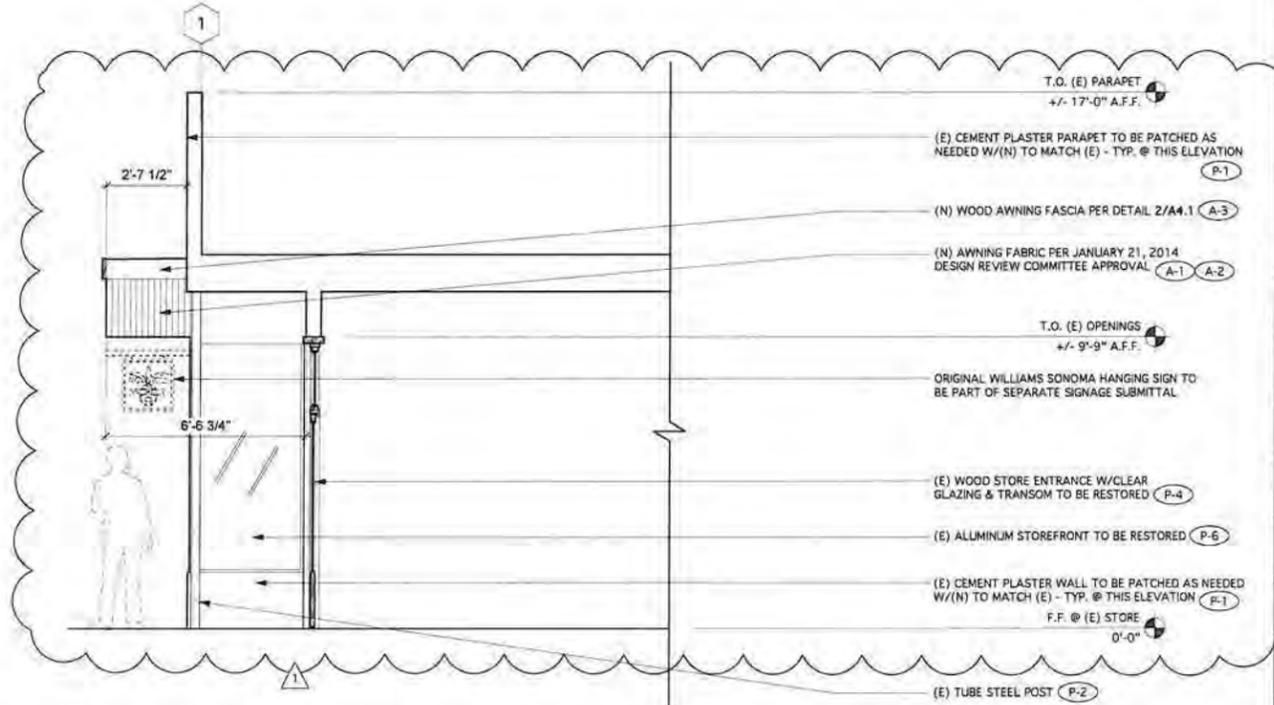
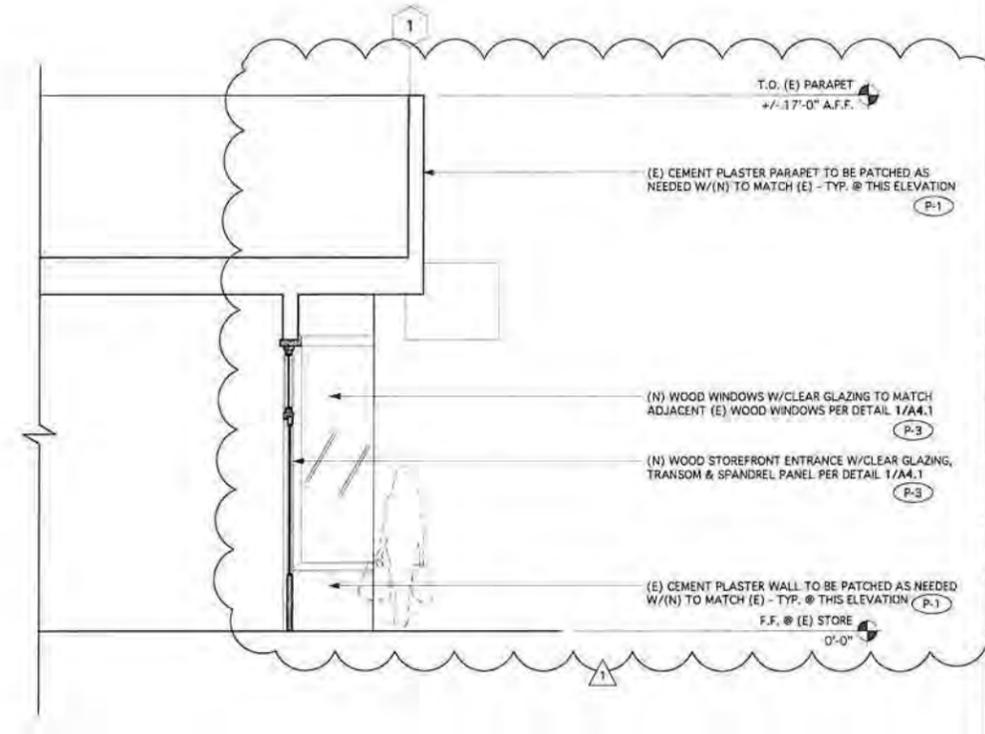
(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

EXTERIOR FINISH SCHEDULE

CODE	PAINT	MANUFACTURER	COLOR	NOTES
(P-1)	EXTERIOR PAINT	CUSTOM COLOR BY CREATIVE PAINTS	599 BROADWAY EXT. WALL	COMMERCIAL CEMENT PLASTER & CONCRETE BLOCK WALLS
(P-2)	EXTERIOR PAINT	CUSTOM COLOR BY CREATIVE PAINTS	599 BROADWAY EXT. FASCIA + COLUMNS	COMMERCIAL AWNING FASCIA & T.S. POSTS; RESIDENTIAL SIDING, TRIM, FASCIA, VENTS
(P-3)	EXTERIOR PAINT	CUSTOM COLOR BY CREATIVE PAINTS	599 BROADWAY EXT. WINDOW + DOOR	COMMERCIAL & RESIDENTIAL WOOD DOORS & WINDOWS
(P-4)	EXTERIOR PAINT	BENJAMIN MOORE	BM 294 GOLDEN BOUNTY	ORIGINAL WILLIAMS-SONOMA STOREFRONT DOOR
(P-5)	EXTERIOR PAINT*	BENJAMIN MOORE	2139-20 SHARKSKIN FLAT SHEEN	SIDE ENTRY STEPS @ EXISTING RESIDENCE
(P-6)	CLEAR ANODIZED	-	CLEAR ALUMINUM	EXISTING RETAIL STOREFRONT WINDOW FRAMES
ROOF				
(R-1)	COMPOSITE SHINGLE*	GAF TIMBERLINE HD	SLATE	SLOPED ROOFING @ EXISTING RESIDENCE
(R-2)	FLAT PANEL SKYLIGHT	VELUX FS "NO LEAK" FIXED	ALUMINUM	EXISTING RESIDENCE
AWNINGS				
(A-1)	AWNING BODY**	FIRE TREATED SUNBRELLA	IVORY	COMMERCIAL STOREFRONT
(A-2)	AWNING STRIPE**	FIRE TREATED SUNBRELLA	BLACK	COMMERCIAL STOREFRONT
(A-3)	AWNING FASCIA (WOOD)	CUSTOM COLOR BY CREATIVE PAINTS	599 BROADWAY EXT. FASCIA + COLUMNS	COMMERCIAL STOREFRONT
LIGHTING***				
(E-2)	WALL-MOUNT***	TEKA ILLUMINATION CWM	ANTIQUÉ BRONZE	RESIDENCE DECK LIGHTING
(E-5)	RECESSED***	ACLUX 243L-433V	ANTIQUÉ BRONZE	SOFFIT ABOVE EAST & WEST ENTRANCES
(L-4)	ACCENT***	VISION 3 LIGHTING FL1 - C4	ANTIQUÉ BRONZE	BROADWAY AWNING-MOUNTED

* COLORS & MATERIALS PREVIOUSLY APPROVED AT NOVEMBER 19, 2013 DESIGN REVIEW COMMISSION MEETING.
 ** COLORS & MATERIALS PREVIOUSLY APPROVED AT JANUARY 21, 2014 DESIGN REVIEW COMMISSION MEETING.
 *** FIXTURES TYPES & COLORS PREVIOUSLY APPROVED AT NOVEMBER 19, 2013 DESIGN REVIEW COMMISSION MEETING. SEE PLANS & ELEVATIONS FOR REVISED LOCATIONS.
 **** BUILDING LIGHTING ONLY INCLUDED IN THIS SUBMITTAL PACKAGE. ALL SITE LIGHTING TO BE PART OF SEPARATE LANDSCAPE SUBMITTAL PACKAGE.



599 Broadway Side (North & South Entry) Elevations

Scale: 3/8 = 1'-0" Sonoma, California April 28, 2014

WILLIAMS-SONOMA
 WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER
 599 BROADWAY
 SONOMA, CA 95476

Crome Architecture
 795 Fourth Street, San Rafael, California 94901 • 415.953.0700 • 415.953.0875

SUBMITTAL
 DESIGN REVIEW 10/22/2013
 DESIGN REVIEW RESUBMITTAL 04/28/2014

UPDATED BUILDING ELEVATION

SHEET NUMBER
A2.4

SYMBOL LEGEND

(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
 JOB NO: WS-13088
 SCALE: AS NOTED
 CHECKED:

WILLIAMS-SONOMA
 WILLIAMS-SONOMA
 STORE &
 CULINARY CENTER
 599 BROADWAY
 SONOMA, CA 95476

985 Fourth Street, San Rafael, California 94901 | 415.453.0700 | 415.553.8875

Crome Architecture

SUBMITTAL
 DESIGN REVIEW 10/22/2013
 DESIGN REVIEW RESUBMITTAL 04/28/2014

FINISH DETAILS

SHEET NUMBER

A4.1



2 Storefront Window & Awning Detail
 No Scale



1 Entry Door Detail
 No Scale

SYMBOL LEGEND

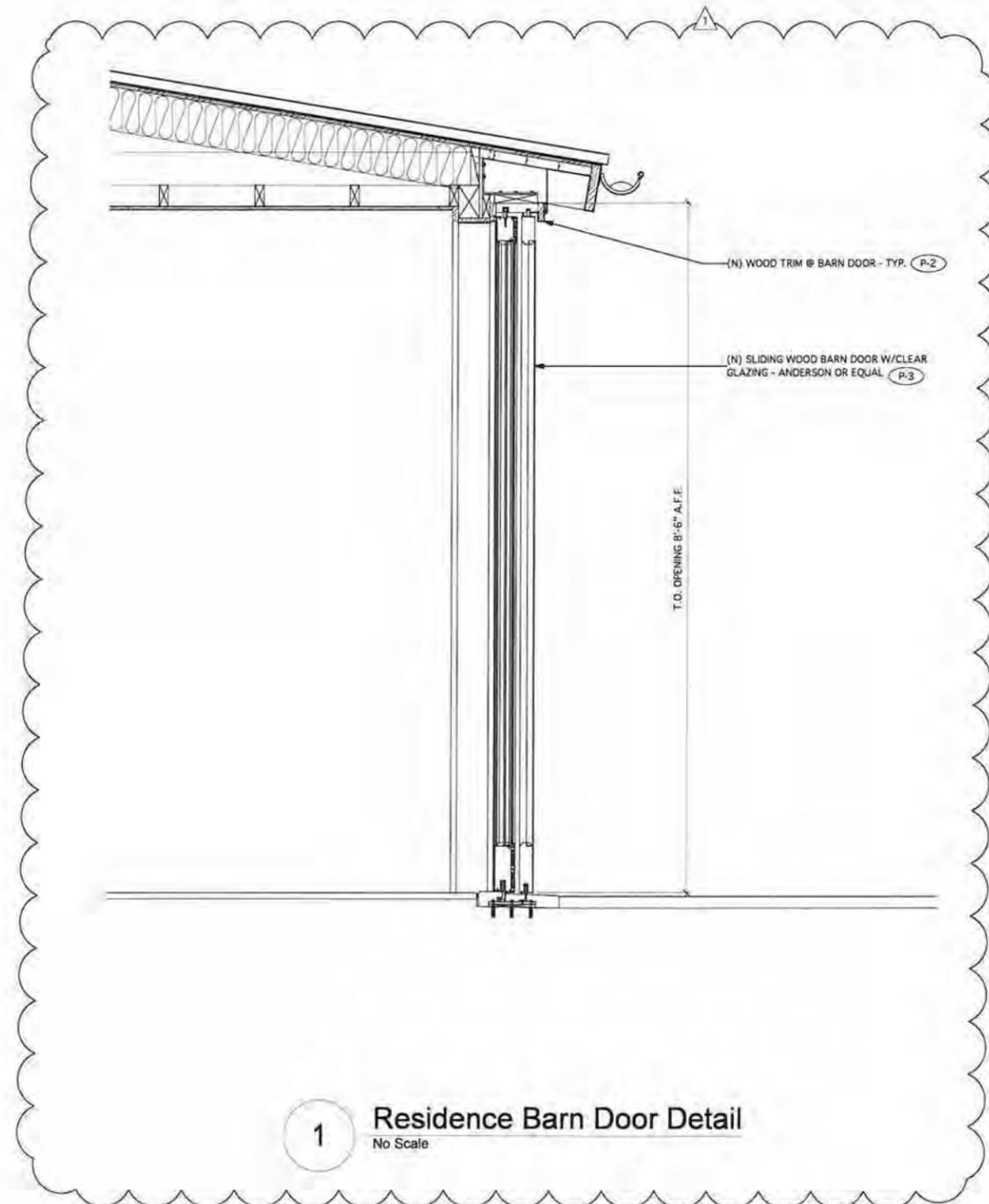
(P-1) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A2.4

DATE: 04/08/2014
JOB NO: WS-13088
SCALE: AS NOTED
CHECKED:

WILLIAMS-SONOMA

WILLIAMS-SONOMA
STORE &
CULINARY CENTER

599 BROADWAY
SONOMA, CA 95476



1 Residence Barn Door Detail
No Scale

905 Fourth Street San Rafael California 94901 x 415.454.0700 f 415.453.8875

Crome Architecture

SUBMITTAL
DESIGN REVIEW 10/22/2013
DESIGN REVIEW 04/28/2014
RESUBMITTAL

FINISH DETAILS

SHEET NUMBER

A4.2



WILLAMS-SONOMA 599 BROADWAY
B.M. #294 – GOLDEN BOUNTY

WILLAMS-SONOMA 599 BROADWAY
EXT. WINDOW + DOOR

WILLAMS-SONOMA 599 BROADWAY
EXT. FASCIA + COLUMNS

WILLAMS-SONOMA 599 BROADWAY
EXT. WALL