



City of Sonoma Planning Commission **AGENDA**

Regular Meeting of August 14, 2014 -- 6:30 PM
Community Meeting Room, 177 First Street West
Sonoma, CA 95476

Meeting Length: No new items will be heard by the Planning Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Chair, Mathew Tippell

Commissioners: Gary Edwards
Robert Felder
Mark Heneveld
Matt Howarth
Chip Roberson
Bill Willers
James Cribb (Alternate)

*Be Courteous - **TURN OFF** your cell phones and pagers while the meeting is in session.*

PLEDGE OF ALLEGIANCE

COMMENTS FROM THE PUBLIC: Presentations by audience members on items not appearing on the agenda.

MINUTES: Minutes from the meeting of July 10, 2014.

CORRESPONDENCE

ITEM #1 – PUBLIC HEARING

REQUEST:

Continued review of a Use Permit allowing conversion of a mixed-use building into two vacation rentals as an adaptive reuse of an historic structure.

Applicant/Property Owner:

Leonard Tillem/Leonard Tillem & Laura Olsen

Staff: Rob Gjestland

Project Location:

162-166 West Spain Street

General Plan Designation:

Medium Density Residential (MR)

Zoning:

Planning Area: Downtown District

Base:

Medium Density Residential (R-M)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Commission discretion.

CEQA Status:

Categorically Exempt

ITEM #2 – PUBLIC HEARING

REQUEST:

Consideration of an Exception to the side yard setback requirements associated with additions to a single-family home.

Applicant/Property Owner:

Richard Konecky

Staff: Rob Gjestland

Project Location:

753 Third Street East

General Plan Designation:

Low Density Residential (LR)

Zoning:

Planning Area: Central-East Area

Base: Low Density Residential (R-L)

Overlay: None

RECOMMENDED ACTION:

Approve with conditions.

CEQA Status:

Categorically Exempt

ITEM #3 – STUDY SESSION

REQUEST:

Study session on an application to redevelop a group of parcels with a 59-unit hotel/spa and a restaurant.

Applicant/Property Owner:

Kenwood Investors, LLC/Napa Street Associates, LLC; LLL Properties; Lynch Real Estate Limited PTP.

Staff: David Goodison

Project Location:

117, 123, 135 and 153 West Napa Street and 541 First Street West

General Plan Designation:

Commercial (C)

Zoning:

Planning Area: Downtown District

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Provide direction to applicant.

ITEM #4 – PUBLIC HEARING

REQUEST:

Consideration of a Use Permit amendment to allow the conversion of retail space and offices to fitness areas and meeting rooms associated with The Lodge at Sonoma.

Applicant/Property Owner:

The Lodge at Sonoma/Diamondrock Sonoma Owner LLC

Staff: David Goodison

Project Location:

1325-1395 Broadway

General Plan Designation:

Gateway Commercial (GC)

Zoning:

Planning Area: Gateway District

Base: Commercial-Gateway (C-G)

Overlay: None

RECOMMENDED ACTION:

Continued to the meeting of September 11, 2014.

CEQA Status:

Categorically Exempt

ITEM #5 – PUBLIC HEARING

REQUEST:

Consideration of a Use Permit to operate a special event venue within a portion of an existing commercial building.

Applicant/Property Owner:

Sonoma Cheese Factory, LLC

Staff: David Goodison

Project Location:

2 West Spain Street

General Plan Designation:

Commercial (C)

Zoning:

Planning Area: Downtown District

Base: Commercial (C)

Overlay: Historic (/H)

RECOMMENDED ACTION:

Application withdrawn.

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT: Adjourn to Planning Commission/City Council study session on the Housing Element, 5:00 p.m. Wednesday, September 3, 2014.

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on August 8, 2014.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Planning Commission's decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda. A fee is charged for appeals.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Planning Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48-hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

MEMO

To: Planning Commission

From: Senior Planner Gjestland

Re: Continued review of the application of Leonard Tillem for a Use Permit allowing conversion of the mixed-use building at 162-166 West Spain Street into two vacation rental units as an adaptive reuse of an historic structure

Background

At the June 12, 2014 meeting, the Planning Commission considered the application of Leonard Tillem for a Use Permit to conversion a mixed-use building into two vacation rental units as an adaptive reuse of an historic structure. In review of the item, the majority of the commission indicated that more information was needed to evaluate and make an informed decision on the proposal, particularly in regard to potential adverse impacts on the historic structure and the findings for approving vacation rentals as an adaptive reuse. In addition, comments from the public raised concern about the adequacy of the cultural resource evaluation, the qualifications of the historical consultant, and the compatibility of the use with residential units in the vicinity. As a result, the Planning Commission continued the item, requesting that the applicant provide more details and analysis to address the commission's concerns. The minutes from the Planning Commission meeting of June 12, 2014 are attached for consideration.

Additional Submittals

In response to the direction from the Planning Commission, the applicant has submitted the following information:

Floor Plans & Building Elevations: Detailed floor plan and building elevation drawings (proposed and existing) have been submitted to clarify the scope of work. As illustrated on these plans, only three minor exterior modifications are proposed (all at the back of the structure), as follows:

1. In-kind replacement/reconstruction of the rear wooden deck and stairwell on the north elevation due to deterioration.
2. Removal of wooden screening lattice currently located beneath the deck on the north elevation.
3. Provision of a concrete wheelchair ramp at northeast corner of the building for compliance with ADA requirements.

Items Provided by Historical Consultant: George McKale, the historical consultant involved in the project, has provided a letter and resume regarding his qualifications in response to concerns raised by members of the public. In addition, a *Finding of Effects* analysis is forthcoming (to be

distributed on Monday, August 11th) that evaluates proposed modifications for consistency with the Secretary of the Interior's Standards. In speaking with staff on this matter, the consultant confirmed that the relatively minor exterior modifications proposed under the application will not adversely impact the historic structure.

Comparative Financial Analysis: A financial analysis has been provided to compare continued use of the structure as apartments (two 450-square foot ground floor units) and upstairs offices against two vacation rentals as proposed. The analysis indicates that with the outstanding \$250,000 mortgage debt, continued use of the structure for offices and apartments with only minimal improvement (estimated at \$20,000) would operate at an annual deficit, at least initially and prior to repayment of the mortgage. Calculations for the proposed use indicate that with a significant up-front renovation/remodel of the building (estimated at \$245,000) two vacation rentals would generate minimal profit, at least initially and prior to repayment of the mortgage and construction loan. Obviously these figures have to make some assumptions about rental rates and maintenance expenses/reserves, and the bottom line for both scenarios would change over time as reserves are built up and loans paid off. However, in general the analysis shows that the proposed vacation rental use would substantially improve the building's condition up-front and provide better financial means for continued maintenance of the resource. This circumstance supports the finding for approval of a vacation rental as an adaptive reuse.

Project Issues

Enhancement of Exterior Qualities: While the project would substantially upgrade the structure, improvements to enhance the historic qualities of the building's exterior are not proposed, such as replacing existing vinyl-clad windows with wood windows or restoring the bell-shaped hood with finial over the front door that was removed since the 1979 League Survey. The Planning Commission may wish to consider requiring such enhancements given the necessary findings for approval.

Compatibility: At the previous hearing, the manager of the nearby Cypress apartment complex expressed concern that noise from proposed vacation rentals would adversely impact residents. Staff's initial report had indicated that the location seemed suitable for the proposed use given the mixed-use nature of the neighborhood - a vibrant and busy block in proximity to the Plaza and downtown commercial center. As previously noted, the applicant resides locally with the ability to respond to any issues that could come up and appropriate rental contract limitations and guest screening should adequately address noise issues. That being said, staff suggests and has included in the draft conditions of approval requirements that outdoor activity on the property cease by 10p.m. nightly and that a 24-hour contact number for the vacation rental owner/manager be provided to residents and owners of properties within 100 feet of the site.

Recommendation

Staff recommends commission discretion.

Attachments

1. *Draft Findings of Project Approval*
2. *Draft Conditions of Approval*
3. *Vicinity Map*
4. *Minutes from the 6/12/14 Planning Commission meeting*
5. *Income & Expenses Analysis*
6. *Original Project Narrative & Construction Bids/Estimates*
7. *Letter of Qualifications and Resume for George McKale*
8. *Floor Plans & Building Elevations (Existing and Proposed)*

cc: Leonard Tillem (via email)
846 Broadway
Sonoma, CA 95476

George McKale (via email)
McKale Consulting
717 Lasuen Street
Sonoma, CA 95476

Patricia Cullinan (via email)
475 Denmark Street
Sonoma, CA 95476

Philip Rosasco (via email)
Cypress Apartments Manager
144 West Spain Street
Sonoma, CA 95476

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Tillem Vacation Rentals Use Permit
162-166 West Spain Street
June 12, 2014

Based on substantial evidence in the record, including but not limited to the staff report, and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

Use Permit Approval

1. That the proposed use is consistent with the General Plan and any Specific Plan;
2. That the proposed use is allowed with a conditional Use Permit within the applicable zoning district and complies with all applicable standards and regulations of the Development Code (except for approved Variances and Exceptions).
3. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity; and
4. The proposed use will not impair the architectural integrity and character of the zoning district in which it is to be located.

Adaptive Reuse Approval

1. Enhance, perpetuate, preserve, protect, and restore those historic districts, neighborhoods, sites, structures, and zoning districts which contribute to the aesthetic and cultural benefit of the City;
2. Stabilize and improve the economic value of historic districts, neighborhoods, sites, structures, and zoning districts;
3. Preserve diverse architectural design reflecting phases of the City's history, and encourage design styles and construction methods and materials that are compatible with the surrounding neighborhood(s);
4. Promote and encourage continued private ownership and utilization of structures now so owned and used.
5. Restore and rehabilitate a historic structure and/or property, which is listed or eligible for listing on the State Register of Historic Places, that has fallen into such a level of disrepair that the economic benefits of adaptive reuse are necessary to stem further deterioration, correct deficient conditions, or avoid demolition as implemented in the conditions of project approval.
6. Substantially comply with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties as well as the applicable requirements and guidelines of this Chapter.

City of Sonoma Planning Commission
CONDITIONS OF APPROVAL
Tillem Vacation Rentals Use Permit
162-166 West Spain Street
June 12, 2014

1. The two vacation rental units shall be constructed and operated in conformance with the project narrative, and the approved site and floor plans except as modified by these conditions and the following:
 - a. This permit does not constitute an approval for a Special Event Venue as defined under Section 19.92.020 of the Development Code
 - b. Outside activities/noise on the property shall cease by 10p.m. nightly.
 - c. The applicant shall provide a 24-hour contact number for the vacation rental owner/manager to residents and owners of other properties within 100 feet of the project site

Enforcement Responsibility: Planning, Building and Public Works
Timing: Ongoing

2. Consistent with the purpose of Section 19.42.030 of the City of Sonoma Development Code (Adaptive Reuse), the applicant/owner shall implement regular maintenance and enhancement of the historic building in a manner that conforms to the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Enforcement Responsibility: Planning Department
Timing: Ongoing

3. A minimum of four on-site parking spaces shall be provided and maintained for the two vacation rental units on the property.

Enforcement Responsibility: Planning, Building, and Public Works
Timing: Ongoing

4. The applicant/property owner shall obtain and maintain a business license from the City for the vacation rental use, and shall register with the City to pay associated Transient Occupancy Taxes (TOT) for the two vacation rental units.

Enforcement Responsibility: Planning Department; Finance Department
Timing: Prior to operating the vacation rentals and ongoing

5. Fire and life safety requirements administered by the Fire Department and the Building Division shall be implemented. Minimum requirements shall include approved smoke detectors in each lodging room, installation of an approved fire extinguisher in the structure, and the inclusion of an evacuation plan posted in each lodging room.

Enforcement Responsibility: Building Department; Fire Department
Timing: Prior to operating the vacation rentals and ongoing

6. The vacation rental units shall comply with the annual fire and life safety certification procedures of the Fire Department.

Enforcement Responsibility: Fire Department
Timing: Ongoing

7. Any signage proposed in association with the vacation rentals shall be subject to review and approval by Planning Department staff or the Design Review & Historic Preservation Commission as applicable.

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to installation of any signage for the vacation rentals

8. All Building Department requirements shall be met, including applicable Building Code requirements related to the change in use of the structure, and compliance with ADA requirements (i.e. disabled access, disable parking, accessible path of travel, bathrooms, etc.). A building permit shall be required.

Enforcement Responsibility: Building Department
Timing: Prior to construction; Prior to operating the vacation rentals

9. All Fire Department requirements shall be met including the provision of fire sprinklers within the structure if deemed necessary.

Enforcement Responsibility: Fire Department; Building Department
Timing: Prior to issuance of any building permit; Prior to operating the vacation rentals

10. The Applicant shall pay any required increased water fees applicable to the changes in use in accordance with the latest adopted rate schedule.

Enforcement Responsibility: Public Works Department; Water Operations Supervisor; City Engineer
Timing: Prior to finaling any building permit; Prior to operating the vacation rentals

11. The applicant shall comply with the following requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA) as applicable:

- a. In accordance with Section 5.05, "Alteration of Use", of the Sonoma Valley County Sanitation District Ordinances, the Applicant shall pay any applicable increased sewer use fees for converting use of the structure to two vacation rental units. Any required increased sewer use fees shall be paid the Engineering Division of PRMD prior to the commencement of the use(s).
- b. A sewer clearance shall be provided to the City of Sonoma Building Department verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency: City of Sonoma Building Department
Timing: Prior to issuance of a building permit; Prior to operating the vacation rentals

12. In addition to those already identified, the following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees.

- a. Sonoma Valley Unified School District [For school impact fees]

Enforcement Responsibility: Building Department
Timing: Prior to issuance of a building permit

Vicinity Map



Project Summary

<i>Project Name:</i>	Tillem-Olsen Vacation Rentals
<i>Property Address:</i>	162-166 West Spain Street
<i>Applicant:</i>	Leonard Tillem
<i>Property Owner:</i>	Leonard Tillem & Laura Olsen
<i>General Plan Land Use:</i>	Medium Density Residential
<i>Zoning - Base:</i>	Medium Density Residential
<i>Zoning - Overlay:</i>	Historic
<i>Summary:</i>	

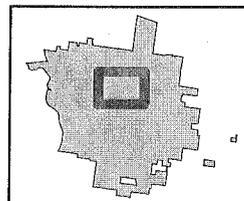
Consideration of a Use Permit to convert a mixed-use building into two vacation rental units as an adaptive reuse of an historic structure.

0 100 200 400 Feet

1 inch = 200 feet

Zoning Designations

- R-HS Hillside Residential (1 D.U./10 acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Density Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture



**CITY OF SONOMA
PLANNING COMMISSION
REGULAR MEETING
June 12, 2014**

Community Meeting Room, 177 First Street West, Sonoma, CA

MINUTES

Chair Tippell called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Willers , Comms. Felder, Howarth, Edwards, Heneveld, Roberson,

Absent: Chair Tippell, Comm. Cribb (Alternate)

Others

Present: Planning Director Goodison, Senior Planner Gjestland, Administrative Assistant Morris

Chair Willers stated that no new items would be heard after 10:30 p.m. unless the Planning Commission so decides. Any decisions made by the Planning Commission can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers. Comm. Edwards led the Pledge of Allegiance.

COMMENTS FROM THE PUBLIC: No Public Comments

APPROVAL OF MINUTES: Comm. Edwards made a motion to approve the minutes of May 8, 2014, subject to corrections. Comm. Roberson seconded. The motion was unanimously adopted.

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late mail received for Item # 2 (a petition of support) and Item #3.

Item #1 – Public Hearing – Consideration of a Temporary Use Permit to hold the annual zucchini car race outdoors on the grounds of the Sebastiani Winery on Friday, August 1, 2014 at 389 Fourth Street East.

Applicant/Property Owner: Sonoma Valley Certified Farmers Market/Foley Family Wines, Inc.

Senior Planner Gjestland presented staff's report.

Comm. Edwards asked if there had been any neighbor concerns with other special events held at the winery recently. Staff noted that over the past two years only one event had created some issues (the Sonoma Valley Historic Race Car Festival held in May 2013). However that was due to unusual circumstances associated with the last minute administrative review and approval of the event.

Comm. Howarth confirmed with staff that the proposal is the same as last year.

Chair Willers opened the item to public comment.

Gary Peter, President Sonoma Valley Certified Farmers Market, noted that there will be no microphones or music associated with the event and there is a minimal impact on neighbors, since it is the same event as last year.

Chair Willers closed the item to public comment.

Comm. Edwards made a motion to approve the Temporary Use Permit for the annual zucchini car race outdoors on the grounds of the Sebastiani Winery. Comm. Roberson seconded. The motion was unanimously adopted.

Item #2 – Public Hearing- Consideration of an Exception from the fence height standards to construct a section of 10-foot tall replacement fencing along the western boundary of a residential property at 222 West Spain Street.

Applicant/Property Owner: Michael Larbre/Michael & Rita Larbre

Senior Planner Gjestland presented staff's report.

Comm. Howarth clarified with staff, apart from the section where an exception is proposed, the replacement fences around the perimeter of the property will conform with the fence height standards.

Chair Willers opened the item to public comment.

Michael Larbre, homeowner, did neighborhood outreach that resulted in no opposition. He noted that replacing the fence at the same 10-foot height will address his privacy concerns created by the proximity of the residence to the adjoining church parking lot.

Chair Willers closed the item to public comment.

Comm. Roberson supported the fence height and design given uses on the adjoining church property and is pleased with the neighborhood support.

All the Commissioners agreed that the new fence is an improvement.

Comm. Felder made a motion to approve the application subject to the conditions of approval. Comm. Roberson seconded. The motion was unanimously adopted.

Item #3 – Public Hearing – Consideration of a Use Permit allowing conversion of a mixed-use building into two vacation rentals as an adaptive reuse of an historic structure at 162-166 West Spain Street.

Applicant/Property Owner: Leonard Tillem/Leonard Tillem and Laura Olsen

Senior Planner Gjestland presented staff's report.

Comm. Henevald confirmed with staff that there will be no parking changes.

Comm. Howarth questioned the number of vacation rentals in the area for comparison. Staff will report back with the exact number and recalled at least five in the vicinity.

Comm. Roberson confirmed that ADA accessibility requirements would be required, including making the ground floor unit handicap accessible through the provision of a wheelchair lift or ramp.

Chair Willers opened the item to public comment.

Leonard Tillem, applicant and co-owner of the property, introduced Laura Olsen the other co-owner. They have had difficulty leasing the upper floor office space and the two downstairs units are small and in terrible condition. He indicated that renting the upstairs and downstairs as long-term units would not cover the significant improvements and upgrades necessary for the building, including plumbing, electrical, and deck replacement. He sees the vacation rental as a solution. He has no intention to make any exterior modifications to the historic building, which suffers from deferred maintenance. The wheel chair ramp would be located at the back of the structure below the deck,

Comm. Edwards questioned whether there had been any maintenance to the building by the owners.

Mr. Tillem noted that the outside of the building looks good but the inside is in poor condition. In regards to noise concerns, he is willing to put limitations on the use and has not had any noise issues with his vacation rental on Broadway.

Comm. Howarth expressed concern about the loss of downtown apartment units. He noted that the rental market is currently tight and that rental units command high rents.

Michael Larbre, resident, supported the conversion to vacation rentals on the site.

Philip Rosasco, resident manager of the adjoining Cypress Apartments, is concerned with noise and considers vacation rentals in residential neighborhoods as a nuisance. He opposes the application.

Patricia Cullinan, resident, questioned whether the cultural resources analysis prepared by McKale Consulting could be relied upon. She expressed her view that George McKale is not a qualified architectural historian and the report does not specify the character-defining features of the building. She also felt that plans should be developed at this point clearly showing what would happen the building exterior. She suggested that if the adaptive reuse is allowed then the conditions of approval should mandate that some of the income derived from the use be spent toward maintenance of the historic building.

Karla Noyes, resident, noted that significant tax benefits are available for the remodeling of buildings placed on historic Registers. She agreed with Patricia Cullinan that an assessment of character defining features is needed and that any exterior modifications should be evaluated by an architectural historian. She is concerned with the density of use and how it could impact the historic building. She wished more details were provided on the economics of the proposal and the rental market.

George McKale, City Historian/McKale Consulting, clarified his role in the process. He has the required training and expertise to serve as an architectural historian and has done a significant amount of work in this field with a variety of lead agencies.

Denise Ewings, rental property owner, felt that this vacation rental request is reasonable. She pointed out that issues related to misbehaving guests or noise can be avoided through the appropriate screening of applicants by the owner.

Chair Willers closed the item to public comment.

Comm. Heneveld is concerned that potential exterior modifications could harm the historic significance of the building.

Planning Director Goodison noted that, except for providing an accessible entrance at the back of the building, no exterior modifications were proposed. He emphasized that a condition of approval was included that adequately addresses potential exterior modifications, including ADA upgrades.

Comm. Edwards felt that the application submittal was not adequate. He shared some of the concerns expressed by the public and was worried about setting precedent with the application. He had doubts about the proposal and was not prepared to make a decision.

Comms. Felder indicated that he cannot support the request due to the loss of two apartments from the housing stock and because not enough information has been presented about how the proposal could affect character defining features of the historic building..

Comm. Howarth concurred with Comms. Edwards and Felder, noting that more complete plans are typically provided for consideration.

Comm. Roberson felt that the proposal can be done in a manner that would not affect the character defining features of the building, but that a more complete analysis is necessary in this regard. He suggested continuing the item to give the applicant an opportunity to provide additional information.

Chair Willers concurred that more information is needed to evaluate the application, including an assessment of the character defying features of the building and more details addressing the finding specific to approval of a vacation rental as an adaptive reuse. He expressed concern about the loss of housing.

Comm. Roberson made a motion to continue to the next regular Planning Commission meeting on July 10th so the applicant can address the following:

1. Provide detailed floor plans and building elevations.
2. Identify character-defining features of the building and assess whether the project would adversely affect the structure's historic significance.
3. Provide additional information on economic issues relevant to required findings for an adaptive re-use.

Comm. Heneveld seconded. The motion to continue the item was adopted 5-1 (Comm. Edwards opposed).

Item #4 – Public Hearing – Study session on a proposal to construct a 7-unit Planned Development on a 0.86-acre site at 800 West Spain Street.

Applicant/Property Owner: Caymus Capital

Planning Director Goodison presented staff's report.

Chair Willers opened the item to public comment.

Doug Hilberman, project architect (Axia Architects), felt that the PUD design has met the standards given the property constraints. The developer recognized the neighbor's concerns with the two story units although he viewed the overall general neighborhood feedback as positive. By way of background, the City condemned the buildings on the property and the current owner sought a demolition permit and planned to provide more housing in the downtown area with a portion designated for affordable units.

Laverne Northrop, Sonoma Commons resident, is concerned with fire access and an increase in traffic congestion on West Spain Street.

Chair Willers closed the item to public comment.

Comm. Edwards would like to ensure that the front porches will be useable space for the residents.

Comm. Felder suggested eliminating a unit and locating Lot 1 further from the street.

Comm. Howarth agreed with Comm. Felder and is also concerned with parking and future development impacts in the area.

Comm. Roberson wanted more variation in the models of the homes with the drawings depicting cars and people. He valued the front yards of the community.

Chair Willers agreed with Comm. Felder that there might be one too many units. He would like to see more variation in unit design. He agrees that the unit on the lot adjoining West Spain Street is too close and does not address the street.

Issues Update: Planning Director Goodison reported the following:

1. A community workshop on the Housing Element update has been scheduled for June 25th at the Fire Station Training Room. from 6-8 p.m.
2. The AT&T cell tower on the Sebastiani/Foley property was approved by the City Council on June 2nd.
3. The Planning Commission decision regarding the issuance of a Type 67 ABC license for the Cottage Inn (310 First Street East) has been appealed and will be reviewed by the City Council on June 23rd
4. A development proposal for the former Sonoma Truck & Auto site (870 Broadway) is expected and may be the subject of Planning Commission study session in August.

Comments from the Audience: Patricia Cullinan, resident and contractor, expressed concern about the hedge height at the corner of Napa Street East and Fifth Street East. She asked the City Council to write a letter to support a tax credit that is being proposed by the Assembly.

Comm. Edwards made a motion to adjourn. Comm. Howarth seconded. The motion was unanimously adopted.

Adjournment: The meeting adjourned at 8:55 p.m. to the next regular meeting scheduled for 6:30 p.m. on Thursday, July 10, 2014.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Sonoma Planning Commission on the 10th day of July, 2014.

Approved:

Cristina Morris, Administrative Assistant

RECEIVED

AUG 05 2014

CITY OF SONOMA

**Len Tillem and Laura Olson
164 West Spain Street**

Spain Street Income and Expenses

Current Apartment and Office Rentals- \$0

Current Expenses

Property Taxes yearly- \$12,500.00

Property Insurance yearly- \$1500.00

Mortgage Monthly- 1800.00 , Mortgage Yearly \$21,600.00

Minimal Construction Improvements- \$ 20,000.00

Incidental Repairs and Normal Maintenance- \$10,000.00 yearly

Roofing and painting reserves, \$5000.00 a year x 5 years: \$25,000.00

Total Expenses-\$70,600.00

Projected Apartment and Office Rental Income (minimal repair)

\$750 monthly per unit, 2 units total= \$1500.00, yearly= \$18,000.00

4 offices monthly rent total: \$2450.00, Yearly= \$29,400.00

Yearly Total: \$47,000.00

Annual Loss: \$3,600.00

**Len Tillem and Laura Olson
164 West Spain Street**

Vacation Rental Income and Expenses

Construction Expenses

Remodel Construction: \$245,000.00

Projected Vacation Rental Income

2 units, \$350 per night per unit

4 nights per week x 4.3 weeks per month x 8 months

Yearly Total: \$96,320.00

Vacation Rental Expenses

City Tax- 10% yearly total: \$9,632.00

Yearly cleaning fee: \$12,000.00

Incidental Repairs and Normal Maintenance- \$15,000.00 yearly

Roofing and painting reserves, \$5000.00 a year x 5 years: \$25,000.00

Property Taxes yearly- \$13,000.00 (with reassessment)

Property and Liability Insurance Yearly- \$2000.00

Mortgage Monthly- \$1800.00 , Mortgage Yearly \$21,600.00

Construction Loan Repayments: \$1500.00, Yearly \$18,000.00

Total Expenses: \$96,232.00

Profit: \$88.00

Project Narrative The Weyl House

The former owners of this property, the Weyl House, received permission from the Sonoma Planning Commission to convert the upper floor of the property into professional offices in 1996. The property was then sold to Laura Olsen and her mother Phyllis Coates.

The first floor consists of two small 450 square foot apartments. The second floor consists of four small separate offices, a room containing a sink and two leaking hot water heaters and one dark small bathroom. Ms. Coates, the original Lois Lane in the first Superman television series, opened a wall between the two downstairs apartments and lived here. Ms. Coates now resides in the Motion Picture and Television Country Home and Hospital.

Currently only one of the four upstairs office is occupied. For the

past year the owners have, despite numerous attempts, been unable to secure additional tenants. The last remaining tenant has indicated that he will be moving soon.

Since 1996, the rental market for this type of office has undergone a drastic change. Single commercial tenants are now using their computers to work from home. It appears to me that the demand for office space in Sonoma has greatly diminished since the 2008 recession. For example, the two large office buildings erected next to the Post Office on Broadway and behind the Post Office on First Street West are over 80% vacant.

We wish to convert the downstairs unit into one two bedroom- two bathroom apartment and the upstairs four offices into another two bedroom- two bathroom apartment.

The only way to have this conversion make financial sense and enable us to preserve and maintain the building would be if we were

permitted to rent these two apartments as vacation rentals.

In order to do this, and comply with current building code requirements and correct many age related problems in this 140-year-old house, will require an expenditure of approximately \$250,000. Please see the attached general contractor electrician and plumbing estimates.

In addition to these construction costs, the other expenses for the building include Sonoma County property taxes of \$13,500 per year and building insurance of approximately \$1,600 per year. The rental income one could reasonably expect from these two apartments would be at most \$1,500 per month for each apartment.

The building currently has an outstanding mortgage of \$250,000. We would need to seek bank financing for the construction cost. A mortgage of \$500,000 with 5% interest would require approximately

\$25,000 per year just to cover the interest payments. This does not include principal payments.

Other costs not enumerated here, but anticipated, are a new roof, and in five years the building will need repainting. Of course with any building there are always additional, unanticipated costs.

This building is less than half a block from the commercial buildings in the plaza. It is an ideal and highly desirable location for a vacation rental. Guests could enjoy the plaza shops, restaurants parks and of course wine tasting shops. They could then walk to their vacation rental.

The use of this historic building for vacation rentals would be in keeping with the historic center of Sonoma. Tourism in our town is growing, these apartments would permit couples and families to enjoy Sonoma at a cost which is far less than the fees charged by local hotels and motels, and would generate the TOT and TID fees to the city.

Built in the 1870's, it is one of the earliest buildings in Sonoma still in its original configuration. In its survey, the Sonoma League for Historic Preservation identified this building, "as one of the larger buildings close to the Old Sonoma Hotel (known as Weyl Hall). It is of great support to the surrounding buildings and is part of a cluster that maintains balance and historical background of the plaza. It is one of the major buildings on the 1st Street West and Spain Street corner the plaza."

Permitting us to use this property as a vacation rental will not change the appearance of the building, and the rental income will enable us to retain the intrinsic historic character of this building since it is not economically feasible for us to use this building as a residential rental or for office space.



WARNE CONSTRUCTION, INC.
DESIGN/BUILD CONTRACTOR

390 CAHILL LANE • SANTA ROSA, CA 95401 • OFFICE/FAX (707) 544-0654 • LICENSE #436232

May 15, 2014

Len Tillem
3660 Wood Valley Rd.
Sonoma, CA 95476

Dear Len,

I am pleased to submit a bid in the sum of \$150,967 to convert your 164 W. Spain residence in Sonoma into two floors of vacation rentals.

This work excludes any permit fees, architectural or engineering work, or landscaping. Several clarifications are as follows:

- 1- Rear deck is figured as a complete demo and rebuild due to it's rotted condition
- 2- All cabinets are figured as cherry w/ a clear finish w/ shaker doors (similar to Susan Tillem's)
- 3- All countertops figured as granite w/ a 4" backsplash
- 4- Premanufactured hardwood flooring figured in all areas except baths (tile floors), with a \$2.50 SqFt material cost
- 5- Shower door is figured as frameless doors
- 6- Tile showers in all baths
- 7- HVAC is for a new furnace to heat each unit, as well as AC for each unit
- 8- Fire Sprinklers figured at \$3 SqFt

If there are any questions, please call my cell (707-480-5380). I look forward to working with you on this project.

Sincerely,

Stan Warne

TILLEM- W. SPAIN
SONOMA

14-May-14

<u>WORK ITEM DESCRIPTION</u>	<u>ORIGINAL BUDGET</u>
General Conditions	3,000
Rough Carpentry	11,250
Rough Lumber	2,000
Rear Deck	18,500
Finish Carpentry	8,400
Finish Lumber	1,200
Doors	1,600
Sheetrock	6,500
Painting	10,500
Countertops	13,230
Cabinets	26,011
Tile	18,800
Hardwood Flooring	10,285
Shower Door/Toilet Accessories	10,000
HVAC	22,883
Plumbing	By Owner
Fire Sprinklers	6,885
Electrical	By Owner
Final Cleanup	-
<u>SUBTOTAL</u>	<u>131,276</u>
<u>O/H & Profit</u>	<u>19,691</u>
<u>TOTAL</u>	<u>150,967</u>

RS Reed Inc.
Reed Plumbing and Construction
License# 844335

Po Box 288
Sonoma, CA 95476
Phone (707) 935-6318

Date: May 12, 2014

Len Tillem
846 Broadway
Sonoma, CA 95476

Project: 162-164 West Spain Street, Sonoma

Plumbing Inspection

Inspected Property on April 22, 2014:

Inspected all visible plumbing. Waste lines are old cast iron with evidence of leaking.
Water lines are galvanized with copper, also showing evidence of leaking.
Water heating system not energy efficient with 3 old water heaters. There is no insulation on any hot water lines.
All plumbing fixtures in downstairs unit do not meet any of the ADA requirements.
All of the toilets, faucets and showers do not meet Cal Green codes.

Recommendations:

Remove water heaters and replace with high efficiency tankless water heaters.
Remove all galvanized water lines and replace with copper lines. Insulate all hot water lines.
Remove all cast iron and galvanized venting waste system and replace with ABS.
Remove old plumbing in all bathrooms, kitchen and laundry.
Remove all old toilets, showers, sinks and faucets in building.

Plumbing Proposal

Scope of work to be performed:

Installation of new ABS waste lines, replacing old dilapidated cast Iron pipe to bring to code.
Installation of new copper water lines, replacing old galvanized water lines to bring to code.
Insulate all hot water lines to bring to code.
Install 2 Noritz brand, high efficiency tankless water systems, to replace old water heaters.
Install new plumbing and plumbing fixtures for 2 kitchens, 4 bathrooms and 2 laundry rooms.
Downstairs bathroom to be ADA compliant, and brought up to code.
Install Cal Green certified plumbing fixtures in all bathrooms and kitchens.

All Permit fees to be paid for by Owner.

All work to be done in accordance with all applicable labor, building and other laws and codes and in accordance with the building plans.

All extras to be agreed upon with owner prior to work commencement.

**Bid Proposal expires 30 Days from Contract Date.*

Warranty Comments: Reed Plumbing will guarantee the workmanship on this project for 1(one) year from completion date.

RS Reed Inc.
Reed Plumbing and Construction
License# 844335

Po Box 288
Sonoma, CA 95476
Phone (707)-935-6318

Payment Schedule:

Estimated cost of plumbing material: \$6,000.00
Estimated cost of Tankless water heaters: \$5000.00
Estimated labor for project: \$17,000.00
Estimated Finish Plumbing Fixtures and valves: \$26,000.00

Project total: \$54,000.00

Payments to be applied as follows:

Installation of Rough Plumbing: 40% or \$21,600.00
Installation of Top Out Plumbing: 40% or \$21,600.00
Installation of Finish Plumbing and fixtures: 20% or \$11,200.00

Date: Mr. Tillem: _____

Date: Reed Plumbing: _____

MAZUR ELECTRIC
License C-10 #687357
142 Temelec Circle
Sonoma, CA. 95476
(415)250-1301

May 14, 2014

PROPOSAL SUBMITTED TO:

Len Tillem
846 Broadway
Sonoma, CA. 95476

JOB NAME:

162-164 W. Spain Street
Sonoma, CA. 95476

We hereby submit specifications and estimates for job location as specified above.
All National Electrical Code Violations shall be corrected as follows:

- (1) All Appliance Circuit Receptacles to be GFCI Protected per NEC Codes.
- (2) Two Small Appliance Circuits are required per NEC Code.
- (3) Dedicated Dishwasher/Disposal Circuits are required per NEC Code.
- (4) All Undergrounded receptacles to be re-wired for three prong grounded receptacles per NEC code.
- (5) All Required Circuits to be AFCI Breaker Protected per NEC Code.
- (6) Install Hardwired Smoke and Carbon Monoxide detectors in all units per NEC Code.
- (7) Replace All Receptacles with Tamper Proof Receptacles Per NEC Code.
- (8) Install Waterproof GFCI Receptacles at Front and Rear of Building Per NEC Code.
- (9) Install Three Way Switching on Exterior Stairs for Light Control per NEC Code.
- (10) Install New Receptacles for Correct Spacing on Walls Per NEC Code.
- (11) Install necessary light fixtures throughout.
- (12) Main Service is improperly grounded, install new grounded system
- (13) Install New service disconnects and eliminate antiquated breakers.

- (14) Relocate A/C Unit disconnect for accessibility per NEC Code.

PROPOSAL

We hereby propose to furnish labor and materials complete in accordance with the above specifications for the sum of Thirty-Nine Thousand, four hundred and thirty nine dollars (\$39,439.00) as outlined below. All permit fees to be paid by owner. Lighting fixtures to be supplied by others. All extras to be agreed upon and signed off with owner prior to commencement of work.

Estimated Labor for Lower Unit	\$12,610
Estimated Labor for Lower Unit	\$12,971
Main Electrical Panel (3) 100 Amp Disconnects	\$ 4,000
Materials	<u>\$ 9,858</u>
Total Labor and Materials	\$39,439

PAYMENT SCHEDULE

Installation of rough in wiring:	40% at completion or \$15,775.60
Inspection of rough in wiring:	40% on inspection or \$15,775.60
Installation of fixtures and final inspection:	20% on final inspection or \$7,887.80

ALL MATERIAL IS GUARANTEED AND ALL WORK SHALL MEET OR EXCEED THE STANDARDS OF THE ELECTRICAL INDUSTRY.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED: Signature _____

DATE Signature _____

Dear City of Sonoma Planning Commission:

I have been asked by Sonoma Planning Director, David Goodison, to provide clarification regarding a comment made at the June, 2014 Planning Commission meeting regarding my qualifications as an architectural historian.

In February of 2014, I was requested by the City of Sonoma Planning Department and Design Review and Historical Resources Commission (DRHRC), to provide my qualifications to conduct a variety of cultural resources studies within the City of Sonoma. The request was made because I am not listed on the California Historical Resources Information System (CHRIS) Consultants List. This is by design, as I currently prefer to accept cultural resources work on a word of mouth basis. The CHRIS Consultants List serves two purposes for consultants: 1) as a marketing tool; and 2) acknowledgment of qualifications to conduct cultural resources studies. It should be noted, that the CHRIS makes clear that the Consultants List "is not a listing of all individuals who qualify as professionals in these disciplines under the Secretary of Interior's Standards...".

At the February, 2014 DRHRC meeting, the commissioners unanimously concluded that I met the Secretary of Interior's Professional Qualifications Standards in the following three categories:

History

The minimum professional qualifications in history are a graduate degree in history or closely related field; or a bachelor's degree in history or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, teaching, interpretation, or other demonstrable professional activity with an academic institution, historic organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of history.

Archeology

The minimum professional qualifications in archeology are a graduate degree in archeology, anthropology, or closely related field plus:

1. At least one year of full-time professional experience or equivalent specialized training in archeological research, administration or management;
2. At least four months of supervised field and analytic experience in general North American archeology, and
3. Demonstrated ability to carry research to completion.

In addition to these minimum qualifications, a professional in prehistoric archeology shall have at least one year of full-time professional experience at a supervisory level in the study of archeological resources of the prehistoric period. A professional in historic archeology shall have at least one year of full-time professional experience at a supervisory level in the study of archeological resources of the historic period.

Architectural History

The minimum professional qualifications in architectural history are a graduate degree in architectural history, art history, historic preservation, or closely related field, with coursework in American architectural history, or a bachelor's degree in architectural history, art history, historic preservation or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, or teaching in American architectural history or restoration architecture with an academic institution, historical organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of American architectural history.

I have attached a resume documenting my scholastic and professional experience. In short, I have a Master of Arts degree in Cultural Resources Management from Sonoma State University. My undergraduate and graduate course work included an emphasis in history, architectural history and human skeletal biology.

I have been conducting cultural resources studies in California for the past twenty years. In that time I have completed approximately 200 reports and further provided supervision and/or have acted as the principal investigator on an additional 200 projects. I have completed dozens of Cultural Resources sections for Initial Studies and EIRs/EISs. Ultimately, it is the responsibility of a lead agency to confirm the professional qualifications of any given consultant. Federal/State agencies acting as the lead agencies for projects I have conducted include, Federal Highway Administration (Caltrans), Federal Aviation Administration, Federal Communications Commission, Army Corps of Engineers, Department of General Services, California State Water Resources Control Board, California Department of Fish and Game, US Fish and Wildlife Service and dozens of local planning departments throughout California.

Thank you.

George McKale
georgemckale@comcast.net
707-337-0788

McKale Consulting
George McKale
717 Lasuen Street
Sonoma, CA 95476
707-337-0788
georgemckale@comcast.net

PROFESSIONAL PROFILE

Twenty years of experience conducting/directing prehistoric and historical cultural resources studies throughout California. Expertise includes project management, Native American consultation; architectural history; historical research, human skeletal analysis; and directing prehistoric and historical archaeological surveys, excavations, and monitoring projects at the local, state, and federal levels. Experienced in addressing the requirements of Caltrans, Army Corps of Engineers, California Environmental Quality Act, and Section 106 of the National Historic Preservation Act. Preparation of cultural resources sections for cultural/paleontological resource reports, Initial Studies, and Environmental Impact Reports.

EDUCATION

M.A., Cultural Resources Management, 1999, Sonoma State University, Rohnert Park, CA. Thesis: *Paleopathology and Demography of a South San Francisco Bay Area Prehistoric Mortuary Complex: CA-ALA-329.*

B.A., Anthropology, 1996, San Jose State University, San Jose, CA.

PROFESSIONAL EXPERIENCE

McKale Consulting, cultural resources consulting, Sonoma, CA, January 2009-Present. Principal, archaeologist and architectural historian, direct and conduct prehistoric and historical archaeological surveys, excavations, and archaeological and paleontological monitoring programs; research; prepare reports and graphics; human skeletal analysis; laboratory work.

Associate, LSA Associates, Inc., environmental planning consultants, Point Richmond, CA, April 2000-December 2008. Project manager, architectural historian, archaeologist, direct and conduct prehistoric and historical archaeological surveys, excavations, and archaeological and paleontological monitoring programs; research; prepare reports and graphics; human skeletal analysis; laboratory work.

Archaeologist, Anthropological Studies Center, Sonoma State University, Rohnert Park, CA, 1997-2000. Project coordinator, directed and conducted archaeological surveys, excavations, and monitoring programs; research; prepared reports and graphics; human skeletal analysis; laboratory work.

Archaeologist, Holman & Associates, San Francisco, CA, 1997-1998. Monitor and crew member for prehistoric and historic-period excavations.

Archaeologist, Lorna Pierce, consulting osteologist, San Jose, CA, 1994-1996. Crew member for historical excavations and laboratory analysis of human remains.

Archaeologist, Tom Origer & Associates, Rohnert Park, CA, 1994. Crew member for prehistoric excavations.

PROFESSIONAL CERTIFICATION

Registered Professional Archaeologist #11628
Trench Excavation Competent Person and OSHA Occasional Site Worker

PROFESSIONAL AFFILIATIONS

City of Sonoma Historian (Appointed by Sonoma City Council March 2008; Reappointed March 2010, 2012, 2014)
The Olompali People (Board Member; Secretary)
Marin States Park Association (Board Member)
Sonoma-Aswan Sister City Association (Chair of Aswan Committee)
Friends of Sonoma Cemeteries (Chair)
Sonoma Mountain Cemetery Committee
Society for California Archaeology
American Anthropological Association
Society for Historical Archaeology
California Historical Society
Sonoma Valley Historical Society
Sonoma Valley League for Historic Preservation

SELECTED PROFESSIONAL PAPERS AND PRESENTATIONS

Mission San Rafael Arcangel Lecture Series, May 23, 2010. “The Casteñada Adobe: The Oldest Standing Residence in the City of Sonoma”
Sonoma Valley League for Historic Preservation Archiving Series, May 18, 2010. “Archiving in the 21st Century: How, When, Where, What and Why”
Kiwanis Club Sonoma Branch, May 19, 2010. “The Archaeology of the Casteñada Adobe”
Benicia Historical Society, February 11, 2010. “The Patwin”
Sonoma City Council Meeting, Sonoma, December 3, 2008. “Coast Miwok Ancestral Lands”
Sonoma League for Historic Preservation, Maysonnave House, Sonoma, September 18, 2008. “Preservation in a Legislative Context”
Kiwanis Club Santa Rosa Branch, May 20, 2008. “Advances in Historical Research: Sonoma, California”
Rotary Club, Sonoma Branch, April 25, 2008. “Teaching History in our Schools: Perspectives from the City Historian”
Archaeology Research Facility, University of California Berkeley, April 9, 2003. “The Nels Nelson Shell Mounds: Case Studies in Cultural Resources Management”

SELECTED PROJECTS

Demler, Jones, Vallejo Adobe Community Archaeological Project, Sonoma, Sonoma County, California. 2010. Principal Investigator for archaeological investigation to commemorate the 175th anniversary of the founding of Sonoma.

State Route 89/Alder Drive/Prosser Dam Road Roundabout Project, Truckee, Nevada County, California. 2007-2008. Principal Investigator for archaeological excavations at CA-NEV-21, a prehistoric archaeological site, and CA-NEV-877-H, a late 19th century Chinese site.

Lower Lagoon Valley Policy Plan Implementation Project, Vacaville, Solano County, California. 2006-Present. Principal Investigator for cultural and paleontological studies for a 1300-acre residential/commercial development. Identified cultural resources include numerous prehistoric sites and CA-SOL-30/H, the Pena Adobe. The project includes preparation of CEQA and Section 106 level documents for the City of Vacaville and the United States Army Corps of Engineers. The project included survey, recording/updating resources on DPR 523 forms, boundary definition, presence/absence testing.

California Men's Colony Projects (Trunkline, Outfall, and Potable Water), San Luis Obispo County, California. 2004-2006. Principal Investigator for cultural and paleontological studies for construction of water and sewer pipelines and associated facilities. These studies included assessments for prehistoric, historic-period, and paleontological resources, and development of a construction monitoring program.

Southern California Edison Projects. 2004-2006. Principal Investigator for CEQA and Section 106 studies for Southern California Edison in Los Angeles, Riverside, Inyo, San Bernardino, Kern, and Orange counties. Dozens of prehistoric and historic-period sites were identified as a result of these studies. Tasks included survey, recording of resources on DPR 523 forms, boundary definition, evaluation, and monitoring.

SELECTED REPORTS

Bowler, Pamela and George McKale

2003a *Cultural and Paleontological Resources Study for the Hanson Aggregates Mid-Pacific, Inc. Marine Terminal Project.*

2003b *A Cultural and Paleontological Resources Study of the Collins School Campus.*

2003c *Cultural and Paleontological Resources Study for the Cupid Row Canal and North Channel Project.*

Groza, Randy, George McKale, and Ben Matzen

2007 *A Cultural and Paleontological Resources Study of the San Ramon Valley and California High Schools, San Ramon Valley, Contra Costa County, California.*

Huster, Susan and George McKale

2005 *Cultural Resources Study for the Elsie Gridley Preserve Mitigation Bank Project, Dozier Area, Solano County, California.*

Jones, Timothy E., George McKale, Kate Shantry, and Christian Gerike

2008 *A Cultural Resources Study for the Lower Lagoon Valley Policy Plan Implementation Project, Vacaville, Solano County, California.* LSA Associates, Inc., Point Richmond, California.

- Kelley, John, George McKale, Kelley Deetz, and Christian Gerike
2005 *National Register Evaluation for CA-CCO-440H: The Banke Ranch at Gale Ranch, Gale Ranch, San Ramon, Contra Costa County, California.*
- Kelley, John, George McKale, and Christian Gerike
2004 *Research Design for CA-CCO-440H (The Banke Ranch) and C-723 (The Oxsen Ranch), Gale Ranch Phase II, San Ramon, Contra Costa County, California.*
- Longfellow, Joy and George McKale
2005 *Archaeological Monitoring for the California Men's Colony Trunkline Project, California Men's Colony/Camp San Luis Obispo, San Luis Obispo County, California.*
- Matzen, Ben and George McKale
2010 *Thomas L. Berkley Square Paleontological Monitoring Plan.*
- McKale, George
2001 *A National Register Eligibility Evaluation of CA-SON-2314, a Prehistoric Archaeological Site in Northeastern Sonoma County, California. Pine Flat North Segment, Northern Section, Santa Rosa Geysers Recharge Project.*
- 1998a *A Cultural Resources Study for the Hilton Hotel and Training Center Project Half Moon Bay, San Mateo County, California.*
- 1998b *A Cultural Resources Study For the Jewell Ranch Project Sebastopol, Sonoma County, California.*
- 2004a *Cultural and Paleontological Resources Study, Corda Ranch, North Marin Land Company Project, Marin County, California.*
- 2004b *A Cultural Resources Study for the 1831 Second Avenue Project, Walnut Creek, Contra Costa County, California.*
- 2005a *Archaeological Survey of Santa Catalina Island (21 poles), Santa Catalina Island, California.*
- 2005b *Cultural Resources Monitoring, Woodview Subdivision Project, Novato, Marin County, California.*
- 2005c *Cultural Resources Study for the Soffer Project, Vacaville, Solano County, California.*
- 2005d *Cultural Resources Study, Nove Project, Richmond, Contra Costa County, California.*
- McKale, George and Karin Goetter
2008 *Historical Resources Compliance Report for the State Route 89/Alder Drive/Prosser Dam Road roundabout Project, Truckee, Nevada County, California.*
- McKale, George, Pamela Bowler, John Kelley, Christian Gerike, and Carie Montero
2003 *Archaeological Investigations at CA-SON-2314, Pine Flat Road, Sonoma County, California.*

McKale, George and Christian Gerike

2001a *Supplemental Cultural Resources Survey, Pine Flat North*. Submitted by Prepared for the State Water Resources Control Board; U.S. Army Corps of Engineers, San Francisco District; Bureau of Land Management, Ukiah Field Office; and City of Santa Rosa Utilities Department.

2001b *Supplemental Cultural Resources Survey, Windsor Segment, Windsor On-Road and Starr Off-Road Realignments, and Rash and Plaxco Spoils/Staging Locations, Sonoma County, California*. Submitted by Submitted to the State Water Resources Control Board; U.S. Army Corps of Engineers, San Francisco District; City of Santa Rosa Utilities Department.

2004 *A Cultural Resources Study for the California Men's Colony Wastewater Treatment Plan, California Men's Colony/Camp San Luis Obispo, San Luis Obispo County, California*.

McKale, George and Sara E. P. Gillies

2000c *Cultural Resources Assessment, Phase I, United Golden Gate Power Project, San Francisco International Airport, San Mateo County, California*. Submitted by Prepared for WZI, Inc., Bakersfield, California.

2000a *Cultural Resources Assessment, Golden Gate Power Project, San Francisco International Airport, San Mateo County, California*.

2000b *Cultural Resources Assessment, Phase II, United Golden Gate Power Project, San Francisco International Airport, San Mateo County, California*. Submitted by Prepared for WZI Inc., Bakersfield, California.

McKale, George and Judith Marvin

2000b *Historic Property Survey Report (Positive) for the Walnut Boulevard Widening (ISTEA), City of Brentwood, Contra Costa County, California*.

McKale, George and Judith Marvin

2000a *Historic Property Survey Report (Positive) for the Brentwood Boulevard Widening (ISTEA), City of Brentwood, Contra Costa County, California*.

McKale, George, Judith Marvin, and James Allen

2002 *Cultural and Paleontological Resources Study for the Livermore Park and Ride Garage Project, Livermore, Alameda County, California*.

McKale, George, Carie Montero, and Kate Shantry

2005 *Archaeological Investigations of CA-SMA-33 Redeposit at San Mateo High School, San Mateo, San Mateo County, California*.

McKale, George, Sara Palmer, and Christian Gerike

2003 *Historic Property Survey Report for the Inkwells Bridge Project, near Lagunitas, Marin County, California*.

Montero, Carie, Judith Marvin, and George McKale

2004 *A Cultural and Paleontological Resources Study and Historical Evaluation for the Pixar Animation Studios Headquarters Expansion Project, Emeryville, Alameda County, California*.

Montero, Carie and George McKale

2004 *Archaeological Evaluation of CA-SOL-426H, Orchards at Hiddenbrooke, Vallejo, Solano County, California.*

Palmer, Sara, Ben Matzen, and George McKale

2004 A Cultural and Paleontological Resources Study and Evaluation, San Jose Market Center, San Jose, Santa Clara, California.

TILLEM BUILDING - PROPOSED VACATION RENTAL

162, 164, 166 WEST SPAIN STREET

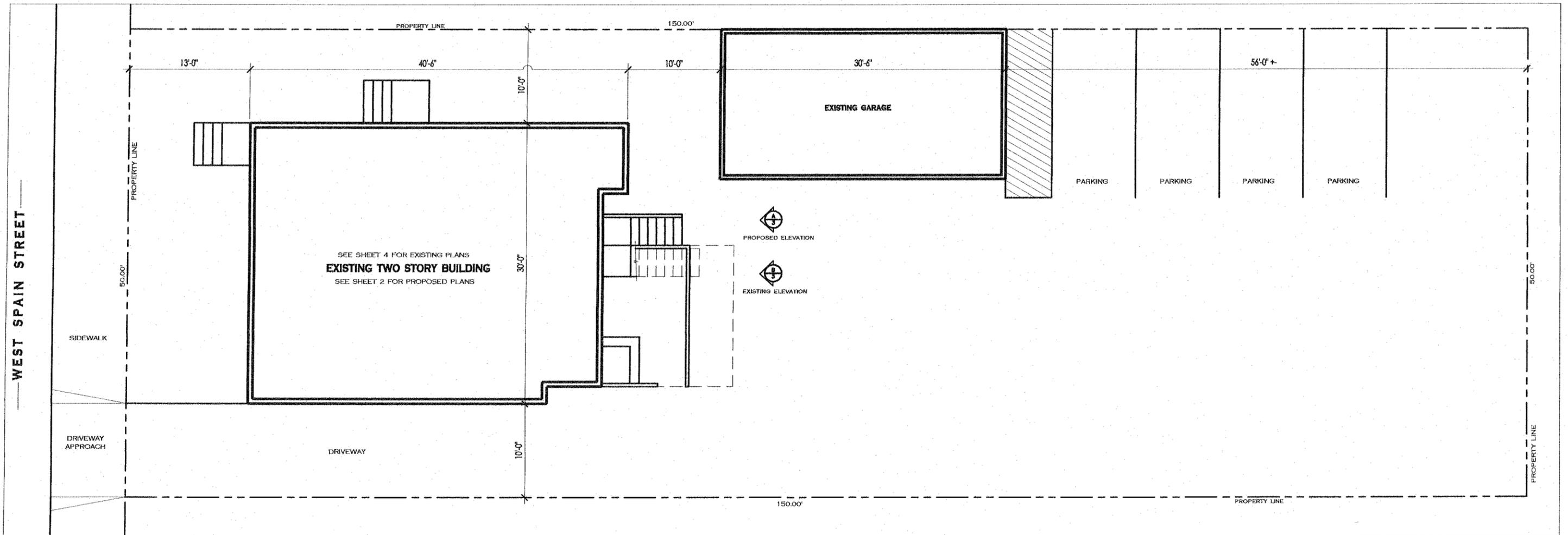
A.P. #018-780-006

SONOMA, CALIFORNIA

EXISTING LOWER FLOOR	CONDITIONED SPACE	1,144 SQ. FT.
EXISTING UPPER FLOOR	CONDITIONED SPACE	1,082 SQ. FT.
TOTAL EXISTING SPACE		2,236 SQ. FT.

Zoning:
 DOWNTOWN DISTRICT PLANNING AREA (R-M)
 RESIDENTIAL - MEDIUM DENSITY
 LOT SIZE = 7,405 SQ. FT. (.17 ACRES)
 F.A.R. = 50% ALLOWED = 3,702 SQ. FT.
 COVERAGE = 60% ALLOWED = 4,443 SQ. FT.

EXISTING SITE PLAN



EXISTING SITE PLAN

3/16" = 1'-0"

TILLEM BUILDING - PROPOSED VACATION RENTAL

162, 164, 166 WEST SPAIN STREET

A.P. #018-780-006

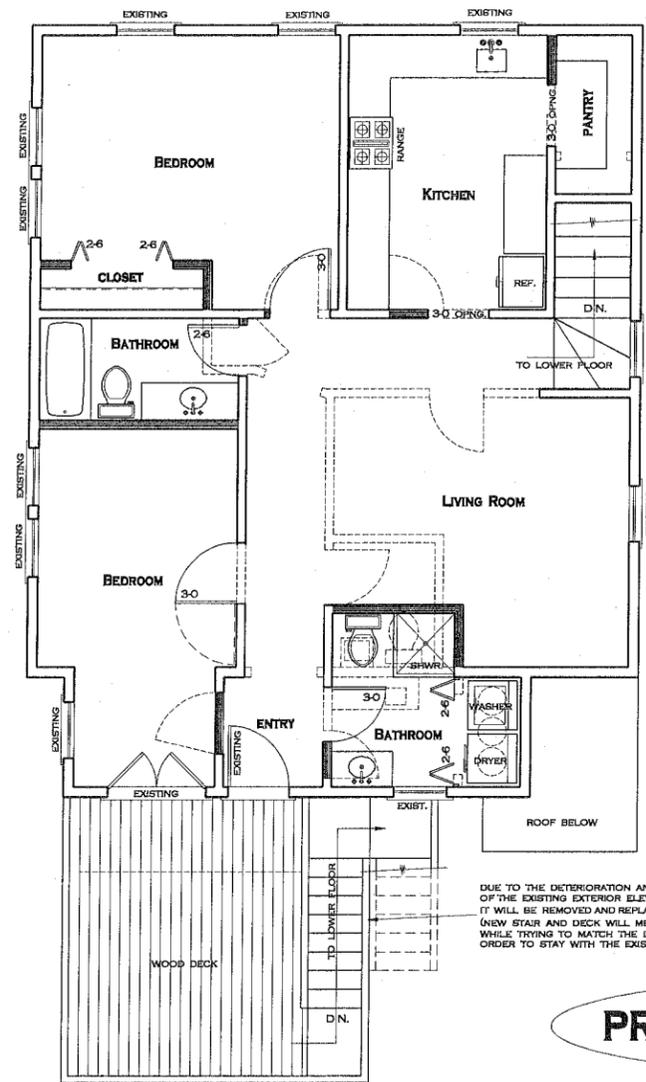
SONOMA, CALIFORNIA

Revisions:

F **i**
G **O**

CONSTRUCTION DRAWINGS
FRED O'DONNELL
822 BROADWAY
P.O. BOX 888
SONOMA, CA. 95476
707.996.0103 WORK
707.996.0112 FAX
FODDRAWINGS@GMAIL.COM
WWW.FODDRAWINGS.COM

— WEST SPAIN STREET —



Zoning:
DOWNTOWN DISTRICT PLANNING AREA (R-M)
RESIDENTIAL - MEDIUM DENSITY
LOT SIZE = 7,405 SQ. FT. (.17 ACRES)
F.A.R. = 50% ALLOWED = 3,702 SQ. FT.
COVERAGE = 60% ALLOWED = 4,443 SQ. FT.

PLAN LEGEND
— EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED
= = = NEW WALL
(E) OR (N) EXISTING OR NEW CONSTRUCTION

EXISTING LOWER FLOOR	CONDITIONED SPACE	1,144 SQ. FT.
EXISTING UPPER FLOOR	CONDITIONED SPACE	1,092 SQ. FT.
TOTAL EXISTING SPACE		2,236 SQ. FT.

DUE TO THE DETERIORATION AND POTENTIAL SAFETY ISSUES OF THE EXISTING EXTERIOR ELEVATED WOOD DECK AND STAIRCASE IT WILL BE REMOVED AND REPLACED. NEW STAIR AND DECK WILL MEET CURRENT BUILDING CODES, WHILE TRYING TO MATCH THE DESIGN OF EXISTING DECK/STAIR IN ORDER TO STAY WITH THE EXISTING OVERALL LOOK OF THE STRUCTURE

PROPOSED FLOOR PLANS

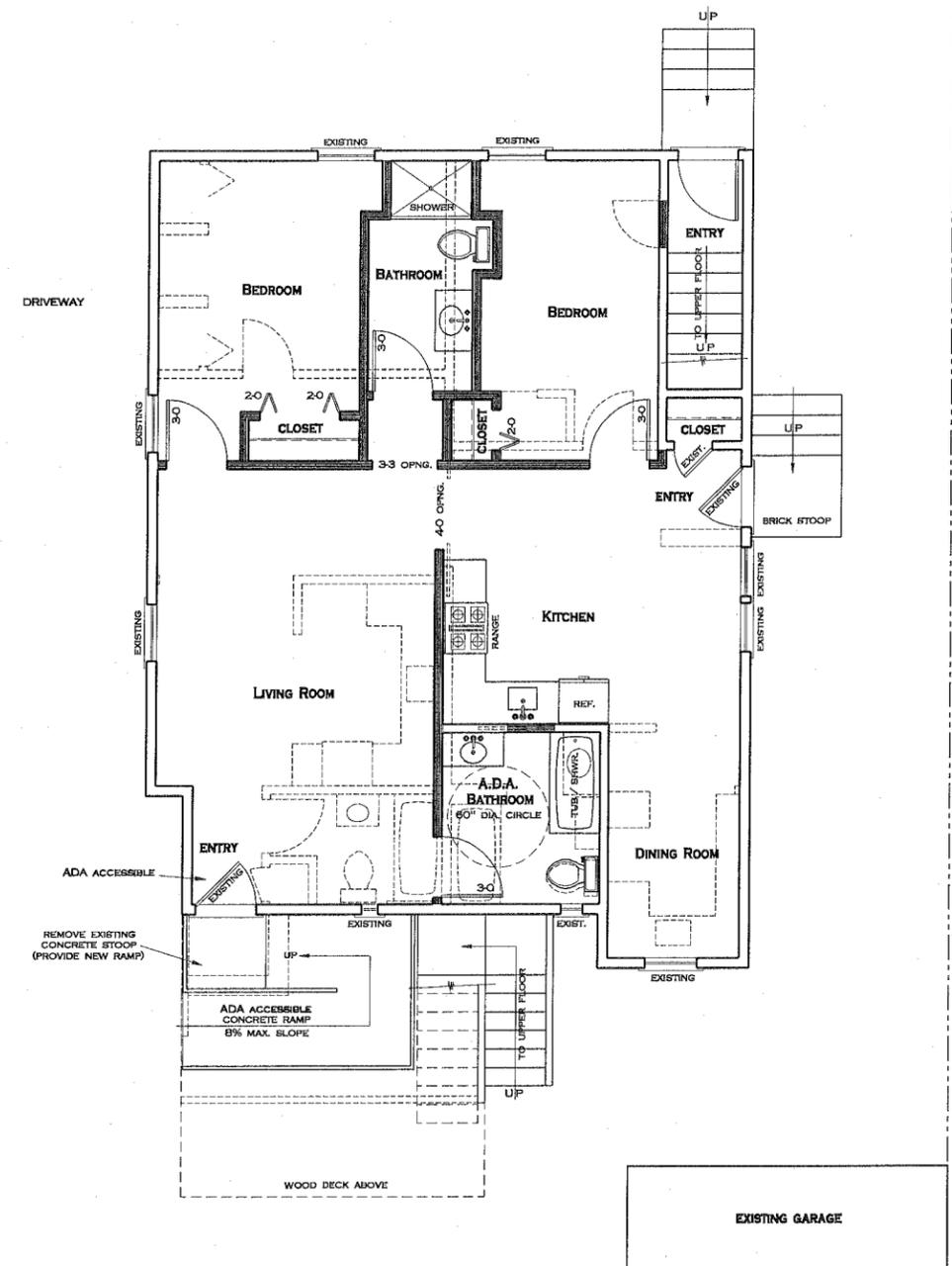


PROPOSED UPPER FLOOR PLAN

SEE SHEET 4 FOR EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

— WEST SPAIN STREET —



PROPOSED LOWER FLOOR PLAN

SEE SHEET 4 FOR EXISTING LOWER FLOOR PLAN

1/4" = 1'-0"

TILLEM BUILDING
Proposed Vacation Rental
162, 164, 166 West Spain Street
Sonoma, California

Date: JUNE 2014

Scale: AS NOTED

Proposed
Upper and
Lower Floor
Plans

TILLEM BUILDING - PROPOSED VACATION RENTAL

162, 164, 166 WEST SPAIN STREET

A.P. #018-780-006

SONOMA, CALIFORNIA

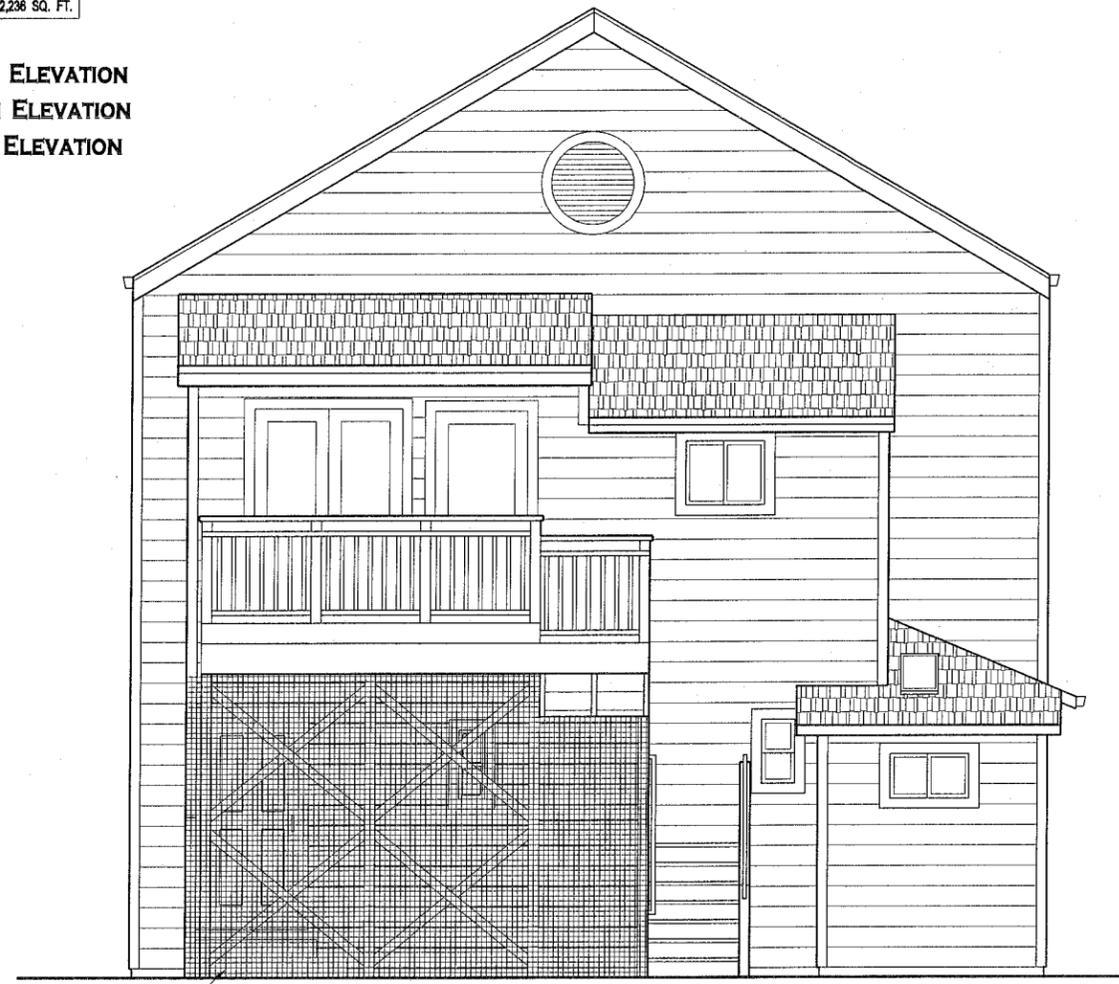
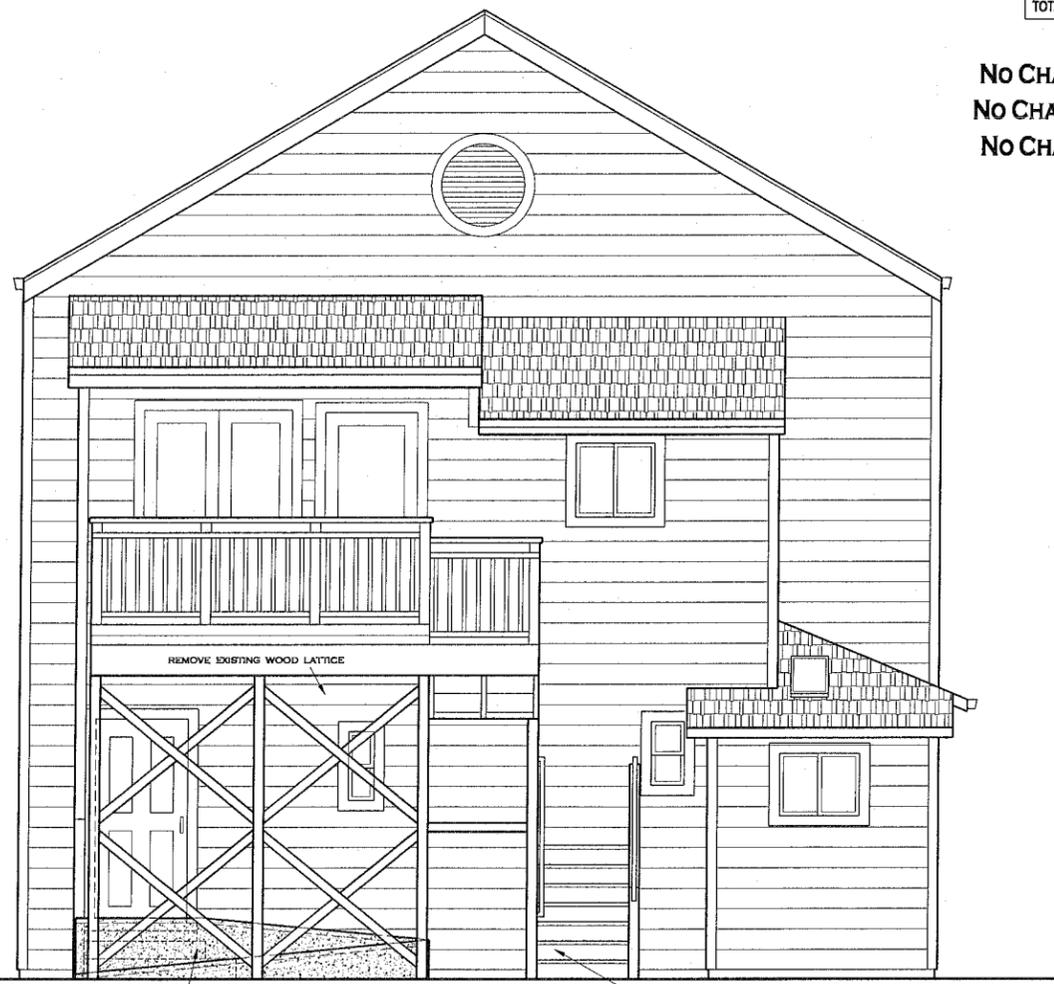
Zoning:
 DOWNTOWN DISTRICT PLANNING AREA (R-M)
 RESIDENTIAL - MEDIUM DENSITY
 LOT SIZE = 7,405 SQ. FT. (.17 ACRES)
 F.A.R. = 50% ALLOWED = 3,702 SQ. FT.
 COVERAGE = 60% ALLOWED = 4,443 SQ. FT.

PROPOSED ELEVATION

EXISTING ELEVATION

EXISTING LOWER FLOOR	CONDITIONED SPACE	1,144 SQ. FT.
EXISTING UPPER FLOOR	CONDITIONED SPACE	1,092 SQ. FT.
TOTAL EXISTING SPACE		2,236 SQ. FT.

NO CHANGES TO EXISTING WEST ELEVATION
 NO CHANGES TO EXISTING SOUTH ELEVATION
 NO CHANGES TO EXISTING EAST ELEVATION



A
PROPOSED NORTH ELEVATION
 VIEW FROM BACK OF BUILDING
 3/8" = 1'-0"
 NO EXTERIOR CHANGES TO THIS ELEVATION (UNLESS OTHERWISE NOTED)

DUE TO THE DETERIORATION AND POTENTIAL SAFETY ISSUES OF THE EXISTING EXTERIOR ELEVATED WOOD DECK AND STAIRCASE IT WILL BE REMOVED AND REPLACED. (NEW STAIR AND DECK WILL MEET CURRENT BUILDING CODES, WHILE TRYING TO MATCH THE DESIGN OF EXISTING DECK/STAIR IN ORDER TO STAY WITH THE EXISTING OVERALL LOOK OF THE STRUCTURE)

B
EXISTING NORTH ELEVATION
 VIEW FROM BACK OF BUILDING
 3/8" = 1'-0"

Revisions:

F i
G O

CONSTRUCTION DRAWINGS
 FRED O'DONNELL
 822 BROADWAY
 P.O. BOX 598
 SONOMA, CA. 95476
 707.996.0103 WORK
 707.996.0112 FAX
 FIODRAWINGS@GMAIL.COM
 WWW.FIODRAWINGS.COM

TILLEM BUILDING
 Proposed Vacation Rental
 162, 164, 166 West Spain Street
 Sonoma, California

Date: JULY 2014
 Scale: AS NOTED
 Existing & Proposed
 Exterior Elevations

3

TILLEM BUILDING - PROPOSED VACATION RENTAL

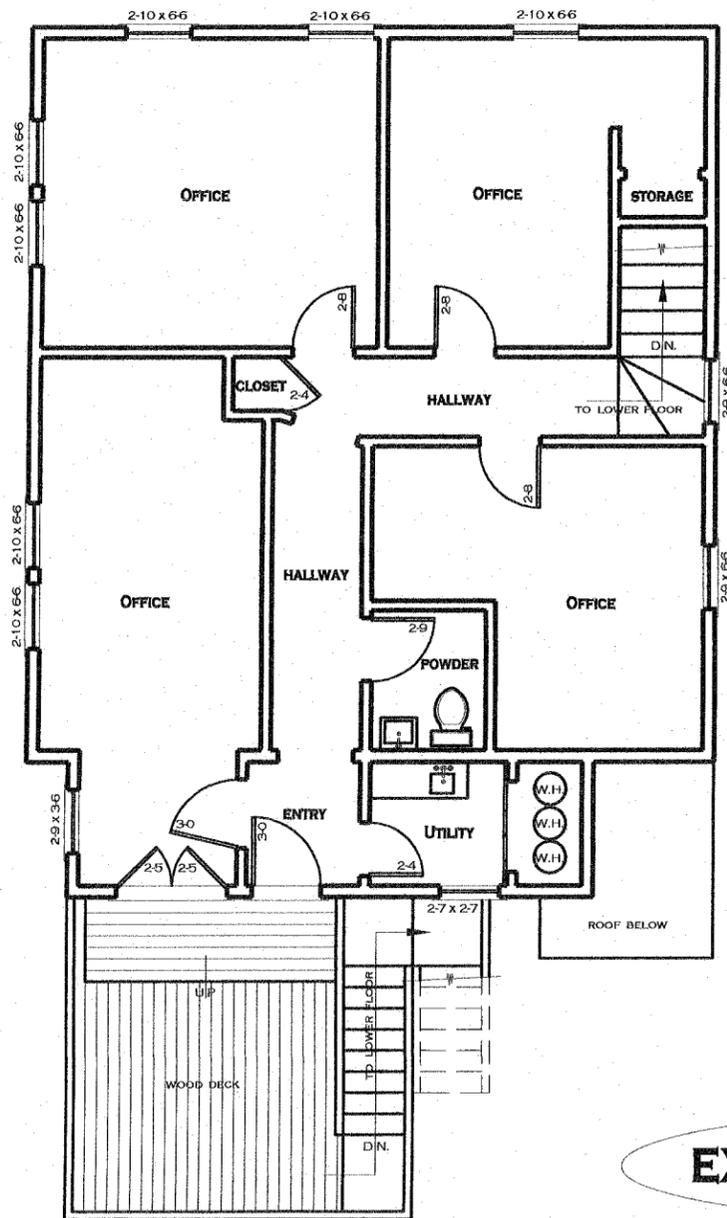
162, 164, 166 WEST SPAIN STREET

A.P. #018-780-006

SONOMA, CALIFORNIA

WEST SPAIN STREET

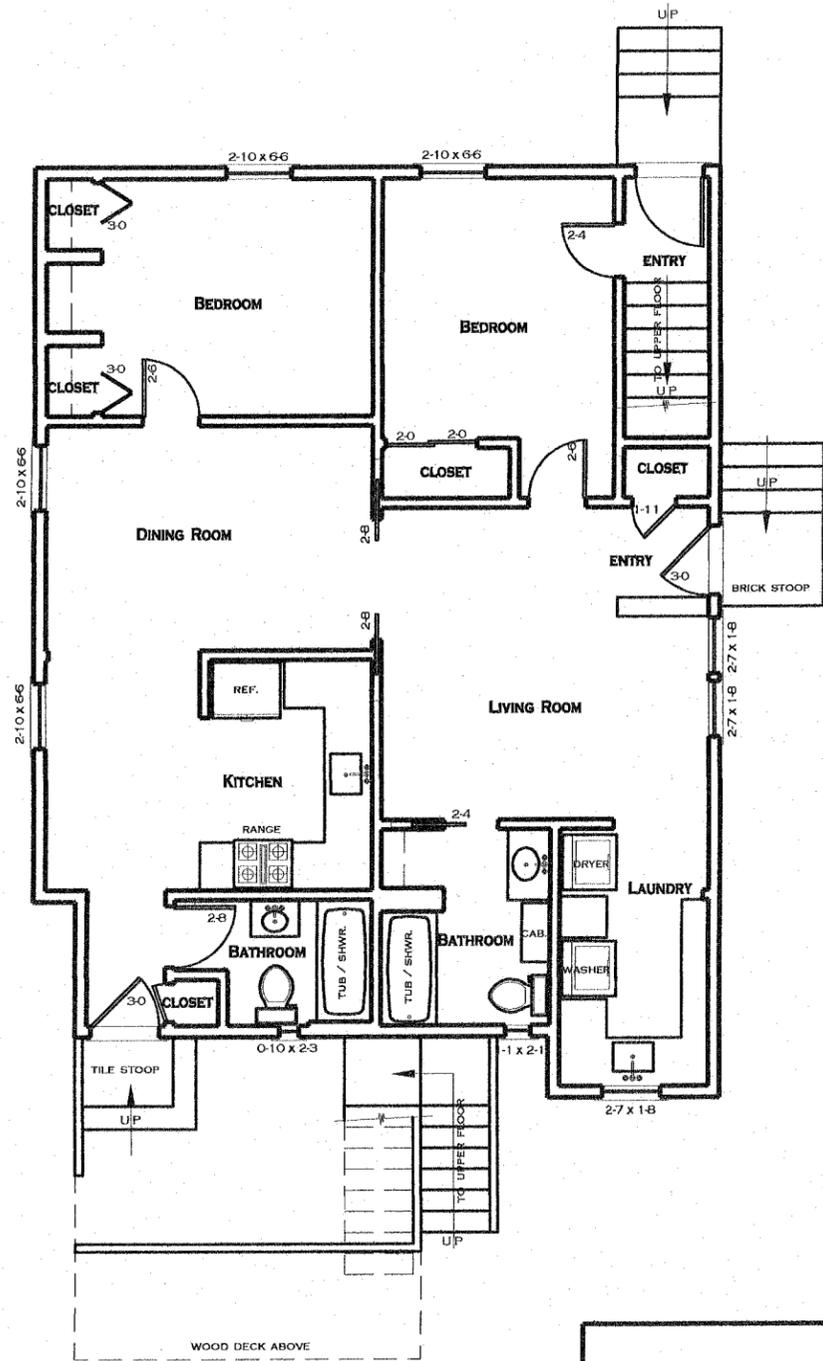
WEST SPAIN STREET



Zoning:
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EXISTING FLOOR PLANS



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"



EXISTING LOWER FLOOR PLAN

1/4" = 1'-0"

Agenda Item Title: Application for an Exception to the side yard setback requirements associated with additions to a single-family home.

Applicant/Owner: Richard Konecky

Site Address/Location: 753 Third Street East

Staff Contact: Rob Gjestland, Senior Planner
Staff Report Prepared: 8/8/14

PROJECT SUMMARY

Description: Application of Richard Konecky for an Exception to the side yard setback requirements associated with additions to the residence at 753 Third Street East.

General Plan Designation: Low Density Residential (LR)

Zoning: **Base:** Low Density Residential (R-L) **Overlay:** None

Site Characteristics: The subject property is a ±9,150-square foot parcel located on the west side of Third Street West in a cul-de-sac north of Chase Street. The site is currently developed with a Ranch-style home with attached two-car garage constructed in 1960.

Surrounding Land Use/Zoning: **North:** Single-family residence/Low Density Residential
South: Single-family residence/Low Density Residential
East: Single-family residence/Low Density Residential
West: Single-family residence/Low Density Residential

Environmental Review:

<input checked="" type="checkbox"/> Categorical Exemption	<input type="checkbox"/> Approved/Certified
<input type="checkbox"/> Negative Declaration	<input checked="" type="checkbox"/> No Action Required
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Action Required
<input type="checkbox"/> Not Applicable	

Staff Recommendation: Approve subject to conditions.

PROJECT ANALYSIS

DETAILED PROJECT DESCRIPTION

The project involves completely remodeling and adding onto the existing residence. Under the proposal, the garage would be converted to living space and three areas of addition would be constructed, along with an attached carport. The current architectural style, roof form, and exterior materials would be updated and modified. Overall, the project would increase the gross living area of the home from $\pm 1,200$ to $\pm 2,320$ square feet and provide a carport of 415 square feet. The maximum building height would increase slightly by ± 1.5 feet, while maintaining the one-story design. An exception from the side yard setbacks requirements is requested as the additions proposed on the north and south sides of the structure would extend the current non-conforming ± 5 -foot setbacks. All other zoning standards would be met. Additional details on the proposal can be found in the attached project narrative and accompanying materials.

GENERAL PLAN CONSISTENCY (**Not Applicable to this Project**)

The property is designated Low Density Residential by the General Plan, which allows for single-family homes and related accessory structures. The project does not raise any issues in terms of consistency with the *City of Sonoma 2020 General Plan*.

DEVELOPMENT CODE CONSISTENCY (**Not Applicable to this Project**)

Use: The property is zoned Low Density Residential (R-L). Single-family homes and related accessory structures are permitted uses in the R-L zoning district. The proposed residential addition and remodel project does not raise issues of consistency with the property's zoning in terms of use.

Front Yard Setback: A 20-foot front yard setback is required for additions in the R-L zone. As modified, the residence would be setback a minimum of 20.5 feet from the front property line.

Rear Yard Setback: A 20-foot rear yard setback is required for R-L properties in the Central-East Planning Area. The south addition and converted garage would be setback ± 40 feet from the rear property line.

Side Yard Setbacks: A seven-foot side yard setback is required for single-story construction in the R-L zone, and combined side yard setbacks must total 18 feet. The project does not comply with these requirements in that additions proposed on the north and south sides of the home would be setback 5 - 5.5 feet from the side property lines, generally in line with existing building walls. The combined side yard setback would also not be met with a total ± 10 feet. Accordingly, the applicant is requesting an Exception from the side yard setback standards for the project.

Coverage: The maximum coverage in the R-L zone is 40%. The project would increase the lot coverage from 18% to 30%, including the area of the carport.

Floor Area Ratio (FAR): The maximum FAR in the R-L zone is 0.35. The project would increase the FAR from 0.18 to 0.25. Staff would note that as an open feature the area of the carport is excluded from the FAR calculations under the Development Code.

Building Height: The maximum building height within the R-L zone is 30 feet. The proposal would increase the maximum height of the structure from 14'-9" to 16'-2" as measured from grade.

Design Review: Additions to single-family homes constructed after 1944 are exempt from architectural review by the Design Review Commission (§19.54.080.B).

Setback Exception Approval: Pursuant to Development Code Section 19.48.050.A.1, the Planning Commission may grant exceptions from setback standards, provided that the following findings are made:

1. *The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;*

The residential use associated with the setback exception request is consistent with the property's Low Density Residential land use designation and zoning.

2. *An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;*

In part, the exception request relates to the historic development pattern of the property and neighborhood. Five-foot side yard setbacks are common for homes within the Greendale subdivision, as they were constructed between 1946 and 1967 prior to the current side yard setback requirements (adopted in 2003). This condition provides a basis for allowing an exception from the setback requirements.

3. *Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.*

The proposal would result in more building mass across the front of the property than is typical of conditions within the cul-de-sac. However, the northern addition features an open carport component, FAR and lot coverage would remain well below allowable limits, and the project generally maintains a low building height and profile. The applicant has engaged neighbors and gained the support of several residents in the immediate area (see attached petitions/correspondence). This includes the adjoining neighbor to the north at 747 Third Street East who would be most impacted by the project (although significant vegetative screening exists along the northern boundary). For these reasons, staff feels that the project would be generally compatible with adjoining properties and neighborhood conditions.

**CONSISTENCY WITH OTHER
CITY ORDINANCES/POLICIES** (Not Applicable to this Project)

ENVIRONMENTAL REVIEW (**Not Applicable to this Project**)

Pursuant to Section 15305 of the State CEQA Guidelines, minor side yard and setback variances not resulting in the creation of a new parcel are Categorical Exempt from the provisions of CEQA (Class 5 – Minor Alterations in Land Use Limitations). Staff would note that an historic resource evaluation recently prepared by Tom Origer & Associates (attached) determined that the residence is not eligible for inclusion on the California Register and therefore is not considered a historical resource under CEQA.

DISCUSSION OF PROJECT ISSUES

Setback Exception: As discussed above, the proposal is supported by setback conditions within the neighborhood and would be generally compatible with properties in the vicinity.

Roof Material & Other Design Considerations: The plans show the use of standing seam metal roofing; however the project narrative indicates that either standing seam metal roofing or composition shingles could be used. Based on the correspondence received, two neighbors prefer composition shingles while the adjoining neighbors to the west appear to prefer standing seam. In addition, the letter submitted by the neighbors to the west at 770 Donner Avenue (attached), while generally supporting the project, expresses some project specific and broader concerns/observations about potential visual impacts associated with higher roofs, light pollution, and tree removal. Staff would note that, while the setback exception request brings the overall project before the Planning Commission for discretionary review, an addition/remodel project at this location would not normally be subject to design review or landscape plan review. With respect to tree removal, within low-density residential neighborhoods only the removal of large-stature trees (as defined in the Tree Ordinance) within front or street side yards are subject to review and approval by the City's Tree Committee.

RECOMMENDATION

Staff recommends approval of the setback Exception, subject to the attached conditions.

Attachments

1. Findings
2. Draft Conditions of Approval
3. Vicinity Map
4. Project Narrative
5. Correspondence/Letters of Support
6. Photos of Existing Residence & Condition Along North Property Boundary
7. Perspective Renderings
8. Historic Resource Evaluation prepared by Vicki Beard, July 2014
9. Site Plans, Floor Plans, Roof Plans & Building Elevations

cc: Richard Konecky (via email)
1000 Chestnut St. #4B.
San Francisco, CA 94109

George Bevan (via email)
Bevan & Associates
P.O. Box 605
Sonoma, CA 95476

Doug Braley and Jim Otwell (via email)
770 Donner Avenue
Sonoma, CA 95476

City of Sonoma Planning Commission
FINDINGS OF PROJECT APPROVAL
Konecky Side Yard Setback Exception – 753 Third Street East

August 14, 2014

Based on substantial evidence in the record and upon consideration of all testimony received in the course of the public review, including the public review, the City of Sonoma Planning Commission finds and declares as follows:

Exception Approval:

1. The adjustment authorized by the Exception is consistent with the General Plan, any applicable Specific Plan, and the overall objectives of this Development Code;
2. An exception to the normal standards of the Development Code is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development;
3. Granting the Exception will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Konecky Side Yard Setback Exception – 753 Third Street East

August 14, 2014

1. The additions and remodel project shall be constructed in conformance with the approved site plan and building elevations, except as modified by these conditions.

Enforcement Responsibility: Planning Department; Building Department

Timing: Prior to issuance of a building permit; Prior to final occupancy

2. All Building Department requirements shall be met, including Building Code requirements related to compliance with CALGreen standards. A building permit shall be required.

Enforcement Responsibility: Building Department

Timing: Prior to construction

3. All Fire Department requirements shall be met, including the provision of fire sprinklers if necessary.

Enforcement Responsibility: Fire Department; Building Department

Timing: Prior to issuance of a building permit; Prior to final occupancy

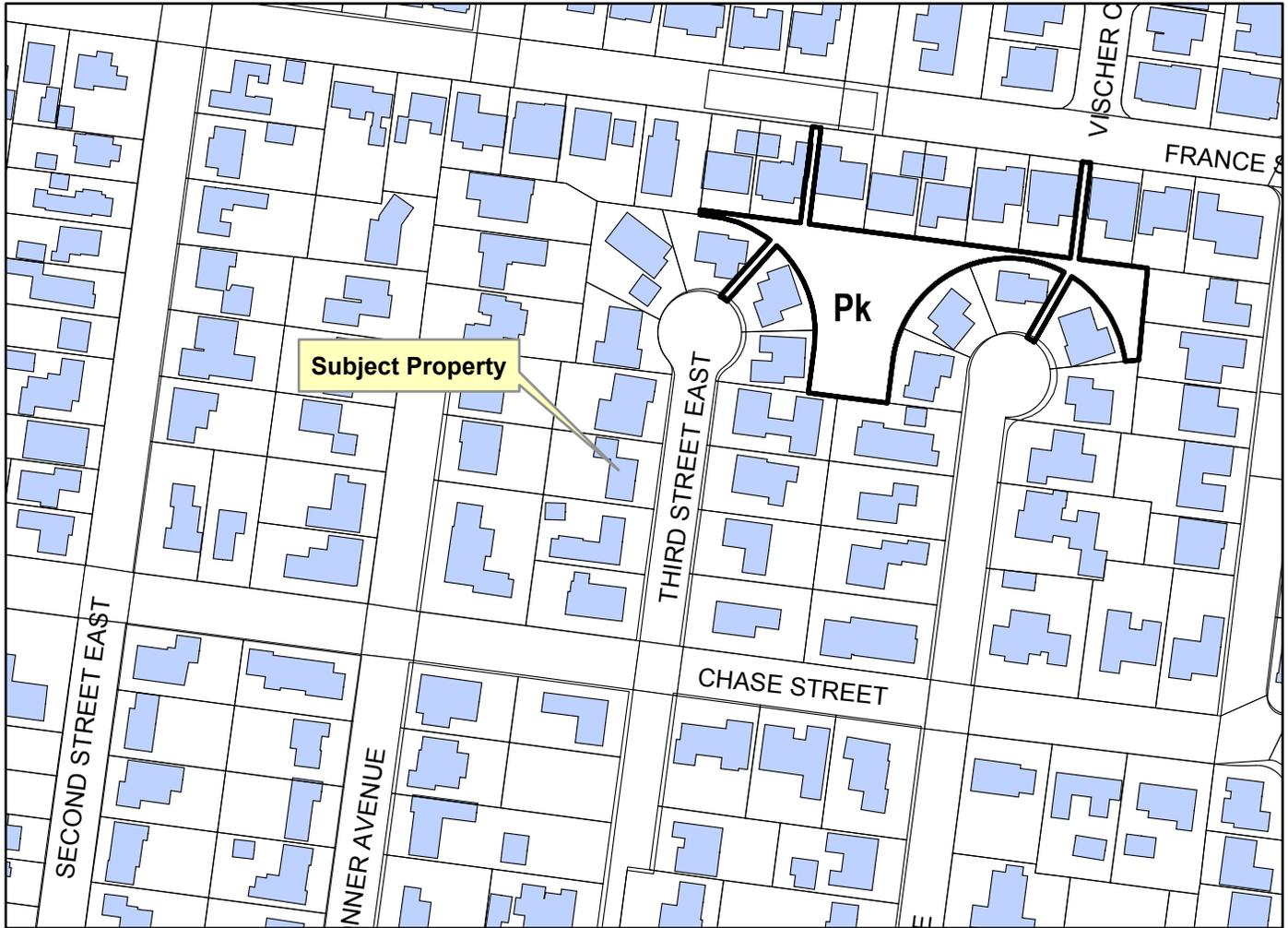
4. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. *Sonoma Valley Unified School District* [For school impact fees]

Enforcement Responsibility: Building Department

Timing: Prior to issuance of a building permit

Vicinity Map



Project Summary

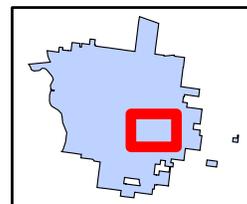
<i>Project Name:</i>	Konecky Setback Exception
<i>Property Address:</i>	753 Third Street East
<i>Applicant:</i>	Richard Konecky
<i>Property Owner:</i>	Richard Konecky
<i>General Plan Land Use:</i>	Low Density Residential
<i>Zoning - Base:</i>	Low Density Residential
<i>Zoning - Overlay:</i>	None
<i>Summary:</i>	
Consideration of an Exception from the side yard setback requirements to allow additions to a residence.	

Zoning Designations

- R-HS Hillside Residential (1 D.U./10 acres, maximum)
- R-R Rural Residential (2 D.U./acre, maximum)
- R-L Low Density Residential (2-5 D.U./acre)
- R-S Sonoma Residential (3-8 D.U./acre)
- R-M Medium Density Residential (6-10 D.U./acre)
- R-H High Density (9-12 D.U./acre)
- R-O Housing Opportunity (15-20 D.U./acre)
- R-P Mobile Home Park (7 D.U./acre, maximum)
- MX Mixed Use (12 D.U./acre, maximum)
- C Commercial (15 D.U./acre, maximum)
- C-G Commercial-Gateway (15 D.U./acre, maximum)
- W Wine Production
- P Public Facility
- Pk Park
- A Agriculture



1 inch = 200 feet



PROJECT NARATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030

June 13, 2014



The proposed project is the remodel of a 1561sq.ft. single family home located at 753 Third Street, East in Sonoma.

The project includes the following: 1) Complete Remodel of interiors, 2) Addition of approximately 1094sq.ft. which includes the conversion of an existing attached garage into conditioned bedroom space, 3) Replacement of the entire roof structure and 4) New carport.

The home is located on the eastside in a residential neighborhood. We have taken careful study at proportions, scale and material selections that will fit within the surrounding cul-de-sac. The exterior shall be a traditional lap siding with board & batt accents, painted a tasteful off-white. The roof shall be either metal standing seam, or composition shingle. Quality materials and construction shall be exercised as expected to a home in this location.

We are well within the maximum allowable lot coverage and height dimensions, however the existing setbacks of the home are non-conforming (10'-9" existing combined vs. 15'-0" required combined). As part of this Planning Application, we are asking for Planning "exception" to maintaining the (E) setbacks for our proposed additions, being that they are 30% and under the minimum allowed. A variance to this situation is not required. The majority of additions are to the rear of the property, as well as some square footage added towards the front setback. The minimum front setback of 20'-0" shall be maintained.

Lastly, this Planning Application shall consider the conversion of the existing attached garage into conditioned bedroom space. This will be a change in use from a garage (unconditioned) to a master bedroom space (conditioned). A new carport will be built to replace the attached garage, to meet the covered parking requirement.

Thank you for your review efforts of our project.

George Bevan, principal
B+A

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Sonoma, CA 95476
APN: 018-361-030



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Neighbor Support Signature

George Bevan, principal
B+A

730 3rd St. E Sonoma CA 95476
Address

JUL 22 2014

July 10, 2014



TO: East Side Neighbors
FROM: George Bevan
Bevan + Associates
RE: RESIDENTIAL REMODEL
753 Third Street East, Sonoma

Greetings Neighbor,

We wanted to take the time to introduce our project and ask for your support. The project is required to go to the Planning Commission hearing for the following reasons:

- While our project maintains the existing side yard setbacks, the original setbacks do not meet current Planning Code. We are asking for an exception.
- The projects massing respects the neighborhood context with respectfully maintaining a single story.
- The project introduces a carport, allowable by the Planning Code. There is precedence for this covered parking solution within this neighborhood.
- Our project only uses quality materials and superior craftsmanship, commonly found on the Eastside of the Plaza. The overall design aesthetic is a quiet farmhouse with simple finishes.

I support this project as proposed:

NAME

Andrew and
Elizabeth Fenton

SIGNATURE

ADDRESS

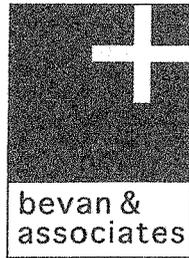
730 3rd St E

COMMENTS

JUL 22 2014

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Sonoma, CA 95476
APN: 018-361-030



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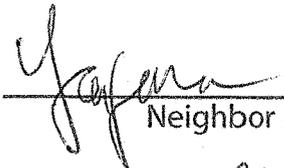
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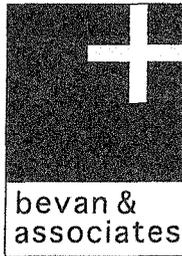
George Bevan, principal
B+A



Neighbor Support Signature
742 - 3RD ST E

Address

July 10, 2014



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FROM: George Bevan
Bevan + Associates
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753 Third Street East, Sonoma

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I support this project as proposed:

NAME

Victor ZARZANA
Dale ZARZANA

SIGNATURE

Victor Zarzana
Dale Zarzana

ADDRESS

740.3RD S.E.E.

COMMENTS

The plan looks good and will fit in well w/ existing houses.

We would prefer comp roof w/ steel.

PROJECT NARATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030



June 13, 2014

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Thank you for your review efforts of our project.

George Bevan + Julie Tumbann
Neighbor Support Signature

George Bevan, principal
B+A

747 3rd Street East
Address
SONOMA, CA 95476

PROJECT NARRATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030

June 13, 2014



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Thank you for your review efforts of our project.

Catherine M O'Neill

Neighbor Support Signature

George Bevan, principal
B+A

753 Third St. East

Address

Sonoma, CA. 95476

PROJECT NARATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030



June 13, 2014

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Thank you for your review efforts of our project.

Karen A. Pedersen
Neighbor Support Signature

George Bevan, principal
B+A

767-3RD Street East
Address

July 10, 2014



TO: East Side Neighbors
FROM: George Bevan
Bevan + Associates
RE: RESIDENTIAL REMODEL
753 Third Street East, Sonoma

Greetings Neighbor,

We wanted to take the time to introduce our project and ask for your support. The project is required to go to the Planning Commission hearing for the following reasons:

- While our project maintains the existing side yard setbacks, the original setbacks do not meet current Planning Code. We are asking for an exception.
- The projects massing respects the neighborhood context with respectfully maintaining a single story.
- The project introduces a carport, allowable by the Planning Code. There is precedence for this covered parking solution within this neighborhood.
- Our project only uses quality materials and superior craftsmanship, commonly found on the Eastside of the Plaza. The overall design aesthetic is a quiet farmhouse with simple finishes.

I support this project as proposed:

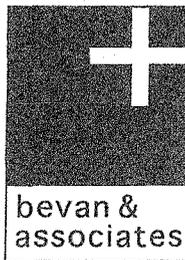
NAME KAREN PEDERSEN SIGNATURE Karen A. Pedersen

ADDRESS 767-3rd Street East

COMMENTS : I'd prefer a composition roof as metal roofing is rare on the eastside.

PROJECT NARATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030



June 13, 2014

The proposed project is the remodel of a 1561sq.ft. single family home located at 753 Third Street, East in Sonoma.

The project includes the following: 1) Complete Remodel of interiors, 2) Addition of approximately 1094sq.ft. which includes the conversion of an existing attached garage into conditioned bedroom space, 3) Replacement of the entire roof structure and 4) New carport.

The home is located on the eastside in a residential neighborhood. We have taken careful study at proportions, scale and material selections that will fit within the surrounding cul-de-sac. The exterior shall be a traditional lap siding with board & batt accents, painted a tasteful off-white. The roof shall be either metal standing seam, or composition shingle. Quality materials and construction shall be exercised as expected to a home in this location.

We are well within the maximum allowable lot coverage and height dimensions, however the existing setbacks of the home are non-conforming (10'-9" existing combined vs. 15'-0" required combined). As part of this Planning Application, we are asking for Planning "exception" to maintaining the (E) setbacks for our proposed additions, being that they are 30% and under the minimum allowed. A variance to this situation is not required. The majority of additions are to the rear of the property, as well as some square footage added towards the front setback. The minimum front setback of 20'-0" shall be maintained.

Lastly, this Planning Application shall consider the conversion of the existing attached garage into conditioned bedroom space. This will be a change in use from a garage (unconditioned) to a master bedroom space (conditioned). A new carport will be built to replace the attached garage, to meet the covered parking requirement.

Thank you for your review efforts of our project.

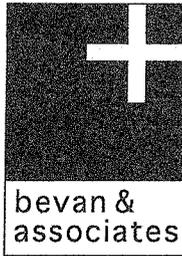
Neighbor Support Signature

George Bevan, principal
B+A

770 THIRD ST. EAST
Address

JUL 22 2014

July 10, 2014



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Bevan + Associates
RE: RESIDENTIAL REMODEL
753 Third Street East, Sonoma

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I support this project as proposed:

NAME *Ed Clay*
Sahon Sethe RIGHT SIGNATURE *Ed Clay*
Shon Sethe
ADDRESS
770 Third St. E.
COMMENTS

PROJECT NARRATIVE

753 Third Street, East
Sonoma, CA 95476
APN: 018-361-030



June 13, 2014

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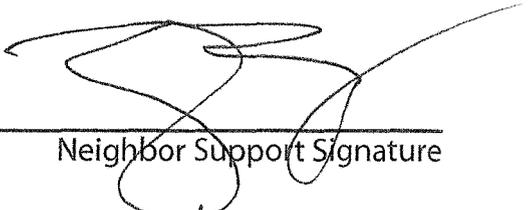
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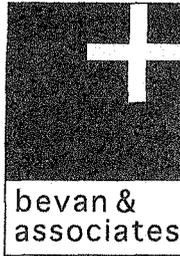
George Bevan, principal
B+A



Neighbor Support Signature
780 3rd St E

Address

July 10, 2014



TO: East Side Neighbors
FROM: George Bevan
Bevan + Associates
RE: RESIDENTIAL REMODEL
753 Third Street East, Sonoma

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I support this project as proposed:

NAME

Zachary Bevan

SIGNATURE

ADDRESS

780 3rd ST East

COMMENTS

TO: Sonoma City Planning Commission
FROM: Doug Braley and Jim Otwell
RE: 753 Third Street East, Sonoma – Planned Development
DATE: August 7, 2014

We live at 770 Donner Avenue, Sonoma. Our property is directly behind the planned development at 753 Third Street East. We have received and reviewed drawings and have briefly met with Mr. Bevan and Mr. Konecky. We do not object to the variance requested (indeed, we were granted a similar one in 2009).

Overall, we appreciate the aesthetics and care of the design. We think the character and style of the design of the home is appropriate for the area. We hope the owners will enjoy their new home and look forward to welcoming them to the neighborhood.

We recognize that this development is not being subjected to a design review. However, we would like to share a couple of observations that can, perhaps, add to the dialogue for future developments:

1. Building Height – first, we (and all surrounding neighbors) appreciate the owner's intent to retain a single story. The planned elevated roof line, however, is high in comparison to surrounding homes. It may not be the highest roofline, but the land grading will make it appear as such. We are observing a number of new homes in the area being erected with significant roof height. With the continued loss of mature trees in the surrounding area (see #2 below), we worry about the pressure on neighbors to plant and nurture ever-taller hedges to hide the rising rooflines – this in an effort to manufacture some sense of that wonderful natural open-space the mature neighborhoods represented when we first bought.

For this project, the architect and owner stated that the roofing material is changing to composition (as opposed to standing seam metal). I expect this means the roof line will now include traditional venting/chimney, adding greatly to the roofline's visibility to neighbors. In addition, as a composition roof, there remains the option to add skylights and solar panels in the future. Because the roof is higher than surrounding homes, this could create an imposing visual.

2. The backyard deck/patio area is designed as a larger open area surrounded by glass doors on three areas. This is certainly the prerogative of the owner. Our thoughts with this design are:
 - a. The open/glass concept may represent a design effort to bring the outdoor into the home, but it also tends to deliver the inside out to the neighbors. We worry about the increasing potential for light pollution represented by these "glass wall" designs (against open-room concepts) currently favored by designers/architects (note the recent addition of a Blu home on Donner). This style is made more problematic by what appears to be a current trend to clear-cut mature trees that would otherwise block some of the light. We've counted four properties in our neighborhood in the past 18 months that have cleared their lots of mature trees. It's as if new owners are relying on existing homes to provide the surrounding nature. We anticipate the new owners will remain attentive to minimizing outside night light and help maintain the existing peacefulness and ambiance currently enjoyed by surrounding neighbors.
 - b. The drawn plans do not show any landscaping. The current design will require removal of trees. The backyard faces west. Without proper shading, the space will be unusable during the day in the summer. We encourage Mr. Bevan and Mr. Konecky to speak with the owner of the Blu home on Donner (Barbara Aliza, who has volunteered) on the perils of having a west-facing patio area without any proper shading (real and/or manufactured). Planting/nurturing mature trees will not only make the space usable, but can assist with some of the light and visual concerns expressed previously, as well as restore habitat for birds.

Thank you for the opportunity to provide feedback on a development in our neighborhood. We support the new design and offer this input in the spirit of neighborly advice and learn-from-our-mistakes. We look forward to the completion of the project and being the first to welcome the new owners.



WARE
DOG



753













PRIMARY RECORD

Primary # P-
HRI #
Trinomial:
NRHP Status Code:
Resource Name or #: 753 3rd Street East

Other Listings:
Review Code: Reviewer: Date:
Page 1 of 11

P1. Other Identifier:

P2. Location: Unrestricted
b. USGS 7.5' Quad: Sonoma
T N/R W; 1/4 of 1/4 of Sec. ; MDBM
c. Address: 753 3rd Street East
d. UTM: Zone: 10 547811 mE
e. Other Locational Information:

a. County: Sonoma County
Date: 1951
City: Sonoma **Zip:** 95476
4237756 mN

P3a. Description: The house at 753 3rd Street East was constructed in 1960, and is a one-story, cross-gabled building with a rectangular footprint (P5). The house is wood framed, with a concrete perimeter foundation, and is clad with lapped wood siding. Decorative lapped siding set vertically is used in the front-facing gable, and the front elevation has a brick skirt along the lower part of the wall and a built-in planter box (Figure 1).

The main facade has a centrally placed, front-facing gable with a large, tripartite window beneath the gable. The entry porch is at the northeast corner, inset beneath the principal roof. A set of brick steps with metal railings leads to the bricked porch (Figure 2). Fenestration is primarily vinyl-sashed, horizontal sliders with a few one-over one, double hung windows.

A garage with double, overhead doors is attached to the northwest corner of the house. The joint wall between the house and garage is barely wide enough to accommodate a door into the house, suggesting that the garage was an addition; however, the County Assessor's records show the garage at the initial assessment in 1961. The bulk of the garage forms an L at the rear of the building. Originally, there was a covered patio tucked into the crook of the L. The patio structure and part of the concrete floor have been removed (Figure 3).

P3b. Resource Attributes: HP2. Single family property

P4. Resources Present: Building

P5. Photograph or Drawing:

P5b. Description of Photo: View southwest from 3rd St. East



P6. Date Constructed/Age and Sources:
1960
County Records

P7. Owner and Address:
Richard M. Konecky
1000 Chestnut St. #4B
San Francisco, CA 94109

P8. Recorded by:
J. Franco, J. Mercer,
and V. Beard
Tom Origer & Associates
P.O. Box 1531
Rohnert Park, CA 94927

P9. Date Recorded:
July 2014

P10. Type of Survey:
Property specific

P11. Report Citation: NA

P12. Attachments: Building, Structure, and Object Record; Continuation Sheets (8); Location Map

CONTINUATION SHEET

Page 2 of 11
Recorded by: V. Beard

Primary #:
HRI #:
Trinomial:
Resource Name or #: 753 3rd Street East
Date: July 2014

P3a. Description: (continued from page 1)



Figure 1. Built-in brick planter along facade.

Figure 2. Front entry.



Figure 3. Rear of house with attached garage at left.

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #: P-
HRI #
NRHP Status Code:
Resource Name or #: 753 3rd Street East

Page 3 of 11

B1. Historic Name: NA

B2. Common Name: NA

B3. Original Use: Single family residence

B4. Present Use: Single family residence

B5. Architectural Style: Ranch

B6. Construction History: The interior of the house was being remodeled at the time this record was completed. There are no obvious alterations to the exterior other than the installation of vinyl-sashed windows. The south elevation of the garage was removed for remodeling.

B7. Moved? No

Date: N/A

Original Location: N/A

B8. Related Features: None

B9a. Architect: Unknown

B9b. Builder: Unknown

B10. Significance:

Theme: Postwar Housing

Area: Sonoma

Period of Significance: 1945 to 1970

Property Type: Building

Applicable Criteria: None

Context Statement

In the last 20 years, since the earliest postwar housing reached the 50 year threshold, the significance of these properties has been discussed across the United States, and contexts developed for evaluating their importance. In California, Caltrans personnel published a context in 2011 titled, *Tract Housing in California, 1945-1973: A Context for National Register Evaluation*, discussing in great detail socio-economic changes before and after World War II, development of war time methods and materials later adapted for postwar construction, and the types of houses that dominated postwar construction (Caltrans 2011). Similar documents were prepared in other states, and postwar housing is included in the National Park Service's *Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places*. The following context draws from the Caltrans and National Parks Service documents. (Continued on page 4)

B11. Additional Resource Attributes:

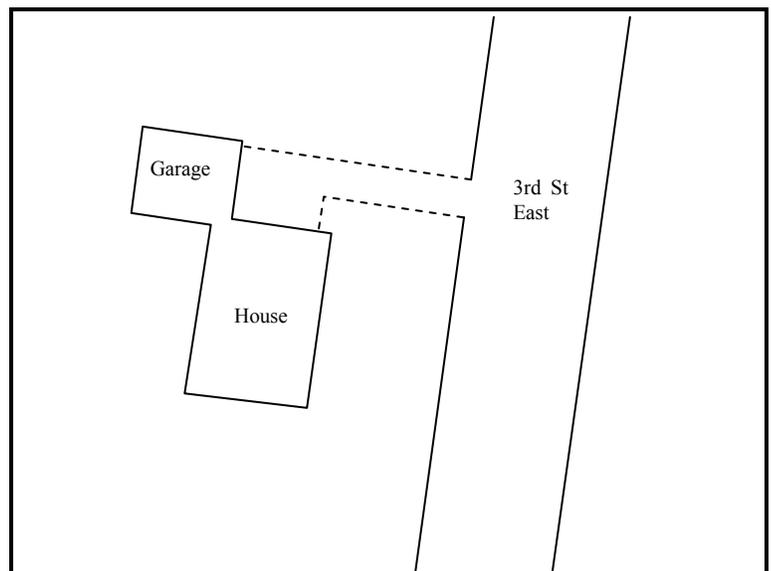
B12. References:

See Continuation Sheet page 9

B13. Remarks:

B14. Evaluator: V. Beard

Date of Evaluation: July 2014



North ↑

CONTINUATION SHEET

Primary #:

HRI #:

Trinomial:

Resource Name or #: 753 3rd Street East

Date: July 2014

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Recorded by: V. Beard

B10. Significance: (continued)

Following World War II, Sonoma experienced a population and building boom, much like the rest of the nation. Census data show that the city had 1,158 people enumerated in 1940, and over the next ten years the number rose to 2,015 (State of California Department of Finance 2011). By 1960, Sonoma boasted a population of just over 3,000 people, more than doubling the size of the population in just 20 years. To accommodate this growth, entire neighborhoods were erected in short order. Much of this growth was bolstered by benefits extended to returning service members and their families. The Servicemen's Readjustment Act of 1944 (also known as the G.I. Bill of Rights) included several programs to ease World War II veterans back into the local economy while avoiding a return to the pre-war depression. Among those benefits was a military loan guarantee program to help purchase homes. In 1950, home ownership in California had risen 11 percent over the preceding decade, and was at an all-time high of 58 percent by 1960 (Table 2). Bolstered by post-war consumer confidence, new housing developments appeared, and with them the need for more schools, new churches, and new commercial enterprises

Table 1. Percent of Homeownership from 1900 to 2000

1900	1910	1920	1930	1940	1950	1960	1970	1980	1990	2000
46.3	49.5	43.7	46.1	43.4	54.3	58.4	54.9	55.9	55.6	56.9

<http://www.census.gov/hhes/www/housing/census/historic/owner.html>

Chief among the houses constructed after World War II were the Minimal Traditional style and the Ranch House. The term "style" might be a misnomer when referring to a Minimal Traditional house as it is more a building form than a style. Minimal Traditional homes are loosely based on previous styles but have very little ornamentation. "The simplicity of the Minimal Traditional form is considered its primary character-defining feature" (Pettis, Squitieri, Slattery, Long, Kuhn, McClane, and Groesbeck 2012:15). Minimal Traditional homes first became popular in the late 1930s and "were built in great numbers in the years immediately preceding and following World War II" (McAlester and McAlester 1991:478). The rise of this house type coincided with the National Housing Act of 1934, which established the Federal Housing Administration (FHA) to regulate interest rates and mortgage terms after the banking crisis of the 1930s. The FHA also promulgated standardized house designs and construction techniques through a series of publications titled *Principles of Planning Small Houses* (Federal Housing Administration 1936, 1940, 1946). Not all of the FHA designs meet the characteristics ascribed to the Minimal Traditional home, and some historians advocate the term "Small American House" to refer to a class of homes built from the 1930s to the mid-1950s, bracketed by the early 20th century bungalow and the mid-20th century ranch house. They consider these homes to be part of a larger housing phenomenon characterized by attention to the design, construction, and marketing of "small houses" (Georgia Historic Preservation Office 2000).

Rooted in the residential architecture of early California, the Ranch Style was a radical and innovative design at its inception, though over time it has become seemingly mundane. The low, horizontal profile of the Ranch Style was antithetical to the vertically oriented, two story homes of the past. Informed by many early 20th century architects, including the Greene Brothers and William Wurster, Cliff May was credited with interpreting the modern Ranch House for the masses beginning in the 1930s. The popularity of the Ranch-style drew comment from the editors of *Architectural Forum* in their April 1950 issue, "Never before in the history of U.S. building has one house type made such an impact on the industry in so short a time..." (*Architectural Forum* 1950:134).

New production methods, many perfected in local wartime industries, were applied to residential construction, improving efficiency and reducing cost. The ranch house could be inexpensively constructed and mass produced, keeping the cost within the reach of the average family.

Subdivisions like the Greendale Subdivision were small-scale compared to those by developers such as David Bohannon in the San Francisco Bay Area and the Levitt family in New York, who created entire subdivisions by mass-producing small-scale versions of the Minimal Traditional and Ranch House. The initial phase of Bohannon's San Lorenzo Village, from 1944 to 1951, included 3,000 homes and amenities such as schools, churches, and civic buildings. In Santa Rosa, Hugh Coddling led the way with several housing and commercial developments, including Brookwood Terrace, Town & Country Village, and Montgomery Village. These subdivisions tended to have their own commercial areas, and often social features as well. One shared characteristic of

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Recorded by: V. Beard

Primary #:
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Trinomial:
Resource Name or #: 753 3rd Street East
Date: July 2014

postwar subdivisions, both large and small, was the use of restrictive covenants to control the character of the subdivision, limit access to certain buyers, and protect property values. At Levittown, one of the best known of the postwar developments, one of the deed restrictions was that "the tenant agrees not to permit the premises to be sued or occupied by any person other than members of the Caucasian race." While in other parts of the United States, blacks and Jews were the main concerns, Californians were very aware of the state's large Japanese population, brought into sharp focus after the attack at Pearl Harbor. Restrictive covenants blocked many from owning homes in the postwar subdivisions and were encouraged by the FHA. The following is a section from the FHA's *Underwriting Manual: Underwriting and Valuation Procedure Under Title II of the National Housing Act With Revisions to February, 1938* (Federal Housing Administration 1938)

980 (3). Recorded restrictive covenants should strengthen and supplement zoning ordinances and to be really effective should include the provisions listed below. The restrictions should be recorded with the plat, or imposed as a blanket encumbrance against all lots in the subdivision, and should run for a period of at least twenty-five to thirty years. Recommended restrictions should include provision for the following:

- a. Allocation of definite areas for specific uses such as single or two-family houses, apartments, and business structures
- b. The placement of buildings so they will have adequate light and air with assurance of a space of at least ten feet between buildings
- c. Prohibition of the "resubdivision" of lots
- d. Prohibition of the erection of more than one dwelling per lot
- e. Control of the design of all buildings, by requiring their approval by a qualified committee, and by appropriate cost limitations or minimum square foot ground floor areas
- f. Prohibition of nuisances or undesirable buildings such as stables, pig pens, temporary dwellings, and high fences
- g. **Prohibition of the occupancy of properties except by the race for which they are intended** [emphasis added]
- h. Appropriate provisions for enforcement.

Racial restrictions were not challenged until 1948 when exclusionary covenants were found unconstitutional under the Fourteenth Amendment; however, neighborhood associations were able to maintain covenants for many years after that.

Property History

In December 1932, Carl Greendale acquired six contiguous lots on the outskirts of Sonoma from real estate agent H. Harold Hunt (Figure 4). Hunt lived in Sonoma for a while but at the time of the sale his home was in Contra Costa County. Carl worked in construction in Richmond, and as a carpenter at the Richmond Shipyards. In 1934 he married widow Hulda Carlan. The two lived in Oakland for many years after their marriage. No records were found regarding the Sonoma property until 1946 when the Greendales filed a subdivision map with the County Recorder. The Greendale Subdivision included 48 lots, each with 65 or 75 foot frontage on 2nd, Donner, 3rd, and Germany streets. By 1950, about a third of the lots was developed (Figure 5), and by 1955 nearly half contained homes.

As was the case with many postwar subdivisions, certain standards were set for the Greendale Subdivision through a declaration of conditions and restrictions filed by the Greendales in 1947 and referenced in each deed of sale. Stipulations included the type of building permissible and its setback from the street and adjacent lots. It was also codified that homes would have no more than two stories and would have a ground floor area of at least 800 square feet (700 square feet for 1-1/2 and two story homes) exclusive of a garage, open porches, or terraces. No animals other than pets were allowed, no commercial or manufacturing activities were allowed, and no second dwellings were permitted. Included with these restrictions was the following:

No persons other than those wholly of the Caucasian race shall use, occupy or reside upon any part of or within any building located in the [Greendale Subdivision], except servants or domestics of another race employed by and domiciled with a Caucasian owner or tenant [Official Records 718:471].

In 1958, Greendale sold Lots 17, 18, and 19 to realtor Homer Bosse and his wife Edith, who then sold Lot 17 to James and Marion Peterson in 1960. The Petersons had the house built and resided there until 1975. In that year, Semiana Sellmer inherited the property from James Petersen. She added her daughter Eunice Rusch as a joint tenant in 1978, and held the property until 1997. Owners after 1997 include Letitia H. Deller, Donald and Linda Deller, Janet Leslie Farren, and Richard M. Konecky.

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Primary #:
HRI #:
Trinomial:
Resource Name or #: 753 3rd Street East
Date: July 2014

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Recorded by: V. Beard

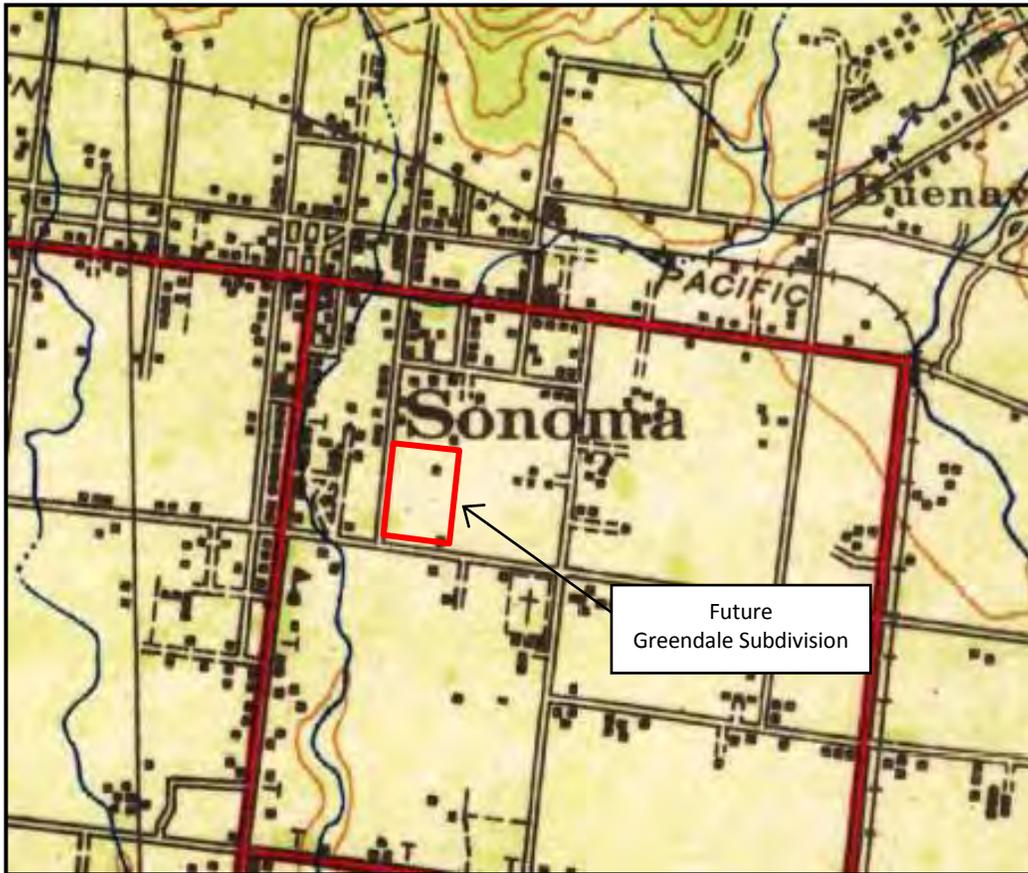


Figure 4. Pre-World War II map showing the location of the Greendale property (USACE 1942).

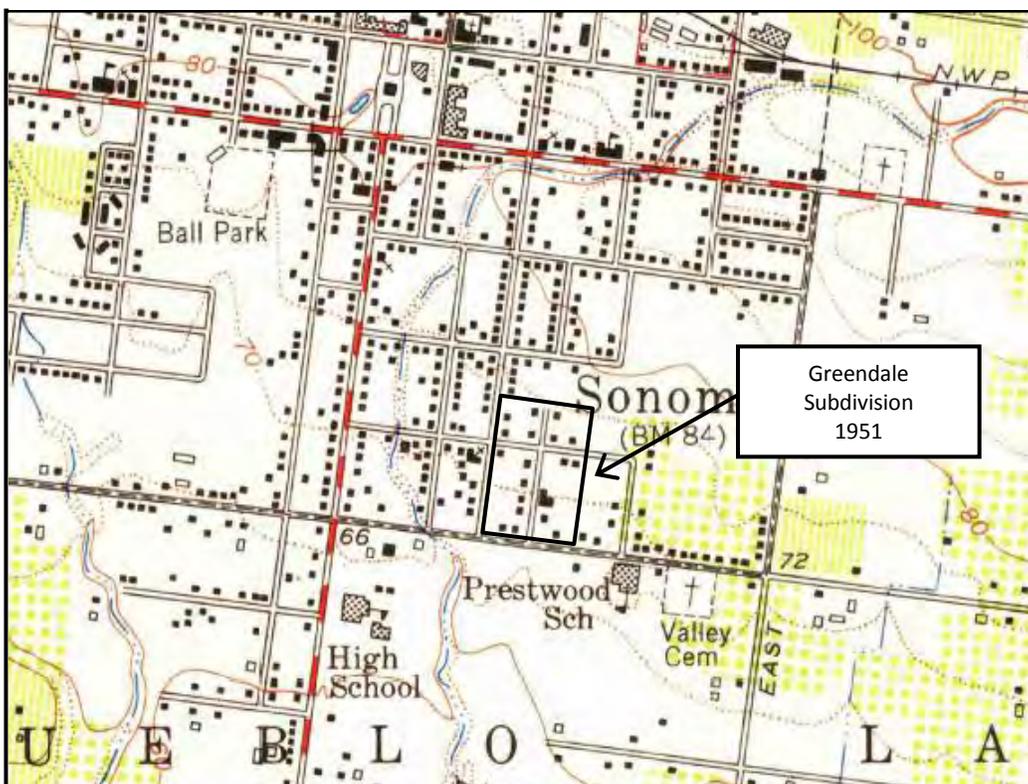


Figure 5. Post-World War II map with the Greendale subdivision (USGS 1951).

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Primary #:

HRI #:

Trinomial:

Resource Name or #: 753 3rd Street East

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Recorded by: V. Beard

B10. Significance: (Continued)

Statement of Significance

This building was evaluated for inclusion on the California Register of Historical Resources (California Register). Briefly, a resource eligible for the California Register is one that meets one of the following criteria.

1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. Is associated with the lives of persons important to local, California, or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important to the prehistory or history of the local area, California, or the nation.

In addition to meeting one or more of the above criteria, eligibility to the California Register requires that a resource retain sufficient integrity to convey a sense of its significance or importance. As defined by the State, "Integrity is the authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance" (California Office of Historic Preservation 2001:11). Seven elements are considered key in considering a property's integrity: location, design, setting, materials, workmanship, feeling, and association.

The following conclusions were reached regarding the property's eligibility for the California Register as an individual resource:

Criterion 1. Criterion 1 requires that a resource is associated with significant historical events; however, as almost every building or structure is associated with some historic theme, it is not enough for a property to simply reflect events. The resource should exemplify or reflect significant contributions to history through its distinct qualities, which surpass the usual in significance and association. The house at 753 3rd Street East was built in 1960 in a post-World War II subdivision on the outskirts of town of Sonoma. The rise of postwar subdivisions is recognized as an important nationwide development that changed the American landscape and had significant socio-economic ramifications. This particular house is similar to many thousands of Ranch-style homes built in California after World War II. There is nothing unique or distinctive about it that elevates it to the level of historically significant as an individual property. It could be considered part of an historic district within the same postwar housing context; but again, given the sheer number of postwar subdivisions it would be necessary for this one to be distinctive in some respect. In our opinion, that is not the case. The houses in the Greendale Subdivision were constructed over a period of more than two decades, not as a single episode, which would lend more importance to a potential district. Criterion 1 is not met.

Criterion 2. None of the people associated with this house and property were found to be of special note to local, state, or national history. Criterion 2 is not met.

Criterion 3. Criterion 3 speaks to the architectural significance of a property. This house is a simple Ranch-style dwelling exhibiting most of the character-defining elements of the style, which include:

- One story construction
- Low horizontal form
- Rectilinear or "L" plan, often with an attached garage or carport
- Hipped or gabled roof, often broadside to the street
- Pronounced chimney.
- Combination of two or more exterior wall materials across front facade
- Usually with a shallow, recessed front porch and rear patio
- Built-in planter boxes
- Variety of window types including double-hung, picture, sliding, and jalousie

CONTINUATION SHEET

Primary #:

HRI #:

Trinomial:

Resource Name or #: 753 3rd Street East

Date: July 2014

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Recorded by: V. Beard

As was the case with Criterion 1, it is not enough to simply exhibit these elements, especially when the style is one that was mass produced in great numbers after World War II. There is nothing that distinguishes this particular Ranch-style home from others of its kind, and Criterion 3 is not met.

Criterion 4. This property does not meet Criterion 4. Criterion 4 generally applies to archaeological resources that could yield important analytical data relating to prehistory or history.

Conclusion

The house at 753 3rd Street East does not appear eligible for the California Register as a separate property or as part of a district.

Summary of Property Owners

Date	Owner	Description	Reference
12/10/1932	Carl G. Greendale	Purchased Sonoma Lots 97-98-115-116-117-118	OR 328/347*
12/2/1946	Carl G. & Hulda Greendale	Greendale Subdivision filed with County	Maps 57/19
2/18/1958	Homer R. and Edith A. Bosse	Purchased Subdivision Lots 17-18-19	OR 1574/28
4/19/1960	James F. and Marion I. Petersen	Purchased Lot 17	OR 1750/598
12/2/1968	James F. Petersen	Death of joint tenant	OR 2370/946
8/12/1975	Seminia Sellmer	Inherited Lot 17	OR 2988/77
06/23/1978	Seminia Sellmer and Eunice Rusch	Joint tenant with daughter	OR 3417/82
1983	Seminia Sellmer	Quit claim from Rusch to Sellmer	OR 1983002820
04/08/1997	Dellera Family Trust	Purchased Lot 17	OR 1997028723
08/03/2000	Donald and Linda Dellera	Received from Dellera Family Trust	OR 2000077729
09/13/2012	Janet Leslie Farren	Purchased Lot 17	OR 2012089439
05/09/2014	Richard M. Konecky	Purchased Lot 17	OR 2014037707

* Official Records

CONTINUATION SHEET

Primary #: P-

HRI #:

Trinomial:

Resource Name or #: 753 3rd Street East

Date: July 2014

Page 9 of 11

Recorded by: V. Beard

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Primary #: P-

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Trinomial:

Resource Name or #: 753 3rd Street East

Date: July 2014

Page 10 of 11

Recorded by: V. Beard

B12. References

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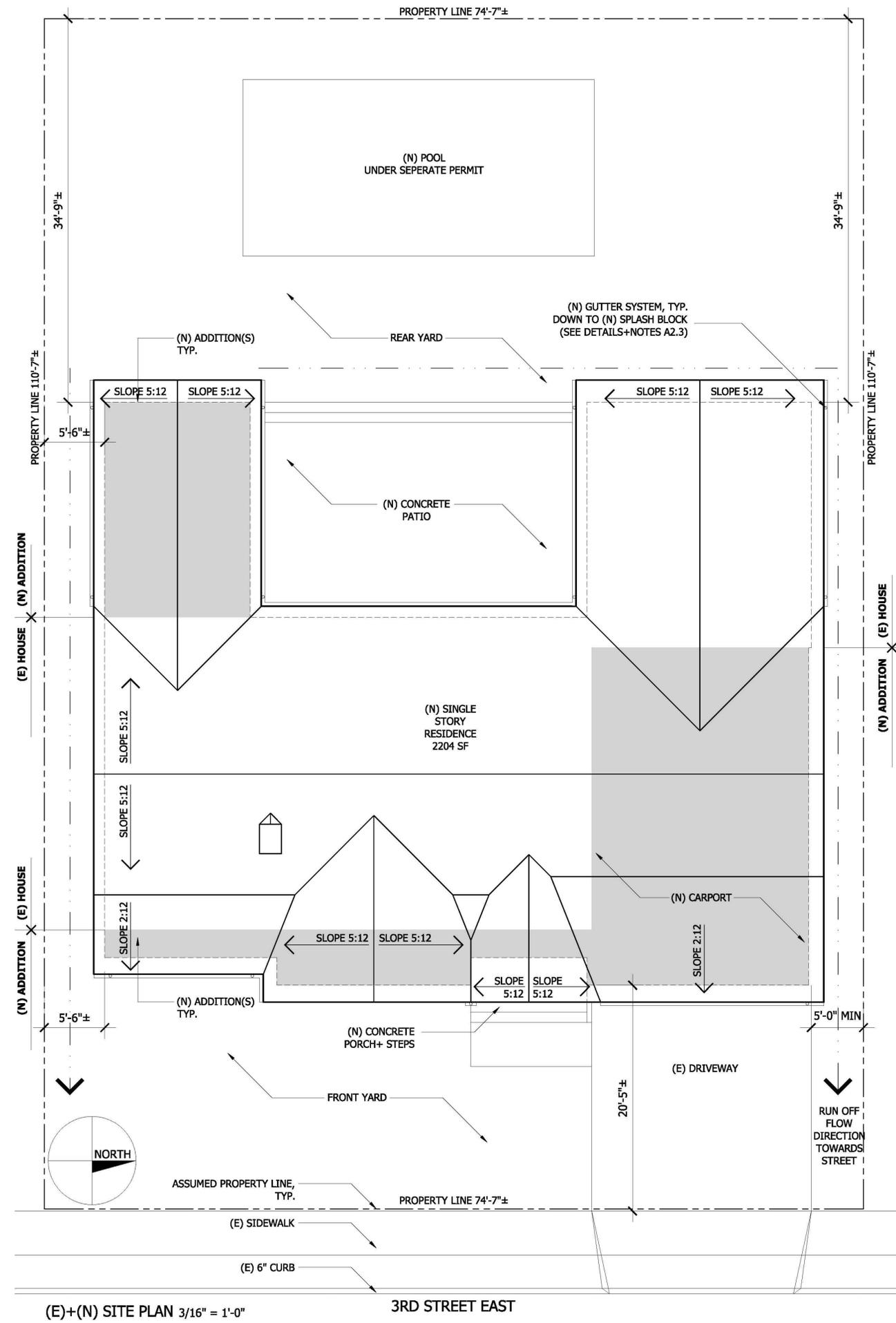
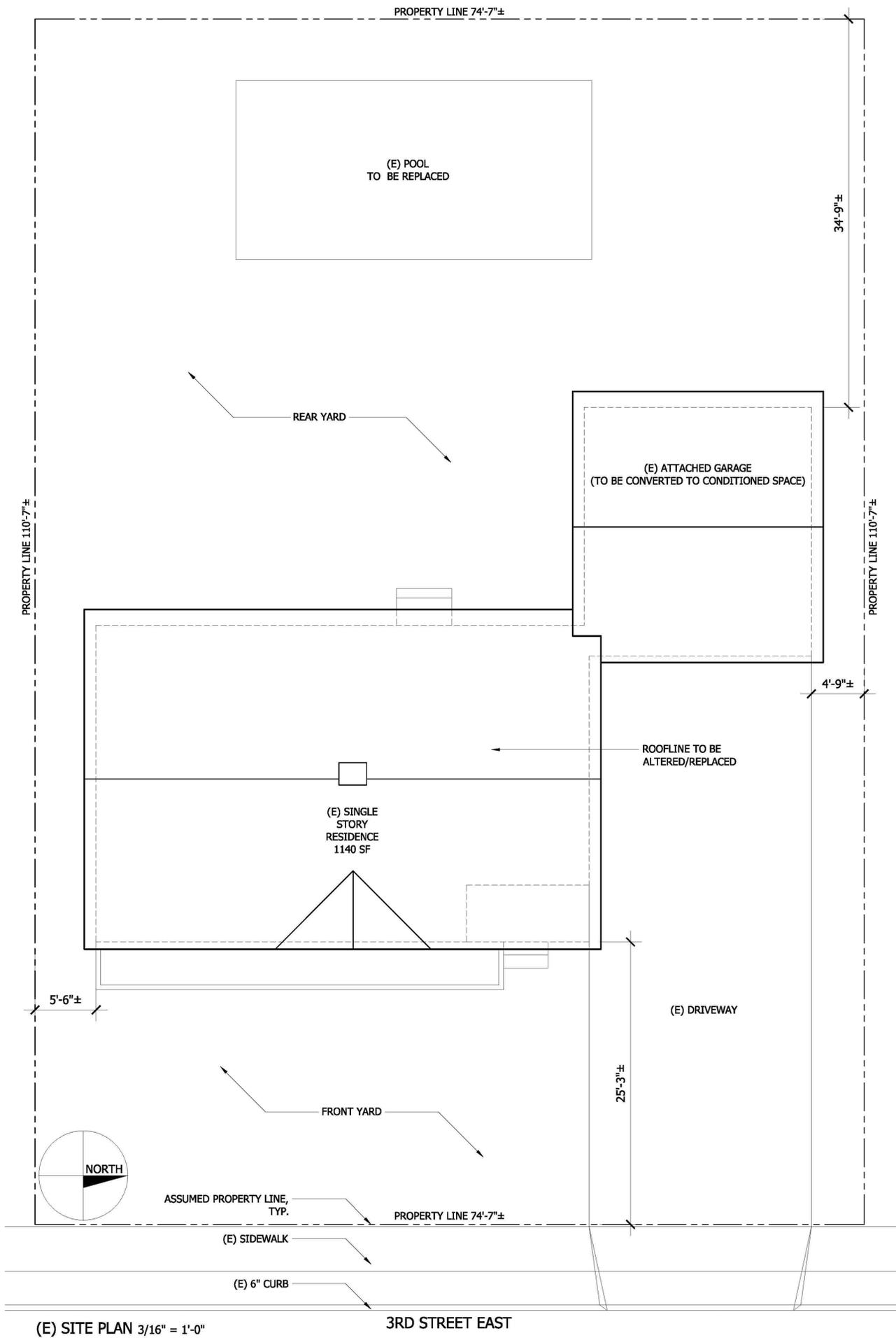
LOCATION MAP

Page 11 of 11
Map Name: Sonoma

Scale: 7.5'

Primary #: P-
HRI #:
Trinomial:
Resource Name or #: 753 3rd Street East
Date of Map: 1980





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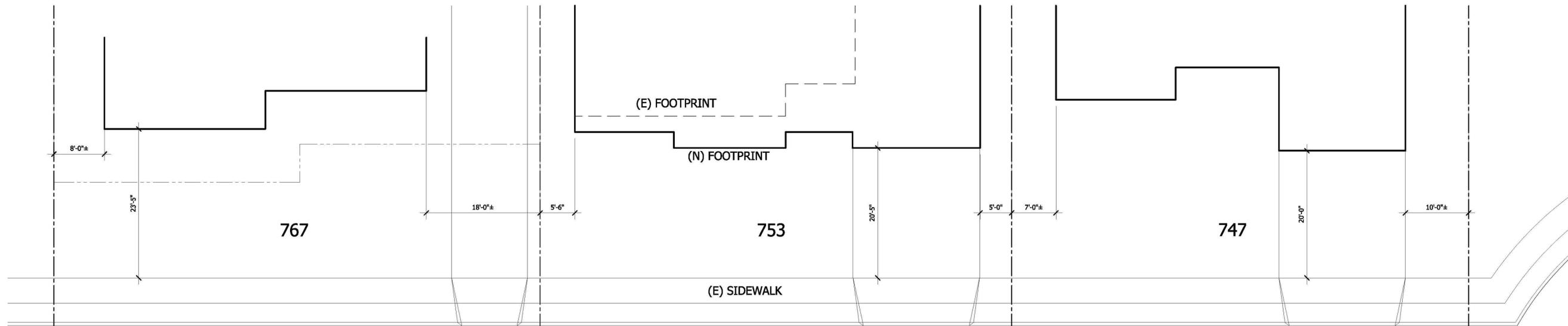
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PRE PERMIT: 6/12/14
PERMIT: 7/3/14

DRAWN BY: PA SCALE: 3/16"=1'
DATE: 7/21/14 CHECK:

SHEET TITLE:
(E)/(E)+(N) SITE PLANS

SHEET NUMBER:
A1.0



KONECKY RESIDENCE

753 3RD STREET EAST
SONOMA, CA 95476
APN: 018-361-030

THIRD STREET EAST

(E) SIDEWALK

SITE CONTEXT 1/8" = 1'-0"

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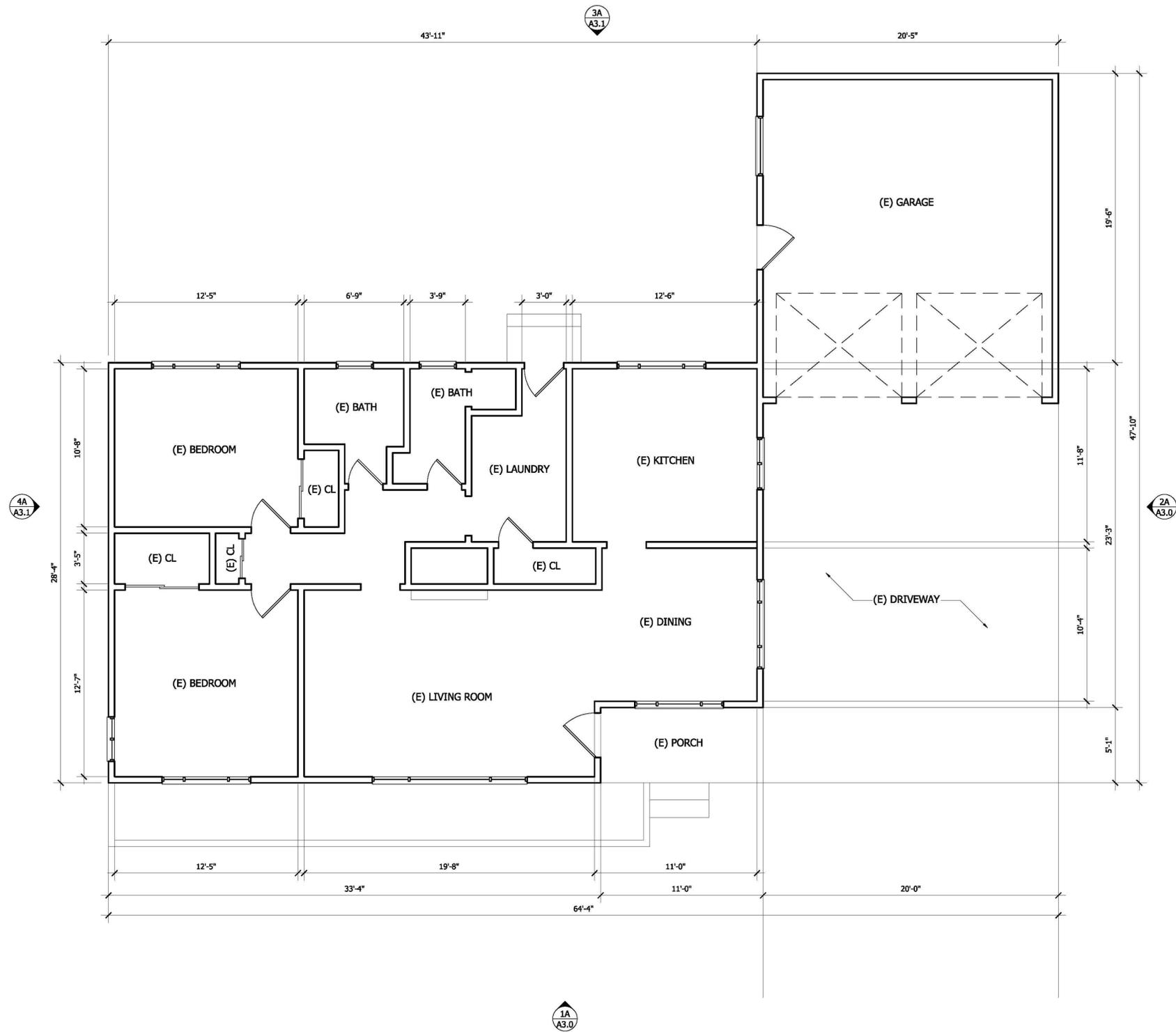
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(E)/(E)+(N) SITE CONTEXT

SHEET NUMBER:
A1.1



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APN:018-361-030



(E) FLOOR PLAN 1/4" = 1'-0" 1140 SF

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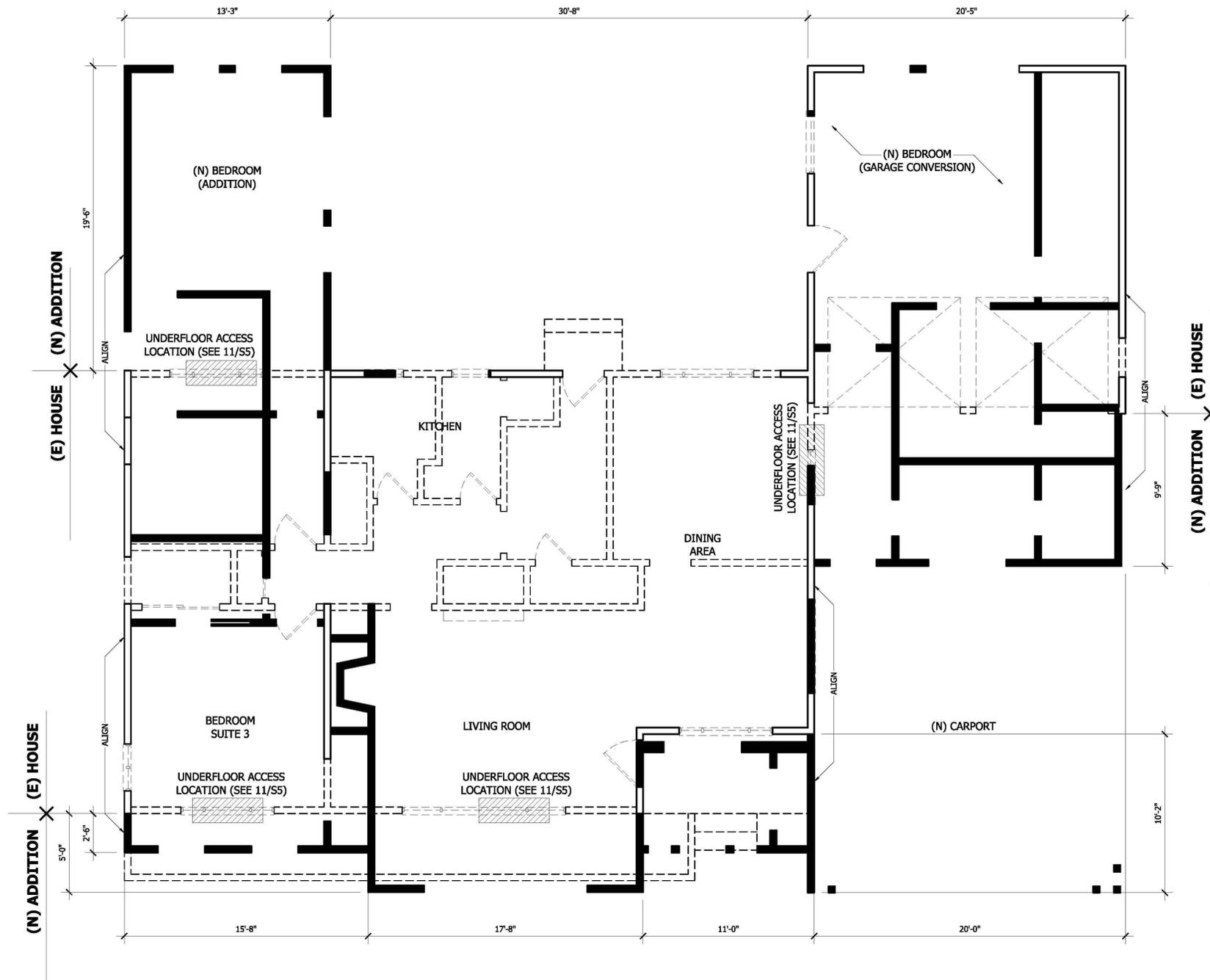
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(E) FLOOR PLAN

SHEET NUMBER:
A2.0



KONECKY RESIDENCE

753 3RD STREET EAST
SONOMA, CA 95476
APN:018-361-030



- ==== EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- ==== (N) CONSTRUCTION TO BE ADDED;
2x6 DOUG FIR @ 16" O.C. TYP.
LAP SIDING EXTERIOR+5/8 DRYWALL INTERIOR,
R19 INSULATION MIN.

(E)+(N) DEMO PLAN 1/4" = 1'-0"

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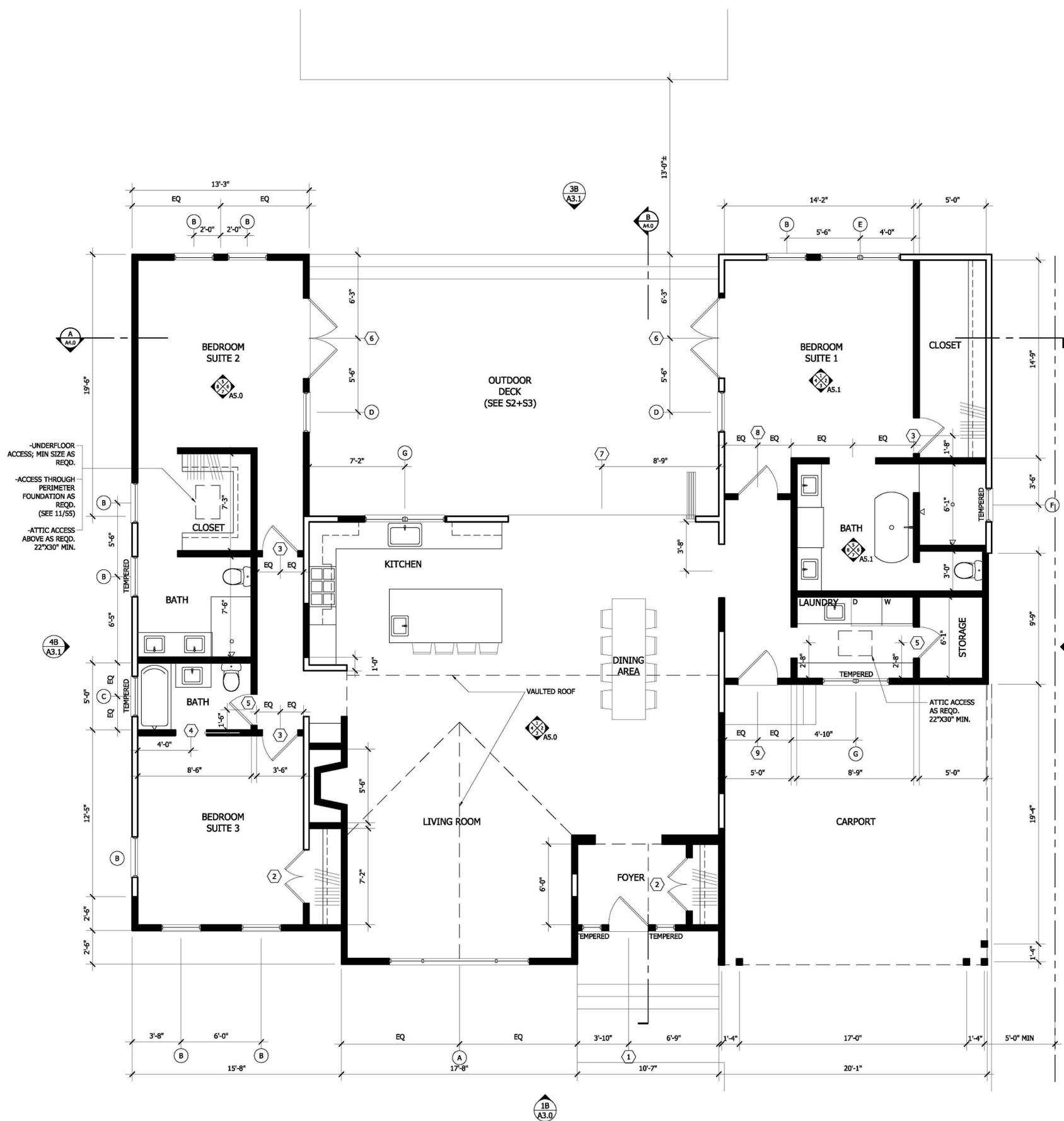
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(E) DEMO PLAN

SHEET NUMBER:
A2.1



KONECKY RESIDENCE

753 3RD STREET EAST
SONOMA, CA 95476
APN:018-361-030



WINDOW SCHEDULE

SYM	DESCRIPTION	NOM SIZE	REMARKS
A	AWNING OVER CHIMNEY PICTURE AWNING OVER CHIMNEY	10'-6"X5'-0"	
B	AWNING OVER CASEMENT	3'-0"X5'-0"	
C	AWNING	3'-0"X3'-0"	
D	PICTURE	3'-0"X6'-0"	
E	AWNING OVER CASEMENT X2	6'-0"X5'-0"	
F	AWNING	2'-6"X2'-6"	
G	AWNING X2	5'-0"X2'-0"	

DOOR SCHEDULE

SYM	DESCRIPTION	NOM SIZE	REMARKS
1	FRENCH DOOR W/ SIDELITES	7'-0"X6'-8"	
2	CLOSET X2	4'-0"X6'-8"	
3	INTERIOR	2'-8"X6'-8"	
4	POCKET	2'-4"X6'-8"	
5	INTERIOR	2'-4"X6'-8"	
6	FRENCH DOORS	6'-0"X6'-8"	TEMPERED GLASS
7	FOLDING FRENCH DOORS	14'-0"X6'-8"	
8	INTERIOR	3'-0"X6'-8"	
9	FRENCH DOOR	3'-0"X6'-8"	

-UNDERFLOOR
ACCESS; MIN SIZE AS
REQD.

-ACCESS THROUGH
PERIMETER
FOUNDATION AS
REQD.
(SEE 11/S5)

-ATTIC ACCESS
ABOVE AS REQD.
22"X30" MIN.

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SHEET TITLE:
(E)+(N) FLOOR PLAN

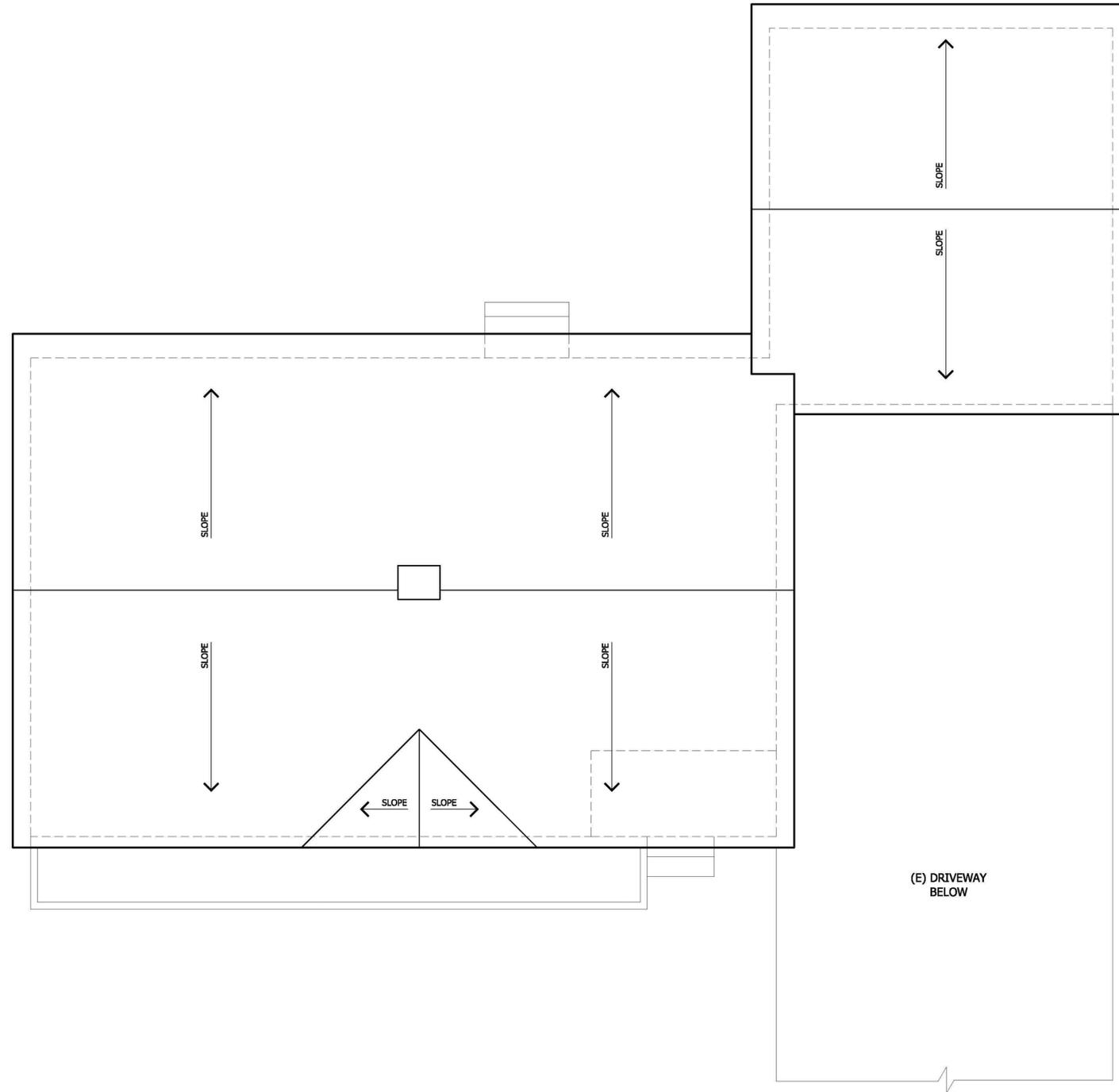
SHEET NUMBER:
A2.2

(N) FLOOR PLAN 1/4" = 1'-0" (E)1140 +(N)1064 = 2204 SF TOTAL



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SHEET TITLE:
(E) ROOF PLAN

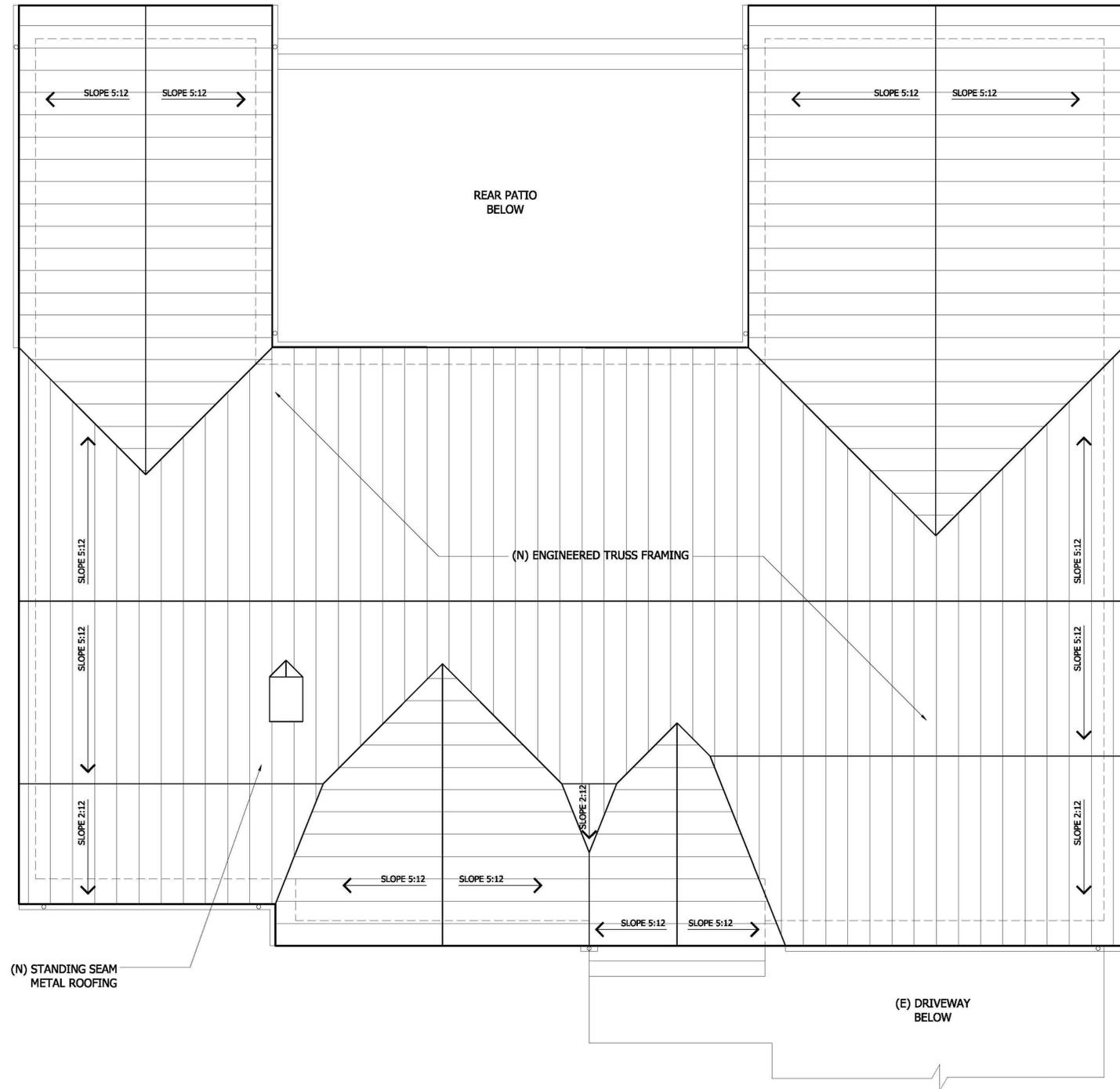
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A2.3

(E) ROOF PLAN 1/4" = 1'-0"

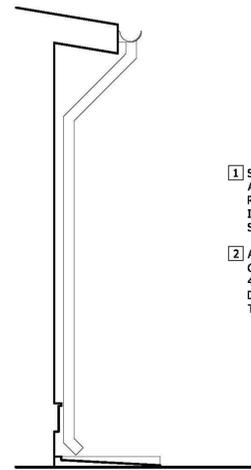


KONECKY RESIDENCE

753 3RD STREET EAST
SONOMA, CA 95476
APN:018-361-030



(N) GUTTER SYSTEM, TYP.
DOWN TO (N) SPLASH BLOCK



- 1 SPLASH BLOCK TO SHED WATER AWAY FROM THE HOUSE AS REQUIRED. WATER TO BE DIRECTED INTO (E) NATURAL PATH TOWARDS STREET.
- 2 ALL PROJECT SITE DRAINAGE TO CONFORM TO CALGREEN SECTIONS 4.106.2 AND 4.106.3. ALL NEW SITE DRAINAGE TO TIE INTO (E) SWALE TOWARDS STREET.

(N) ROOF PLAN 1/4" = 1'-0"

DRAINAGE DETAIL 1/2" = 1'-0"

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SHEET TITLE:
(E)+(N) ROOF PLAN

SHEET NUMBER:
A2.4



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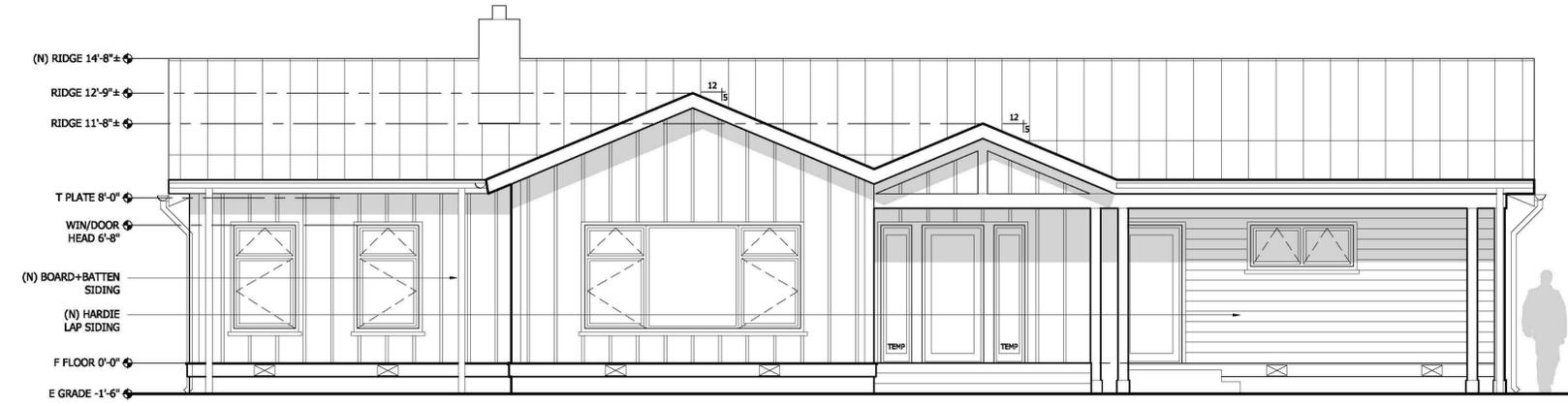
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SHEET TITLE:
ELEVATIONS

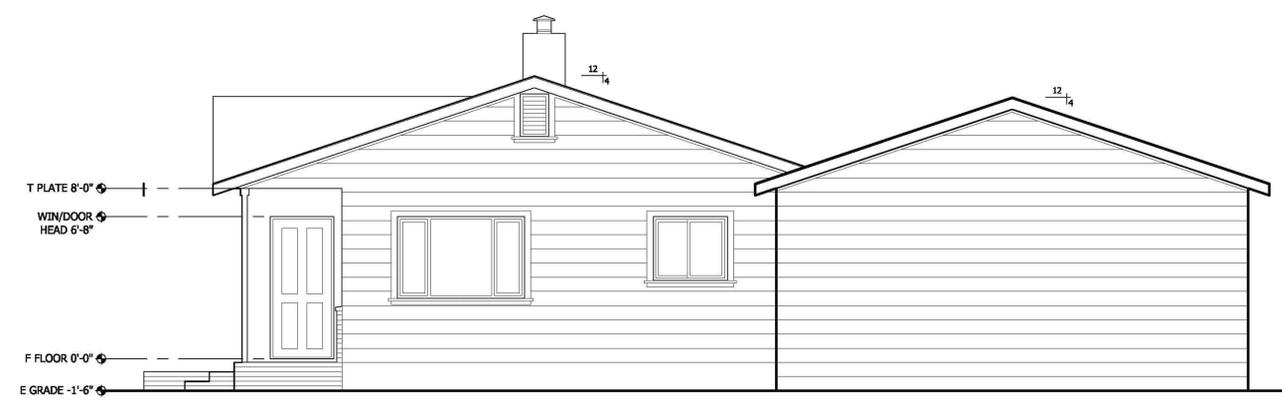
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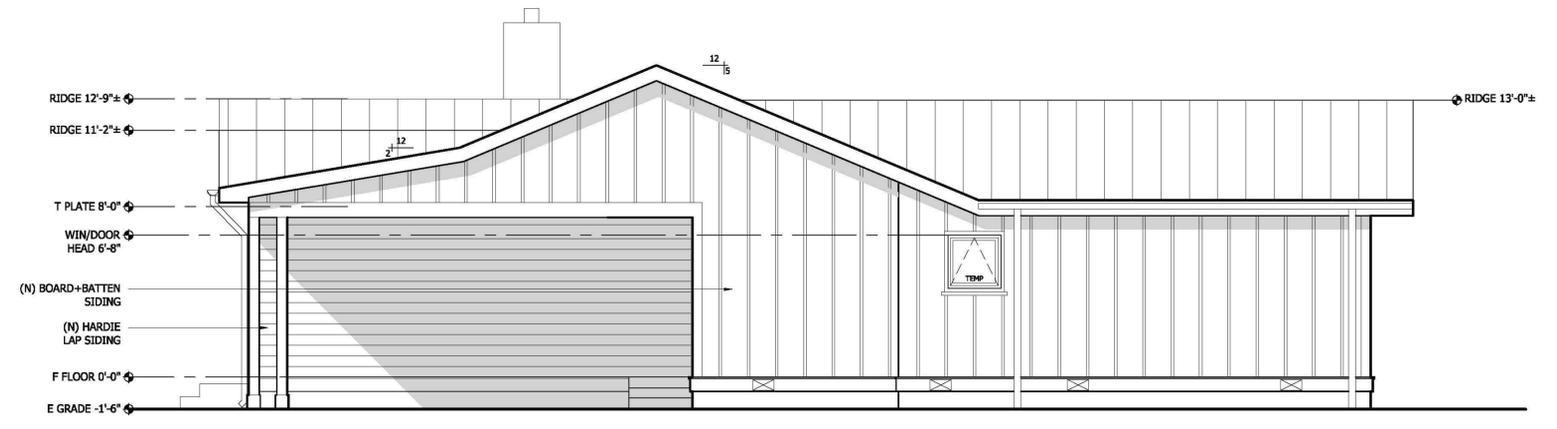
(E) ELEVATION 1A 1/4" = 1'-0"



(E)+(N) ELEVATION 1B 1/4" = 1'-0"



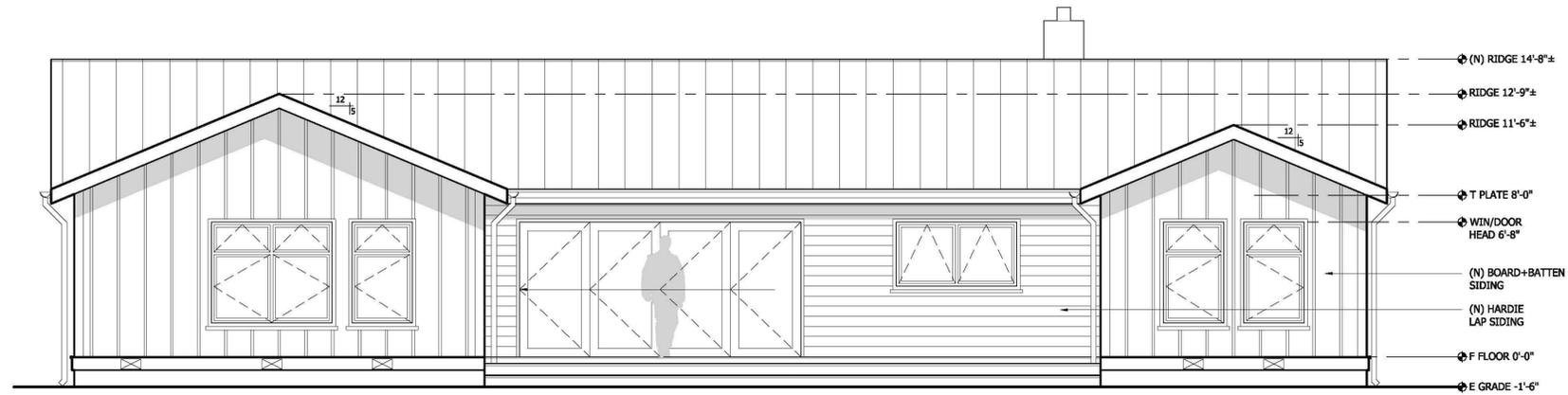
(E) ELEVATION 2A 1/4" = 1'-0"



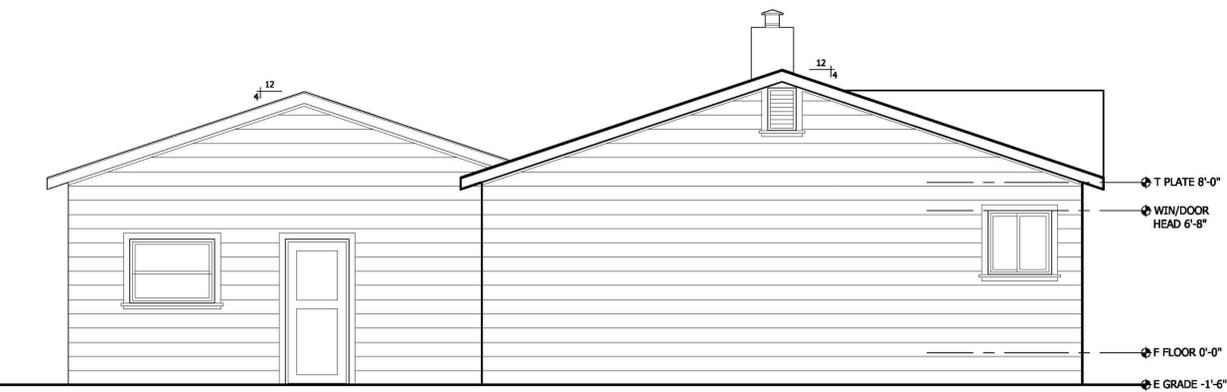
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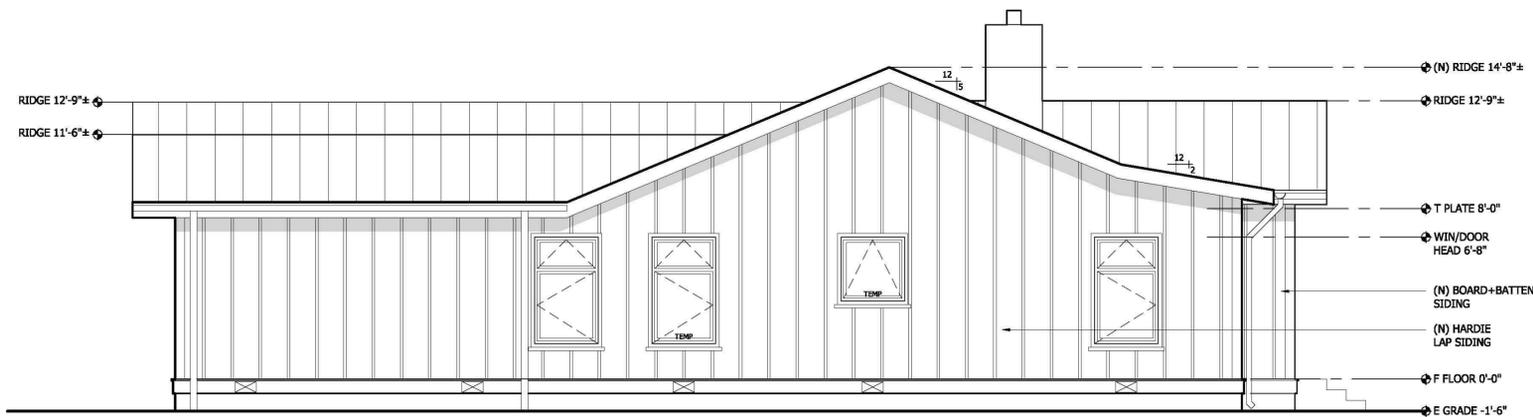
(E) ELEVATION 3A 1/4" = 1'-0"



(E)+(N) ELEVATION 3B 1/4" = 1'-0"



(E) ELEVATION 4A 1/4" = 1'-0"



(E)+(N) ELEVATION 4B 1/4" = 1'-0"



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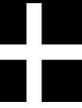
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A3.1

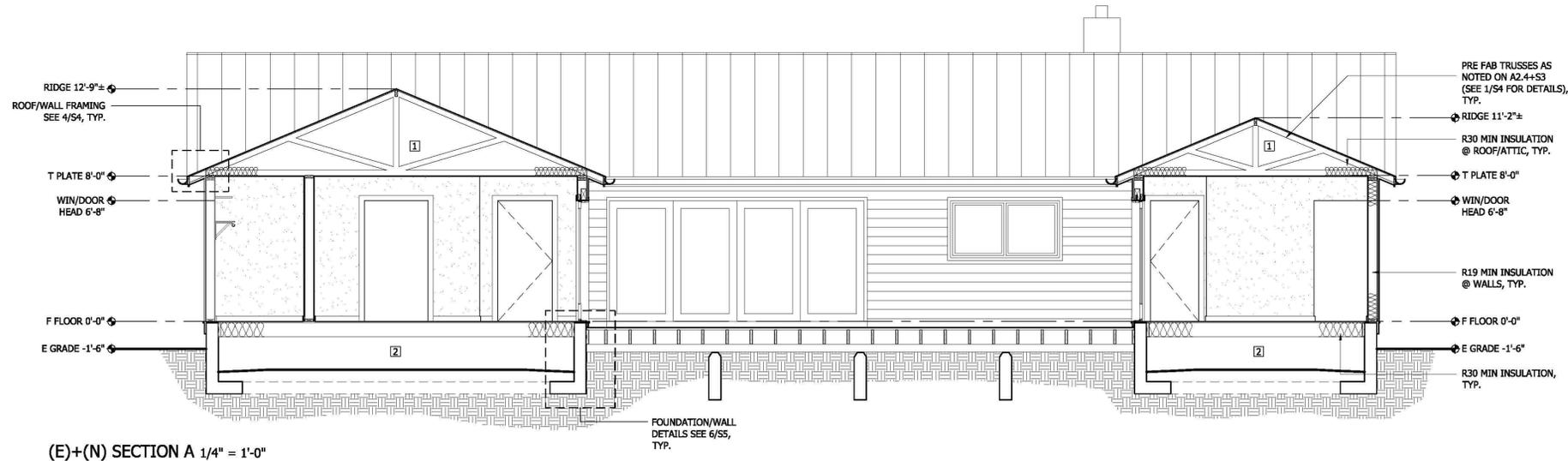
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CHECK:

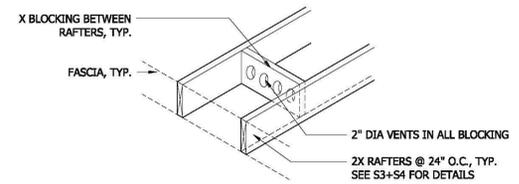


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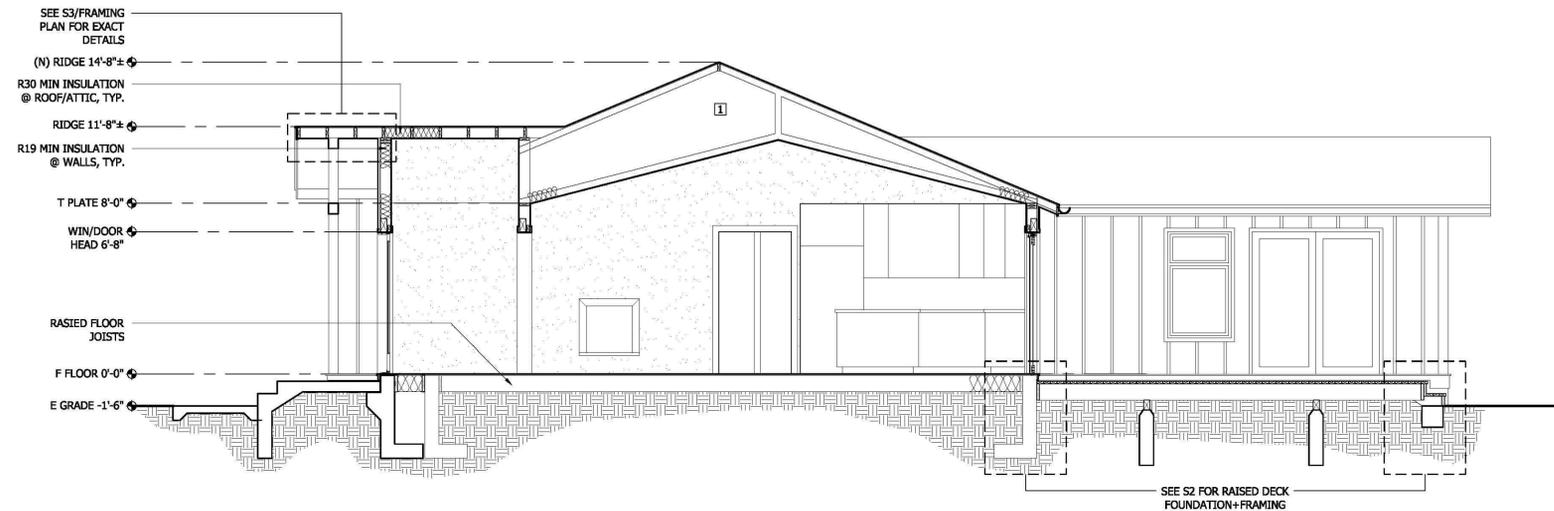
753 3RD STREET EAST
SONOMA, CA 95476
APN:018-361-030



(E)+(N) SECTION A 1/4" = 1'-0"



ROOF VENTILATION DETAIL 1/2" = 1'-0"



(E)+(N) SECTION B 1/4" = 1'-0"

SHEET NOTES:

- 1 ROOF VENTILATION SHALL BE PROVIDED BY A MIN. OF ONE (1) SF PER 150 SF OF FLOOR SPACE.
2204 SF / 150 SF = 14.69 SF
14.69 SF = 15 NO. VENTS
- 2 UNDERFLOOR VENTILATION SHALL BE PROVIDED BY A MIN. OF ONE (1) SF PER 150 SF OF FLOOR SPACE.
2204 SF / 150 SF = 14.69 SF
14.69 SF = 15 NO. VENTS
- 3 UNDERFLOOR ACCESS, MIN SIZE AS REQUIRED. SEE A2.2 FOR LOCATIONS AND 11/S5 FOR DETAIL THROUGH (E)(N) FOUNDATION

INDEX:

- CONTINUOUS FRAMING MEMBER — SEE DIRECTION OF FRAMING ON S2
- BLOCKING

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DRAWN BY: PA SCALE: 1/4"=1'
DATE: 7/21/14 CHECK:

SHEET TITLE:
SECTIONS

SHEET NUMBER:
A4.0

M E M O

To: Planning Commission

From: David Goodison, Planning Director

Re: Study Session on a proposal to redevelop four parcels on West Napa Street with a 59-room hotel/spa, a restaurant, and associated parking and site improvements

Background

In 2012, prior to the submittal of the current proposal, an application was made for environmental review and Use Permit approval for a similar but more intense hotel development on the subject site, which is comprised of a group of parcels located on the south side of West Napa Street, between First Street West and Second Street West. That earlier proposal called for a 59-unit room hotel (including a gym and an event facility), along with two ground-floor restaurants and 2,800 square feet of retail space on a 1.55-acre site. The Planning Commission held a study session on the project at its meeting of August 23, 2012, and the Design Review and Historic Preservation held a study session on September 18, 2012. Shortly thereafter, the applicants placed the project on hold, pending the outcome of a local ballot initiative that would have essentially capped the size of new hotels in Sonoma at 25 rooms. While the initiative qualified for the ballot, it was defeated in the November 2013 election. Subsequently, the applicants revisited the project, scaling it back significantly in several areas, and taking a different approach with the respect to its architecture. Key changes are as follows:

- **Site:** The project site no longer includes the Lynch building and the Index-Tribune building, located at 117 and 135 West Napa Street. In the previous proposal, the seven apartment units on the third floor of the Lynch building were proposed to be converted to hotel guest rooms and this would have been integrated with the proposed hotel structure. The Index-Tribune building was proposed to be demolished and replaced with an extension of the hotel that would have included an event space and ground-floor restaurant. In the current proposal, both buildings would be retained. The Chateau Sonoma building, at 153 West Napa Street, is still proposed for demolition, however.
- **Parking:** in the 2012 proposal, the parking was at ground level, with the hotel structure above. (This configuration occurred in the interior of the site, but not in the buildings fronting West Napa Street.) The revised proposal calls for an underground parking structure, featuring 95 spaces (including valet parking). Twenty surface spaces are also proposed, divided between the hotel entrance off West Napa Street and a small parking lot off First Street West.
- **Intensity of Use.** The 2012 proposal called for two restaurants, a 6,000 square foot event space, and a full-service gym that would have been available for public membership, in

addition to serving hotel guests. The revised proposal, in contrast, features a single restaurant and eliminates the event space entirely. The gym has been scaled back to serve hotel guests.

Although the hotel is still proposed as a three-story structure, these changes greatly reduce its overall mass and allow for a much different site plan. While the project site area now is smaller, coverage and Floor Area Ratio (FAR) have been reduced by approximately 50% in the revised proposal. A quantified comparison of the previous project and the current proposal is set forth in the table below.

Project Element	2012 Proposal	Current Proposal
Site Area	1.55 acres	1.24 acres
Hotel Rooms	59	59
Coverage	98%	48.8%
FAR	1.96	0.86
Event Space	6,000 square feet	None
Restaurant Seating (indoor)	126 (2 restaurants)	80 (1 restaurant)
Retail Space	2,800 square feet	None
Parking	121 spaces	115 spaces

As noted above, the architecture of the hotel has also changed substantially. The original architectural approach had been criticized by some as being out-of-character with the Plaza in its contrast with building types viewed as representative of downtown Sonoma, which is a sensitive issue as the site adjoins the Sonoma Plaza National Historic Landmark District. In response, a revised design has been developed that clearly draws from local examples of historic architecture within the downtown. The new approach is used to particular advantage on the one building that would front West Napa Street, as the shed roof reduces the scale of the building.

Property Description and Environs

The subject property is comprised of four parcels located in downtown Sonoma on the south side of West Napa Street, just west of the Plaza. These parcels are developed as follows:

Address	Existing Development	Notes
153 West Napa Street	Single-story retail building (Chateau Sonoma).	Building proposed for demolition.
135 West Napa Street	3-story building (Lynch Building) featuring retail, offices, and 7 studio apartments. Parking lot.	Building to be retained with no change in use. Parking lot to be removed/reconfigured.
123 West Napa Street	Single-story print building (portion). Parking lot.	Building proposed for demolition. Parking lot to be removed/reconfigured.
117 West Napa Street (Note: this parcel also has frontage on First Street West)	2-story office/retail building (Sonoma Index-Tribune), and single-story print building (portion). Parking lot.	Historically-significant building to be retained with no change in use. Print building to be demolished. Parking lot to be removed/reconfigured.

The existing Chateau Sonoma building is a standalone structure that fronts directly on West Napa Street with a zero setback. Although it is essentially a one-story building, it is relatively tall, having a height of approximately 30 feet. Parking is limited to one or two pull-in spaces located on the east side of the building. The undeveloped area in the back is used for an outdoor retail area. The adjoining Lynch Building also features a zero setback on West Napa Street. This structure features three stories and a height of 36 feet. It is served by a parking lot located on the west side of the building that extends southward and wraps around to connect with First Street West. This parking lot serves not only the Lynch Building, but also the former printing plant and the Index-Tribune building. The Index-Tribune Building is a two-story structure, which also features a zero setback on West Napa Street. It sits on a roughly “L” shaped parcel that has frontage on West Napa Street and First Street West. The printing plant is a one-story structure that straddles a property line. It was developed as an addition to the Index-Tribune building. With the exception of the outdoor retail area associated with Chateau Sonoma, the four parcels are substantially developed with buildings, parking, and other hardscape. However, there are number of trees on the site, including a small group of oak trees on the south end of the Chateau Sonoma parcel and two large redwood trees adjoining First Street West.

All four parcels have a base zoning designation of “Commercial” and are located within the Historic District Overlay zone and the Downtown Planning Area. Adjacent development includes a mix of retail, office and restaurant uses on the north, east, and west, and an 82-room hotel on the south.

Proposed Development

The proposal envisions a 59-room hotel/spa, along with an 80-seat restaurant and associated parking and site improvements. The physical development would include the following:

- The main hotel building would take the form of a three-story structure located in the southern portion of the site, setback approximately 164 feet from West Napa Street. An entry court with a turn-around would provide vehicle access to the lobby and connect with the underground parking lot. The entry court would provide views of the hotel building from West Napa Street, framed by the restaurant wing and the Lynch Building, but the Lynch Building and the Index-Tribune Building would also screen views of the main hotel. The hotel building features two large courtyards, an open area behind the lobby portion of the building and a swimming pool with deck area at the southern property line. The first floor of the building contains the lobby, the spa and gym, and several meeting rooms, while the upper floors consist of guest rooms.
- The restaurant wing extends along the west side of the entry court, connecting with the main building on the south and fronting West Napa Street on the north. This too is a three-story structure. The lower floor consists of an 80-seat restaurant, while the two upper floors feature guest rooms. The building frontage on West Napa Street is approximately 64 feet.
- Vehicular circulation begins with the entry court off of West Napa Street, which allows both entry and exit (limited to a right-turn). The court, which has a length of approximately 140 feet, features a turnaround at the lobby entrance to facilitate drop-offs for the valet parking service. On the east side of the court, next to the Lynch Building, five parking spaces would

be retained for customer use. Two short-term parking spaces would also be located adjacent to the hotel building, east of the turn-around. The turn-around feeds into a ramp, located directly behind the Lynch building, which provides ingress and egress to an underground parking lot with a total capacity of 95 spaces, including valet parking. (Note: seven of these spaces would be reserved for the seven apartments in the Lynch Building). The parking lot includes a van delivery area and spaces for various housekeeping and service uses. On the east, a ramp provides a one-way exit to First Street West. A small staff parking lot adjoins the ramp on the south, as well as a screened area for trash and recycling.

- At ground level, especially along the west side of the site, much of the new construction at the first-floor level would feature reduced setbacks of 2-3 feet, which is allowed in the Commercial zone. However, the second and third-stories would typically be set back 10 feet, with the exception of a few, limited projections.
- The development would incorporate a number of green building features, with the objective of achieving some level of LEED certification.

In order to accommodate the new development, the Chateau Sonoma building is proposed to be demolished. The Lynch building and the Index-Tribune building would not be altered and lot line adjustments would be made to keep them on separate parcels.

General Plan Policies

As noted above, the site has a land use designation of “Commercial,” in which hotels and restaurants are identified as a conditionally-allowed uses, with retail identified as a permitted use. As set forth in the General Plan, the purpose of the Commercial designation is to “... *provide areas for retail, hotel, service, medical, and office development, in association with apartments and mixed-use developments and necessary public improvements.*” Potentially applicable General Plan policies include the following:

Community Development Element

- Promote innovative design and mixed uses through the Development Code. (CDE 4.1)
- Coordinate development on small contiguous lots where possible. (CDE 4.3)
- Require pedestrian and bicycle access and amenities in all development. (CDE 4.4)
- Preserve and enhance the scale of the community without imposing rigid stylistic restrictions. (CDE 5.1)
- Promote higher density, infill development, while ensuring that building mass, scale and form are compatible with neighborhood and town character. (CDE 5.5)
- Encourage the designation and preservation of local historic structures and landmarks, and protect cultural resources. (CDE 5.8)

Local Economy Element

- Focus on the retention and attraction of businesses that reinforce Sonoma’s distinctive qualities—such as agriculture, food and wine, history and art—and that offer high-paying jobs. (LE 1.1)
- Promote and accommodate year-round tourism that is consistent with the historic, small-town character of Sonoma. (LE 1.5)

- Preserve and enhance the historic Plaza area as a unique, retail-oriented commercial and cultural center that attracts both residents and visitors. (LE 1.8)
- Promote ground-floor retail uses in commercial areas as a means of generating pedestrian activity. (LE 1.10)

Environmental Resources Element

- Require new development to provide adequate private and, where appropriate, public open space. (ERE 1.4)
- Preserve existing trees and plant new trees. (ERE 2.6)
- Encourage construction, building maintenance, landscaping, and transportation practices that promote energy and water conservation and reduce greenhouse gas emissions. (ERE 3.2)

Circulation Element

- Incorporate bicycle facilities and amenities in new development. (CE 2.5)
- Ensure that new development mitigates its traffic impacts. (CE 3.7)

Although the use types proposed in the development application are consistent with the Commercial land use designation, there are General Plan policy issues that will need to be considered in the review of this development, especially those related to design compatibility and traffic issues.

Development Code Consistency

Commercial Zone. The C zoning district implements the corresponding General Plan land use designation of Commercial and, accordingly, is applied to areas primarily suitable for retail, office, and other types of commercial development. Hotels and restaurants are allowed, subject to conditional use permit review by the Planning Commission.

Planning Area Standards and Guidelines. The subject property is located in the “Downtown Planning Area” as defined in the Development Code. Applicable standards include the following:

Setbacks: Pursuant to Chapter 19.34 of the Development Code, there are no minimum front, side or rear yard setback requirements for new development in the Commercial zoning district, except when abutting a residential zone. (The site does not abut a residential zone.) Along West Napa Street, the restaurant wing would be set back from four to seven feet in order to provide wider sidewalks with room for planters and for outdoor seating. On the west, two and three-foot setbacks are proposed at ground level, but second and third floor building elements would be set back ten feet in most instances. This setback area provides for vegetated “green roof” areas on the second floor, which would play a role in storm water filtration. On the south, setbacks would range from 11 feet to 66 feet, except for a small, one-story service building, which would be set back three feet. On the east, the main hotel building would be setback 12 feet (adjoining the parking lot that serves the Feedstore building), while the restaurant wing would be set back 54 feet from the Lynch building at its closest point.

Floor Area Ratio/Coverage: The Commercial zone allows for a maximum floor area ratio (FAR) of 2.0 and building coverage of 100%, relative to the site area. Based on the proposed site plan the project FAR would amount to 0.86, with building coverage of 48.8%.

Height: The maximum allowed height of a primary structure is 35 feet (except that roof-mounted mechanical equipment structures may extend an additional five feet). For both the main hotel building and the restaurant wing, the peak roof height would be at the 35-foot maximum. Any roof-mounted mechanical equipment structures would need to comply with the additional height allowance of five feet, but it appears that any such features would be concealed in roof wells.

In summary, staff has not identified any substantial discrepancies between the proposed development and the quantified development standards applicable to the property.

Parking. The project site plan provides 115 off-street parking spaces, 40 of which would be made available through the use of managed, valet parking. The proposed valet parking component is substantial and will be a consideration in project review. According to the project narrative, valet parking would be implemented on a 24-hour basis. The amount of off-street parking that would be provided, as stated in the project narrative, is intended to exceed the cumulative parking requirement for the hotel, the restaurant, the Lynch building and the Index-Tribune building. The applicants had previously submitted a detailed parking analysis developed by a traffic consultant (as part of a larger traffic and circulation analysis), but this will need to be updated.

Historic Overlay Zone. The fact that the project is located within the Historic District Overlay zone does not result in any additional requirements beyond those that would apply to any commercial development of this size and type. Design review of the project will be required and the proposed demolition of the Chateau Sonoma Building will be subject to the review and approval of the Design Review and Historic Preservation Commission. In light of the site's location within the Historic Overlay zone, its prominence on West Napa Street, and its proximity to the Plaza and the Plaza National Landmark District, the project will receive heightened scrutiny with respect to design and visual compatibility. Note: A cultural resource evaluation of the Chateau Sonoma building, commissioned by the applicant, concludes that this structure is not historically significant. A study of the Lynch Building concluded that it does possess historic significance due to its association with the Lynch family and the Index-Tribune. The project is not located within the Plaza National Landmark District, although a portion of the site (where the Index-Tribune building is located) adjoins the District on the west.

Design Guidelines: In addition to quantified zoning requirements regarding setbacks, coverage, Floor Area Ratio limitations, and so forth, the Development Code sets forth design guidelines tailored to each Planning Area. Within the Downtown Planning Area, key guidelines potentially applicable to the proposed development are as follows:

- Preserve and enhance the historic character of the downtown and promote its economic vitality.
- In new construction, build upon the established character of the area and employ high-quality and pedestrian-friendly design.
- Create driveway and pedestrian connections where possible.
- Site planning and building design should enhance the streetscape.
- Reinforce the scale and massing of significant historic buildings in the vicinity.

- The massing of larger commercial and mixed-use buildings should be broken down to an appropriate scale through the use of store-fronts and breaks in the façade.
- Architectural styles and details that reflect the Sonoma vernacular should be used.
- Parking areas should be located to the side and rear of buildings, not in front setback areas.
- Preserve and restore historic structures.

Based on a preliminary review of the proposal, the project appears to be generally consistent with these directions, especially as the revised proposal would preserve the Lynch building, which possesses historic significance. Further analysis will occur as the development review process proceeds.

Issues

The following issues have been highlighted by staff in order to generate discussion and feedback as part of the study session on the project. The following is not intended as a complete list of the issues that that will need to be evaluated in the course of the planning process, nor should it preclude discussion of other topics that are of interest to the Planning Commission or interested members of the public.

Design and Visual Compatibility. As discussed in the preceding section, the Development Code sets forth a number of design directions for new development in the Downtown Planning Area against which this project will need to be evaluated. Broadly speaking, the project appears to be consistent with the design and land use directions set forth in the Development Code in that it features:

- A building layout in which massing is broken down through building articulation and integrated architectural features.
- Layered elements including balconies, covered porches, awnings, and other forms of detailing and articulation designed to achieve a pedestrian scale.
- High quality materials and finishes.
- Concealed parking.
- A ground-floor restaurant, in conjunction with streetscape amenities, intended to generate pedestrian activity.

The Development Code neither mandates nor prohibits specific architectural styles, in part because a wide variety of styles exist in Sonoma. However, the Development Code does suggest that new development make use of the “Sonoma vernacular”, meaning that there should be local and preferably historic references to be found in the architectural approach. In their revised design, the project applicant and architect have incorporated that direction. However, because of its high-profile location with the downtown area, project design and architecture will continue to be a significant topic in the review process.

Cultural Resources. As previously noted, the development proposal calls for the demolition of the Chateau Sonoma building, located at 153 West Napa Street. A cultural resource analysis of the Chateau Sonoma commissioned by the applicant building concludes that the building is not historically significant. An independent cultural resources evaluation of the Chateau Sonoma building will be conducted by the City as part of the environmental review of the project. As a

related matter, it will be necessary to evaluate whether or not the form and design of the proposed development would have an adverse impact on any significant cultural resources in the vicinity of the site (such as the Index-Tribune Building) and/or the adjoining National Landmark District. This assessment will be conducted as part of the environmental review of the project.

Circulation and Traffic. The project is located in the downtown area on an infill site having primary frontage on West Napa Street. Given these circumstances and the scale and nature of the proposed development, traffic issues will need to be carefully evaluated. In terms of site circulation, the existing two-way driveway entrance to the Lynch building parking will be retained and re-purposed as a parking court leading to the enclosed parking garage. The parking garage also includes a connection to First Street West (which is also an existing driveway connection to the Lynch parking lot) that will serve as an exit only. No new driveway-cuts are proposed. Deliveries and trash/recycling pick-up would be made from First Street West, not West Napa Street and a loading area that might also serve the Red Grape is proposed.

As part of their submittal for the 2012 proposal, the applicants commissioned a traffic and circulation study of the project, prepared by W-Trans, which evaluates project impacts at the intersections of Second Street West/West Napa, First Street West/West Napa, and Broadway/West Napa, as well as the driveway approaches to the project on both West Napa Street and First Street West. (The study also addresses pedestrian and bicycle conditions, traffic safety considerations and parking.) Based on this study, it was estimated that the 2012 project would have generated 382 daily vehicle trips, on the average. With removal of 46 restaurant seats, the event space, and the retail area, this initial estimate will likely be reduced.

The main problem area identified in the traffic study, which will persist regardless of any reduction in the intensity of the project, is the intersection of Broadway/West Napa Street. This intersection already operates at a low level of service. However, as a matter of policy, in the interest of avoiding a visual intrusion that might diminish the historic character of the Plaza, the intersection is not proposed for signalization. As is the case with respect to the cultural resource studies, the City will conduct an independent evaluation of traffic and circulation issues as part of the environmental review of the project. Given that West Napa Street is part of Highway 12, Caltrans review will be part of this process.

Absence of Residential Component. In applications for new development on commercially zoned properties over one-half acre, a residential component comprising at least 50% of the total proposed building area is normally required unless waived or reduced by the Planning Commission. It should be noted that the reduction or waiver of a residential component does not constitute a variance or an exception, as this allowance is built into the definition of the Commercial zone. No residential component is proposed in this project and the applicants are requesting a waiver from this standard. Circumstances in which the residential component may be reduced or waived, include, but are not limited, to the following:

1. The replacement of a commercial use within an existing tenant space with another commercial use.
2. The presence of uses or conditions incompatible with residential development on or adjacent to the property for which a new development is proposed.

3. Property characteristics, including size limitations and environmental characteristics, that constrain opportunities for residential development or make it infeasible.
4. Limitations imposed by other regulatory requirements, such as the Growth Management Ordinance.

As set forth in the project narrative, the applicants suggest that one of the primary purposes of the residential component is to promote pedestrian vitality in commercial areas and they argue that this would be accomplished in the project through the hotel guest rooms.

Stormwater. Addressing storm water retention and filtration requirements can be a difficult issue in infill settings, as is the case with this project. Conceptually, the applicants are proposing to address filtration through the use of vegetated areas at ground-level and on the roof of the second floor. With regard to retention, according to the project narrative, rainwater will be stored and recycled. An engineering proposal will need to be developed and analyzed as part of the planning review process.

Utilities. The adequacy of water and sewer availability will need to be confirmed as part of the environmental review process.

Development Logistics. The project involves the demolition of existing structures and the construction of a zero-lot line, three-story commercial development on an infill site that is surrounded by commercial development. Demolition and construction activities will involve significant logistical challenges that, if not addressed correctly, could have adverse impacts on nearby businesses. This issue will need to be analyzed and addressed as part of the planning review process.

Environmental Review

The scope of environmental review will be a key issue in the evaluation of the project. The previous proposal would have necessitated the preparation of an Environmental Impact Report (EIR) due to the proposed demolition of the Index-Tribune, as that building has been identified as historically significant. In the revised proposal, the Index-Tribune building will be preserved, so the preparation of an EIR is not automatic outcome. In addition, the intensity of the project has been reduced in several areas. Nonetheless, detailed information and analysis will be needed in a number of areas in order to fully evaluate the potential environmental impacts of the proposed development, including:

- Traffic, circulation, and parking.
- Water and sewer.
- Stormwater filtration and retention.
- Historic resources, such as the Index-Tribune building and the Plaza National Landmark. In addition, a peer review of the Chateau Sonoma building will be necessary.

As discussed below, while detailed analysis will be needed in each of those areas (and potentially others), depending on the outcome it is possible that the environmental review could be completed with an expanded initial study/negative declaration, rather than an EIR.

Next Steps

An application for this development has been filed and the development is now before the Planning Commission for a preliminary review. The next step in the planning process will be the preparation of an initial study. Planning staff will retain a consultant to prepare what is known as an expanded initial study that will include areas of detailed review, such as cultural resources, traffic, and water. After the expanded initial study has been prepared, the Planning Commission will make review it in a public hearing and determine whether it provides a sufficient basis for a finding of negative declaration (meaning that identified project impacts can be mitigated to a less-than significant level) or whether further analysis is needed through the preparation of an EIR. Other steps in the process include the following:

- Review by the Sonoma Valley Citizens Advisory Committee. Because this project will be subject to environmental review, it will be referred to the Sonoma Valley Citizens Advisory Commission for comment, once the draft initial study is completed. (Public hearing.)
- Use Permit review. Once the environmental review is complete, the Planning Commission will review the application for use permit approval of the project. This could occur either before or after the Design Review and Historic Preservation Commission (DRHPC) reviews the demolition application. (Public hearing.)
- Review of Demolition Permit. The DRHPC will need to evaluate the requested demolition. (Public hearing.)
- Architectural review. If the project is approved in some form, it would then be subject to architectural review, which is conducted by the DRHPC. (Public meeting.)

As identified in the preceding list, public hearings occur at each stage of the review process. Following the completion of the planning review process, it would then be necessary for the applicant to develop detailed public improvement and building plans prior to the issuance of any building permits. This represents a summary overview of the planning process and there are many additional review requirements and agency consultations not specified in the above.

Recommendation

The applicants are before the Planning Commission in a study session in order to obtain feedback from the Commission and receive comments from the public at the earliest stage of the review process. Staff recommends that the Planning Commission provide direction to the applicant on the issues identified in the staff report and any other issues identified through Commission discussion or public comment.

Attachments

1. Project narrative
2. Site Plan/Elevations (See <http://www.sonomacity.org/default.aspx?Pageid=455>) for the complete application submittal)

cc: Bill Hooper, Kenwood Investments (via email)

Michael Ross, RDC Architecture (via email)

July 28, 2014

PROJECT NARRATIVE

Application Type: *City of Sonoma Conditional Use Permit*

Project Name: Hotel Project Sonoma, Sonoma, CA (Working Title)

Project Sponsor: Kenwood Investments LLC, Darius Anderson and Bill Hooper

Project Architect: **RossDrulisCusenbery Architecture, Inc.**, Michael B. Ross, AIA

Design Collaborator: Keith Wicks, Artist, Sonoma, CA

PROJECT OVERVIEW

The proposed project is a 59 guest room hotel, restaurant, and spa with 115 off street parking spaces, located on West Napa Street in Sonoma, CA, one-half block from Sonoma's historic Plaza. The proposed Hotel is centrally located within the downtown business district and within the Sonoma Historic Overlay District.

The proposed project's planning and design approach is consistent with Sonoma's General Plan policies and Development Code guidelines. No variances are required for this project. The infill project has been designed to promote the economic vitality of the Downtown District and to attract both local patrons and overnight visitors. The proposed project is the result of extensive public input, review and discussion and reflects a thoughtful consideration of the history of Sonoma.

Hotel Project Sonoma is based on Sonoma's existing patterns of design and historic land use precedents. The new Hotel will reflect the scale, design diversity and commercial use of buildings around the Plaza and along West Napa Street. Surrounding buildings feature various footprint sizes and massing, ranging from one to three stories in height. Nearby commercial buildings exhibit a range of architectural styles and business uses and range in age from turn of the last century to new construction. This project draws on these common patterns of commercial and restaurant use found in the area and offers additional pedestrian-friendly resident and visitor serving opportunities west of the Plaza.

SITE

The site has been an integral part of Sonoma's commercial life for years. According to historic resource specialists, Page & Turnbull's Historic Resource Evaluation Report (HRE) prepared for the project, by 1905 the block had been developed with a variety of commercial businesses, including the Union Stable, Rambo's blacksmith shop, a wine storage facility, sheds and the French Hotel with an adjacent French laundry and 20 car garage.

Currently the majority of the existing 54,000 SF site is used as a parking lot. The present site includes a metal warehouse building, the 153 West Napa Street building and other ancillary structures which will be removed.

All properties being considered for the new Hotel are controlled or owned by Kenwood Investments LLC. Contingent upon the granting of a series of lot line adjustments and necessary easements, a single hotel parcel will be formed.

AN ENSEMBLE OF THREE PRIMARY ELEMENTS

The hotel has been designed as an ensemble of three primary elements. These include:

Hotel Restaurant Building: This building fronts West Napa Street and includes a ground floor restaurant and two upper floors consisting of 20 guestrooms.

Main Hotel Building: The Main Hotel Building is built around two exterior garden courtyards and includes the public lobby, guest reception, two upper floors with 39 guestrooms and a Spa with six treatment rooms.

Hotel Basement Parking Garage: The Basement Parking Garage includes parking for 95 cars and other building support, delivery and storage spaces. An additional 20 surface parking spaces are provided on site.

THREE COURTYARDS

The Hotel will be constructed around three exterior courtyards including the Hotel Plaza Courtyard, a sheltered lobby courtyard and the raised swimming pool veranda area. The courtyards will be landscaped with raised planting beds and tree wells irrigated with captured, stored and recycled rain water.

GUEST ARRIVAL & DEPARTURE

The new hotel is designed to be pedestrian oriented. Upon arrival guests will be encouraged to park their cars for the duration of their stay and enjoy Sonoma via walking and biking. Guest vehicles will enter from West Napa Street into the Hotel's Plaza Courtyard. Guest arrival and departure will take place in the Plaza Courtyard. Guest drop off has been intentionally located deep in the site to avoid traffic back up on West Napa Street. During non peak traffic periods, departing guests will exit right onto West Napa Street. During peak traffic periods departing guests will pick up their vehicles in the basement parking garage and egress through the one way vehicle ramp directly onto First Street West.

BICYCLES

The hotel will provide, maintain and encourage the use of a fleet of bicycles for its guests. Use of bicycles by its employees and customers will be encouraged. Employee showers will be provided

to encourage bicycling to work. Secure employee bicycle parking will be provided in the southwest corner of the basement parking garage. Public bicycle racks will be provided at the front of the hotel. Bicycle rack locations are indicated on the Site Plan sheet A2.01.

ARCHITECTURAL DESIGN

The project is an ensemble of different but mutually related buildings designed to evoke Sonoma's vernacular style. The project design has been based on a architectural precedent study which draws from three primary Sonoma architectural patterns including the use of gabled thick walled buildings parallel to the street, the creation of exterior timber arcades at the sidewalk, and overhanging sheltering roofs.

Authentic Sonoma building materials will be used throughout the project, including thick plaster, wood and stone clad walls, metal and tile roofs, and split faced cut stone similar to City Hall and Buena Vista Winery.

The building exteriors will include deep window reveals finished with thick sills and jambs. The exteriors will include metal clad wood windows with true divided lights. Guest rooms will include exterior custom wrought iron balconies. The buildings will include unique exterior detailing consisting of custom stone, steel and plaster finishes, timber and precast corbel blocks and miscellaneous running trim, adding visual interest, color, depth, texture and dimension to wall surfaces.

The hotel's primary building elements will express themselves as separate but related structures. Approximately 95% of the new hotel will be unnoticeable from the Plaza with the visible part of the building being located where 153 West Napa Street presently exists.

The height and scale of the buildings will be mitigated through the use of "layering" strategies whereby the overall scale of the building is broken down into smaller elements. Layering strategies will include the introduction of appropriately scaled individual components at the street edge and the staggering and sloping of the upper floor plates and third floor roof surfaces back from the street or the Hotel Plaza Courtyard. Steep roofs with dormers will fold over the third story of many of the buildings to minimize the sense of wall height. Other scale reduction strategies will include articulation of the exterior facades with exterior timber arcades, balconies, awnings, recessed entry doors, porches and window seats. The hotel's street frontage and courtyards will include street trees in planters, fountains and other landscaping.

SUSTAINABLE DESIGN/LEED

The hotel will be sustainably designed and LEED Certified.

Sustainable design strategies include:

- Compliance with State of California Cal Green Building Codes

- Sustainable Site Development Strategies
 - Use of Brownfield Site
 - Pedestrian oriented. Encouragement of guests to walk or bike Sonoma
 - Bicycles available to guests for duration of stay
- Water Use Reduction Strategies
 - Water conservation program including low flow fixtures and low water use laundry
 - Rainwater capture, storage and recycle system
- Energy Efficiency and Atmospheric Quality
 - Ample use of natural light
 - High energy efficient mechanical and electrical systems
- Materials and Resource Management
 - Recycled construction waste
 - Sustainably sourced new and recycled materials
- Indoor Environmental Quality
- Innovations in Design

TRASH AND RECYCLING

The Hotel will conform to the recycling requirements of the City of Sonoma. Trash and recycling staging and storage areas are identified on drawing A2.01. Recycling staging will take place in the southern receiving dock of the service core. Trash and recycle storage enclosures will be located adjacent to First Street West in a fully enclosed service building.

PARKING AND DELIVERIES

The Hotel will provide 100% off street parking. Total parking capacity will be 115 spaces managed by a full time valet parking service (refer to the Parking Study and sheets A2.01 and A 2.00). 95 spaces will be located in the basement parking garage, with an additional 20 surface parking spaces provided on site. Parking capacity in the basement parking garage will be maximized through the use of a combination of 90 degree stalls and stacked tandem spaces. The parking plan includes enough spaces for the existing Lynch Building (135 West Napa) and Index Tribune Building (117 West Napa) and its possible future expansion.

Auto key management will be by the valet service. Guests will arrive by car in the Hotel Plaza Courtyard and following check in, the guest's car will be parked by the valet attendant. Upon departure, the guest's car will be delivered to the valet station for pick up. Street side valet parking is proposed during the evenings for restaurant patrons.

Large truck deliveries will be staged from the street on First Street West similar to the way The Red Grape and other Sonoma Plaza businesses currently receive deliveries. Deliveries will be

restricted to off-peak periods to minimize impacts to downtown activities. Small truck or van deliveries will take place inside the basement parking garage at the service core receiving area. Three service elevators are provided in the hotel to efficiently facilitate the vertical transfer of deliveries inside the hotel.

The designation of a truck loading zone on First Street West located adjacent to the hotel garage entry is being requested as part of this Use Permit Application.

STORM WATER MITIGATION PLAN

A preliminary Storm Water Mitigation Plan (SMP) prepared by a Civil Engineer, demonstrating compliance with SUSMP requirements will be provided as part of this Use Permit Application. It has been determined at the time of this application an updated SMP standard ("Draft Phase II Storm Water Permit") has been released by the State Water Board. The applicants understand this project will need to comply with this standard.

DEMOLITION OF EXISTING STRUCTURES

The existing metal warehouse, 153 West Napa Street, site structures and the existing parking lots will be removed and replaced with new buildings or parking areas. The extent of the proposed demolition is indicated on Existing Site and Demolition Plan, A1.02.

REMOVAL OF EXISTING TREES

Mature trees are proposed to be removed for this project. The project will replace every tree removed from the existing site on an one for one basis - either on site or through a City sponsored in lieu payment to support tree planting elsewhere in the city.

An arborist report has previously been provided by the City of Sonoma for this project. The Existing Site and Demolition Plan, A1.02 indicates the general location of the existing trees on the property by size and species, along with an indication of which trees are to be removed.

HISTORICAL SIGNIFICANCE OF 153 West Napa Street Building

The building located at 153 West Napa Street is planned for demolition and recycling as part of this project. Prior to considering the building's removal, the project sponsors engaged the services of Page & Turnbull Architects, historic resource specialists to prepare a Historic Resource Evaluation (HRE) report as part of its due diligence studies for the project.

The HRE provides a summary of previous historical surveys and ratings, a site description, historic context statement, construction chronology and an evaluation of the property's eligibility of listing in the California Register.

The following HRE Summary of Determination states the findings of the Page & Turnbull Historic

Resource Evaluation Report for the 153 West Napa Street Building.

"153 West Napa Street is not listed in the National Register of Historic Places, the California Register of Historical Resources, or the Sonoma League for Historic Preservation Inventory of Historic Structures and is not a Sonoma County Historic Landmark. Furthermore the building does not appear to be part of any known or potential historic district

The significance evaluation in this report demonstrates the 153 West Napa Street does not appear to be individually eligible for listing in the California Register of Historical Resources under any criteria. Although the subject property retains a moderate degree of integrity, it does not possess specific associations with significant events or persons, and lacks the architectural distinction necessary to qualify as a historic resource. Therefore the subject property is not considered to be a historical resource for the purpose of review under the California Environmental Quality Act (CEQA). "

DUE DILIGENCE STUDIES

The following due diligence studies were prepared and will be submitted under separate cover as part of this Use Permit Application:

- Parking Study
- Parking Management Program
- Traffic Study
- Water Conservation Plan
- Storm Water Management Plan (pending)
- Historic Resource Evaluation Study for 153 West Napa Street

ENVIRONMENTAL IMPACT REPORT

Previously the City of Sonoma commissioned an independent, third party, Environmental Impact Report (EIR) for this project. This study will be reactivated.

SPECIFIC PROJECT DATA

Site Parcel Addresses: 153 West Napa Street and 541 First Street West, Sonoma CA

APN's: 18-251-52, 18-251-51 & 18-251-55

Zoning: Downtown District, New Development, Commercial (C) Zone, Historic Overlay District

Setbacks: None required

Building Height: 35' with an additional 5' allowance for HVAC equipment and elevator screening (Section 19.40.040 Sonoma Development Code).

Total Lot Area: 54,000 SF

Allowable Lot Coverage: 100%

Actual Lot Coverage: 26,400 SF - 48.8%

Allowable FAR: Lot area x 2.0 = 108,000 SF

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Hotel Project Sonoma
Sonoma, CA
Use Permit Project Narrative
July 28, 2014*

Actual Building Area: 66,933 SF (excludes basement areas) = FAR compliant

BUILDING AREAS

Basement Parking Garage and Ramp: 36,359 SF - Cast in Place Concrete Construction

First Floor: 23,607 SF: Podium Concrete Construction for Three Hour Assembly

Second Floor: 21,938 SF: Type V, mixed occupancies with occupancy separations

Third Floor: 21,388 SF: Type V, mixed occupancies with occupancy separations

Total Hotel Building Area: 66,933 SF (excludes basement garage and ramp)

Open Space: Exterior Courtyards and Patio Areas: 26,962SF (approximately 50% of site area)

Landscape: Perimeter plantings, raised planters and tree wells in exterior courtyards, Auto Court landscape and street trees and street entry planters, second floor roof top garden.

HOTEL OPERATIONAL INFORMATION

Management: Provided by a private professional management entity

Number of Rooms: 59

Number of Hotel Employees: 50 full time, 10 part time

Number of Restaurant Employees: 25 full time, 17 part time

Maximum Number of Employees per shift: 40 employees at maximum shift

Indoor Seating Capacity of Restaurant and Bar: 80

Spa: Six treatment rooms

Hours of Operation: 24/7/365

Shipping and Delivery Schedule: Time defined loading zone on First Street West, Before 11 am 7 days per week.

Outdoor Storage Needs: Covered exterior trash and recycling enclosure located on First Street West

Water Use: Refer to the attached Water Use and Conservation Plan

WAIVER OF RESIDENTIAL COMPONENT

The project requests a waiver from the Commercial Zoning Residential Component's 50% building area requirement per Article II-19.10.020 – B.3, Sonoma Development Code. The basis for this request for waiver is described in the following narrative.

One of the primary objectives of the Sonoma Development Code (Code) is to retain and promote the economic vitality of the Downtown District as a commercial, cultural and civic center which is attractive to residents and visitors. The Code encourages the activation of the downtown area through an increase in pedestrian and customer activity. Development Guidelines for this area includes, "Promote a pedestrian presence by encouraging ground floor retail in commercial development" as well as numerous mentions of "incorporating pedestrian amenities in the design of new development", etc. The pedestrian activity generated from and to the Hotel's lobby, restaurant, bar, guestrooms and spa meet this guideline.

One of the means in which the Code attempts to achieve this is through the requirement that projects in excess of ½ acre devote 50% or their total building area to residential uses as a means of adding more people to the commercial area and thereby increasing pedestrian and customer activity in the Downtown District. Circumstances in which this residential component may be reduced or waived include:

“c. Property characteristics, including size limitations, and environmental characteristics that constrain opportunities for residential development or make it infeasible.”

Based on “c” above, the project requests a waiver from the Residential Component based on the site size and characteristics limits the ability to place residential units on the property base on the following circumstances.

1. A hotel use, in and of itself, does not lend itself to an integrated residential component and the size and configuration of the subject property make it infeasible to integrate a stand-alone residential component separate from the hotel.
2. A residential component would impose size and economic limitations which would make it financially infeasible to develop this project. More specifically, in order to comply with off-street parking requirements, parking takes up virtually the entire basement footprint of the hotel and subterranean expansion of the basement parking garage would be financially prohibitive.
3. The hotel’s normal daily business activities will generate substantial pedestrian and customer activity by hotel guests in the Downtown area consistent with the intent and ambition of the guideline.
4. The hotel’s restaurant and spa will offer ground floor retail commercial development generating customer activity serving local residents in the downtown business district consistent with the Development Code guideline's intent.

PROJECTED ECONOMIC BENEFITS

Local Employment

From the outset of construction through the commencement of hotel operations, the development team will seek qualified local talent to fulfill various employment needs. Approximately 75 full time employees will operate the hotel and restaurant. The hotel’s initial goal is to hire 60% of its employees from the local community.

TOT, Retail and Property Taxes

The Hotel's financial estimates for room occupancy, retail sales and construction activities will

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provide for substantial direct revenue to the community through Transient Occupancy Tax (TOT), Sales Tax and Property Tax.

TOT/TID Taxes - Initial budgets estimate TOT/TID contributions as follows:

First Year	\$ 710,576
Second Year	\$ 793,675
Third Year	\$ 853,435
Fourth Year	\$ 879,038
Fifth Year	<u>\$ 905,409</u>
TOTAL	\$4,142,133

Retail Tax – The estimated retail sales are expected to generate the following sales tax:

First Year	\$ 235,444
Second Year	\$ 258,455
Third Year	\$ 273,388
Fourth Year	\$ 281,635
Fifth Year	<u>\$ 290,131</u>
TOTAL	\$1,339,053

Property Tax - The improved property value is estimated to generate approximately \$223,000 of additional property tax per year totaling \$1,115,000 over a five year period.

Total Direct Tax Contribution (First 5 Years) \$6,592,738*

Shared Economic Benefits - For every hotel dollar spent, another \$.60 is spent in the community. Over five years the proposed hotel is estimated to generate approximately \$30 million in additional community spending.*

** (Tax estimates are over a five-year period. Source: Kenwood Investments LLC. Additional spending estimates are over a five-year period. Source: 2001 Michigan State University Dissertation on tourism spending impact).*

Submitted by:

Michael B. Ross, AIA, NCARB

Principal, CEO

RossDrulisCusenbery Architecture, Inc.

18294 Sonoma Highway

Sonoma, CA

**HOTEL PROJECT
SONOMA**

Sonoma, CA

**Kenwood
Investments LLC**

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**CODE ANALYSIS AND
FAR CALCULATIONS**

Drawn By: Author Checked By: Checker
Scale: As indicated
Date: 2014 / 08 / 01
Project No.: Project Number

A0.01
Drawing No.

Not For Construction

Area Schedule - Basement		
Name	Occupancy	Area

PARKING GARAGE	S-2, PARKING GARAGE, ENCLOSED	30620 SF
STORAGE	S-1, STORAGE	5739 SF
Basement Building Area =		36,359 SF

Area Schedule - 1st Floor		
Name	Occupancy	Area

COURTYARD	-	2,246 SF
HOTEL	R-1, HOTEL, ROOMS, SPA AND SERVICES	10,240 SF
HOTEL PLAZA	-	8,632 SF
POOL DECK	-	5,096 SF
RAMP	-	2,230 SF
RAMP	-	1,672 SF
RESTAURANT	A-2, RESTAURANT	7,161 SF
SOUTH GARDEN	-	1,306 SF
SPA	R-1, HOTEL, ROOMS, SPA AND SERVICES	4,836 SF
SPA PLAZA	-	1,301 SF
STORAGE	S-1, STORAGE	1,370 SF
SURFACE LOT	-	4,479 SF
		50,569 SF
1st Floor Building Area =		23,607 SF

Area Schedule - 2nd floor		
Name	Occupancy	Area

GARDEN TERRACE	-	586 SF
HOTEL	R-1, HOTEL, ROOMS AND SERVICES	21,939 SF
		22,524 SF
2nd Floor Building Area =		21,938 SF

Area Schedule - 3rd floor		
Name	Occupancy	Area

HOTEL	R-1, HOTEL, ROOMS AND SERVICES	21,388 SF
		21,388 SF
3rd Floor Building Area =		21,388 SF

CODE ANALYSIS - New Sonoma Hotel

SUMMARY:

TOTAL LOT AREA: 54,000
 BUILDING COVER AREA: 26,400
 ALLOWABLE LOT COVERAGE: 100 %
 ACTUAL LOT COVERAGE: 48.8 %
 ALLOWABLE FAR: Lot Area x 2.0 = 108,000 SF
 ACTUAL BUILDING AREA: 66,933 SF (Excludes Basement Areas) = FAR Complaint

BUILDING AREA PER STORY
 1st floor: 23,607 SF
 2nd floor: 21,938 SF
 3rd floor: 21,388 SF
 Total: 66,933 SF

OPEN SPACE: Exterior Courtyards and Patio Areas: 26,962 (Approx. 50% of Site Area)

BASEMENT PARKING GARAGE: 36,359 SF

GUEST ROOM COUNT
 2nd Floor
 Standard Guest Rooms: 23
 Suites: 4
 Double Queen: 3
 Sub Total: 30
 3rd Floor
 Standard Guest Rooms: 22
 Suites: 4
 Double Queen: 3
 Sub Total: 29
TOTAL GUESTROOMS: 59

PARKING
 Basement
 Standard Spaces: 58
 Valet Spaces: 29
 Van Spaces: 2
 Auxiliary Spaces: 6
 Sub Total: 95
 1st Floor Surface Parking
 Standard Spaces: 7
 Staff Spaces: 8
 Valet Spaces: 5
 Sub Total: 20
TOTAL PARKING: 115

APPLICABLE REGULATIONS
 City of Sonoma Development Code, February 2005
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA ELECTRIC CODE
 2013 CALIFORNIA ENERGY CODE
 2013 CALIFORNIA FIRE CODE

APPLICABLE STANDARDS
 SMACNA - FIRE, SMOKE & RADIATION DAMPER INSTALLATION GUIDE FOR HVAC

TYPE OF CONSTRUCTION:
 Podium: Type I/A (rated, non-combustible) Podium: Type I/A (rated, non-combustible)
 protected CIP concrete podium
 3hr horizontal separation between podium and 2nd floor
 3hr horizontal separation between podium and 2nd floor
 2nd and 3rd floors: Type V/A (rated, combustible) 2nd and 3rd floors: Type V/A (rated, combustible) protected wood frame gravity

FIRE PROTECTION
 sprinklered throughout

MECHANICAL SHAFTS and ELEVATOR SHAFT
 2hrs rated

EXIT STAIRS
 Stair #1: interior enclosed, 2 HR enclosed (From 1F to 3F)
 Stair #2: interior enclosed, 2 HR enclosed (From Basement to 3F)
 Stair #3: interior enclosed, 2 HR enclosed (From Basement to 3F)
 Stair #4: interior enclosed, 2 HR enclosed (From 1F to 3F)
 Stair #5: interior enclosed, 2 HR enclosed (From Basement to 3F)
 Stair #6: interior enclosed, 2 HR enclosed (From Basement to 1F)

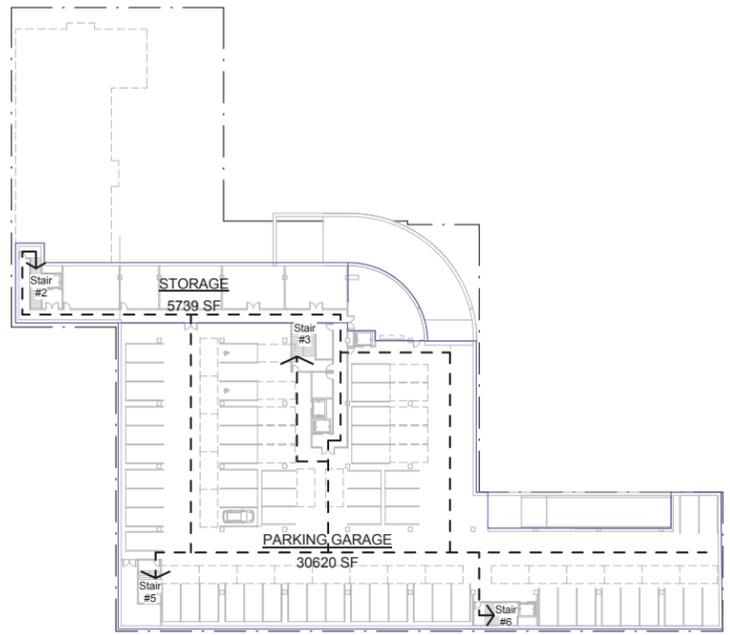
BUILDING OCCUPANCY
 Separated mixed use A-2; R-1; F-1; S-1; S-2

BUILDING HEIGHT
 Depth of Basement Parking Garage: 12' - 6"
 Floor Level 1: 12' - 6"
 Floor Level 2: 11' - 3"
 Floor Level 3: 11' - 3"
 Building TOTAL: 35'
 Mechanical System Screening & Chimneys +5' in Selected Areas

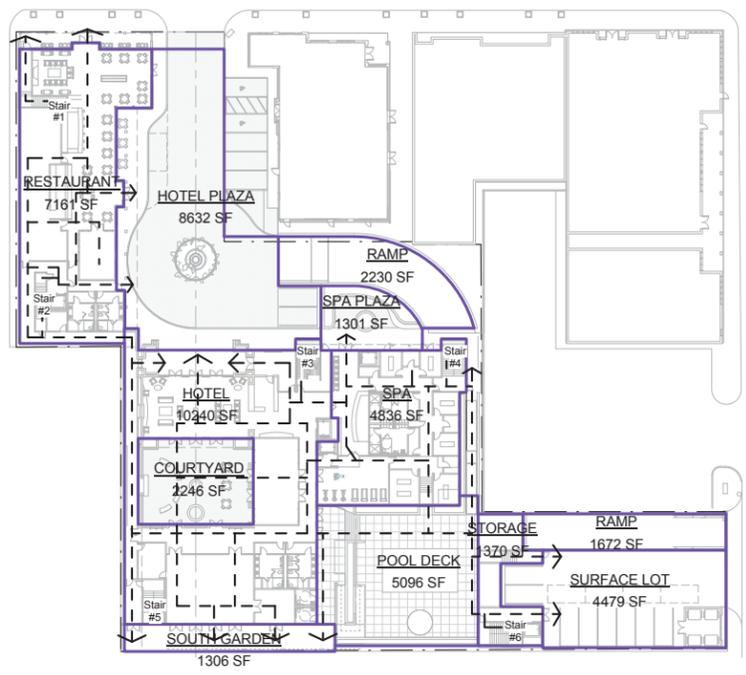
NUMBER OF EXITS
 3 per floor first and second level, 2 on second level

EXIT SEPARATION
 min. 135'

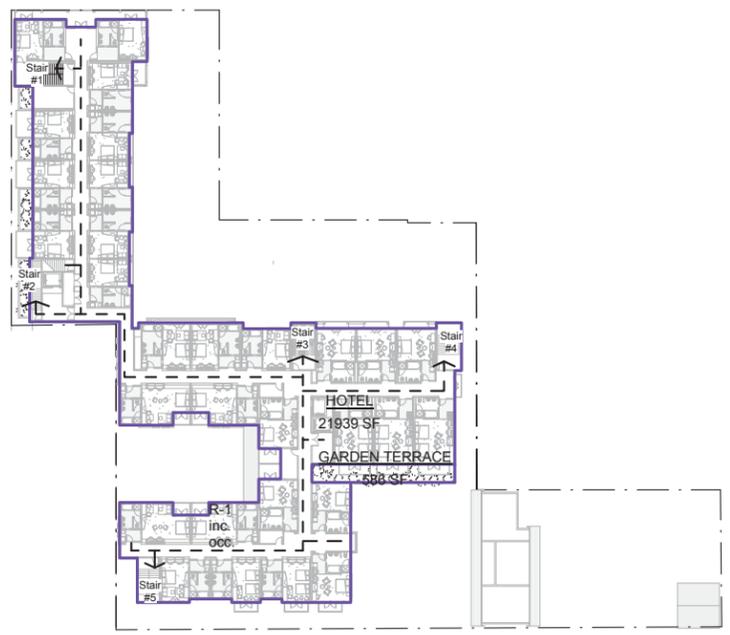
MAXIMUM TRAVEL DISTANCE
 max. 240'



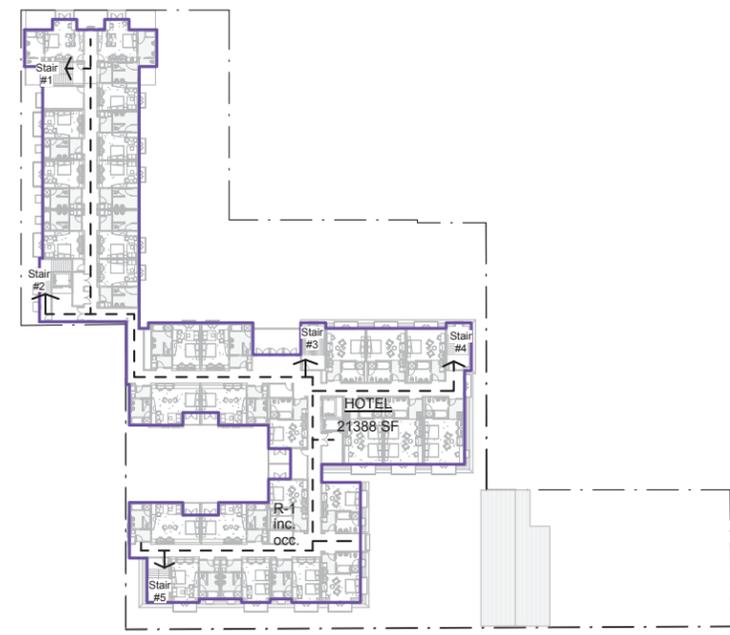
BASEMENT



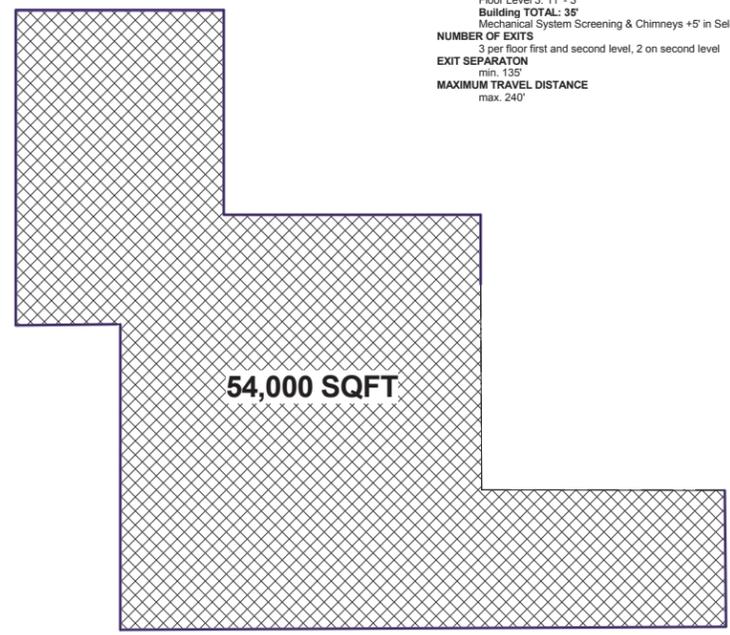
FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



LOT AREA



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**HOTEL PROJECT
SONOMA**

Sonoma, CA

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Sheet Title
**EXTERIOR ELEVATIONS -
NORTH / EAST**

Drawn By Author Checked By Checker
Scale:
3/32" = 1'-0"
Date:
2014 / 08 / 01
Project No. Project Number

A3.01
Drawing No.

Not For Construction

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1 NORTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"

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