



**City of Sonoma  
Design Review and Historic  
Preservation Commission  
AGENDA**

**Meeting of November 18, 2014 - 6:30 P.M.  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Kelso Barnett, Chair

Commissioners: Tom Anderson  
Robert McDonald  
Micaelia Randolph  
Leslie Tippell  
Christopher Johnson (Alternate)

**COMMENTS FROM THE PUBLIC**

*Presentations by audience members on items not appearing on the agenda.*

**CORRESPONDENCE**

<b>ITEM #1 – Sign Review</b>	<b>Project Location:</b> 19230 Sonoma Highway	<b>RECOMMENDED ACTION:</b>  Commission discretion.
<b>REQUEST:</b> Consideration of a new wall sign and a new monument sign for a mixed-use building.	<b>General Plan Designation:</b> Commercial (C)	<b>CEQA Status:</b> Categorically Exempt
<b>Applicant:</b> Audrey Lee	<b>Zoning:</b> <b>Planning Area:</b> West Napa/Sonoma Corridor	
Staff: Wendy Atkins	<b>Base:</b> Commercial (C) <b>Overlay:</b> None	
<b>ITEM #2 – Sign Review</b>	<b>Project Location:</b> 103 West Napa Street	<b>RECOMMENDED ACTION:</b>  Commission discretion.
<b>REQUEST:</b> Consideration of sign review, new awnings, and new windows for a retail business (Corner 103).	<b>General Plan Designation:</b> Commercial (C)	<b>CEQA Status:</b> Categorically Exempt
<b>Applicant:</b> Lloyd Davis	<b>Zoning:</b> <b>Planning Area:</b> Downtown District	
Staff: Wendy Atkins	<b>Base:</b> Commercial (C) <b>Overlay:</b> Historic (/H)	

<p><b>ITEM #3 – Design Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of design review for a new single-family residence.</p> <p><b><u>Applicant:</u></b> Chris Dluzak</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 1028 Fifth Street East</p> <p><b><u>General Plan Designation:</u></b> Low Density Residential (LR)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> Central-East Area</p> <p><b><u>Base:</u></b> Low Density Residential (R-L)</p> <p><b><u>Overlay:</u></b> None</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #4 – Design Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of design review for a new single-family residence.</p> <p><b><u>Applicant:</u></b> Chris Dluzak</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 1036 Fifth Street East</p> <p><b><u>General Plan Designation:</u></b> Low Density Residential (LR)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> Central-East Area</p> <p><b><u>Base:</u></b> Low Density Residential (R-L)</p> <p><b><u>Overlay:</u></b> None</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>
<p><b>ITEM #5 – Design and Landscape Review</b></p> <p><b><u>REQUEST:</u></b> Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 7-unit Planned Unit Development (West Spain Street Development).</p> <p><b><u>Applicant:</u></b> Ed Routhier, Caymus Capital</p> <p>Staff: Wendy Atkins</p>	<p><b><u>Project Location:</u></b> 800 West Spain Street</p> <p><b><u>General Plan Designation:</u></b> Medium Density Residential (MR)</p> <p><b><u>Zoning:</u></b> <b><u>Planning Area:</u></b> Northwest Area</p> <p><b><u>Base:</u></b> Medium Density Residential (R-M)</p> <p><b><u>Overlay:</u></b> None</p>	<p><b><u>RECOMMENDED ACTION:</u></b> Commission discretion.</p> <p><b><u>CEQA Status:</u></b> Categorically Exempt</p>

**ISSUES UPDATE**

**COMMENTS FROM THE COMMISSION**

**COMMENTS FROM THE AUDIENCE**

**ADJOURNMENT**

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on November 14, 2014.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

**Rights of Appeal:** Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

***Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.***

***If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.***

***In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.***



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda Item: 1**

**Meeting Date: 11/18/14**

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**Applicant**

Audrey Lee

**Project Location**

19230 Sonoma Highway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: 2003
- 

**Request**

Consideration of a new wall sign and a new monument sign for a mixed use building located at 19230 Sonoma Highway.

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**Summary**

*Wall sign:* A one-sided wall sign is proposed on the west facing elevation adjacent to Sonoma Highway. The proposed sign is 28 square feet in area (4 feet tall by 7 feet wide). The sign would consist of an aluminum sign face with raised aluminum and vinyl letters and graphics. Copy on the sign would consist of burgundy lettering on a yellow and gold background with a black border.

*Wall Sign Regulations (§18.20.180):* Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

*Illuminated Monument Sign:* A new, two-sided monument sign 20 square feet in area per side (5 feet tall by 3 feet wide) is proposed in a landscaped area just south of the building on the Sonoma Highway frontage. The sign would be located perpendicular to Sonoma Highway north of the driveway entrance. The sign would be mounted on a black aluminum frame with black aluminum posts. The sign face would consist of an aluminum luster board with raised aluminum ½ inch thick letters. Copy on the sign would consist of burgundy lettering on a yellow and gold background. Illumination is proposed in the form of one 26 watt energy efficient floodlight. The applicant has stated that the sign will be illuminated from 7 p.m. to 10:00 p.m. and normal business hours for the commercial tenant are 8 a.m. to 9:00 p.m.

*Aggregate Sign Area:* Based on the property's frontage on Sonoma Highway (100 feet), the maximum aggregate sign area allowed for the parcel is 46 square feet. The total aggregate sign area for the property would be ±58 square feet, including the proposed wall sign (28 square feet) and monument sign (30 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement in that the total aggregate area would be 58 square feet. The applicant is requesting a variance from this requirement.

*Monument Sign Regulations (18.20.120):* Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of any vehicular right-of-way and not over any part of the public pedestrian walkway. The proposal is not consistent with this requirement in that the freestanding sign would be located adjacent to the driveway located on the property. The applicant is requesting a variance of this requirement. Note: the Public Work Director has reviewed the proposed location of the sign has indicated that the sign should not be an obstruction to traffic sight lines.

*Size Limitations:* Each face of a two-sided sign shall not exceed 32 square feet in area (§18.16.022). The proposal is consistent with this requirement in each face would have an area of 22 square feet.

*Number of Signs:* Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal complies with these requirements.

*Variations:* As noted above, the proposal would exceed the aggregate sign area normally allowed for a business and the proposed freestanding sign would be located closer to six feet from a vehicular right-of-way. The DRHPC may grant variations from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

***Other permits required:*** In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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### Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments

1. *Sign drawings*

cc: Audrey Lee  
3020 Bridgeway # 201  
Sausalito, CA 94966

Robert Saunders, via email

# Signage 19230 Sonoma Highway Commercial Building



Sign A  
Area 3' x 5' = 15 sq. ft  
per side

Sign B  
Area 21' x 7' = 12.25 sq. ft.

Street Frontage=100 ft.

Sign B

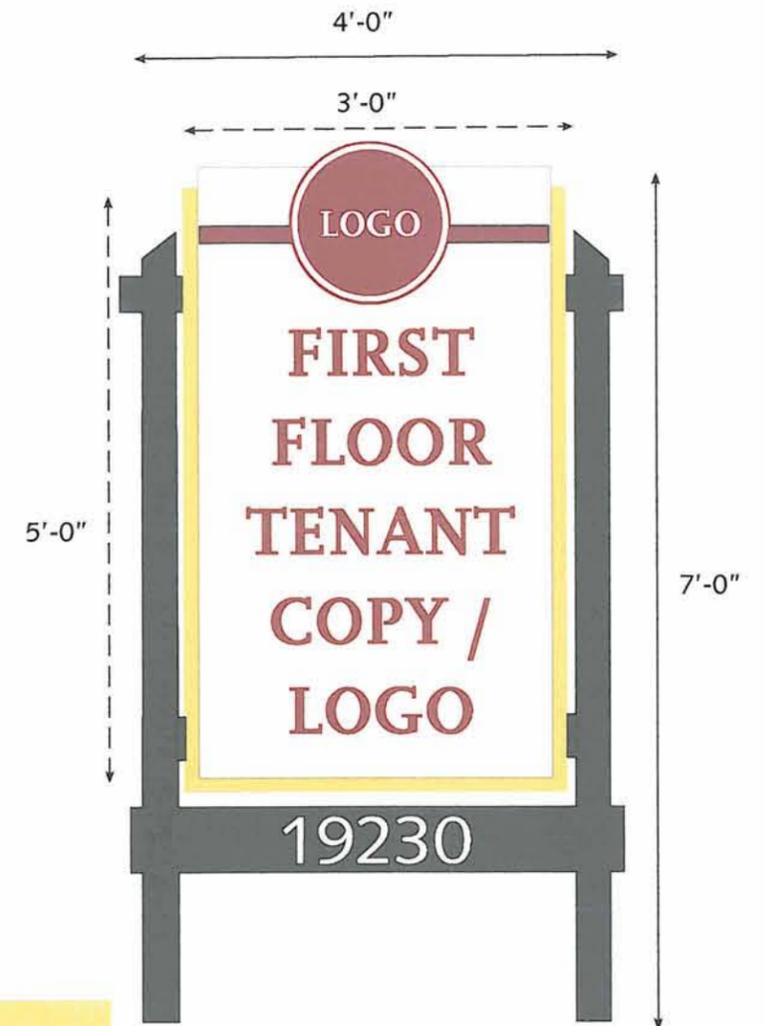


Wall sign 21" w x 7'-0" h, made of aluminum sign face, raised aluminum 1/2" thick /8" high letters and vinyl letters and graphics, painted in high quality architectural paint colors coordinated with existing building theme. Mounted on wall with bolts.

Sign A

## Double-faced Freestanding Sign

Freestanding sign made of heavy wood posts, aluminum sign faces, raised aluminum 1/2" thick /8" high letters and address no.s, 9" high. painted in high quality architectural paint colors coordinated with existing building theme. Mounted on wood posts in 2 concrete post holes 30" deep. External light fixture in ground.



**Client**  
Audrey Lee  
Sausalito, CA

## Project Consultants

### Signage Design

Robert Sanders & Co.  
signage/design/fabrication  
19615 Eighth St., East Sonoma, Ca  
Mailing Address: P.O. Box 1356  
707-996-3532  
fax: 996-2937



*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda  
Item: 2**

**Meeting Date: 11/18/14**

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**Applicant**

Lloyd Davis

**Project Location**

103 West Napa Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: 1921
- 

**Request**

Consideration of sign review, new awnings, and new windows for a retail business (Corner 103) located at 103 West Napa Street.

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**Summary**

*Exterior Colors:* The proposal consists of changing the color of the window trim and front door to Benjamin Moore Kendall charcoal (HC-166) and the two planter boxes on the second floor corner of Napa Street and First Street West would be changed to match that of the existing building, which is Benjamin Moore nimbus (1465).

*Awning:* The proposal involves installation of a canvas fabric awning on nine existing welded aluminum frames along West Napa Street and First Street West. In terms of compatibility, the exterior color scheme of the building is primarily a grey painted stucco material with charcoal trim. Photographs of the proposed awnings are attached. As of the date of this staff report samples of the proposed awning material have not been submitted. There are four different sized awnings associated with the proposal: (1) 1 awning is 3 feet tall and 13 feet wide; (2) 2 awnings are 3 feet tall and 9 feet wide; (3) 1 awnings is 3 feet tall and 4.5 feet wide; and, (4) 5 awnings are 3 feet tall and 3.5 feet wide. The top sheet and valance would be composed of a charcoal colored canvas fabric all on an existing black painted metal frame. The proposed awnings will match the existing awnings in design; the only differences will be with respect to the color of the awning (charcoal instead of red and white stripped). With regard to Building Code requirements, portions of any awning shall be at least 7 feet above any public walkway (Building Code §3206.4). In addition, awnings may extend over public property not more than 7 feet from the face of a supporting building, but no portion shall extend nearer than 2 feet to the face of the nearest curb line measured horizontally (Building Code §3206.3). The proposal complies with these standards in that the awning would provide at least 7 feet of clearance above the public walkway, and would extend only 3 feet from the face of the building, resulting in 5 feet of clearance on First Street West and 7 feet of clearance on West Napa Street. The purpose of the awning is to provide weather protection for building windows.

*Windows:* The applicant is proposing to replace two sets of entry-level windows at the front and side of the building facing north and east with Kolbe Windows and Doors multi-slide one panel type window. The window frame would match the Benjamin Moore Kendall charcoal (1465) proposed for the window trim and front door.

**Required Findings:** As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review, the Design Review Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.

5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).

The project is consistent with the Development Code and General Plan including the guidelines for Historic preservation and infill in the Historic Zone. In review of Section 19.54.080.G of the Development Code, there are a number of factors to be considered in design review. In review of the factors staff would like to note that the building is over 50 years old but it is listed as a noncontributing building located in the Plaza Historic District. There are no environmental features on or adjacent to the site. There is no clear architecture established by adjacent development.

*Awning Signs:* Four lettering signs are proposed to be placed on the awnings along First Street West and West Napa Street as follows:

- Two each “A Sonoma Tasting Experience” signs are proposed 2 square feet in area (4 inches tall by 6 feet wide).
- One each “Corner 103” sign is proposed facing First Street West, 7.5 square feet in area (1.5 feet tall by 5 feet wide).
- One each “Corner 103” sign is proposed facing West Napa Street, 12 square feet in area (2 feet tall by 6 feet wide).

All of the awning signs would consist of hand painted text, copper in color on a charcoal colored background.

*Wall Sign:* The existing “Feed Store” sign is proposed to be relocated higher on the building than its current location.

*Aggregate Sign Area:* Based on the site’s primary frontage on West Napa Street (38 feet) and secondary frontage on First Street West (28 feet), the maximum allowable aggregate sign area is 27 square feet. The business would have an aggregate sign area of ±23.5 square feet, including the four proposed awning signs (23.5 square feet). The proposal is consistent with this requirement.

*Number of Signs:* A maximum of two signs permitted for any one business (§18.16.012 and §18.16.010). The proposed sign permit application does not comply with this requirement in that the applicant is requesting three awning signs for the business. The applicant is requesting a variance from this requirement.

*Variances:* As noted above, the proposal would exceed the number of allowable number of signs. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

***Other permits required:*** In addition to the requirements of this title, the awning shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit. If approved, the applicant should follow up with the Building Department to obtain an Encroachment Permit in order to allow work to be conducted on a public sidewalk.

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**Attachments

1. *Paint color samples*
2. *Project narrative*
3. *Window specifications*
4. *Site plan*
5. *North elevation details*
6. *East elevation details*

cc: Ingrid Martinez  
10 Deer Island Lane  
Novato, CA 94945-3465

Lloyd Davis  
103 West Napa Street  
Sonoma, CA 95476

Strata  
Brad Johnson  
23562 Arnold Dr.  
Sonoma, CA 95476

Robert Saunders, via email

Patricia Cullinan, via email

Yvonne Bowers, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

NOV 1 1958



EST 21 2014



November 06, 2014

City of Sonoma  
Planning Department/Design Review  
No.1 the Plaza  
Sonoma, CA 95476

RE: 103 West Napa Street  
Sonoma, CA

Design Review Narrative:

Exterior Window Improvements

1. Proposed design includes the replacement of window frames and glazing with a sliding window system. Windows shall provide the following improvements:
  - A. Improved energy performance with aluminum, thermally broken window frames and insulated glazing.
  - B. New glazing will provide visual clarity to the interior of the space, increase natural lighting and ventilation.
  - C. Existing windows are not considered historic in aesthetics or construction. Existing glazing is inefficient and windows are inoperable.
  - D. New window frames are low maintenance, pre-finished aluminum to match color of new awning material.

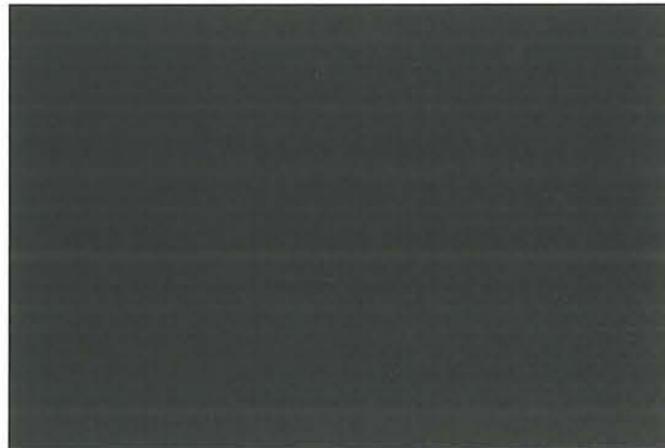
*The proposed window changes will update and enhance the character of the building while providing energy efficient and naturally ventilated retail space.*

PO Box 1207  
Sonoma, CA 95476  
T 707.935.7944  
F 707.935.6618  
[www.STRATAap.com](http://www.STRATAap.com)



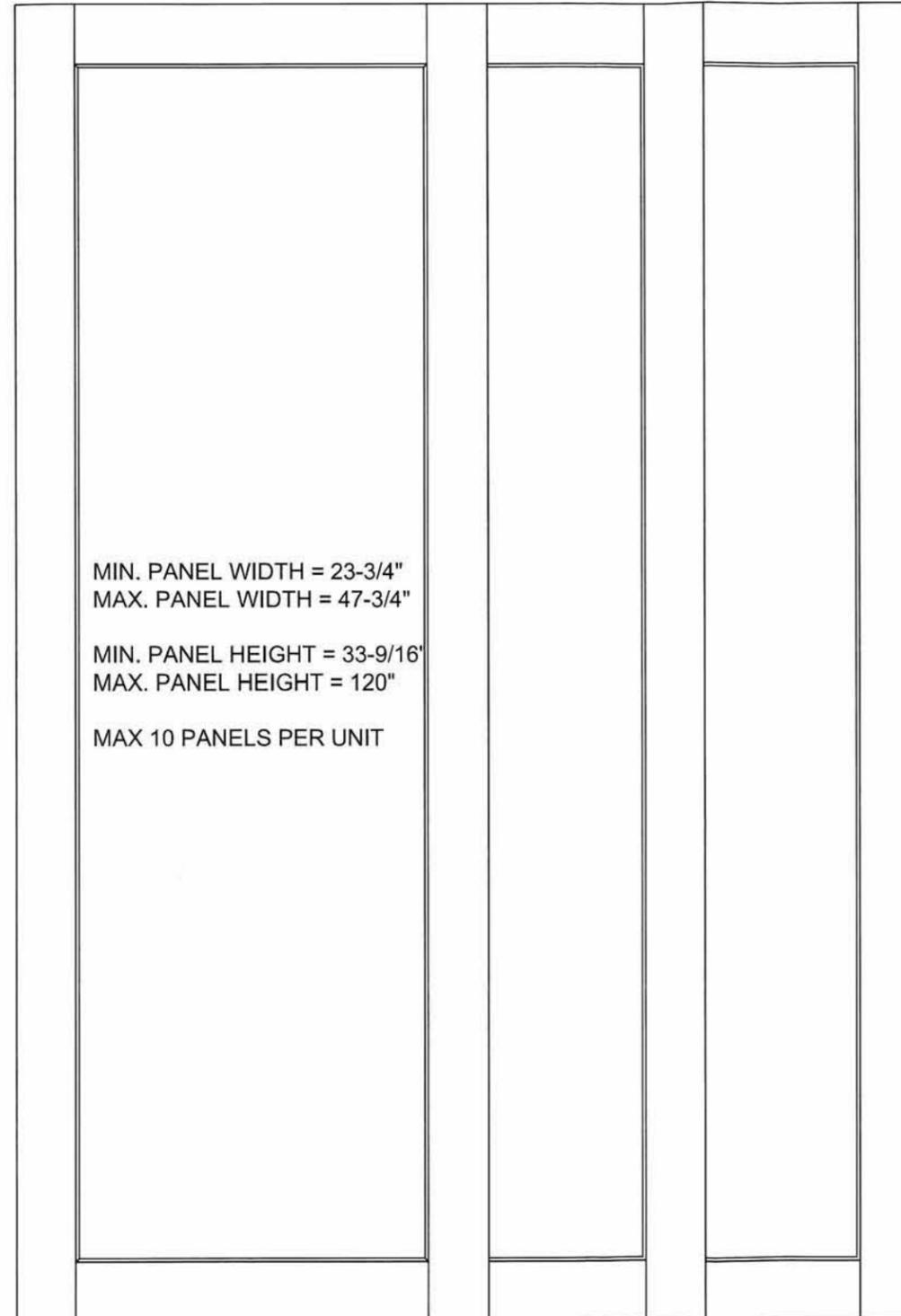
**WINDOW REPLACEMENT PRECEDENT**

New windows to be similar to OSO windows. The proposed windows will be kolbe multi-slide windows with cafe Noir Finish.



**Color: Cafe Noir**

ULTRA SERIES  
MULTI-SLIDE  
ONE PANEL  
3-0 X 8-0  
ELEVATION

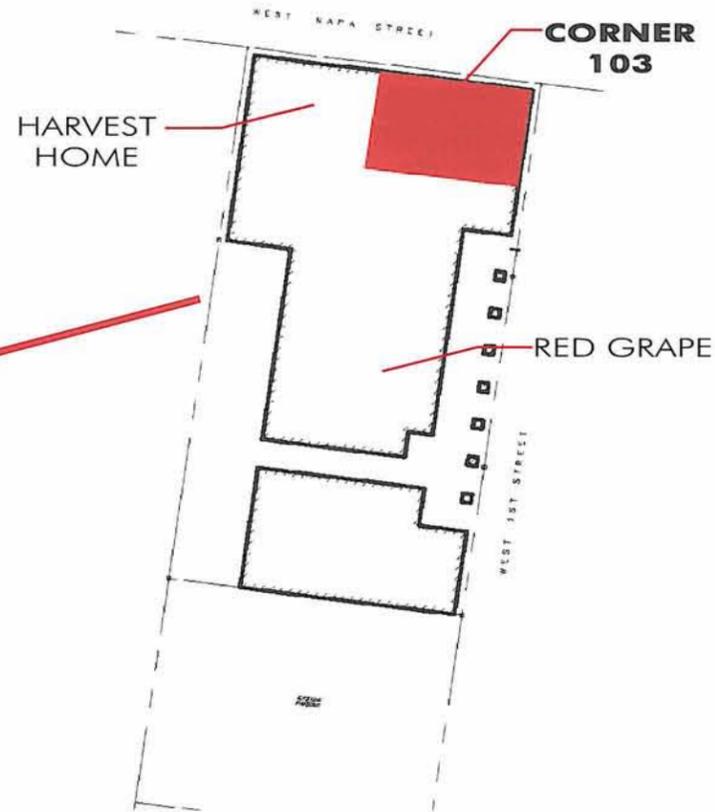


Kolbe © windows & doors  
05/17/13

robert sanders & co.  
environmental graphic design  
signage  
exhibits  
identity  
P.O. Box 1356 • Sonoma, CA 95476  
707 576-1411 / 996-3532 • fax 996-2937  
email: robsand@vcm.com  
robertsanders.com  
cell: 707 326-5851



**VICINITY MAP**



**SITE PLAN**

# Corner 103

A SONOMA TASTING EXPERIENCE

## DESIGN REVIEW OCTOBER 21, 2014

103 West Napa St.  
Sonoma, CA 94576

Sign Area Calculations:

North Elevation - 36' of linear wall surface = 20 sqft  
 East Elevation - 22' of linear wall surface = 4 sqft  
 Total allowable sign sqft = 24 sqft

North Elevation proposed sign Sqft = 10.8 sqft  
 East Elevations proposed sign sqft = 9.5 sqft  
 Total proposed sign sqft = 20.3 sqft



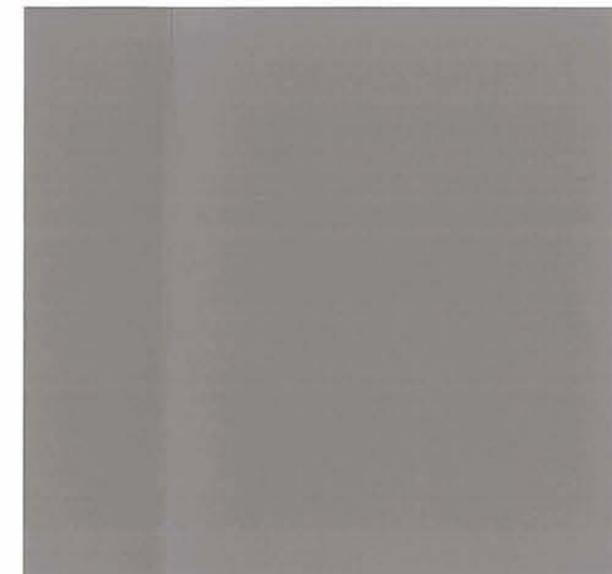
**AWNING/SIGN**



**COPPER LETTERS**



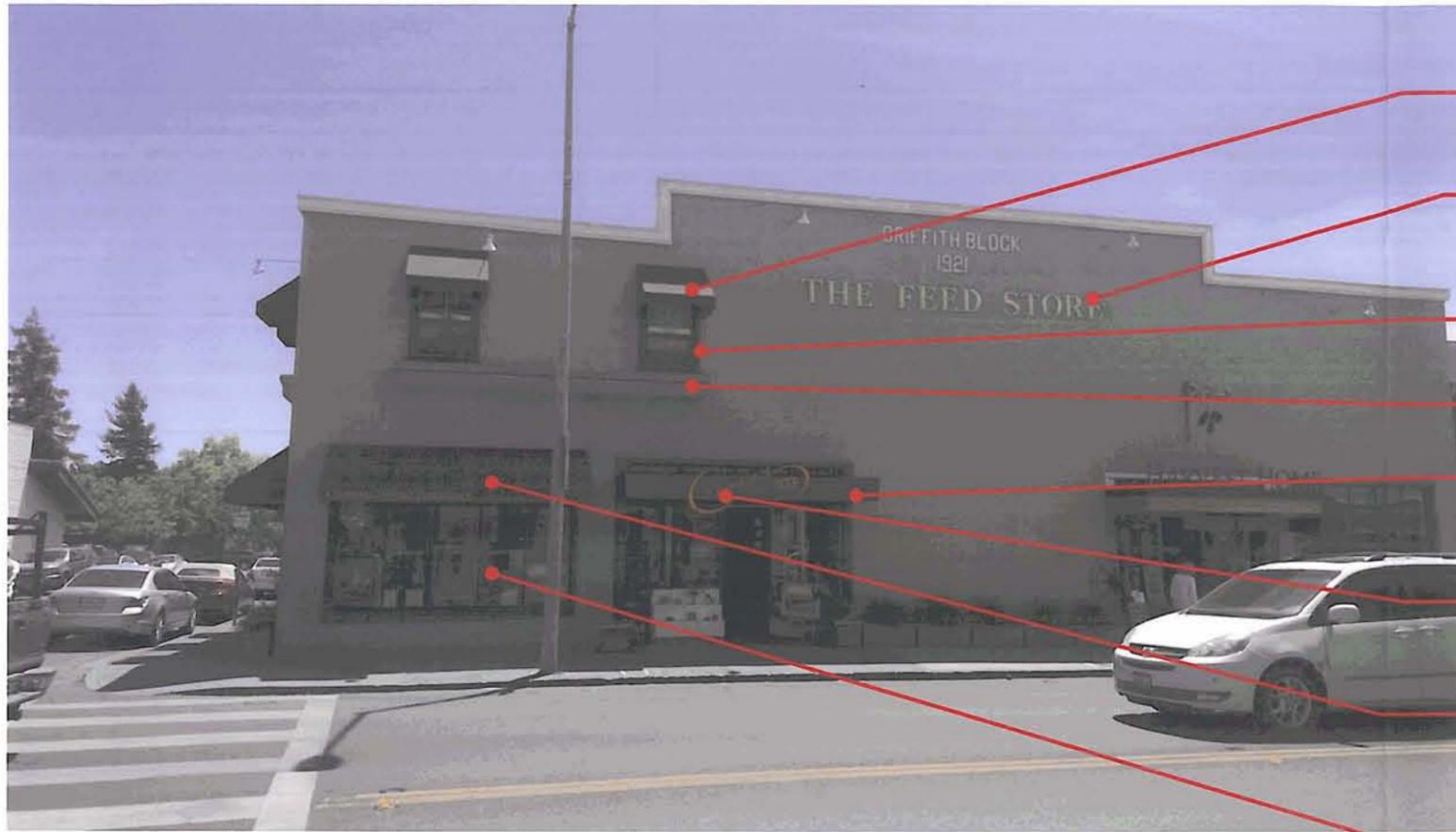
**KENDALL CHARCOAL  
(WINDOWS/DOORS)**



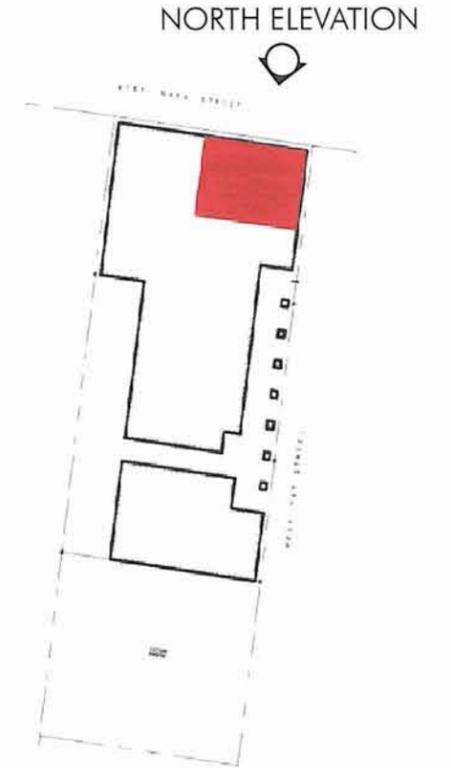
**EXISTING PAINT COLOR  
(WALLS)**

robert sanders & co.  
 environmental graphic design  
 signage  
 exhibits  
 identity  
 P.O. Box 1956 • Sonoma, CA 95476  
 707 576-1411 / 996-3532 • fax 996-2937  
 email: robsand@vom.com  
 robertsanders.com  
 cell: 707 326-5851

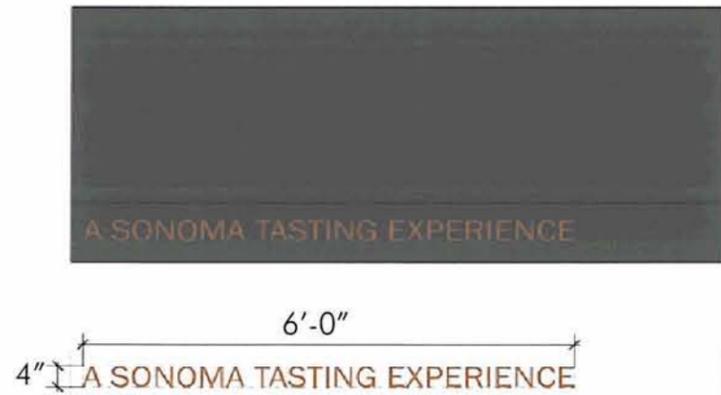
OCT 21 2014



- NEW SUNBRELLA AWNINGS TYPICAL COLOR: SLATE
- RELOCATE "THE FEED STORE" SIGN
- PAINT ALL WINDOW TRIM BENJAMIN MOORE, KENDALL CHARCOAL
- PAINT PLANTERS TO MATCH EXISTING BUILDING COLOR
- PAINT COVERED ENTRY BENJAMIN MOORE, KENDALL CHARCOAL
- COPPER BRAND SIGN
- NEW SUNBRELLA AWNINGS COLOR: SLATE, WITH HAND PAINTED COPPER LETTERING ON VALANCE
- NEW OPERABLE WINDOWS WITH KENDALL CHARCOAL FINISH

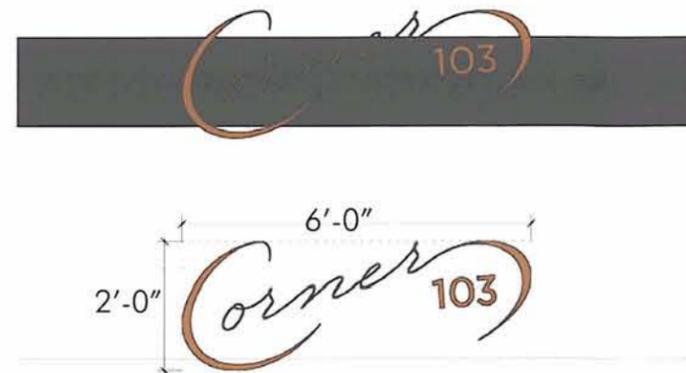


**NORTH ELEVATION**



**NORTH AWNING SIGN - 1.8 SQFT**

Fabricate new awning covers (Sunbrella Slate) installed on existing frame. Hand paint copy in copper color "A Sonoma Tasting Experience" on valance. Letter height 4" high x width 6'-0" square footage. Sign area= 1.8 sq ft. Location North elevation



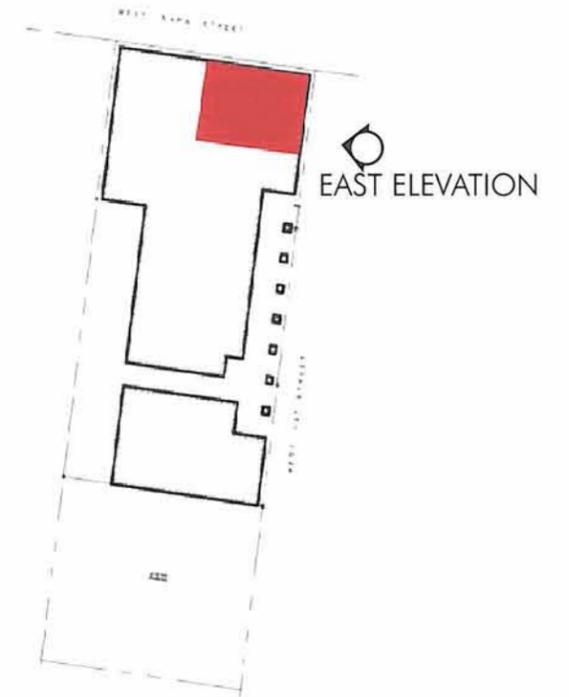
**COPPER BRAND SIGN - 12 SQFT**

Fabricate 1/2" thick copper finished water jet company branding logo of "Corner 103" (custom script letter form) pinned off new black fascia attached to canopy. Size 18" high x 6'-0" square footage. Sign area= 9 sq ft. location North elevation

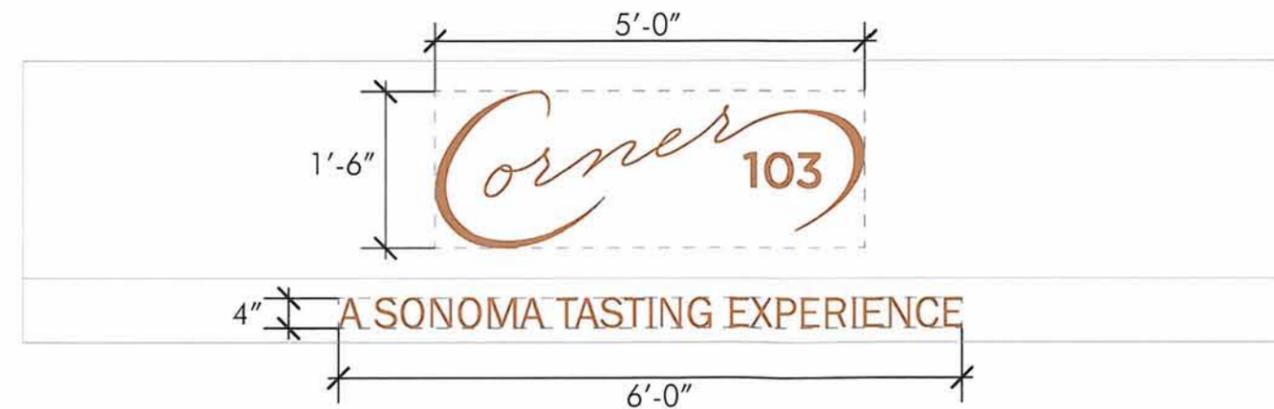
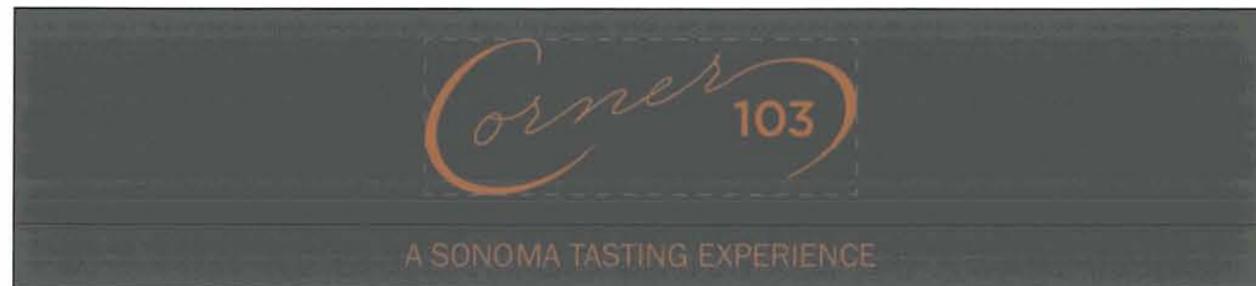
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707 576-1411/996-3532 • fax 996-2937  
email: robsano@vom.com  
robertsanders.com  
cell: 707 326-5851



- NEW SUNBRELLA AWNINGS TYPICAL COLOR: SLATE
- PAINT ALL WINDOW TRIM BENJAMIN MOORE, KENDALL CHARCOAL
- PAINT PLANTERS TO MATCH EXISTING BUILDING COLOR
- NEW SUNBRELLA AWNINGS COLOR: SLATE, WITH HAND PAINTED COPPER LETTERING ON VALANCE
- NEW OPERABLE WINDOWS WITH KENDALL CHARCOAL FINISH



**EAST ELEVATION**



**EAST AWNING SIGN - 1.8 SQFT**

Fabricate new awning covers (Sunbrella Slate) installed on existing frame. Hand paint copy in copper color "A Sonoma Tasting Experience" on valance. Letter height 4" high x width 6'-0" square footage. Hand paint copy in copper color "Corner 103" logo on face of awning. Letter height 18" high x width 5'-0" square footage. Sign area= 9.5 sq ft. Location East elevation

robert sanders & co.  
environmental graphic design  
signage  
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identity  
P.O. Box 1356 • Sonoma, CA 95476  
707 576-1411/996-3532 • fax 996-2937  
email: robsand@vom.com  
robertsanders.com  
cell: 707 326-5851



*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda 3  
Item:**

**Meeting Date: 11/18/14**

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**Applicant**

Chris Dluzak

**Project Location**

1028 Fifth Street East

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built:

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**Request**

Consideration of design review for a new single family residence located at 1028 Fifth Street East.

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**Background**

On October 14, 2010, the Planning Commission considered an application of Art Fichtenberg for a four-lot subdivision in conjunction with Exceptions from the setback requirements. After public testimony and discussion, the Planning Commission voted 3-2 to approve the project, subject to conditions of approval. Subsequently, an appeal of the Planning Commission's decision was filed. In consideration of the appeal at its meeting of December 15, 2010, the City Council voted 4-1 to uphold the decision of the Planning Commission, in conjunction with amendments to the conditions of project approval. Additionally the project approval included conditions of approval requiring review of elevation details, exterior materials, colors, and a landscaping plan for each of the lots.

**Summary**

At this time the property owner is proposing to construct a new residence on lot 1 (1028 Fifth Street East) of the four lot subdivision. The owner is proposing to construct a 2,699 square foot residence with an attached garage on the property.

**Zoning Requirements:** The standards of the Low Density Residential zone applicable to the proposal are as follows:

- **Setbacks:** The new residence meets or exceeds the normal setback requirements.
- **Coverage:** At 31%, site coverage meets the 40% maximum allowed in the Low Density Residential zone.
- **Floor Area Ratio:** The project would result in an F.A.R. of 0.31, which meets the 0.35 maximum allowed.
- **Parking:** Two covered parking spaces are provided in the attached garage. This meets the requirement.
- **Height:** The one-story residence would have a maximum ridge height of 22.33 feet, this meets the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to further Planning Commission approval.

**Design Review:** Modifications to all lots in the four-lot subdivision are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

*Factors to be considered:* In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;  
*There are no historically significant features on the site.*
2. Environmental features on or adjacent to the site;  
*Staff is not aware of any environmental features on or adjacent to the site.*
3. The context of uses and architecture established by adjacent development;  
*The adjacent properties to the north, south, east, and west are developed with single family residences.*
4. The location, design, site plan configuration, and effect of the proposed development.  
*The location, design, site plan configuration, and effect of the proposed development are compatible with surrounding uses.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

*Building Elevations & Exterior Materials:* As noted in the project narrative, the new residence is intended to have a "California bungalow and cottage" design. Proposed exterior materials consist of HardiePlank siding, areas of large exposed structural members with angle braces, large wood trim, a front porch, stepped roof planes, well-articulated wood columns, and composition shingle roofing material. Simpson front and back doors and Jeld-Wen Windows are proposed for the residence (see attached specification sheets).

*Exterior Colors:* The applicant is proposing the building be painted with an earth tone pallet. Specifically, the body color is proposed to be painted storm (Benjamin Moore AF-700), the accent color is proposed to be painted eclipse (Benjamin Moore 2132-40), and the trim is proposed to be painted teal (Benjamin Moore 2123-20). The roof material is proposed to be black in color. A color and material sheet is provided for your reference and a color and material sample will be presented at the DRHPC meeting.

**Required Findings:** As set forth in §19.54.080.G of the Development Code, in order to approve an application for design review, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

**Landscaping Plan:** As required by the Water Efficient Landscape Ordinance, the applicant will be submitting a landscape plan for the DRHPC's consideration at a later date.

**Exterior Lighting:** A lighting plan will be submitted by the applicant at a future date.

*Other permits required:* In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to construction.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye \_\_\_\_\_ Nay \_\_\_\_\_ Abstain \_\_\_\_\_ Absent

## **DRHPC Conditions or Modifications**

### Attachments:

1. Building and roof color samples
2. Project narrative
3. Window and door specification sheets
4. City Council Resolution 01-2011
5. Site plan
6. Floor plan
7. Elevation

cc: Chris Dluzak, via email

1028 & 1036 Fifth St E LLC  
1415 Fulton RD #205  
Santa Rosa, CA 95403-7661

Charlie and Cindy Wiles  
20148 Fifth Street East  
Sonoma, CA 95476

Jennifer Arnold and George Greene  
501 Este Madera Lane  
Sonoma, CA 95476

Carol Schantz  
476 Pear Tree Court  
Sonoma, CA 95476

Bella Fox  
511 Este Madera Lane  
Sonoma, CA 95476

Peter and Deanna LaVault  
568 Este Madera Drive  
Sonoma, CA 95476

Dan Meader  
19745 Eighth Street East  
Sonoma, CA 95476

Charles Boles  
474 Denmark Street  
Sonoma, CA 95476

Suzi Pignataro  
502 Este Madera Lane  
Sonoma, CA 95476

The Hardister Family  
515 Este Madera Lane

Sonoma, CA 95476

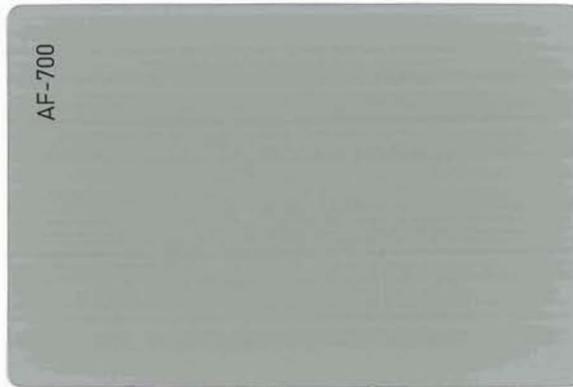
Robert Felder  
1025 Fifth Street East  
Sonoma, CA 95476

5. Site plan
6. Elevations
7. Floor plan

OCT 27 2014

1028 Fifth Street East, Sonoma, CA 95472

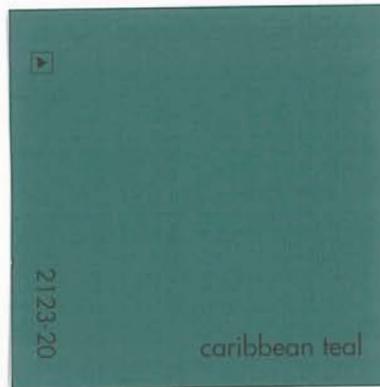
Body Color: Storm



Accent Color: Eclipse



Trim Color: Caribbean Teal



Roof: 50 Year Antique Black



# 1028 & 1036 Fifth St. E. LLC

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Karen Green – (707) 687-8188  
Chris Dluzak – (707)-889-3142

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## 1028 Fifth Street East : Design Narrative

The Fifth Street East Neighborhood consists of well-proportioned single family homes built on various sized lots with narrow street frontage and surrounded by mature landscaping. The streetscape is made pedestrian friendly with Victorian, California Bungalow, Modern Villas and Cottage home designs. My proposal for 1028 Fifth Street East (Lot 1) is to build a new home with the design characteristics of a Craftsman Bungalow style to embrace many of these neighborhood wide design principles. The home will be single story with a well-proportioned street elevation to conform to the City of Sonoma Central-East Planning Zoning District requirements, maintaining a friendly and inviting relationship with the street. Lot 1 will have a two car garage and two parking spots which have been included into the design. Our proposed exterior design is consistent with the surrounding neighborhood character. The exterior consists of common California Bungalow & Cottage design principles such as composition shingle roofing, painted 5" siding, large exposed structural members with angle braces, large wood trim, a front porch, stepped roof planes and well articulated wood columns. Landscaping has been designed to maintain water efficient landscaping while giving an outstanding appearance. At completion, our proposal will blend seamlessly into the surrounding historic urban character, bringing additional value to the area and charm to the neighborhood. I have spoken with all of the neighbors and everyone seems to be happy with the direction the project is going.

## Additional comments per Building Design Guideline Sections

### Energy Conservation Measures

This house will be constructed to meet or exceed current California Energy Commission Standards. I am considering constructing this house to be able to get it LEED Certified. The 50 point minimum for Green Building Standards will be met or exceeded for this residence.

### Sustainable Design Principles

Where ever possible, high recycle content materials will be used in the construction. Composite siding which has recycled cementitious material in it is also proposed. Recycled wood flooring is being considered for the home. The aggregate in the composition asphalt shingles is composed of some recycled material.

# 1028 & 1036 Fifth St. E. LLC

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## Fire Resistant

The roofing proposed is architectural grade composition asphalt shingle which has the highest Class A fire rating. The siding proposed is also fire resistant as it is a cementitious product. A residential Fire Sprinkler System meeting the City of Sonoma Fire Department standards will be installed in this house.

## Scale, Mass and Height

The scale, mass and height of this proposal are consistent with other homes that have been presented and approved in the neighborhood. The building height maximums have not been exceeded.

## Color

Earth tone colors have been selected to compliment the driftwood colored roof material. The colors have been selected to minimize glare and to compliment the other home colors already in the neighborhood.

## Windows, Roof, Etc.

Window size and placement have been chosen with the neighbor's privacy in mind and the window glare has been considered.

## Parking

Two parking spaces are provided inside the garage. Two full size parking spaces are provided on the side of the home.

## Exterior Lighting

All exterior lighting will be installed on a photovoltaic circuit to increase efficiency while still providing security and safety. Shields will be placed in the proposed fixtures to reduce direct glare to the neighboring homes.



## Wood Window NFRC Thermal Ratings

The performance information listed is for new products and is intended to be used for reference only, and is not complete. Depending on the components, accessories, and options chosen, the actual rating could vary. Confirm ratings for specific products with your supplier or JELD-WEN sales representative.

Premium Sitrline EX Windows and Doors										
SERIES	GLAZING	U-FACTOR	No Grids		5/8" Flat GBG, 23/32" Contoured GBG, SDL			1" Contoured GBG		
			SHGC	VT	U-FACTOR	SHGC	VT	U-FACTOR	SHGC	VT
Clad Awning	Clear	0.49	0.53	0.56	0.49	0.49	0.51	0.49	0.49	0.51
	Low-E 270	0.37	0.26	0.48	0.37	0.24	0.43	0.38	0.24	0.43
	Low-E 270 Argon	0.34	0.26	0.48	0.34	0.24	0.43	0.35	0.24	0.43
	Low-E EC	0.33	0.25	0.44	0.33	0.23	0.39	0.33	0.23	0.39
	Low-E EC Argon	0.30	0.25	0.44	0.30	0.23	0.39	0.31	0.23	0.39
	Low-E 366	0.36	0.20	0.44	0.36	0.18	0.40	0.37	0.18	0.40
	Low-E 366 Argon	0.33	0.19	0.44	0.33	0.18	0.40	0.34	0.18	0.40
	Triple Glaze Argon - 270, CI, CI	0.30	0.24	0.42	0.31	0.22	0.38	-	-	-
	Triple Glaze Argon - 270, CI, 180	0.27	0.23	0.41	0.28	0.21	0.37	-	-	-
Triple Glaze Argon - 180, CI, 180	0.28	0.38	0.46	0.28	0.35	0.41	-	-	-	
Clad Casement	Clear	0.49	0.54	0.56	0.49	0.49	0.51	0.49	0.49	0.51
	Low-E 270	0.37	0.26	0.48	0.37	0.24	0.43	0.38	0.24	0.43
	Low-E 270 Argon	0.34	0.26	0.48	0.34	0.24	0.43	0.35	0.24	0.43
	Low-E EC	0.33	0.25	0.44	0.33	0.23	0.39	0.34	0.23	0.39
	Low-E EC Argon	0.30	0.25	0.44	0.30	0.23	0.39	0.31	0.23	0.39
	Low-E 366	0.37	0.20	0.44	0.37	0.18	0.40	0.38	0.18	0.40
	Low-E 366 Argon	0.34	0.19	0.44	0.34	0.18	0.40	0.35	0.18	0.40
	Triple Glaze Argon - 270, CI, CI	0.31	0.24	0.43	0.31	0.22	0.39	-	-	-
	Triple Glaze Argon - 270, CI, 180	0.28	0.24	0.41	0.28	0.22	0.37	-	-	-
Triple Glaze Argon - 180, CI, 180	0.28	0.39	0.46	0.29	0.36	0.42	-	-	-	
Clad Casement Fixed	Clear	0.48	0.63	0.66	0.48	0.57	0.59	0.49	0.57	0.59
	Low-E 270	0.34	0.30	0.56	0.34	0.27	0.50	0.36	0.27	0.50
	Low-E 270 Argon	0.31	0.30	0.56	0.31	0.27	0.50	0.32	0.27	0.50
	Low-E EC	0.29	0.28	0.51	0.29	0.26	0.46	0.31	0.26	0.46
	Low-E EC Argon	0.27	0.28	0.51	0.27	0.26	0.46	0.28	0.26	0.46
	Low-E 366	0.34	0.22	0.52	0.34	0.20	0.46	0.36	0.20	0.46
	Low-E 366 Argon	0.30	0.22	0.52	0.30	0.20	0.46	0.32	0.20	0.46
	Triple Glaze Argon - 270, CI, CI	0.27	0.27	0.50	0.28	0.25	0.45	-	-	-
	Triple Glaze Argon - 270, CI, 180	0.24	0.27	0.48	0.24	0.24	0.43	-	-	-
Triple Glaze Argon - 180, CI, 180	0.25	0.45	0.54	0.25	0.41	0.48	-	-	-	

Clad Double-Hung	Clear	0.48	0.57	0.60	0.48	0.51	0.53	0.48	0.51	0.53
	Low-E 270	0.35	0.27	0.51	0.35	0.24	0.45	0.37	0.24	0.45
	Low-E 270 Argon	0.32	0.27	0.51	0.32	0.24	0.45	0.33	0.24	0.45
	Low-E EC	0.30	0.26	0.46	0.30	0.23	0.41	0.32	0.23	0.41
	Low-E EC Argon	0.28	0.26	0.46	0.28	0.23	0.41	0.29	0.23	0.41
	Low-E 366	0.35	0.20	0.47	0.35	0.18	0.42	0.36	0.18	0.42
	Low-E 366 Argon	0.32	0.20	0.47	0.32	0.18	0.42	0.33	0.18	0.42
Clad Double-Hung Fixed	Clear	0.47	0.60	0.62	0.47	0.53	0.55	0.48	0.53	0.55
	Low-E 270	0.33	0.28	0.53	0.33	0.25	0.47	0.35	0.25	0.47
	Low-E 270 Argon	0.30	0.28	0.53	0.30	0.25	0.47	0.32	0.25	0.47
	Low-E EC	0.28	0.27	0.48	0.28	0.24	0.43	0.30	0.24	0.43
	Low-E EC Argon	0.26	0.27	0.48	0.26	0.24	0.43	0.27	0.24	0.43
	Low-E 366	0.33	0.21	0.49	0.33	0.19	0.44	0.35	0.19	0.44
	Low-E 366 Argon	0.30	0.21	0.49	0.30	0.19	0.44	0.31	0.19	0.44
Clad Horizontal Slider	Clear	0.48	0.60	0.62	0.48	0.53	0.55	0.49	0.53	0.55
	Low-E 270	0.35	0.28	0.53	0.35	0.25	0.47	0.37	0.25	0.47
	Low-E 270 Argon	0.32	0.28	0.53	0.32	0.25	0.47	0.33	0.25	0.47
	Low-E EC	0.30	0.27	0.49	0.30	0.24	0.43	0.31	0.24	0.43
	Low-E EC Argon	0.28	0.27	0.49	0.28	0.24	0.43	0.29	0.24	0.43
	Low-E 366	0.35	0.21	0.49	0.35	0.19	0.44	0.36	0.19	0.44
	Low-E 366 Argon	0.31	0.21	0.49	0.31	0.19	0.44	0.33	0.19	0.44
Clad Direct-Set	Clear	0.49	0.69	0.72	0.48	0.62	0.65	0.48	0.62	0.65
	Low-E 270	0.32	0.32	0.61	0.32	0.29	0.55	0.34	0.29	0.55
	Low-E 270 Argon	0.29	0.29	0.61	0.29	0.29	0.55	0.30	0.29	0.55
	Low-E EC	0.27	0.31	0.56	0.27	0.28	0.50	0.28	0.28	0.50
	Low-E EC Argon	0.24	0.31	0.56	0.24	0.28	0.50	0.25	0.28	0.50
	Low-E 366	0.32	0.24	0.57	0.32	0.22	0.51	0.34	0.22	0.51
	Low-E 366 Argon	0.28	0.24	0.57	0.28	0.22	0.51	0.30	0.22	0.51
	Triple Glaze Argon - 270, Cl, Cl	0.23	0.30	0.56	0.24	0.27	0.50	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.19	0.29	0.53	0.20	0.27	0.48	-	-	-
Triple Glaze Argon - 180, Cl, 180	0.20	0.49	0.60	0.21	0.45	0.54	-	-	-	
Clad Direct-Set Radius	Clear	0.47	0.69	0.72	0.47	0.62	0.65	0.48	0.62	0.65
	Low-E 270	0.32	0.32	0.61	0.32	0.29	0.55	0.34	0.29	0.55
	Low-E 270 Argon	0.28	0.32	0.61	0.28	0.29	0.55	0.30	0.29	0.55
	Low-E EC	0.26	0.31	0.56	0.26	0.28	0.50	0.28	0.28	0.50
	Low-E EC Argon	0.24	0.31	0.56	0.24	0.28	0.50	0.25	0.28	0.50
	Low-E 366	0.31	0.24	0.57	0.31	0.22	0.51	0.33	0.22	0.51
	Low-E 366 Argon	0.28	0.24	0.57	0.28	0.22	0.51	0.29	0.22	0.51
	Triple Glaze Argon - 270, Cl, Cl	0.23	0.30	0.56	0.23	0.27	0.50	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.19	0.29	0.53	0.19	0.27	0.48	-	-	-
Triple Glaze Argon - 180, Cl, 180	0.20	0.49	0.60	0.20	0.45	0.54	-	-	-	

Clad 300 Sliding Patio Door	Clear	0.48	0.57	0.61	0.48	0.50	0.53	0.48	0.50	0.53
	Low-E 270	0.34	0.28	0.52	0.35	0.24	0.45	0.36	0.24	0.45
	Low-E 270 Argon	0.31	0.27	0.52	0.31	0.24	0.45	0.33	0.24	0.45
	Low-E EC	0.30	0.26	0.47	0.30	0.23	0.41	0.31	0.23	0.41
	Low-E EC Argon	0.27	0.26	0.48	0.27	0.23	0.41	0.28	0.23	0.41
	Low-E 366	0.34	0.21	0.48	0.34	0.19	0.42	0.36	0.19	0.42
	Low-E 366 Argon	0.31	0.21	0.48	0.31	0.19	0.42	0.32	0.19	0.42
Clad 400 Sliding Patio Door	Clear	0.45	0.48	0.52	0.45	0.42	0.45	0.46	0.42	0.45
	Low-E 270	0.34	0.24	0.44	0.34	0.21	0.38	0.36	0.21	0.38
	Low-E 270 Argon	0.31	0.24	0.44	0.31	0.21	0.38	0.33	0.21	0.38
	Low-E EC	0.30	0.22	0.40	0.30	0.20	0.34	0.31	0.20	0.34
	Low-E EC Argon	0.28	0.22	0.40	0.28	0.20	0.34	0.29	0.20	0.34
	Low-E 366	0.34	0.18	0.41	0.34	0.16	0.35	0.36	0.16	0.35
	Low-E 366 Argon	0.31	0.18	0.41	0.31	0.16	0.35	0.33	0.16	0.35
Clad Out Swing Patio Door	Clear	0.44	0.45	0.48	0.44	0.39	0.41	0.44	0.39	0.41
	Low-E 270	0.34	0.22	0.40	0.34	0.19	0.35	0.35	0.19	0.35
	Low-E 270 Argon	0.31	0.22	0.40	0.31	0.19	0.35	0.33	0.19	0.35
	Low-E EC	0.30	0.21	0.37	0.30	0.18	0.31	0.31	0.18	0.31
	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.29	0.18	0.31
	Low-E 366	0.33	0.17	0.37	0.33	0.15	0.32	0.35	0.15	0.32
	Low-E 366 Argon	0.31	0.17	0.37	0.31	0.15	0.32	0.32	0.15	0.32
Clad In Swing Patio Door	Clear	0.44	0.44	0.48	0.44	0.38	0.41	0.45	0.38	0.41
	Low-E 270	0.34	0.22	0.40	0.34	0.19	0.34	0.36	0.19	0.34
	Low-E 270 Argon	0.32	0.22	0.40	0.32	0.19	0.34	0.33	0.19	0.34
	Low-E EC	0.30	0.21	0.37	0.30	0.18	0.31	0.32	0.18	0.31
	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.30	0.18	0.31
	Low-E 366	0.34	0.17	0.37	0.34	0.15	0.32	0.36	0.15	0.32
	Low-E 366 Argon	0.31	0.17	0.37	0.31	0.15	0.32	0.33	0.15	0.32

Primed Awning	Clear	0.46	0.53	0.55	0.46	0.48	0.50	0.46	0.48	0.50
	Low-E 270	0.34	0.25	0.47	0.34	0.23	0.43	0.35	0.23	0.43
	Low-E 270 Argon	0.31	0.25	0.47	0.31	0.23	0.43	0.32	0.23	0.43
	Low-E EC	0.30	0.24	0.43	0.30	0.22	0.39	0.30	0.22	0.39
	Low-E EC Argon	0.28	0.24	0.43	0.28	0.22	0.39	0.28	0.22	0.39
	Low-E 366	0.34	0.19	0.44	0.34	0.17	0.39	0.34	0.17	0.39
	Low-E 366 Argon	0.31	0.19	0.44	0.31	0.17	0.39	0.31	0.17	0.39
Primed Casement	Clear	0.45	0.53	0.56	0.45	0.48	0.50	0.45	0.48	0.50
	Low-E 270	0.33	0.25	0.47	0.33	0.23	0.43	0.35	0.23	0.43
	Low-E 270 Argon	0.30	0.25	0.47	0.30	0.23	0.43	0.31	0.23	0.43
	Low-E EC	0.29	0.24	0.43	0.29	0.22	0.39	0.30	0.22	0.39
	Low-E EC Argon	0.27	0.24	0.43	0.27	0.22	0.39	0.28	0.22	0.39
	Low-E 366	0.33	0.19	0.44	0.33	0.17	0.40	0.34	0.17	0.40
	Low-E 366 Argon	0.30	0.19	0.44	0.30	0.17	0.40	0.31	0.17	0.40
Primed Casement Fixed	Clear	0.46	0.61	0.64	0.46	0.55	0.57	0.47	0.55	0.57
	Low-E 270	0.32	0.29	0.55	0.32	0.26	0.49	0.38	0.26	0.49
	Low-E 270 Argon	0.29	0.29	0.55	0.29	0.26	0.49	0.30	0.26	0.49
	Low-E EC	0.27	0.27	0.50	0.27	0.25	0.45	0.28	0.25	0.45
	Low-E EC Argon	0.25	0.27	0.50	0.25	0.25	0.45	0.26	0.25	0.45
	Low-E 366	0.32	0.22	0.51	0.32	0.20	0.45	0.34	0.20	0.45
	Low-E 366 Argon	0.28	0.22	0.51	0.28	0.19	0.45	0.30	0.19	0.45
Primed Double-Hung	Clear	0.47	0.56	0.59	0.47	0.50	0.52	0.47	0.50	0.52
	Low-E 270	0.34	0.27	0.50	0.34	0.24	0.45	0.36	0.24	0.45
	Low-E 270 Argon	0.31	0.27	0.50	0.31	0.24	0.45	0.32	0.24	0.45
	Low-E EC	0.30	0.25	0.46	0.30	0.23	0.41	0.31	0.23	0.41
	Low-E EC Argon	0.27	0.25	0.46	0.27	0.23	0.41	0.28	0.23	0.41
	Low-E 366	0.34	0.20	0.46	0.34	0.18	0.41	0.35	0.18	0.41
	Low-E 366 Argon	0.31	0.20	0.46	0.31	0.18	0.41	0.32	0.18	0.41
Primed Double-Hung Fixed	Clear	0.46	0.58	0.62	0.46	0.52	0.55	0.46	0.52	0.55
	Low-E 270	0.33	0.28	0.53	0.33	0.25	0.47	0.38	0.25	0.47
	Low-E 270 Argon	0.29	0.28	0.53	0.29	0.25	0.47	0.31	0.25	0.47
	Low-E EC	0.28	0.26	0.48	0.28	0.24	0.43	0.29	0.24	0.43
	Low-E EC Argon	0.25	0.26	0.48	0.25	0.24	0.43	0.27	0.24	0.43
	Low-E 366	0.32	0.21	0.48	0.32	0.19	0.43	0.34	0.19	0.43
	Low-E 366 Argon	0.29	0.21	0.48	0.29	0.19	0.43	0.30	0.19	0.43

Primed Horizontal Slider	Clear	0.47	0.58	0.62	0.47	0.52	0.55	0.48	0.52	0.55
	Low-E 270	0.34	0.28	0.52	0.34	0.25	0.47	0.36	0.25	0.47
	Low-E 270 Argon	0.31	0.28	0.52	0.31	0.25	0.47	0.32	0.25	0.47
	Low-E EC	0.29	0.26	0.48	0.29	0.24	0.43	0.31	0.24	0.43
	Low-E EC Argon	0.27	0.26	0.48	0.27	0.24	0.43	0.28	0.24	0.43
	Low-E 366	0.34	0.21	0.48	0.34	0.19	0.43	0.35	0.19	0.43
	Low-E 366 Argon	0.31	0.21	0.48	0.31	0.19	0.43	0.32	0.19	0.43
Primed Direct-Set	Clear	0.46	0.67	0.71	0.46	0.61	0.64	0.47	0.61	0.64
	Low-E 270	0.31	0.32	0.61	0.31	0.29	0.55	0.33	0.29	0.55
	Low-E 270 Argon	0.27	0.32	0.61	0.27	0.29	0.55	0.29	0.29	0.55
	Low-E EC	0.25	0.30	0.55	0.25	0.27	0.50	0.27	0.27	0.50
	Low-E EC Argon	0.23	0.30	0.55	0.23	0.27	0.50	0.24	0.27	0.50
	Low-E 366	0.31	0.24	0.56	0.31	0.22	0.50	0.33	0.22	0.50
	Low-E 366 Argon	0.27	0.24	0.55	0.27	0.22	0.50	0.28	0.22	0.50
Primed Out Swing Patio Door	Clear	0.43	0.53	0.52	0.43	0.46	0.45	0.44	0.46	0.45
	Low-E 270	0.33	0.28	0.44	0.33	0.25	0.38	0.35	0.25	0.38
	Low-E 270 Argon	0.31	0.28	0.44	0.31	0.25	0.38	0.32	0.25	0.38
	Low-E EC	0.29	0.27	0.40	0.29	0.24	0.35	0.31	0.24	0.35
	Low-E EC Argon	0.28	0.27	0.40	0.28	0.24	0.35	0.29	0.24	0.35
	Low-E 366	0.33	0.22	0.41	0.33	0.20	0.35	0.35	0.20	0.35
	Low-E 366 Argon	0.30	0.22	0.41	0.30	0.20	0.35	0.32	0.20	0.35
Primed In Swing Patio Door	Clear	0.43	0.44	0.48	0.43	0.38	0.41	0.44	0.38	0.41
	Low-E 270	0.33	0.22	0.40	0.33	0.19	0.35	0.35	0.19	0.35
	Low-E 270 Argon	0.31	0.22	0.40	0.31	0.19	0.35	0.32	0.19	0.35
	Low-E EC	0.29	0.21	0.37	0.29	0.18	0.31	0.31	0.18	0.31
	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.29	0.18	0.31
	Low-E 366	0.33	0.17	0.37	0.33	0.15	0.32	0.35	0.15	0.32
	Low-E 366 Argon	0.31	0.16	0.37	0.31	0.14	0.32	0.32	0.14	0.32

Rev. 1/22/13

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# CITY OF SONOMA

## RESOLUTION NO. 01 - 2011

A RESOLUTION OF THE SONOMA CITY COUNCIL UPHOLDING THE DECISION OF THE PLANNING COMMISSION TO APPROVE AN APPLICATION TO SUBDIVIDE THE PROPERTY AT 20144 FIFTH STREET EAST INTO FOUR LOTS IN CONJUNCTION WITH EXCEPTIONS FROM THE SETBACK REQUIREMENTS, SUBJECT TO AMENDMENTS TO THE CONDITIONS OF PROJECT APPROVAL.

WHEREAS, on April 30 2010, an application was filed by Artlee, LLC for an application to subdivide the property at 20144 Fifth Street East into four lots; and

WHEREAS, upon considering this application in the course of a hearing held on October 14, 2010, the Planning Commission voted 3-2 to approve the four-lot subdivision in conjunction with Exceptions from the setback requirements; and

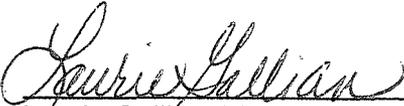
WHEREAS, this decision was appealed to the City Council by two residents near the site on the following basis: (1) only five Commissioners considered the item; (2) the Commissioners decision was split (3-2); (3) water usage/city rationing; (4) heritage tree issues; and (5) several neighbors had requested a continuation of the Planning Commission meeting at which the project was approved; and

WHEREAS, the City Council considered the appeal in a duly noticed public hearing held on December 15, 2010.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Sonoma hereby upholds the decision of the Planning Commission to approve an application to subdivide the property at 20144 Fifth Street East into four lots in conjunction with exceptions from the setback requirements, subject to modifications to the conditions of approval, as set forth in Exhibit A, intended to better address neighbor concerns about privacy and about noise associated with garbage and recycling services.

The foregoing Resolution was duly adopted this 5<sup>th</sup> day of January 2011, by the following roll call vote:

AYES:	Sanders, Brown, Barbose, Gallian
NOES:	Rouse
ABSENT:	None
ABSTAIN:	None

  
Laurie Gallian, Mayor

ATTEST:

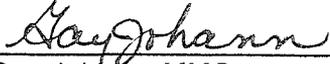
  
Gay Johann, MMC  
City Clerk

EXHIBIT A

*As revised by the City Council on December 15, 2010*

City of Sonoma Planning Commission  
**CONDITIONS OF PROJECT APPROVAL AND  
MITIGATION MONITORING PROGRAM**  
Fichtenberg 4-lot Subdivision – 20144 Fifth Street East

December 15, 2010

1. The following are required by the City and other affected agencies prior to the approval of the Parcel Map.
  - a. A Parcel Map shall be prepared and submitted to the City Engineer and Planning Director for review and approval along with the following supporting data: a current (within the most recent three months) Preliminary Title Report, Joint Access Easement Agreement, Private Storm Drain Easement, private utility easements (for separate water, sewer and public utility services), closure calculations, copies of existing easements, and copies of records used to prepare survey (such as deeds and easements, filed maps, etc.). Upon approval and acceptance by the City, the map will be released to the Applicant's title company for filing at the office of the Sonoma County Recorder. The Applicant shall provide the number and types of copies to the City as directed by the City Engineer.
  - b. The applicant shall submit a copy of the Joint Access Easement Agreement to provide for access to Lots 1, 2, 3, and 4. Said agreement shall provide for maintenance of the access and is subject to review and approval of the City.
  - c. All required sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required and shown on the Parcel Map.
  - d. Three-quarter inch iron pipe monuments shall be set at all tract corners and at all lot corners, unless otherwise approved by the City Engineer. Street centerline monuments shall be set as directed by the City Engineer. Prior to recordation of the map, applicant's Surveyor shall certify that all monuments have been set to the satisfaction of the City Engineer. The applicant may post a bond for setting interior monuments after the recordation of the map but prior to issuance of a building permit. Bond amount is hereby established at \$500 per lot and will be released upon submittal of certification by applicant's Surveyor.
  - e. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to Parcel Map recordation.

*Enforcement Responsibility: Planning Administrator; City Engineer*  
*Timing: Prior to approval of the Parcel Map*

2. Prior to approval of the Parcel Map, Applicant shall submit Improvement Plans to the City Engineer and Planning Director (for arborist review) for review and approval. The Improvement Plans shall be prepared by a registered civil engineer and all public improvements shall meet City standards. All drainage improvements shall be designed in accordance with the Sonoma County Water Agency "Flood Control Design Criteria." Plans and engineering calculations for drainage improvements, and plans for sanitary sewer facilities, shall be submitted to the Sonoma County Water Agency for review and approval. The following public improvements shall be required and shown on the Improvement Plans:
  - a. Driveway approaches and any non-conforming sidewalk shall be removed and replaced to meet City and Federal ADA standards. Existing curb, gutter, and sidewalk that are damaged or deemed by the City Engineer to be in disrepair shall be removed and replaced to City standards.
  - b. Street widening and street frontage improvements for Fifth Street East including but not limited to, storm drainage, paving, conform paving, curb gutter, sidewalk, street lighting, fire hydrant, striping and signage, in accordance with City Standards. The design of the sidewalk shall accommodate the valley oak tree located adjacent to Lot 1.
  - c. Street paving requirements for both Fifth Street East and the private driveway shall be identified in the geotechnical report and structural section for the pavement shall be in conformance with the report recommendations or City standards, whichever applies.
  - d. A drainage plan for proposed private storm drain lines and facilities shall be included in the Improvement Plans. No lot-to-lot drainage is allowed unless a private storm drain easement is acquired. The Drainage plan shall be referred to the Sonoma County Water Agency for review and approval.
  - e. Proposed sewer services serving each lot. Applicant shall submit sewer service connection plans directly to the Sonoma County Water Agency for review and approval.
  - f. Separate water services and meters serving each lot. Backflow assemblies as required by the Fire Department and/or the State of California shall also be shown on the improvement plans.
  - g. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to the approval of the improvement plans, whichever occurs first.

- h. Utility trenching shall not occur within the drip line of the valley oak adjacent to Lot 1.

*Enforcement Responsibility:* City Engineer; Sonoma County Water Agency  
*Timing:* Prior to the approval of the Parcel Map

3. Prior to approval of the Parcel Map, the Applicant shall install improvements in accordance with the City-approved Improvement Plans.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to the approval of the Parcel Map

4. All existing and proposed utility distribution facilities for the subdivision, including electric, telecommunications, cable TV, etc., shall be undergrounded.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to the approval of the Parcel Map

5. All Fire Department and Building Code requirements shall be satisfied, including signing or striping the driveway as an emergency access lane to prohibit parking, except in specifically designated areas.

*Enforcement Responsibility:* Fire Department; Public Works; Building Division  
*Timing:* Prior to recording the Parcel Map

6. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project.

*Enforcement Responsibility:* Public Works; Building Division; Affected Agencies  
*Timing:* Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

7. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to approval of the Parcel Map, including the payment of applicable fees:

- a. Sonoma County Water Agency. *[For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans]*

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to the approval of the Parcel Map

8. A sewer clearance shall be provided to the City Engineer and Building Division verifying that all applicable sewer fees have been paid prior to approval of the Parcel Map. Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Water Agency immediately to determine whether such fees apply.

*Enforcement Responsibility:* City Engineer; Building Division  
*Timing:* Prior to the approval of the Parcel Map

9. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma County Water Agency [For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans]
- b. Sonoma Valley Unified School District [For school impact fees]
- c. Sonoma County Department of Environmental Health [For abandonment of wells]

*Enforcement Responsibility:* Building Division; Public Works Division  
*Timing:* Prior to issuance of a building permit

10. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended.

*Enforcement Responsibility:* Building Division; Fire Department; Planning Division; Public Works  
*Timing:* Prior to the issuance of any building permit; Ongoing

11. Any wells on the site shall be abandoned in accordance with permit requirements of the Sonoma County Department of Environmental Health; or equipped with a back-flow prevention device as approved by the City Engineer. Wells that will remain shall be plumbed to irrigation system only and not for domestic use.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to approval of the Grading Plans and Improvement Plans

12. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required prior to the issuance of a grading permit and/or approval

of the improvement plans, as determined by the City Engineer. Recommendations identified in the report shall consider the recommendations provided in the geotechnical investigation prepared for the development and shall be incorporated into the construction plans for the project and into the building permits.

*Enforcement Responsibility:* Building Division; City Engineer  
*Timing:* Prior to issuance of a grading permit and/or approval of improvement plans

13. All Building Division and Building Code requirements shall be met. A building permit shall be required.

*Enforcement Responsibility:* Building Division  
*Timing:* Prior to construction

14. The applicant shall submit a Water Conservation Plan to the City Engineer for review and approval. The Plan shall include conservation measures for indoor and outdoor water use and shall be consistent with the City's water conservation and landscape efficiency ordinances.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to issuance of a building permit

15. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation, and replacement:

- a. Trees removed from the site shall be replaced at a 2:1 ratio with 15-gallon trees or a lesser ratio if 24-inch box size replacement trees are used.
- b. The developer shall adhere to the tree protection measures included within the arborist report.
- c. Any replacement trees planted along the property frontages shall be consistent with the City's Street Tree Planting Program, including the District Tree List.
- d. The driveway shall be relocated away from the drip line of the large valley oak growing along the north boundary near Fifth Street East as shown on the approved site plan. Special protection measures, including the use of CU Structural Material, identified in the arborist report shall be applied. The project arborist, Sherby Sanborn, shall review the grading and improvement plans for compliance with tree protection measures and shall be on site during construction activities occurring in proximity to the tree.

*Enforcement Responsibility:* Planning Division; Design Review Commission  
*Timing:* Prior to the issuance of any occupancy permit

16. The development shall be subject to the review and approval of the Design Review Commission (DRC). This review shall encompass site plan adjustments as required by these conditions or as deemed necessary by the DRC (except no modifications substantially altering the approved site plan or at variance with the conditions of approval shall be made), and review of elevation details, exterior materials and colors. The side plan shall indicate the exact locations of all utilities for the individual lots. The DRC shall give consideration to window placement, the scale and orientation of any second-floor elements, and other design details in order to maximize visual compatibility and minimize privacy impacts on adjoining properties.

*Enforcement Responsibility:* Planning Division; DRC  
*Timing:* Prior to the issuance of any building permit

17. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review Commission (DRC). The plan shall address site landscaping, fencing/walls, hardscape improvements, required tree plantings. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.46 (Fences, Hedges, and Walls), and 19.40.060 (Landscape Standards) and shall provide for plantings along the northern and southern property lines in order to minimize privacy impacts on adjoining properties.

*Enforcement Responsibility:* Planning Division; Design Review Commission  
*Timing:* Prior to the issuance of any occupancy permit

18. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Design Review Commission (DRC). All proposed exterior lighting for the site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security.

*Enforcement Responsibility:* Planning Division; Design Review Commission  
*Timing:* Prior to the issuance of any occupancy permit

19. Prior to the issuance of any building permit, a water demand analysis, prepared by a licensed civil engineer, shall be submitted by the applicant and shall be subject to the review and approval of the City Engineer. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-

serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to issuance of any building permit

20. The following dust control measures shall be implemented as necessary during the construction phase of the project: 1) all exposed soil areas (i.e. building sites, unpaved access roads, parking or staging areas) shall be watered at least twice daily or as required by the City's construction inspector, 2) exposed soil stockpiles shall be enclosed, covered, or watered twice daily; and 3) streets adjoining the project site (Fifth Street East) shall be swept daily, if visible soil material is deposited onto the road.

*Enforcement Responsibility:* Building Department  
*Timing:* Ongoing during construction

21. If archaeological remains or a dense concentration of historic period site indicators are uncovered, work at the place of the discovery shall be halted immediately until a qualified archaeologist can evaluate the finds. Prehistoric archaeological site indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g., slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items with the possible addition of bone and shell remains, and fire affected stones. Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains such as building foundations and discrete trash deposits (e.g., wells, privy pits, dumps).

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department  
*Timing:* Ongoing during construction

22. The Society of Vertebrate Paleontology, a national scientific organization of professional vertebrate paleontologists, has established standard guidelines that outline acceptable professional practices in the conduct of paleontological resource assessments and surveys, monitoring and mitigation, data and fossil recovery, sampling procedures, specimen preparation, analysis, and curation. Most practicing professional paleontologists in the nation adhere to the Society of Vertebrate Paleontology assessment, mitigation, and monitoring requirements, as specifically spelled out in its standard guidelines. If paleontological resources are identified during construction activities, all work in the immediate area will cease until a qualified paleontologist has evaluated the finds in accordance with the standard guidelines established by the Society of Vertebrate Paleontology. If the paleontological resources are considered to be significant, a data recovery program will be implemented in accordance with the guidelines established by the Society of

Vertebrate Paleontology. Data recovery will reduce all impacts to a less-than-significant level.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department  
*Timing:* Ongoing during construction

23. If human remains are encountered, excavation or disturbance of the location shall be halted in the vicinity of the find, and the county coroner contacted. If the coroner determines the remains are Native American, the coroner will contact the Native American Heritage Commission. The Native Heritage Commission will identify the person or persons believed to be most likely descended from the deceased Native American. The most likely descendent makes recommendations regarding the treatment of the remains with appropriate dignity.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department; Coroner  
*Timing:* Ongoing during construction

24. Post Construction Best Management Practices to control the quality of surface water runoff from the site shall be used throughout the site to capture and filter surface runoff prior to its leaving the site or entering the storm drainage system. Acceptable methods of capturing and filtering water pollution can be found in the SUSMP guidelines (i.e., Guidelines for the Standard Urban Storm Water Mitigation Plan for the Santa Rosa Area and Unincorporated Areas around Petaluma and Sonoma dated June 2005) including the use of filters, grease traps, interceptors and biotechnical solutions (grass-lined swales and filtering basins in landscaped areas surrounding parking areas) which shall be implemented as feasible. The civil engineer for the project shall incorporate these measures into the engineering plans for the project site and shall be subject to the approval of the City Engineer. In addition, the applicant shall comply with the City of Sonoma Stormwater Best Management Plan. The applicant shall submit a preliminary and final storm water mitigation plan (AMP) in compliance with the 2005 SUSMP guidelines herein referenced to the City Engineer for review and approval.

*Enforcement Responsibility:* City Engineer; Public Works Department; Building Department  
*Timing:* Prior to issuance of any building permit; Ongoing during construction

25. All construction equipment shall be maintained and operated so as not to generate unacceptable noise levels in the vicinity of the project site. Stationary construction equipment (e.g., compressors) shall be situated as far as possible from inhabited areas, and equipment not actively in use shall be shut down to reduce unnecessary noise. The contractor shall be responsible to insure that all construction equipment

is equipped with manufacturer-approved mufflers/baffles. Noise-producing construction activities and materials delivery shall comply with the limitation of the City's Noise Ordinance.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department;  
*Timing:* Ongoing during construction

26. The applicant shall arrange with the local garbage company to collect garbage from the area in front of lot 1.

*Enforcement Responsibility:* Planning Department  
*Timing:* Ongoing

27. The applicant/developer shall comply with all requirements of the County of Sonoma Permit and Resource Management Department (PRMD) as outlined in the following:

- a. The Applicant shall initiate proceedings with the Permit and Resource Management Department (P.R.M.D.) to annex property to the Sonoma Valley County Sanitation District. Prior to obtaining a permit to construct sanitary sewer facilities for development of the subject property, the Applicant shall submit a copy of the Sonoma Local Agency Formation Commission (L.A.F.C.O.) Certificate of Completion of Annexation to the Sanitation Section of P.R.M.D.
- b. NOTE ON MAP: "A separate Sewer Connection Permit for each lot in this subdivision shall be obtained prior to occupancy of any building constructed on the lot". All fees shall be paid to, and all sewer construction shall be inspected and accepted by the Sonoma County Permit and Resource Management Department prior to occupancy of the building.
- c. The Applicant shall construct a new sanitary sewer main and appurtenances or post securities with the City of Sonoma to ensure that sewer facilities are installed in accordance with Sonoma County Water Agency (S.C.W.A.) Design and Construction Standards for Sanitation Facilities, where applicable, and/or specific details, as shown on approved improvement plans.
- d. The Applicant shall construct a new water main and appurtenances or post securities with the City of Sonoma to ensure that water supply facilities are installed in accordance with City of Sonoma Water System Standards where applicable, and/or specific details, as shown on approved improvement plans.
- e. The Applicant shall submit improvement plans to the Sanitation Section of P.R.M.D. for review and approval of the sanitary sewer design. Improvement plans shall be blue line or black line drawings on standard bond paper, 24 inch by 36 inch in size, and prepared by a licensed civil engineer registered in the State of

California. Sanitary sewer facilities shall be designed and Improvement Plans prepared in accordance with S.C.W.A. Design and Construction Standards for Sanitation Facilities. The Applicant shall pay Plan Checking fees to the Sanitation Section of P.R.M.D. prior to the start of Improvement Plan Review.

**Please note that review of the sanitary sewer design is a separate review from that of the buildings, drainage and frontage improvements, and shall be performed by the Sanitation Section of the Permit and Resource Management Department under a separate permit.**

The sewer design originals shall be signed by the S.C.W.A. Chief Engineer prior to the issuance of any permits for construction of the sanitary sewer facilities. The design engineer shall submit improvement plans to the Sanitation Section of P.R.M.D. on 24 inch by 36 inch mylar or vellum originals for signature by S.C.W.A. All sanitary sewer inspection permits shall be obtained from the Sanitation Section of P.R.M.D. prior to the start of construction.

- f. The Applicant shall grant a public sewer easement to the Sonoma Valley County Sanitation District.
- g. The easement shall be a minimum of 15 feet in width, and shall be granted to the sanitation district by separate document. The easement shall be shown on the subdivision map and on the improvement plans prior to approval of the improvement plans by the Engineering Division of P.R.M.D. A copy of the easement shall be submitted with the improvement plans for the initial sewer design plan check.
- h. No building shall be connected to the newly constructed sewer main until the sewer main has been inspected and accepted by the Engineering Division of P.R.M.D., and a Sewer Connection Permit has been issued for the building. A Sewer Completion Notice is required PRIOR to Occupancy.
- i. Prior to connection of the existing residence to the public sewer system, the Applicant shall obtain a Septic Tank Destruct permit from the Sanitation Section of P.R.M.D. The septic tank abandonment shall be inspected and approved by the Engineering Division of P.R.M.D. when the residence is connected to the sewer system.
- j. Prior to the start of sewer construction within the City of Sonoma's Right-of-way of Fifth Street East, the Applicant shall obtain a City of Sonoma Encroachment Permit. A copy of the issued Encroachment Permit and five (5) copies of signed improvement plans shall be provided to P.R.M.D. when obtaining the sewer construction permit.
- k. The Applicant shall obtain a permit to construct sanitary sewer facilities for the proposed subdivision prior to the start of construction. All sewer work shall be inspected and accepted by the Engineering Division of P.R.M.D., and a Sewer

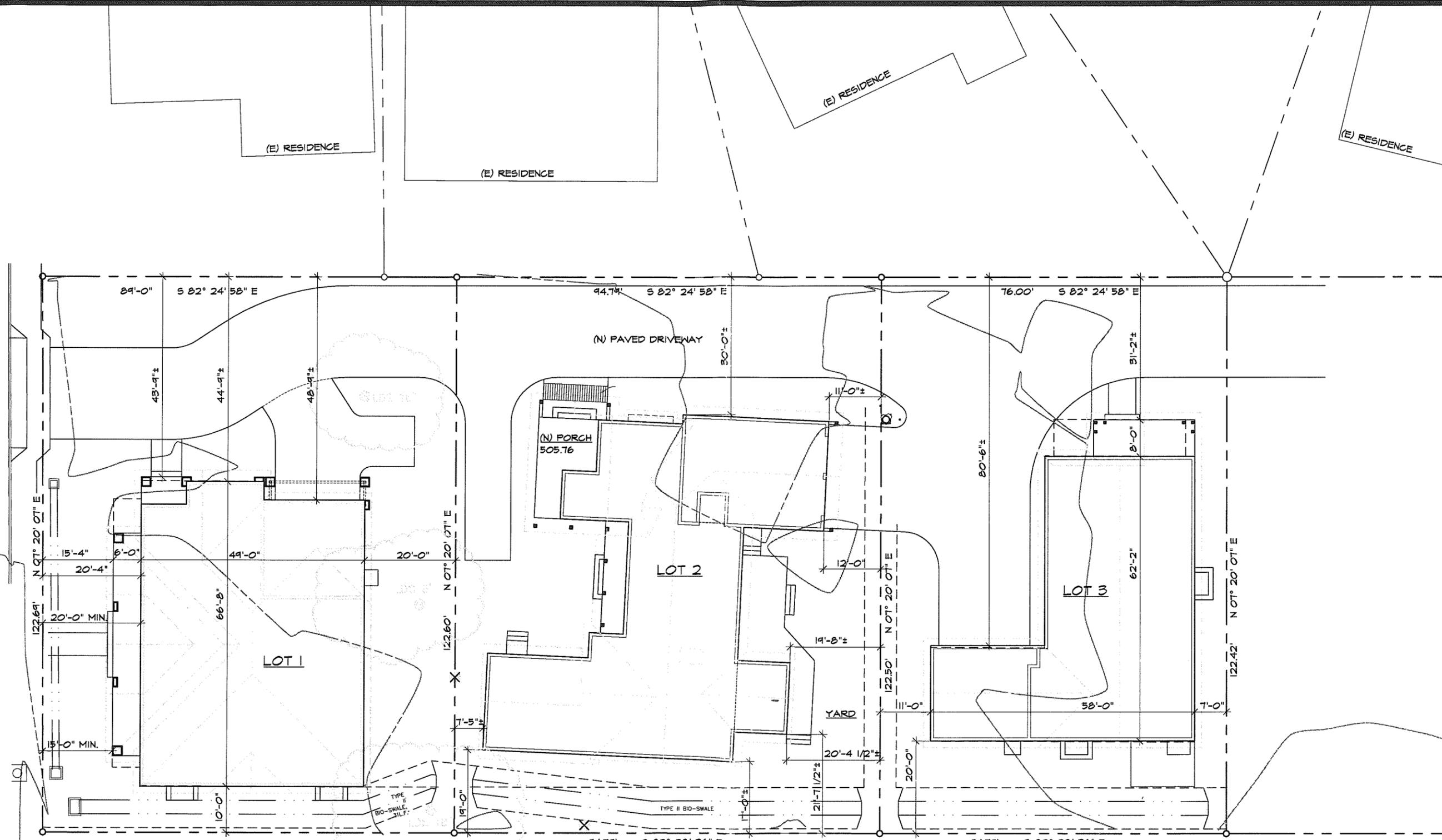
Completion Notice shall be issued by the Inspector before occupancy is granted for any building in the subdivision.

- l. The Applicant shall be responsible for the restoration of existing conditions including, but not limited to surfacing, landscaping, utilities and other public improvements that have been disturbed due to the construction of sanitary sewer facilities. Restoration shall be completed prior to the issuance of a Sewer Completion Notice, unless otherwise specifically approved in advance by P.R.M.D.
  
- m. The Applicant shall have “record drawings” prepared by the project engineer, in accordance with Section 6-05, of the S.C.W.A. Design and Construction Standards for Sanitation Facilities. The record drawings shall be submitted to the Engineering Division of P.R.M.D. for review and approval prior to acceptance of the sanitary sewer facilities.

<i>Enforcement Responsibility:</i>	<i>City Engineer; Public Works Department; Planning Department; PRMD</i>
<i>Timing:</i>	<i>Prior to final occupancy</i>

Z:\RESIDENTIAL\2014\1026\1026\1026.DWG Plt, 10 Oct 2014 - 9:58PM

5TH STREET EAST



**TABULATION - LOT 1**

LOT	10,915 SQ. FT.
FOOTPRINT	5,561 SQ. FT.
PROPOSED COVERAGE %	52.62%
ALLOWABLE COVERAGE %	40%
PROPOSED F.A.R.	28.67% (3,124 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	22'-4"

**TABULATION - LOT 2 (PREVIOUSLY APPROVED)**

LOT	11,615 SQ. FT.
FOOTPRINT	5,764 SQ. FT.
PROPOSED COVERAGE %	24.60%
ALLOWABLE COVERAGE %	40%
PREVIOUS F.A.R.	24% (3,417 SQ. FT.)
PROPOSED F.A.R.	29.60% (3,434 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	22'-0"

**TABULATION - LOT 3**

LOT	4,506 SQ. FT.
FOOTPRINT	2,644 SQ. FT.
PROPOSED COVERAGE %	24.20%
ALLOWABLE COVERAGE %	40%
PROPOSED F.A.R.	27.58% (2,567 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	20'-5"

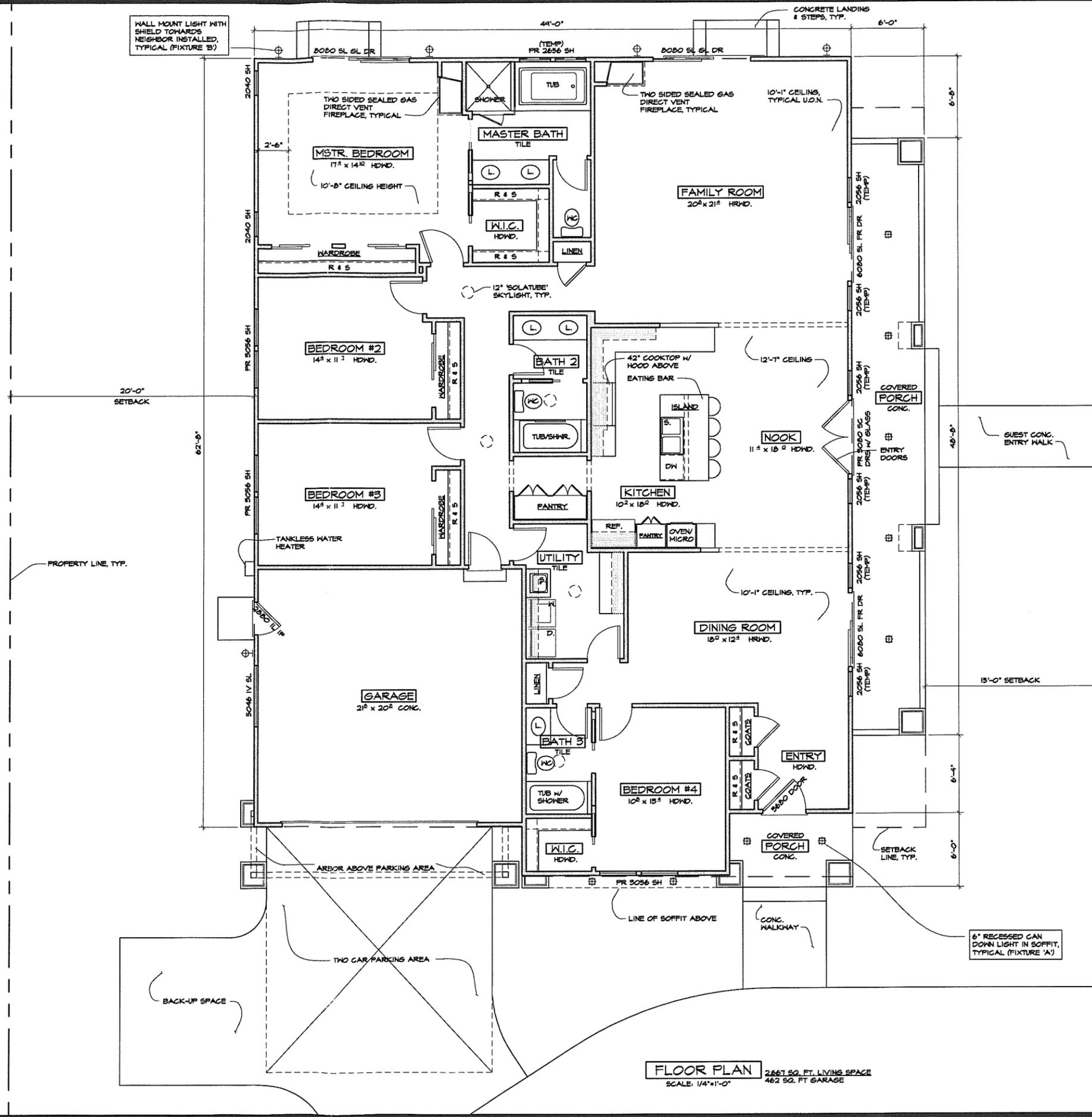
**SITE PLAN**  
SCALE: 1" = 10'-0"



(E) RESIDENCE

SHEET NO: **AS-1** OF 3  
 JOB NO: **LOTS 1 & 3**  
 DESIGN FOR: **1026 5TH STREET EAST, SONOMA, CALIFORNIA**  
 DATE PRINTED: **10 14**  
 DATE CHECKED: **10 14**  
 CONTRACTOR: **avila-bunch architects, inc.**  
 NOTES: **Merle Avila - architect (707) 585-3711**  
**Russell W. Bunch - architect (707) 795-4511**  
**5850 Commerce Boulevard, Rohnert Park, California 94928**  
**FAX 585-2499**

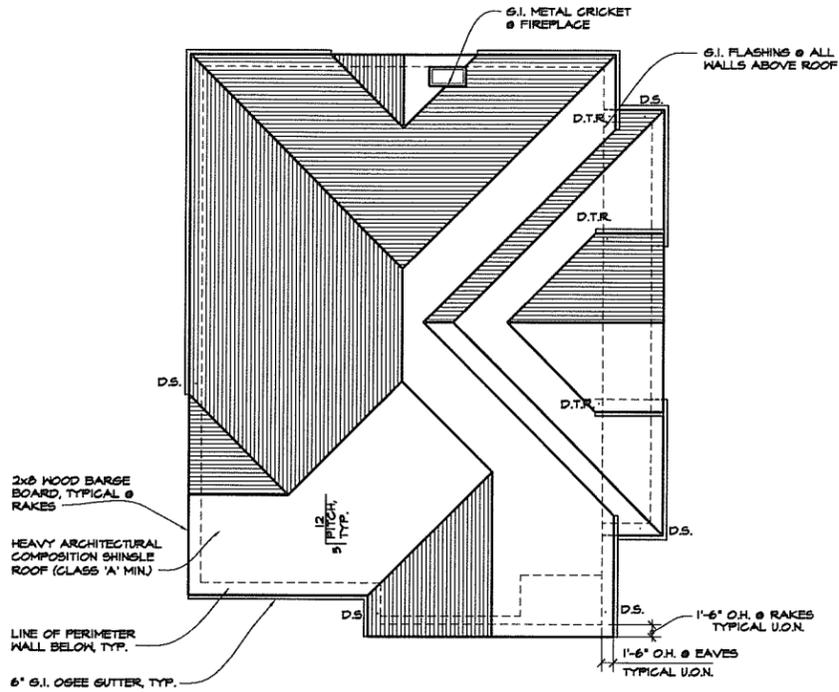
OCT 14 2014



**FLOOR PLAN** 2867 SQ. FT. LIVING SPACE  
462 SQ. FT. GARAGE  
SCALE: 1/4"=1'-0"

SHEET NO: <b>A2</b>	JOB NO: <b>14039</b>	DESIGN FOR:	CONTRACTOR:	NOTES:	DATE:
		LOT 1 LOT 1, 1028 FIFTH STREET EAST, SONOMA, CALIFORNIA			<b>10-14</b>
		DATE PRINTED:	DATE CHECKED:		

**avila-bunch architects, inc.**  
Merle Avila - architect  
Russell W. Bunch - architect  
5850 Commerce Boulevard, Rohnert Park, California 94928  
(707) 585-3711  
(707) 795-4511  
FAX 585-2499



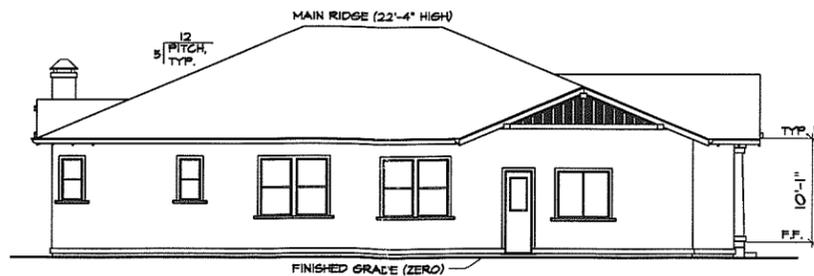
**ROOF PLAN**  
SCALE: 1/4"=1'-0"



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS**

- ①—HARDIE PLANK HORIZONTAL WOOD SIDING OVER TYVEK® BUILDING WRAP OVER STRUCTURAL SHEATHING PER (A) (B) TYP. U.O.N.
- ②—HEAVY ARCHITECTURAL COMPOSITION SHINGLE ROOFING (CLASS 'A' MIN.) , TYP.
- ③—6" G.I. OGEE GUTTER W/ 2"x3" G.I. DOWNSPOUTS CONNECTED TO CLOSED CONDUIT DRAINAGE SYSTEM, TYP.
- ④—2"x6 WOOD BARGE BOARD W/ 1"x3 WOOD EDGE TRIM, TYP. @ GABLE ENDS
- ⑤—VINYL SASH, DUAL GLAZED, LOW-E WINDOWS, TYPICAL
- ⑥—2x WOOD TRIM @ DOORS, & WINDOWS, TYP. (AS SHOWN)
- ⑦—GUARDRAIL @ 42" ABOVE FINISHED DECKING W/ 2x6 WOOD CAP, 2x4 WOOD NAILERS, 2x2 WOOD VERTS., & 4x4 WOOD POSTS, TYP.
- ⑧—WOOD SECTIONAL CARRIAGE HOUSE STYLE ROLL-UP GARAGE DOORS W/ LIGHTS.
- ⑨—CONCRETE PORCH, WALKWAY, & DRIVEWAY, TYP.
- ⑩—ILLUMINATED ADDRESS SIGN
- ⑪—SQUARE TAPERED PLYWOOD BOX COLUMNS @ PORCHES (AS SHOWN)
- ⑫—REDWOOD ARBOR @ PARKING AREA
- ⑬—2" x 4" REDWOOD LATTICE OVER G.I. SCREENED ATTIC VENT @ GABLE
- ⑭—WOOD ENTRY DOORS W/ TEMPERED GLASS PANELS



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda 4  
Item:

Meeting Date: 10/21/14

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**Applicant**

Chris Dluzak

**Project Location**

1036 Fifth Street East

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built:

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**Request**

Consideration of design review for a new single family residence located at 1036 Fifth Street East.

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**Background**

On October 14, 2010, the Planning Commission considered an application of Art Fichtenberg for a four-lot subdivision in conjunction with Exceptions from the setback requirements. After public testimony and discussion, the Planning Commission voted 3-2 to approve the project, subject to conditions of approval. Subsequently, an appeal of the Planning Commission's decision was filed. In consideration of the appeal at its meeting of December 15, 2010, the City Council voted 4-1 to uphold the decision of the Planning Commission, in conjunction with amendments to the conditions of project approval. Additionally the project approval included a condition of approval requiring review of elevation details, exterior materials, and colors.

**Summary**

At this time the property owner is proposing to construct a new residence on lot 3 (1036 Fifth Street East) of the four lot subdivision. The owner is proposing to construct a 2,699 square foot residence with an attached garage on the property.

**Zoning Requirements:** The standards of the Low Density Residential zone applicable to the proposal are as follows:

- *Setbacks:* The new residence meets or exceeds the normal setback requirements.
- *Coverage:* At 29%, site coverage meets the 40% maximum allowed in the Low Density Residential zone.
- *Floor Area Ratio:* The project would result in an F.A.R. of 0.29, which meets the 0.35 maximum allowed.
- *Parking:* Two covered parking spaces are provided in the attached garage. This meets the requirement.
- *Height:* The one-story residence would have a maximum ridge height of 22.33 feet, this meets the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to further Planning Commission approval.

**Design Review:** Modifications to all lots in the four-lot subdivision are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

*Factors to be considered:* In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;  
*There are no historically significant features on the site.*
2. Environmental features on or adjacent to the site;  
*Staff is not aware of any environmental features on or adjacent to the site.*
3. The context of uses and architecture established by adjacent development;  
*The adjacent properties to the north, south, east, and west are developed with single family residences.*
4. The location, design, site plan configuration, and effect of the proposed development.  
*The location, design, site plan configuration, and effect of the proposed development are compatible with surrounding uses.*

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

*Building Elevations & Exterior Materials:* As noted in the project narrative, the new residence is intended to have a "California bungalow and cottage" design. Proposed exterior materials consist of Hardie concrete siding, areas of large exposed structural members with angle braces, large wood trim, a front porch, stepped roof planes, well-articulated wood columns, and composition shingle roofing material. A Simpson front door and Jeld-Wen Windows are proposed for the residence (see attached specification sheets).

*Exterior Colors:* The applicant is proposing the building employ an earth tone pallet. Specifically, the body color is proposed to incorporate dry sage (Benjamin Moore 2142-40), the accent color is proposed to be painted coastal fog (Benjamin Moore 976), and the trim is proposed to be painted white dove (Benjamin Moore OC-17). The roof material is proposed to be black in color. A color and material sheet is provided for your reference and a color and material sample will be presented at the DRHPC meeting.

**Required Findings:** As set forth in §19.54.080.G of the Development Code, in order to approve an application for design review, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.

**Landscaping Plan:** As required by the Water Efficient Landscape Ordinance, the applicant will be submitting a landscape plan for the DRHPC's consideration at a later date.

**Exterior Lighting:** A lighting plan will be submitted by the applicant at a future date.

*Other permits required:* In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to construction.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye \_\_\_\_\_ Nay \_\_\_\_\_ Abstain \_\_\_\_\_ Absent

## **DRHPC Conditions or Modifications**

### Attachments:

1. Building and roof color samples
2. Project narrative
3. Window and door specification sheets
4. City Council Resolution 01-2011
5. Site plan
6. Floor plan
7. Elevation

cc: Chris Dluzak, via email

1028 & 1036 Fifth St E LLC  
1415 Fulton RD #205  
Santa Rosa, CA 95403-7661

Charlie and Cindy Wiles  
20148 Fifth Street East  
Sonoma, CA 95476

Jennifer Arnold and George Greene  
501 Este Madera Lane  
Sonoma, CA 95476

Carol Schantz  
476 Pear Tree Court  
Sonoma, CA 95476

Bella Fox  
511 Este Madera Lane  
Sonoma, CA 95476

Peter and Deanna LaVault  
568 Este Madera Drive  
Sonoma, CA 95476

Dan Meader  
19745 Eighth Street East  
Sonoma, CA 95476

Charles Boles  
474 Denmark Street  
Sonoma, CA 95476

Suzi Pignataro  
502 Este Madera Lane  
Sonoma, CA 95476

The Hardister Family  
515 Este Madera Lane  
Sonoma, CA 95476

Robert Felder  
1025 Fifth Street East  
Sonoma, CA 95476

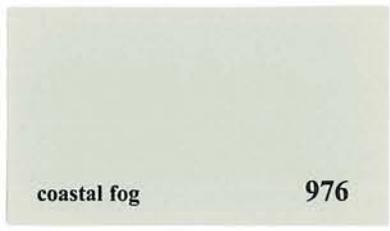
1036 Fifth Street East, Sonoma, CA 95472

OCT 27 2014

Body Color: Dry Sage



Accent Color: Coastal Fog



Trim Color: White Dove



Roof: 50 Year Driftwood



FILE COPY

# 1028 & 1036 Fifth St. E. LLC

**Don LaMont – (415) 706-6100**  
**Karen Green – (707) 687-8188**  
**Chris Dluzak – (707)-889-3142**

**Email: [nwhi@comcast.net](mailto:nwhi@comcast.net)**  
**Email: [kgreenmail@yahoo.com](mailto:kgreenmail@yahoo.com)**  
**Email: [ckdluzak@sonic.net](mailto:ckdluzak@sonic.net)**

## 1036 Fifth Street East : Design Narrative

The Fifth Street East Neighborhood consists of well-proportioned single family homes built on various sized lots with narrow street frontage and surrounded by mature landscaping. The streetscape is made pedestrian friendly with Victorian, California Bungalow, Modern Villas and Cottage home designs. My proposal for 1036 Fifth Street East (Lot 3) is to build a new home with the design characteristics of a Craftsman Bungalow style to embrace many of these neighborhood wide design principles. The home will be single story with a well-proportioned street elevation to conform to the City of Sonoma Central-East Planning Zoning District requirements, maintaining a friendly and inviting relationship with the street. Lot 3 will have a two car garage and two parking spots which have been included into the design. Our proposed exterior design is consistent with the surrounding neighborhood character. The exterior consists of common California Bungalow & Cottage design principles such as composition shingle roofing, painted 5" siding, large exposed structural members with angle braces, large wood trim, a front porch, stepped roof planes and well articulated wood columns. Landscaping has been designed to maintain water efficient landscaping while giving an outstanding appearance. At completion, our proposal will blend seamlessly into the surrounding historic urban character, bringing additional value to the area and charm to the neighborhood. I have spoken with all of the neighbors and everyone seems to be happy with the direction the project is going.

## Additional comments per Building Design Guideline Sections

### Energy Conservation Measures

This house will be constructed to meet or exceed current California Energy Commission Standards. I am considering constructing this house to be able to get it LEED Certified. The 50 point minimum for Green Building Standards will be met or exceeded for this residence.

### Sustainable Design Principles

Where ever possible, high recycle content materials will be used in the construction. Composite siding which has recycled cementitious material in it is also proposed. Recycled wood flooring is being considered for the home. The aggregate in the composition asphalt shingles is composed of some recycled material.

# 1028 & 1036 Fifth St. E. LLC

**Don LaMont – (415) 706-6100**  
**Karen Green – (707) 687-8188**  
**Chris Dluzak – (707)-889-3142**

**Email: [nwhi@comcast.net](mailto:nwhi@comcast.net)**  
**Email: [kgreenmail@yahoo.com](mailto:kgreenmail@yahoo.com)**  
**Email: [ckdluzak@sonic.net](mailto:ckdluzak@sonic.net)**

## Fire Resistant

The roofing proposed is architectural grade composition asphalt shingle which has the highest Class A fire rating. The siding proposed is also fire resistant as it is a cementitious product. A residential Fire Sprinkler System meeting the City of Sonoma Fire Department standards will be installed in this house.

## Scale, Mass and Height

The scale, mass and height of this proposal are consistent with other homes that have been presented and approved in the neighborhood. The building height maximums have not been exceeded.

## Color

Earth tone colors have been selected to compliment the pewter gray colored roof material. The colors have been selected to minimize glare and to compliment the other home colors already in the neighborhood.

## Windows, Roof, Etc.

Window size and placement have been chosen with the neighbor's privacy in mind and the window glare has been considered.

## Parking

Two parking spaces are provided inside the garage. Two full size parking spaces are provided on the side of the home.

## Exterior Lighting

All exterior lighting will be installed on a photovoltaic circuit to increase efficiency while still providing security and safety. Shields will be placed in the proposed fixtures to reduce direct glare to the neighboring homes.



## Wood Window NFRC Thermal Ratings

The performance information listed is for new products and is intended to be used for reference only, and is not complete. Depending on the components, accessories, and options chosen, the actual rating could vary. Confirm ratings for specific products with your supplier or JELD-WEN sales representative.

Premium Sitaline EX Windows and Doors										
SERIES	GLAZING	U-FACTOR	No Grids		5/8" Flat GBG, 23/32" Contoured GBG, SDL			1" Contoured GBG		
			SHGC	VT	U-FACTOR	SHGC	VT	U-FACTOR	SHGC	VT
Clad Awning	Clear	0.49	0.53	0.56	0.49	0.49	0.51	0.49	0.49	0.51
	Low-E 270	0.37	0.26	0.48	0.37	0.24	0.43	0.38	0.24	0.43
	Low-E 270 Argon	0.34	0.26	0.48	0.34	0.24	0.43	0.35	0.24	0.43
	Low-E EC	0.33	0.25	0.44	0.33	0.23	0.39	0.33	0.23	0.39
	Low-E EC Argon	0.30	0.25	0.44	0.30	0.23	0.39	0.31	0.23	0.39
	Low-E 366	0.36	0.20	0.44	0.36	0.18	0.40	0.37	0.18	0.40
	Low-E 366 Argon	0.33	0.19	0.44	0.33	0.18	0.40	0.34	0.18	0.40
	Triple Glaze Argon - 270, Cl, Cl	0.30	0.24	0.42	0.31	0.22	0.38	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.27	0.23	0.41	0.28	0.21	0.37	-	-	-
Triple Glaze Argon - 180, Cl, 180	0.28	0.38	0.46	0.28	0.35	0.41	-	-	-	
Clad Casement	Clear	0.49	0.54	0.56	0.49	0.49	0.51	0.49	0.49	0.51
	Low-E 270	0.37	0.26	0.48	0.37	0.24	0.43	0.38	0.24	0.43
	Low-E 270 Argon	0.34	0.26	0.48	0.34	0.24	0.43	0.35	0.24	0.43
	Low-E EC	0.33	0.25	0.44	0.33	0.23	0.39	0.34	0.23	0.39
	Low-E EC Argon	0.30	0.25	0.44	0.30	0.23	0.39	0.31	0.23	0.39
	Low-E 366	0.37	0.20	0.44	0.37	0.18	0.40	0.38	0.18	0.40
	Low-E 366 Argon	0.34	0.19	0.44	0.34	0.18	0.40	0.35	0.18	0.40
	Triple Glaze Argon - 270, Cl, Cl	0.31	0.24	0.43	0.31	0.22	0.39	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.28	0.24	0.41	0.28	0.22	0.37	-	-	-
Triple Glaze Argon - 180, Cl, 180	0.28	0.39	0.46	0.29	0.36	0.42	-	-	-	
Clad Casement Fixed	Clear	0.48	0.63	0.66	0.48	0.57	0.59	0.49	0.57	0.59
	Low-E 270	0.34	0.30	0.56	0.34	0.27	0.50	0.36	0.27	0.50
	Low-E 270 Argon	0.31	0.30	0.56	0.31	0.27	0.50	0.32	0.27	0.50
	Low-E EC	0.29	0.28	0.51	0.29	0.26	0.46	0.31	0.26	0.46
	Low-E EC Argon	0.27	0.28	0.51	0.27	0.26	0.46	0.28	0.26	0.46
	Low-E 366	0.34	0.22	0.52	0.34	0.20	0.46	0.36	0.20	0.46
	Low-E 366 Argon	0.30	0.22	0.52	0.30	0.20	0.46	0.32	0.20	0.46
	Triple Glaze Argon - 270, Cl, Cl	0.27	0.27	0.50	0.28	0.25	0.45	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.24	0.27	0.48	0.24	0.24	0.43	-	-	-
Triple Glaze Argon - 180, Cl, 180	0.25	0.45	0.54	0.25	0.41	0.48	-	-	-	

Clad Double-Hung	Clear	0.48	0.57	0.60	0.48	0.51	0.53	0.48	0.51	0.53
	Low-E 270	0.35	0.27	0.51	0.35	0.24	0.45	0.37	0.24	0.45
	Low-E 270 Argon	0.32	0.27	0.51	0.32	0.24	0.45	0.33	0.24	0.45
	Low-E EC	0.30	0.26	0.46	0.30	0.23	0.41	0.32	0.23	0.41
	Low-E EC Argon	0.28	0.26	0.46	0.28	0.23	0.41	0.29	0.23	0.41
	Low-E 366	0.35	0.20	0.47	0.35	0.18	0.42	0.36	0.18	0.42
Clad Double-Hung Fixed	Low-E 366 Argon	0.32	0.20	0.47	0.32	0.18	0.42	0.33	0.18	0.42
	Clear	0.47	0.60	0.62	0.47	0.53	0.55	0.48	0.53	0.55
	Low-E 270	0.33	0.28	0.53	0.33	0.25	0.47	0.35	0.25	0.47
	Low-E 270 Argon	0.30	0.28	0.53	0.30	0.25	0.47	0.32	0.25	0.47
	Low-E EC	0.28	0.27	0.48	0.28	0.24	0.43	0.30	0.24	0.43
	Low-E EC Argon	0.26	0.27	0.48	0.26	0.24	0.43	0.27	0.24	0.43
Clad Horizontal Slider	Low-E 366	0.33	0.21	0.49	0.33	0.19	0.44	0.35	0.19	0.44
	Low-E 366 Argon	0.30	0.21	0.49	0.30	0.19	0.44	0.31	0.19	0.44
	Clear	0.48	0.60	0.62	0.48	0.53	0.55	0.49	0.53	0.55
	Low-E 270	0.35	0.28	0.53	0.35	0.25	0.47	0.37	0.25	0.47
	Low-E 270 Argon	0.32	0.28	0.53	0.32	0.25	0.47	0.33	0.25	0.47
	Low-E EC	0.30	0.27	0.49	0.30	0.24	0.43	0.31	0.24	0.43
Clad Direct-Set	Low-E EC Argon	0.28	0.27	0.49	0.28	0.24	0.43	0.29	0.24	0.43
	Low-E 366	0.35	0.21	0.49	0.35	0.19	0.44	0.36	0.19	0.44
	Low-E 366 Argon	0.31	0.21	0.49	0.31	0.19	0.44	0.33	0.19	0.44
	Clear	0.49	0.69	0.72	0.48	0.62	0.65	0.48	0.62	0.65
	Low-E 270	0.32	0.32	0.61	0.32	0.29	0.55	0.34	0.29	0.55
	Low-E 270 Argon	0.29	0.29	0.61	0.29	0.29	0.55	0.30	0.29	0.55
Clad Direct-Set Radius	Low-E EC	0.27	0.31	0.56	0.27	0.28	0.50	0.28	0.28	0.50
	Low-E EC Argon	0.24	0.31	0.56	0.24	0.28	0.50	0.25	0.28	0.50
	Low-E 366	0.32	0.24	0.57	0.32	0.22	0.51	0.34	0.22	0.51
	Low-E 366 Argon	0.28	0.24	0.57	0.28	0.22	0.51	0.30	0.22	0.51
	Triple Glaze Argon - 270, Cl, Cl	0.23	0.30	0.56	0.24	0.27	0.50	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.19	0.29	0.53	0.20	0.27	0.48	-	-	-
Clad Direct-Set Radius	Triple Glaze Argon - 180, Cl, 180	0.20	0.49	0.60	0.21	0.45	0.54	-	-	-
	Clear	0.47	0.69	0.72	0.47	0.62	0.65	0.48	0.62	0.65
	Low-E 270	0.32	0.32	0.61	0.32	0.29	0.55	0.34	0.29	0.55
	Low-E 270 Argon	0.28	0.32	0.61	0.28	0.29	0.55	0.30	0.29	0.55
	Low-E EC	0.26	0.31	0.56	0.26	0.28	0.50	0.28	0.28	0.50
	Low-E EC Argon	0.24	0.31	0.56	0.24	0.28	0.50	0.25	0.28	0.50
Clad Direct-Set Radius	Low-E 366	0.31	0.24	0.57	0.31	0.22	0.51	0.33	0.22	0.51
	Low-E 366 Argon	0.28	0.24	0.57	0.28	0.22	0.51	0.29	0.22	0.51
	Triple Glaze Argon - 270, Cl, Cl	0.23	0.30	0.56	0.23	0.27	0.50	-	-	-
	Triple Glaze Argon - 270, Cl, 180	0.19	0.29	0.53	0.19	0.27	0.48	-	-	-
	Triple Glaze Argon - 180, Cl, 180	0.20	0.49	0.60	0.20	0.45	0.54	-	-	-
	Clear	0.47	0.69	0.72	0.47	0.62	0.65	0.48	0.62	0.65

Clad 300 Sliding Patio Door	Clear	0.48	0.57	0.61	0.48	0.50	0.53	0.48	0.50	0.53
	Low-E 270	0.34	0.28	0.52	0.35	0.24	0.45	0.36	0.24	0.45
	Low-E 270 Argon	0.31	0.27	0.52	0.31	0.24	0.45	0.33	0.24	0.45
	Low-E EC	0.30	0.26	0.47	0.30	0.23	0.41	0.31	0.23	0.41
	Low-E EC Argon	0.27	0.26	0.48	0.27	0.23	0.41	0.28	0.23	0.41
	Low-E 366	0.34	0.21	0.48	0.34	0.19	0.42	0.36	0.19	0.42
Clad 400 Sliding Patio Door	Low-E 366 Argon	0.31	0.21	0.48	0.31	0.19	0.42	0.32	0.19	0.42
	Clear	0.45	0.48	0.52	0.45	0.42	0.45	0.46	0.42	0.45
	Low-E 270	0.34	0.24	0.44	0.34	0.21	0.38	0.36	0.21	0.38
	Low-E 270 Argon	0.31	0.24	0.44	0.31	0.21	0.38	0.33	0.21	0.38
	Low-E EC	0.30	0.22	0.40	0.30	0.20	0.34	0.31	0.20	0.34
	Low-E EC Argon	0.28	0.22	0.40	0.28	0.20	0.34	0.29	0.20	0.34
Clad Out Swing Patio Door	Low-E 366	0.34	0.18	0.41	0.34	0.16	0.35	0.36	0.16	0.35
	Low-E 366 Argon	0.31	0.18	0.41	0.31	0.16	0.35	0.33	0.16	0.35
	Clear	0.44	0.45	0.48	0.44	0.39	0.41	0.44	0.39	0.41
	Low-E 270	0.34	0.22	0.40	0.34	0.19	0.35	0.35	0.19	0.35
	Low-E 270 Argon	0.31	0.22	0.40	0.31	0.19	0.35	0.33	0.19	0.35
	Low-E EC	0.30	0.21	0.37	0.30	0.18	0.31	0.31	0.18	0.31
Clad In Swing Patio Door	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.29	0.18	0.31
	Low-E 366	0.33	0.17	0.37	0.33	0.15	0.32	0.35	0.15	0.32
	Low-E 366 Argon	0.31	0.17	0.37	0.31	0.15	0.32	0.32	0.15	0.32
	Clear	0.44	0.44	0.48	0.44	0.38	0.41	0.45	0.38	0.41
	Low-E 270	0.34	0.22	0.40	0.34	0.19	0.34	0.36	0.19	0.34
	Low-E 270 Argon	0.32	0.22	0.40	0.32	0.19	0.34	0.33	0.19	0.34
Clad In Swing Patio Door	Low-E EC	0.30	0.21	0.37	0.30	0.18	0.31	0.32	0.18	0.31
	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.30	0.18	0.31
	Low-E 366	0.34	0.17	0.37	0.34	0.15	0.32	0.36	0.15	0.32
	Low-E 366 Argon	0.31	0.17	0.37	0.31	0.15	0.32	0.33	0.15	0.32
	Clear	0.44	0.44	0.48	0.44	0.39	0.41	0.44	0.39	0.41
	Low-E 270	0.34	0.22	0.40	0.34	0.19	0.35	0.35	0.19	0.35

Primed Awning	Clear	0.46	0.53	0.55	0.46	0.48	0.50	0.46	0.48	0.50
	Low-E 270	0.34	0.25	0.47	0.34	0.23	0.43	0.35	0.23	0.43
	Low-E 270 Argon	0.31	0.25	0.47	0.31	0.23	0.43	0.32	0.23	0.43
	Low-E EC	0.30	0.24	0.43	0.30	0.22	0.39	0.30	0.22	0.39
	Low-E EC Argon	0.28	0.24	0.43	0.28	0.22	0.39	0.28	0.22	0.39
	Low-E 366	0.34	0.19	0.44	0.34	0.17	0.39	0.34	0.17	0.39
	Low-E 366 Argon	0.31	0.19	0.44	0.31	0.17	0.39	0.31	0.17	0.39
Primed Casement	Clear	0.45	0.53	0.56	0.45	0.48	0.50	0.45	0.48	0.50
	Low-E 270	0.33	0.25	0.47	0.33	0.23	0.43	0.35	0.23	0.43
	Low-E 270 Argon	0.30	0.25	0.47	0.30	0.23	0.43	0.31	0.23	0.43
	Low-E EC	0.29	0.24	0.43	0.29	0.22	0.39	0.30	0.22	0.39
	Low-E EC Argon	0.27	0.24	0.43	0.27	0.22	0.39	0.28	0.22	0.39
	Low-E 366	0.33	0.19	0.44	0.33	0.17	0.40	0.34	0.17	0.40
	Low-E 366 Argon	0.30	0.19	0.44	0.30	0.17	0.40	0.31	0.17	0.40
Primed Casement Fixed	Clear	0.46	0.61	0.64	0.46	0.55	0.57	0.47	0.55	0.57
	Low-E 270	0.32	0.29	0.55	0.32	0.26	0.49	0.38	0.26	0.49
	Low-E 270 Argon	0.29	0.29	0.55	0.29	0.26	0.49	0.30	0.26	0.49
	Low-E EC	0.27	0.27	0.50	0.27	0.25	0.45	0.28	0.25	0.45
	Low-E EC Argon	0.25	0.27	0.50	0.25	0.25	0.45	0.26	0.25	0.45
	Low-E 366	0.32	0.22	0.51	0.32	0.20	0.45	0.34	0.20	0.45
	Low-E 366 Argon	0.28	0.22	0.51	0.28	0.19	0.45	0.30	0.19	0.45
Primed Double-Hung	Clear	0.47	0.56	0.59	0.47	0.50	0.52	0.47	0.50	0.52
	Low-E 270	0.34	0.27	0.50	0.34	0.24	0.45	0.36	0.24	0.45
	Low-E 270 Argon	0.31	0.27	0.50	0.31	0.24	0.45	0.32	0.24	0.45
	Low-E EC	0.30	0.25	0.46	0.30	0.23	0.41	0.31	0.23	0.41
	Low-E EC Argon	0.27	0.25	0.46	0.27	0.23	0.41	0.28	0.23	0.41
	Low-E 366	0.34	0.20	0.46	0.34	0.18	0.41	0.35	0.18	0.41
	Low-E 366 Argon	0.31	0.20	0.46	0.31	0.18	0.41	0.32	0.18	0.41
Primed Double-Hung Fixed	Clear	0.46	0.58	0.62	0.46	0.52	0.55	0.46	0.52	0.55
	Low-E 270	0.33	0.28	0.53	0.33	0.25	0.47	0.38	0.25	0.47
	Low-E 270 Argon	0.29	0.28	0.53	0.29	0.25	0.47	0.31	0.25	0.47
	Low-E EC	0.28	0.26	0.48	0.28	0.24	0.43	0.29	0.24	0.43
	Low-E EC Argon	0.25	0.26	0.48	0.25	0.24	0.43	0.27	0.24	0.43
	Low-E 366	0.32	0.21	0.48	0.32	0.19	0.43	0.34	0.19	0.43
	Low-E 366 Argon	0.29	0.21	0.48	0.29	0.19	0.43	0.30	0.19	0.43

Primed Horizontal Slider	Clear	0.47	0.58	0.62	0.47	0.52	0.55	0.48	0.52	0.55
	Low-E 270	0.34	0.28	0.52	0.34	0.25	0.47	0.36	0.25	0.47
	Low-E 270 Argon	0.31	0.28	0.52	0.31	0.25	0.47	0.32	0.25	0.47
	Low-E EC	0.29	0.26	0.48	0.29	0.24	0.43	0.31	0.24	0.43
	Low-E EC Argon	0.27	0.26	0.48	0.27	0.24	0.43	0.28	0.24	0.43
	Low-E 366	0.34	0.21	0.48	0.34	0.19	0.43	0.35	0.19	0.43
	Low-E 366 Argon	0.31	0.21	0.48	0.31	0.19	0.43	0.32	0.19	0.43
Primed Direct-Set	Clear	0.46	0.67	0.71	0.46	0.61	0.64	0.47	0.61	0.64
	Low-E 270	0.31	0.32	0.61	0.31	0.29	0.55	0.33	0.29	0.55
	Low-E 270 Argon	0.27	0.32	0.61	0.27	0.29	0.55	0.29	0.29	0.55
	Low-E EC	0.25	0.30	0.55	0.25	0.27	0.50	0.27	0.27	0.50
	Low-E EC Argon	0.23	0.30	0.55	0.23	0.27	0.50	0.24	0.27	0.50
	Low-E 366	0.31	0.24	0.56	0.31	0.22	0.50	0.33	0.22	0.50
	Low-E 366 Argon	0.27	0.24	0.55	0.27	0.22	0.50	0.28	0.22	0.50
Primed Out Swing Patio Door	Clear	0.43	0.53	0.52	0.43	0.46	0.45	0.44	0.46	0.45
	Low-E 270	0.33	0.28	0.44	0.33	0.25	0.38	0.35	0.25	0.38
	Low-E 270 Argon	0.31	0.28	0.44	0.31	0.25	0.38	0.32	0.25	0.38
	Low-E EC	0.29	0.27	0.40	0.29	0.24	0.35	0.31	0.24	0.35
	Low-E EC Argon	0.28	0.27	0.40	0.28	0.24	0.35	0.29	0.24	0.35
	Low-E 366	0.33	0.22	0.41	0.33	0.20	0.35	0.35	0.20	0.35
	Low-E 366 Argon	0.30	0.22	0.41	0.30	0.20	0.35	0.32	0.20	0.35
Primed In Swing Patio Door	Clear	0.43	0.44	0.48	0.43	0.38	0.41	0.44	0.38	0.41
	Low-E 270	0.33	0.22	0.40	0.33	0.19	0.35	0.35	0.19	0.35
	Low-E 270 Argon	0.31	0.22	0.40	0.31	0.19	0.35	0.32	0.19	0.35
	Low-E EC	0.29	0.21	0.37	0.29	0.18	0.31	0.31	0.18	0.31
	Low-E EC Argon	0.28	0.21	0.37	0.28	0.18	0.31	0.29	0.18	0.31
	Low-E 366	0.33	0.17	0.37	0.33	0.15	0.32	0.35	0.15	0.32
	Low-E 366 Argon	0.31	0.16	0.37	0.31	0.14	0.32	0.32	0.14	0.32

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**CITY OF SONOMA**

RESOLUTION NO. 01 - 2011

A RESOLUTION OF THE SONOMA CITY COUNCIL UPHOLDING THE DECISION OF THE PLANNING COMMISSION TO APPROVE AN APPLICATION TO SUBDIVIDE THE PROPERTY AT 20144 FIFTH STREET EAST INTO FOUR LOTS IN CONJUNCTION WITH EXCEPTIONS FROM THE SETBACK REQUIREMENTS, SUBJECT TO AMENDMENTS TO THE CONDITIONS OF PROJECT APPROVAL.

WHEREAS, on April 30 2010, an application was filed by Artlee, LLC for an application to subdivide the property at 20144 Fifth Street East into four lots; and

WHEREAS, upon considering this application in the course of a hearing held on October 14, 2010, the Planning Commission voted 3-2 to approve the four-lot subdivision in conjunction with Exceptions from the setback requirements; and

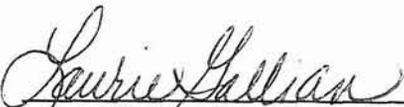
WHEREAS, this decision was appealed to the City Council by two residents near the site on the following basis: (1) only five Commissioners considered the item; (2) the Commissioners decision was split (3-2); (3) water usage/city rationing; (4) heritage tree issues; and (5) several neighbors had requested a continuation of the Planning Commission meeting at which the project was approved; and

WHEREAS, the City Council considered the appeal in a duly noticed public hearing held on December 15, 2010.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Sonoma hereby upholds the decision of the Planning Commission to approve an application to subdivide the property at 20144 Fifth Street East into four lots in conjunction with exceptions from the setback requirements, subject to modifications to the conditions of approval, as set forth in Exhibit A, intended to better address neighbor concerns about privacy and about noise associated with garbage and recycling services.

The foregoing Resolution was duly adopted this 5<sup>th</sup> day of January 2011, by the following roll call vote:

AYES:	Sanders, Brown, Barbose, Gallian
NOES:	Rouse
ABSENT:	None
ABSTAIN:	None

  
Laurie Gallian, Mayor

ATTEST:

  
Gay Johann, MMC  
City Clerk

EXHIBIT A

*As revised by the City Council on December 15, 2010*

City of Sonoma Planning Commission  
**CONDITIONS OF PROJECT APPROVAL AND  
MITIGATION MONITORING PROGRAM**  
Fichtenberg 4-lot Subdivision – 20144 Fifth Street East

December 15, 2010

1. The following are required by the City and other affected agencies prior to the approval of the Parcel Map.
  - a. A Parcel Map shall be prepared and submitted to the City Engineer and Planning Director for review and approval along with the following supporting data: a current (within the most recent three months) Preliminary Title Report, Joint Access Easement Agreement, Private Storm Drain Easement, private utility easements (for separate water, sewer and public utility services), closure calculations, copies of existing easements, and copies of records used to prepare survey (such as deeds and easements, filed maps, etc.). Upon approval and acceptance by the City, the map will be released to the Applicant's title company for filing at the office of the Sonoma County Recorder. The Applicant shall provide the number and types of copies to the City as directed by the City Engineer.
  - b. The applicant shall submit a copy of the Joint Access Easement Agreement to provide for access to Lots 1, 2, 3, and 4. Said agreement shall provide for maintenance of the access and is subject to review and approval of the City.
  - c. All required sidewalk, street, storm drainage, water, sewer, access and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required and shown on the Parcel Map.
  - d. Three-quarter inch iron pipe monuments shall be set at all tract corners and at all lot corners, unless otherwise approved by the City Engineer. Street centerline monuments shall be set as directed by the City Engineer. Prior to recordation of the map, applicant's Surveyor shall certify that all monuments have been set to the satisfaction of the City Engineer. The applicant may post a bond for setting interior monuments after the recordation of the map but prior to issuance of a building permit. Bond amount is hereby established at \$500 per lot and will be released upon submittal of certification by applicant's Surveyor.
  - e. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to Parcel Map recordation.

*Enforcement Responsibility:*  
*Timing:*

*Planning Administrator; City Engineer*  
*Prior to approval of the Parcel Map*

2. Prior to approval of the Parcel Map, Applicant shall submit Improvement Plans to the City Engineer and Planning Director (for arborist review) for review and approval. The Improvement Plans shall be prepared by a registered civil engineer and all public improvements shall meet City standards. All drainage improvements shall be designed in accordance with the Sonoma County Water Agency "Flood Control Design Criteria." Plans and engineering calculations for drainage improvements, and plans for sanitary sewer facilities, shall be submitted to the Sonoma County Water Agency for review and approval. The following public improvements shall be required and shown on the Improvement Plans:
  - a. Driveway approaches and any non-conforming sidewalk shall be removed and replaced to meet City and Federal ADA standards. Existing curb, gutter, and sidewalk that are damaged or deemed by the City Engineer to be in disrepair shall be removed and replaced to City standards.
  - b. Street widening and street frontage improvements for Fifth Street East including but not limited to, storm drainage, paving, conform paving, curb gutter, sidewalk, street lighting, fire hydrant, striping and signage, in accordance with City Standards. The design of the sidewalk shall accommodate the valley oak tree located adjacent to Lot 1.
  - c. Street paving requirements for both Fifth Street East and the private driveway shall be identified in the geotechnical report and structural section for the pavement shall be in conformance with the report recommendations or City standards, whichever applies.
  - d. A drainage plan for proposed private storm drain lines and facilities shall be included in the Improvement Plans. No lot-to-lot drainage is allowed unless a private storm drain easement is acquired. The Drainage plan shall be referred to the Sonoma County Water Agency for review and approval.
  - e. Proposed sewer services serving each lot. Applicant shall submit sewer service connection plans directly to the Sonoma County Water Agency for review and approval.
  - f. Separate water services and meters serving each lot. Backflow assemblies as required by the Fire Department and/or the State of California shall also be shown on the improvement plans.
  - g. The applicant shall show proof of payment of all outstanding engineering plan check fees within thirty (30) days of notice for payment and prior to the approval of the improvement plans, whichever occurs first.

- h. Utility trenching shall not occur within the drip line of the valley oak adjacent to Lot 1.

*Enforcement Responsibility:* City Engineer; Sonoma County Water Agency

*Timing:* Prior to the approval of the Parcel Map

3. Prior to approval of the Parcel Map, the Applicant shall install improvements in accordance with the City-approved Improvement Plans.

*Enforcement Responsibility:* City Engineer

*Timing:* Prior to the approval of the Parcel Map

4. All existing and proposed utility distribution facilities for the subdivision, including electric, telecommunications, cable TV, etc., shall be undergrounded.

*Enforcement Responsibility:* City Engineer

*Timing:* Prior to the approval of the Parcel Map

5. All Fire Department and Building Code requirements shall be satisfied, including signing or striping the driveway as an emergency access lane to prohibit parking, except in specifically designated areas.

*Enforcement Responsibility:* Fire Department; Public Works; Building Division

*Timing:* Prior to recording the Parcel Map

6. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project.

*Enforcement Responsibility:* Public Works; Building Division; Affected Agencies

*Timing:* Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

7. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to approval of the Parcel Map, including the payment of applicable fees:

- a. Sonoma County Water Agency. *[For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans]*

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to the approval of the Parcel Map

8. A sewer clearance shall be provided to the City Engineer and Building Division verifying that all applicable sewer fees have been paid prior to approval of the Parcel Map. Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Water Agency immediately to determine whether such fees apply.

*Enforcement Responsibility:* City Engineer; Building Division  
*Timing:* Prior to the approval of the Parcel Map

9. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma County Water Agency [For sewer connections and modifications and interceptor requirements, and for grading, drainage, and erosion control plans]
- b. Sonoma Valley Unified School District [For school impact fees]
- c. Sonoma County Department of Environmental Health [For abandonment of wells]

*Enforcement Responsibility:* Building Division; Public Works Division  
*Timing:* Prior to issuance of a building permit

10. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended.

*Enforcement Responsibility:* Building Division; Fire Department; Planning Division; Public Works  
*Timing:* Prior to the issuance of any building permit; Ongoing

11. Any wells on the site shall be abandoned in accordance with permit requirements of the Sonoma County Department of Environmental Health; or equipped with a back-flow prevention device as approved by the City Engineer. Wells that will remain shall be plumbed to irrigation system only and not for domestic use.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to approval of the Grading Plans and Improvement Plans

12. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required prior to the issuance of a grading permit and/or approval

of the improvement plans, as determined by the City Engineer. Recommendations identified in the report shall consider the recommendations provided in the geotechnical investigation prepared for the development and shall be incorporated into the construction plans for the project and into the building permits.

*Enforcement Responsibility:* Building Division; City Engineer  
*Timing:* Prior to issuance of a grading permit and/or approval of improvement plans

13. All Building Division and Building Code requirements shall be met. A building permit shall be required.

*Enforcement Responsibility:* Building Division  
*Timing:* Prior to construction

14. The applicant shall submit a Water Conservation Plan to the City Engineer for review and approval. The Plan shall include conservation measures for indoor and outdoor water use and shall be consistent with the City's water conservation and landscape efficiency ordinances.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to issuance of a building permit

15. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation, and replacement:

- a. Trees removed from the site shall be replaced at a 2:1 ratio with 15-gallon trees or a lesser ratio if 24-inch box size replacement trees are used.
- b. The developer shall adhere to the tree protection measures included within the arborist report.
- c. Any replacement trees planted along the property frontages shall be consistent with the City's Street Tree Planting Program, including the District Tree List.
- d. The driveway shall be relocated away from the drip line of the large valley oak growing along the north boundary near Fifth Street East as shown on the approved site plan. Special protection measures, including the use of CU Structural Material, identified in the arborist report shall be applied. The project arborist, Sherby Sanborn, shall review the grading and improvement plans for compliance with tree protection measures and shall be on site during construction activities occurring in proximity to the tree.

*Enforcement Responsibility:* Planning Division; Design Review Commission  
*Timing:* Prior to the issuance of any occupancy permit

16. The development shall be subject to the review and approval of the Design Review Commission (DRC). This review shall encompass site plan adjustments as required by these conditions or as deemed necessary by the DRC (except no modifications substantially altering the approved site plan or at variance with the conditions of approval shall be made), and review of elevation details, exterior materials and colors. The side plan shall indicate the exact locations of all utilities for the individual lots. The DRC shall give consideration to window placement, the scale and orientation of any second-floor elements, and other design details in order to maximize visual compatibility and minimize privacy impacts on adjoining properties.

*Enforcement Responsibility: Planning Division; DRC*  
*Timing: Prior to the issuance of any building permit*

17. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review Commission (DRC). The plan shall address site landscaping, fencing/walls, hardscape improvements, required tree plantings. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.46 (Fences, Hedges, and Walls), and 19.40.060 (Landscape Standards) and shall provide for plantings along the northern and southern property lines in order to minimize privacy impacts on adjoining properties.

*Enforcement Responsibility: Planning Division; Design Review Commission*  
*Timing: Prior to the issuance of any occupancy permit*

18. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Design Review Commission (DRC). All proposed exterior lighting for the site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines contained under Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security.

*Enforcement Responsibility: Planning Division; Design Review Commission*  
*Timing: Prior to the issuance of any occupancy permit*

19. Prior to the issuance of any building permit, a water demand analysis, prepared by a licensed civil engineer, shall be submitted by the applicant and shall be subject to the review and approval of the City Engineer. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-

serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to issuance of any building permit

20. The following dust control measures shall be implemented as necessary during the construction phase of the project: 1) all exposed soil areas (i.e. building sites, unpaved access roads, parking or staging areas) shall be watered at least twice daily or as required by the City's construction inspector, 2) exposed soil stockpiles shall be enclosed, covered, or watered twice daily; and 3) streets adjoining the project site (Fifth Street East) shall be swept daily, if visible soil material is deposited onto the road.

*Enforcement Responsibility:* Building Department  
*Timing:* Ongoing during construction

21. If archaeological remains or a dense concentration of historic period site indicators are uncovered, work at the place of the discovery shall be halted immediately until a qualified archaeologist can evaluate the finds. Prehistoric archaeological site indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g., slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items with the possible addition of bone and shell remains, and fire affected stones. Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains such as building foundations and discrete trash deposits (e.g., wells, privy pits, dumps).

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department  
*Timing:* Ongoing during construction

22. The Society of Vertebrate Paleontology, a national scientific organization of professional vertebrate paleontologists, has established standard guidelines that outline acceptable professional practices in the conduct of paleontological resource assessments and surveys, monitoring and mitigation, data and fossil recovery, sampling procedures, specimen preparation, analysis, and curation. Most practicing professional paleontologists in the nation adhere to the Society of Vertebrate Paleontology assessment, mitigation, and monitoring requirements, as specifically spelled out in its standard guidelines. If paleontological resources are identified during construction activities, all work in the immediate area will cease until a qualified paleontologist has evaluated the finds in accordance with the standard guidelines established by the Society of Vertebrate Paleontology. If the paleontological resources are considered to be significant, a data recovery program will be implemented in accordance with the guidelines established by the Society of

Vertebrate Paleontology. Data recovery will reduce all impacts to a less-than-significant level.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department  
*Timing:* Ongoing during construction

23. If human remains are encountered, excavation or disturbance of the location shall be halted in the vicinity of the find, and the county coroner contacted. If the coroner determines the remains are Native American, the coroner will contact the Native American Heritage Commission. The Native Heritage Commission will identify the person or persons believed to be most likely descended from the deceased Native American. The most likely descendent makes recommendations regarding the treatment of the remains with appropriate dignity.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department; Coroner  
*Timing:* Ongoing during construction

24. Post Construction Best Management Practices to control the quality of surface water runoff from the site shall be used throughout the site to capture and filter surface runoff prior to its leaving the site or entering the storm drainage system. Acceptable methods of capturing and filtering water pollution can be found in the SUSMP guidelines (i.e., Guidelines for the Standard Urban Storm Water Mitigation Plan for the Santa Rosa Area and Unincorporated Areas around Petaluma and Sonoma dated June 2005) including the use of filters, grease traps, interceptors and biotechnical solutions (grass-lined swales and filtering basins in landscaped areas surrounding parking areas) which shall be implemented as feasible. The civil engineer for the project shall incorporate these measures into the engineering plans for the project site and shall be subject to the approval of the City Engineer. In addition, the applicant shall comply with the City of Sonoma Stormwater Best Management Plan. The applicant shall submit a preliminary and final storm water mitigation plan (AMP) in compliance with the 2005 SUSMP guidelines herein referenced to the City Engineer for review and approval.

*Enforcement Responsibility:* City Engineer; Public Works Department; Building Department  
*Timing:* Prior to issuance of any building permit; Ongoing during construction

25. All construction equipment shall be maintained and operated so as not to generate unacceptable noise levels in the vicinity of the project site. Stationary construction equipment (e.g., compressors) shall be situated as far as possible from inhabited areas, and equipment not actively in use shall be shut down to reduce unnecessary noise. The contractor shall be responsible to insure that all construction equipment

is equipped with manufacturer-approved mufflers/baffles. Noise-producing construction activities and materials delivery shall comply with the limitation of the City's Noise Ordinance.

*Enforcement Responsibility:* Building Department; Planning Department; Public Works Department;  
*Timing:* Ongoing during construction

26. The applicant shall arrange with the local garbage company to collect garbage from the area in front of lot 1.

*Enforcement Responsibility:* Planning Department  
*Timing:* Ongoing

27. The applicant/developer shall comply with all requirements of the County of Sonoma Permit and Resource Management Department (PRMD) as outlined in the following:

- a. The Applicant shall initiate proceedings with the Permit and Resource Management Department (P.R.M.D.) to annex property to the Sonoma Valley County Sanitation District. Prior to obtaining a permit to construct sanitary sewer facilities for development of the subject property, the Applicant shall submit a copy of the Sonoma Local Agency Formation Commission (L.A.F.C.O.) Certificate of Completion of Annexation to the Sanitation Section of P.R.M.D.
- b. NOTE ON MAP: "A separate Sewer Connection Permit for each lot in this subdivision shall be obtained prior to occupancy of any building constructed on the lot". All fees shall be paid to, and all sewer construction shall be inspected and accepted by the Sonoma County Permit and Resource Management Department prior to occupancy of the building.
- c. The Applicant shall construct a new sanitary sewer main and appurtenances or post securities with the City of Sonoma to ensure that sewer facilities are installed in accordance with Sonoma County Water Agency (S.C.W.A.) Design and Construction Standards for Sanitation Facilities, where applicable, and/or specific details, as shown on approved improvement plans.
- d. The Applicant shall construct a new water main and appurtenances or post securities with the City of Sonoma to ensure that water supply facilities are installed in accordance with City of Sonoma Water System Standards where applicable, and/or specific details, as shown on approved improvement plans.
- e. The Applicant shall submit improvement plans to the Sanitation Section of P.R.M.D. for review and approval of the sanitary sewer design. Improvement plans shall be blue line or black line drawings on standard bond paper, 24 inch by 36 inch in size, and prepared by a licensed civil engineer registered in the State of

California. Sanitary sewer facilities shall be designed and Improvement Plans prepared in accordance with S.C.W.A. Design and Construction Standards for Sanitation Facilities. The Applicant shall pay Plan Checking fees to the Sanitation Section of P.R.M.D. prior to the start of Improvement Plan Review.

**Please note that review of the sanitary sewer design is a separate review from that of the buildings, drainage and frontage improvements, and shall be performed by the Sanitation Section of the Permit and Resource Management Department under a separate permit.**

The sewer design originals shall be signed by the S.C.W.A. Chief Engineer prior to the issuance of any permits for construction of the sanitary sewer facilities. The design engineer shall submit improvement plans to the Sanitation Section of P.R.M.D. on 24 inch by 36 inch mylar or vellum originals for signature by S.C.W.A. All sanitary sewer inspection permits shall be obtained from the Sanitation Section of P.R.M.D. prior to the start of construction.

- f. The Applicant shall grant a public sewer easement to the Sonoma Valley County Sanitation District.
- g. The easement shall be a minimum of 15 feet in width, and shall be granted to the sanitation district by separate document. The easement shall be shown on the subdivision map and on the improvement plans prior to approval of the improvement plans by the Engineering Division of P.R.M.D. A copy of the easement shall be submitted with the improvement plans for the initial sewer design plan check.
- h. No building shall be connected to the newly constructed sewer main until the sewer main has been inspected and accepted by the Engineering Division of P.R.M.D., and a Sewer Connection Permit has been issued for the building. A Sewer Completion Notice is required PRIOR to Occupancy.
- i. Prior to connection of the existing residence to the public sewer system, the Applicant shall obtain a Septic Tank Destruct permit from the Sanitation Section of P.R.M.D. The septic tank abandonment shall be inspected and approved by the Engineering Division of P.R.M.D. when the residence is connected to the sewer system.
- j. Prior to the start of sewer construction within the City of Sonoma's Right-of-way of Fifth Street East, the Applicant shall obtain a City of Sonoma Encroachment Permit. A copy of the issued Encroachment Permit and five (5) copies of signed improvement plans shall be provided to P.R.M.D. when obtaining the sewer construction permit.
- k. The Applicant shall obtain a permit to construct sanitary sewer facilities for the proposed subdivision prior to the start of construction. All sewer work shall be inspected and accepted by the Engineering Division of P.R.M.D., and a Sewer

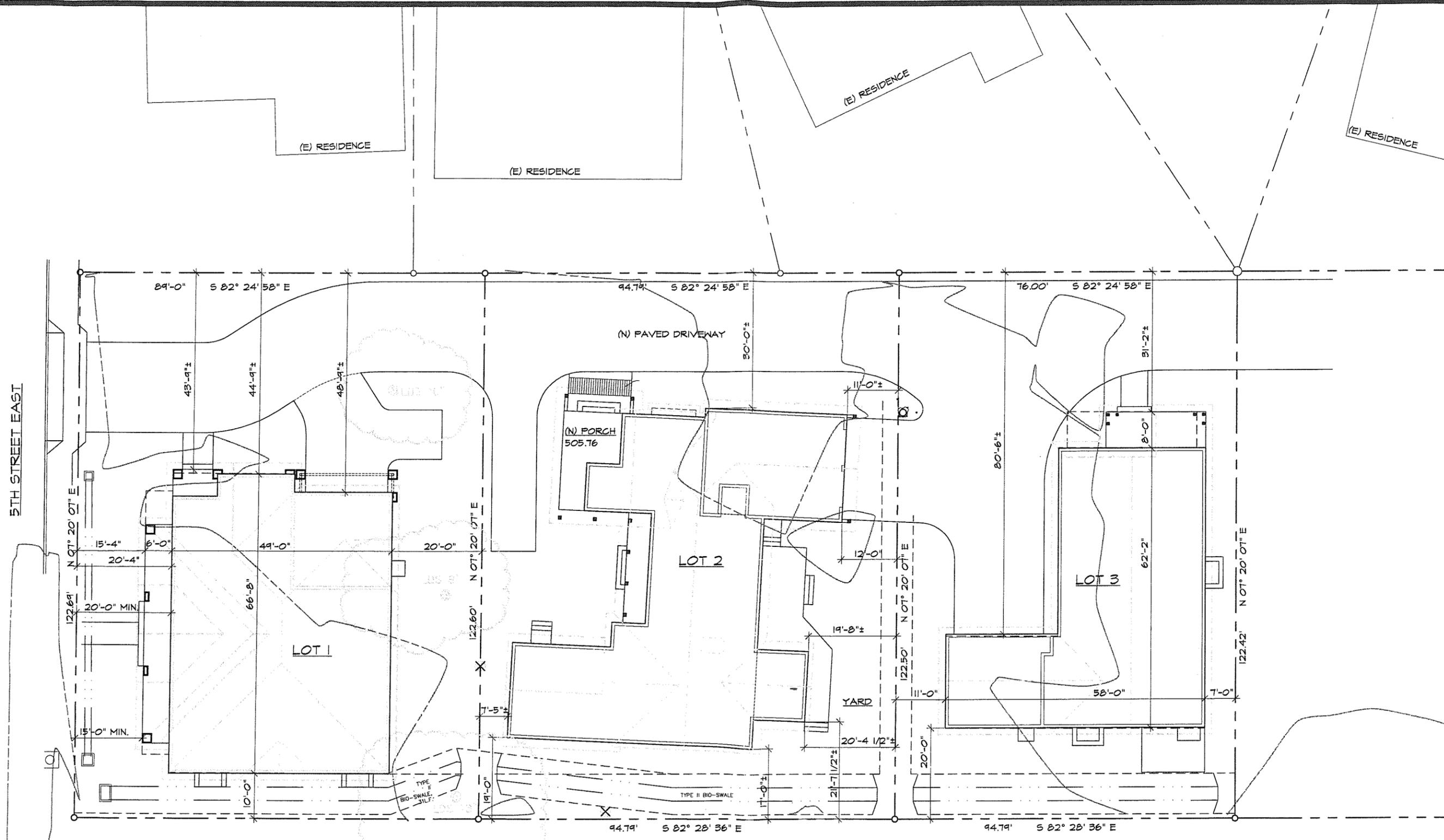
Completion Notice shall be issued by the Inspector before occupancy is granted for any building in the subdivision.

- l. The Applicant shall be responsible for the restoration of existing conditions including, but not limited to surfacing, landscaping, utilities and other public improvements that have been disturbed due to the construction of sanitary sewer facilities. Restoration shall be completed prior to the issuance of a Sewer Completion Notice, unless otherwise specifically approved in advance by P.R.M.D.
  
- m. The Applicant shall have “record drawings” prepared by the project engineer, in accordance with Section 6-05, of the S.C.W.A. Design and Construction Standards for Sanitation Facilities. The record drawings shall be submitted to the Engineering Division of P.R.M.D. for review and approval prior to acceptance of the sanitary sewer facilities.

<i>Enforcement Responsibility:</i>	<i>City Engineer; Public Works Department; Planning Department; PRMD</i>
<i>Timing:</i>	<i>Prior to final occupancy</i>

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5TH STREET EAST



**TABULATION - LOT 1**

LOT	10,915 SQ. FT.
FOOTPRINT	5,361 SQ. FT.
PROPOSED COVERAGE %	52.62%
ALLOWABLE COVERAGE %	40%
PROPOSED F.A.R.	28.67% (3,124 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	22'-4"

**TABULATION - LOT 2 (PREVIOUSLY APPROVED)**

LOT	11,615 SQ. FT.
FOOTPRINT	5,784 SQ. FT.
PROPOSED COVERAGE %	21.60%
ALLOWABLE COVERAGE %	40%
PREVIOUS F.A.R.	24% (2,411 SQ. FT.)
PROPOSED F.A.R.	24.60% (3,494 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	22'-0"

**TABULATION - LOT 3**

LOT	4,306 SQ. FT.
FOOTPRINT	2,644 SQ. FT.
PROPOSED COVERAGE %	24.00%
ALLOWABLE COVERAGE %	40%
PROPOSED F.A.R.	27.58% (2,867 SQ. FT.)
ALLOWABLE MAX. BLDG. HEIGHT	50'-0"
PROPOSED MAX. BLDG. HEIGHT	20'-5"

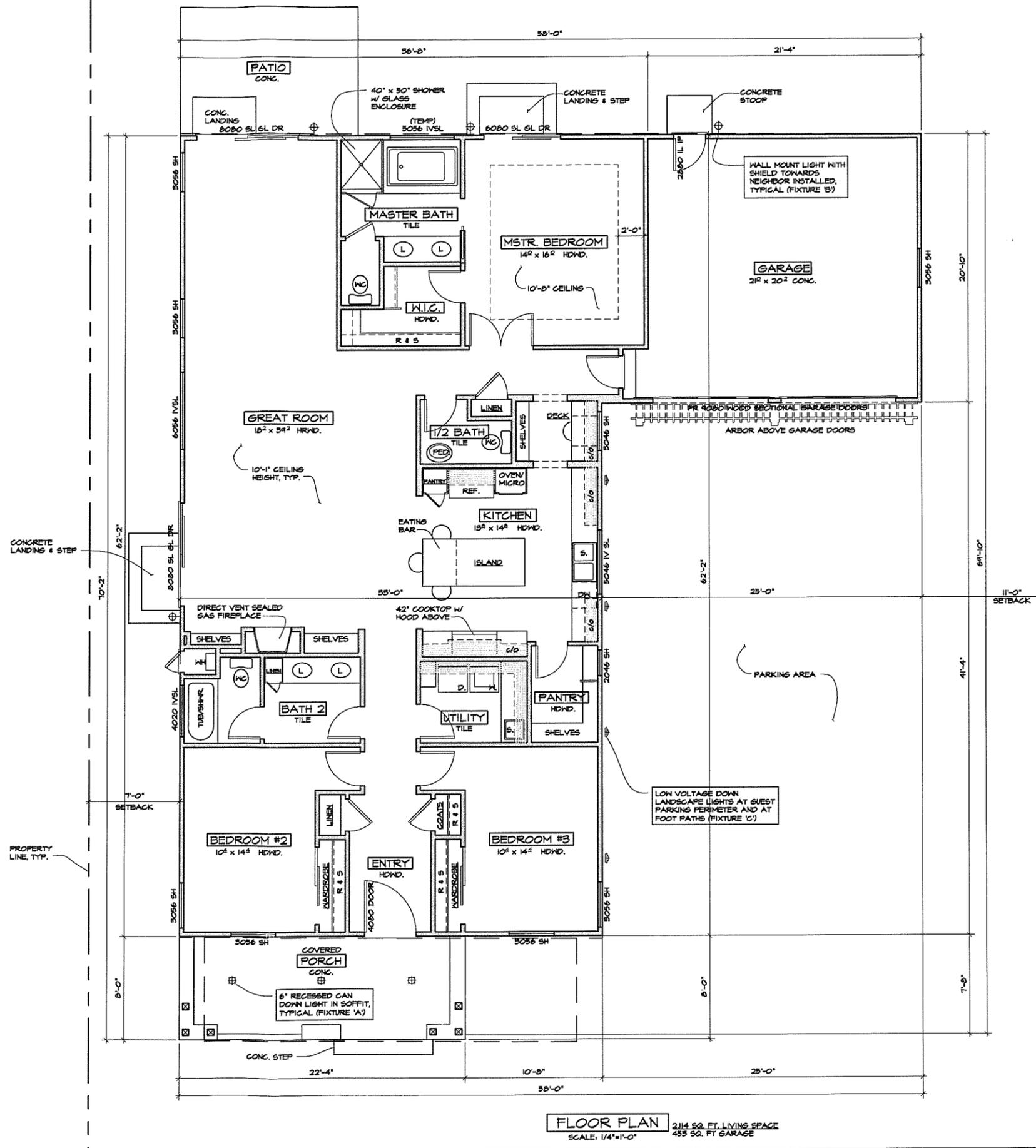
**SITE PLAN**  
SCALE: 1" = 10'-0"



SHEET NO: **AS-1** OF 3  
 DESIGN FOR: **LOTS 1 & 3**  
 1028 & 1026 5th STREET EAST, SONDURA, CALIFORNIA  
 CONTRACTOR: \_\_\_\_\_  
 DATE PRINTED: \_\_\_\_\_  
 DATE CHECKED: \_\_\_\_\_  
 NOTES: \_\_\_\_\_  
 DATE: **10-14**

**avila-bunch architects, inc.**  
 Merle Avila - architect (707) 585-3711  
 Russell W. Bunch - architect (707) 795-4511  
 5850 Commerce Boulevard, Rohnert Park, California 94928  
 FAX: 585-2499

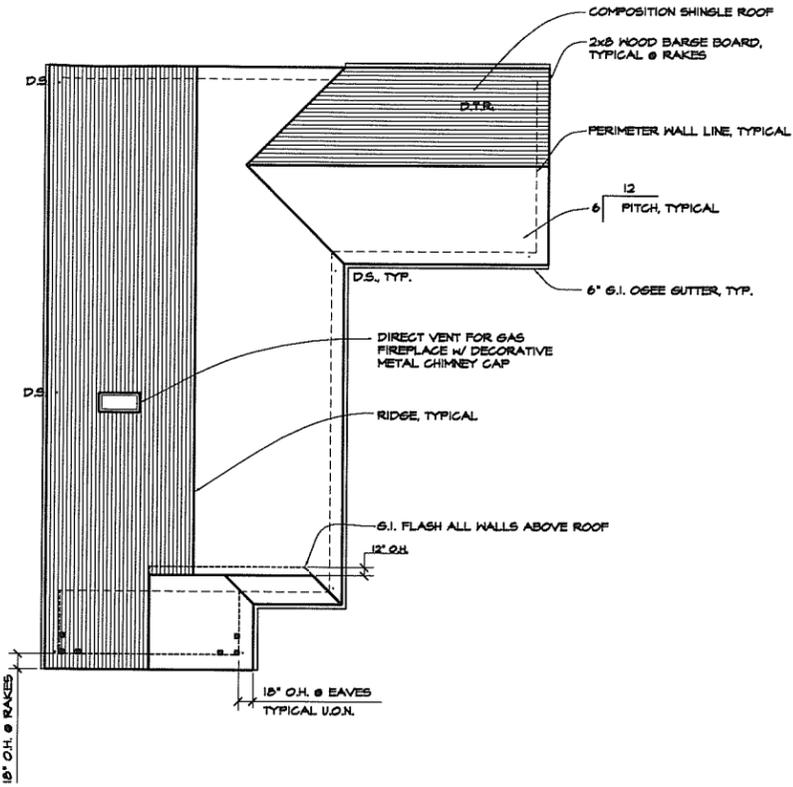
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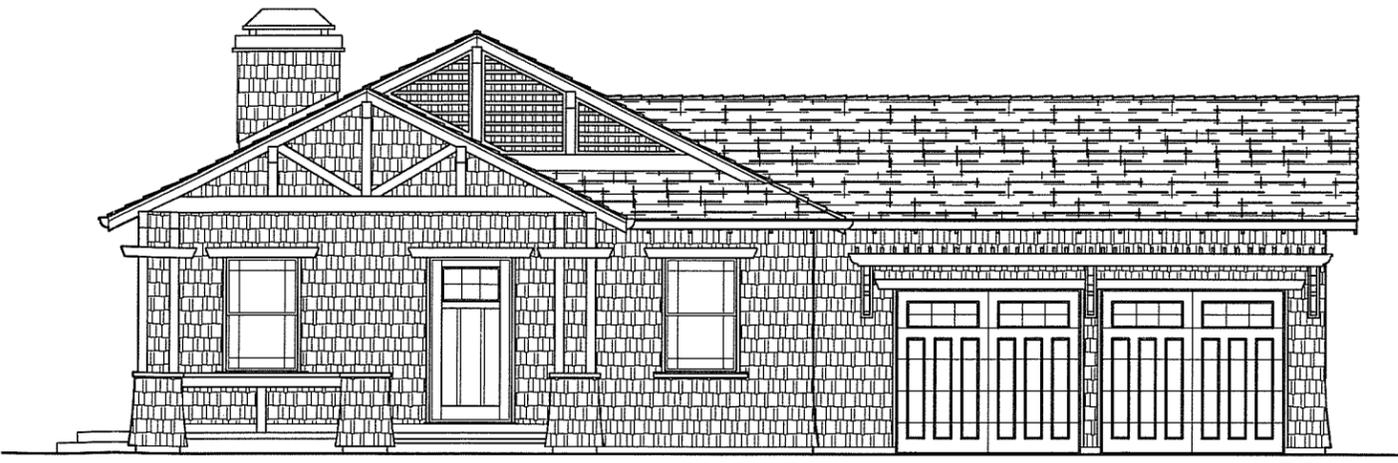
**FLOOR PLAN** 2,114 SQ. FT. LIVING SPACE  
455 SQ. FT. GARAGE  
SCALE: 1/4"=1'-0"

SHEET NO: **A2** JOB NO: **14040** DESIGN FOR: **LOT 3** DATE PRINTED: **10-14**  
 CONTRACTOR: **avila-bunch architects, inc.** DATE CHECKED: **10-14**  
 LOT 3, 1026 FIFTH STREET EAST, SONOMA, CALIFORNIA

**avila-bunch architects, inc.** Merle Avila - architect  
 Russell W. Bunch - architect  
 5850 Commerce Boulevard, Rohnert Park, California 94928  
 (707) 585-3711  
 (707) 795-4511  
 FAX 585-2499



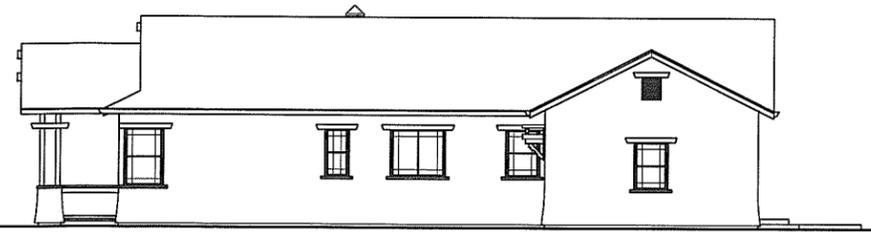
**ROOF PLAN**  
SCALE: 1"=10'-0"



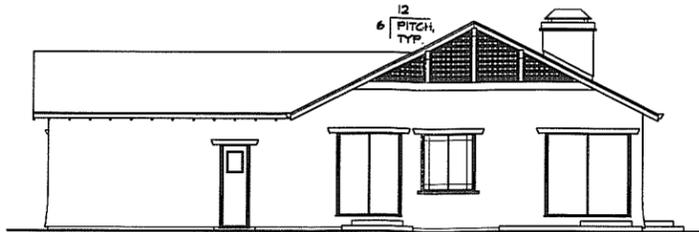
**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

**ELEVATION MATERIALS**

- 1 - FIRE TREATED CEDAR SHINGLE SIDING W/ BUILT-UP BASE COURSES OVER TYVEK® BUILDING WRAP OVER STRUCTURAL SHEATHING PER U.O.N.
- 2 - HEAVY ARCHITECTURAL COMPOSITION SHINGLE ROOFING (CLASS 'A' MIN.) , TYP.
- 3 - 6" G.I. OGEE GUTTER W/ 2"x6" G.I. DOWNSPOUTS CONNECTED TO CLOSED CONDUIT DRAINAGE SYSTEM, TYP.
- 4 - 2x6 WOOD BARGE BOARD W/ 1x6 WOOD EDGE TRIM, TYP. @ GABLE ENDS
- 5 - VINYL SASH, DUAL GLAZED, LOW-E WINDOWS W/ MUNTIN BARS, TYP. (AS SHOWN)
- 6 - 2x WOOD TRIM @ DOORS, & WINDOWS, TYP. (AS SHOWN)
- 7 - DECORATIVE GUARDRAIL @ 36" ABOVE FINISHED PORCH W/ 2x6 WOOD CAP & 2x6 WOOD NAILERS, TYP.
- 8 - WOOD SECTIONAL CARRIAGE HOUSE STYLE ROLL-UP GARAGE DOORS W/ LIGHTS
- 9 - CONCRETE PORCH, WALKWAY, & DRIVENWAY, TYP.
- 10 - ILLUMINATED ADDRESS SIGN
- 11 - WOOD TRUSS @ FRONT PORCH
- 12 - REDWOOD ARBOR ABOVE GARAGE DOORS
- 13 - WOOD ENTRY DOOR W/ TEMPERED GLASS PANEL
- 14 - 2" RDWD LATTICE OVER SCREENED ATTIC VENT @ GABLE



**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"

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SHEET NO: **A1** JOB NO: **14040** DESIGN FOR: **LOT 3**  
 DATE PRINTED: **10 o 14** DATE CHECKED: \_\_\_\_\_ CONTRACTOR: \_\_\_\_\_  
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 LOT 3, 1036 FIFTH STREET EAST, SONOMA, CALIFORNIA

**avila-bunch architects, inc.**  
 Merle Avila - architect  
 Russell W. Bunch - architect  
 5850 Commerce Boulevard, Rohnert Park, California 94928  
 (707) 585-3711  
 (707) 795-4511  
 FAX: 585-2489



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda Item: 5

Meeting Date: 11/18/14

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**Applicant**

Ed Routhier, Caymus Capital

**Project Location**

800 West Spain Street

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)
- 

**Request**

Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 7-unit Planned Unit Development (West Spain Street Development) located at 800 West Spain Street.

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**Summary**

**Site Characteristics:** The site is a single parcel having an area of 0.86 acres located on the north side of West Spain Street, opposite its intersection with Seventh Street West. The parcel has a depth of 332 feet and its frontage on West Spain Street is 93 feet, but it widens at the back to 136 feet.

**Background:** On October 9, 2014, the Planning Commission approved a 7-unit planned development, including, a Tentative Map, and a Use Permit. As approved, the project site will be subdivided into 7 lots ranging from  $\pm 3,500$  to  $\pm 4,500$  square feet. Each lot will be developed with a detached, two-story residential unit with 1,480 to 1,720 square feet of living area. Access to the development will be provided by a 20-foot wide private drive running along the western property line that culminates in a turn-around off West Spain Street. The project also involves on-site drainage improvements, including an on-site bio filtration stormwater treatment area across the private driveway from Lot 4. The project is now before the DRHPC for consideration of building elevations, exterior colors and materials, outdoor lighting, and landscaping.

**Building Elevations & Exterior Materials:** As approved by the Planning Commission, each lot will be developed with a detached, two-story home employing one of four different floor plans (A, A-2, B, and B-2). The homes draw from a farmhouse architectural style, utilizing board and batten siding with, corrugated metal roofing, and carriage house garage doors. Other elevation details include decorative porch columns, railings, entryways, and window/door trim, and windows with divided lights.

**Exterior Colors:** The proposed exterior color palette is illustrated on the attached color samples and Material Finish Board sheet (last page of the plans), which also includes photos of the different materials and finishes that would be used, including the board and batten siding and weathered zinc colored corrugated roofing material. The paint palette consists of a Benjamin Moore white dove color (OC-17) for the board and batten siding, a Benjamin Moore burgundy color (PM-17) front door surround with a black frame. The window frames will also employ a black frame. It should be noted that the same color palette is proposed for each of the units, which, as indicated in the project narrative, will replicate many of the finishes of the former agriculture buildings on the site.

**Exterior Lighting:** A number of light fixtures are proposed within the project, including sconces on the main residence, sconces on the garages, and two, 10-foot tall pole lights (one located between units 2 and 3 and one located between units 4 and 5). Fixture locations are indicated on the Lighting Plan Concept and specifications/details are also included in the submittal.

**Landscape Plan:** Landscape plans have been provided (Sheets L1 and L1), including a comprehensive plant list identifying trees, shrubs, perennials, and vines. Improvements also include pervious paving and biofiltration for storm water management.

**Tree Plantings:** The landscape plan indicates that 46 trees would be planted on the site, all 15-gallon box size. This exceeds the required replacement ratio.

**Fencing:** Sheets L1 and L3 indicate that six-foot tall, wooden fencing would be installed in between each of the units. In addition, new wood fencing (see revised drawing sheet L2) will be installed along the project boundary with the exception of the east elevation where an adjacent barn wall is located on the property (the barn wall is not proposed to be screened).

The new fencing would consist of six feet of solid material and an additional two feet of lattice. The fencing in the front and streetside setbacks for Lot 1 would be limited to 3.5 feet.

**Water Budget Calculations:** In compliance with the Water Efficient Landscape Ordinance, Hydrozone and Maximum Applied Water Allowance (MAWA) forms have been provided. Calculations on the MAWA form indicate that the project would use 205,233 gallons or 60% of the annual water allowance of 343,628 gallons.

**Note:** The property is currently surrounded with a locked security gate. If Commissioners wish to visit the site individually, please contact the applicant, Ed Routhier at (650) 906-6380.

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### Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved       Disapproved       Referred to: \_\_\_\_\_       Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye      \_\_\_\_\_ Nay      \_\_\_\_\_ Abstain      \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

#### Attachments:

1. Project Narrative
2. WELO Forms
3. Garage Door Specifications
4. Window Specifications
5. Front Door Specifications
6. Light Fixture Specifications
7. Manufacturer Color Samples
8. Landscape Plans
9. Exterior Renderings
10. Neighborhood Context Map
11. Site Plan Concept
12. Lighting Plan Concept
13. Streetscapes
14. Floor Plans
15. Exterior Elevations

16. Details
17. Material Finish Board
18. Revised Landscape Plans, Light fixture Details, Materials Finish Board

cc: Caymus Capital, via email

Doug Hilberman, Axia Architects, via email

Michael Windslow  
550 Joaquin  
Sonoma, CA 95476

800 WEST SPAIN STREET SUBDIVISION PROJECT  
DESIGN REVIEW - PROJECT SUMMARY

November 5, 2014

AXIA Architects

Project Name	800 West Spain Street Development
APN	127-204-022
Location	800 West Spain Street North side of West Spain Street just west of intersection with 5 <sup>th</sup> Street.
Area	Approximately 0.86 acres
Proposal	Planned Development consisting of 7 single family residential units
Typical Lot Size	Range from about 3600 SF – 4500 SF.
FAR	See Site Plan Drawing
Maximum Height	30 feet
Garbage Collection	Each unit has a minimum five foot wide side yard next to the garage. It is envisioned that the utility meters and garbage cans will occur in this location at each house.
Bicycle Parking	Bicycle parking would occur in the garage of each unit
Project Finishes	In keeping with a traditional approach to the farmhouse and outbuildings motif, all of the units are envisioned with white exteriors accented with rich trim colors and weathered zinc colored corrugated roofs. This replicates many of the finishes of the former agriculture buildings on site.
Project Vision Statement	<p>The focus of this project is to develop a design that creates a sense of neighborhood with a nod to its agricultural roots, while acknowledging the economics of the current housing market. This design focuses on providing “market-rate affordable” housing sized large enough for a medium-sized family. The positioning of the houses and the street is designed to maximize privacy with neighbors and has received positive feedback when presented at a neighborhood meeting in March.</p> <p>The project pays homage to the original farm structures that existed on site. The narrow private drive is envisioned with a quaintness to encourage a mix of uses including pedestrian and bike activities. The land is set up for small lot private</p>

NOV 06 2014

ownership, designed to foster variety in the plantings and visual landscape that stems from individual ownership. With the close proximity of the site to parks, the design focuses on privately owned, using front yards, backyards, and the street to provide variety of forums for exterior activities. The proximity to the Sonoma Square and local merchants makes this an optimal pedestrian oriented community.

CITY OF SONOMA  
 MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

**Maximum Applied Water Allowance (MAWA) Calculations**

The project's MAWA is calculated as follows: \_\_\_\_\_

$$MAWA = (ET_o)(0.62) \times [(ETAF \times LA) + (0.3 \times SLA)]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ET<sub>o</sub> = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$MAWA = 28.58 \times \left[ (0.60 \times \frac{10,874}{LA}) + (0.3 \times \frac{0}{SLA}) \right] = \underline{186,467} \text{ gallons/year}$$

**Estimated Total Water Use Calculations**

**FRONT YARDS**

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ETo)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ETo = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE

Irrigation Efficiency (IE) Table	
Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

ETWU Calculations (show calculations)					
PF	HA Sq. Ft.	IE (See IE Table)	$\frac{PF \times HA}{IE}$ IE (a)	SLA Sq. Ft. (b)	$ETWU = 28.58 \times \frac{PF \times HA}{IE} + 28.58 \times SLA$
0.3	10,874	0.85	3,838	0	$(28.58 \times \frac{3838}{0.85}) + (28.58 \times \frac{0}{0.85}) = 109,690$ gallons/year
0.6	0	0.85	0	0	$(28.58 \times \frac{0}{0.85}) + (28.58 \times \frac{0}{0.85}) = 0$ gallons/year
1.0	0	0.85	0	0	$(28.58 \times \frac{0}{0.85}) + (28.58 \times \frac{0}{0.85}) = 0$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
ETWU					Sum of above = <u>109,690</u> gallons/year

**Statement of Compliance:**

*This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").*

Ed Routher (Print)

[Signature] (Signature)

11-6-14 (Date)

**CITY OF SONOMA  
HYDROZONE TABLE FORM**

**FRONT YARDS**

Revised: 11/11/10

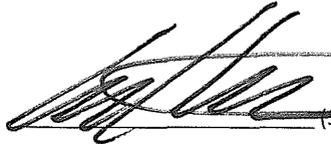
This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use	N/A	---	---	---
High water use	N/A	---	---	---
Medium water use	N/A	---	---	---
Medium water use	N/A	---	---	---
Low water use	Trees	Bubblers	7,062	64.9
Low water use	Shrubs & GC	Drip	3,812	35.1
	Total		10,874	100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use	N/A	---
High water use	N/A	---
Medium water use	N/A	---
Medium water use	N/A	---
Low water use	7,062	64.9
Low water use	3,812	35.1
	Total	10,874
		100%

Submitted by:

Ed Renkier (Print)

 (Signature)

11-4-14 (Date)



CITY OF SONOMA  
MAXIMUM APPLIED WATER ALLOWANCE FORM

Revised: 12/15/10

This documentation form shall be used in compliance with the City’s Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Maximum Applied Water Allowance (MAWA) Calculations

The project’s MAWA is calculated as follows:

$$MAWA = (ET_o)(0.62) \times [(ETAF \times LA) + (0.3 \times SLA)]$$

where:

- MAWA = Maximum Applied Water Allowance, or Water Budget (gallons/year)
- ET<sub>o</sub> = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- ETAF = ET adjustment factor for Sonoma, or 0.60
- LA = Landscaped Area, including SLA (square feet)
- SLA = Portion of the LA identified as Special Landscape Area (square feet)

Show calculations:

$$MAWA = 28.58 \times \left[ (0.60 \times \frac{9,165}{LA}) + (0.3 \times \frac{0}{SLA}) \right] = \frac{157,161 \text{ LA}}{157,172} \text{ gallons/year}$$

**Estimated Total Water Use Calculations**

**COMMON AREA**

The project's Estimated Total Water Use is calculated as follows:

$$ETWU = (ET_o)(0.62)[(PF \times HA)/IE] + SLA$$

where:

- ETWU = Estimated total water use per year (gallons/year)
- ET<sub>o</sub> = Reference Evapotranspiration for Sonoma, or 46.1 (inches/year)
- 0.62 = Conversion Factor (to gallons per square foot)
- PF = Plant Factor from WUCOLS as follows: 0.30 for Low water-use plantings; 0.6 for Medium; 1.0 for High
- HA = Hydrozone Area [high, medium, and low water use areas] (square feet) – see Hydrozone Table Form
- SLA = Special Landscape Area (square feet)
- IE

Irrigation Efficiency (IE) Table	
Percent of total landscape irrigated with Drip	
0 – 25%	0.71
26 – 50%	0.75
51 – 75%	0.80
76 – 100%	0.85
Manual watering	1.00

ETWU Calculations (show calculations)					
PF	HA Sq. Ft.	IE (See IE Table)	$\frac{PF \times HA}{IE}$ IE (a)	SLA Sq. Ft. (b)	$ETWU = 28.58 \times \frac{PF \times HA}{IE} + 28.58 \times SLA$
0.3	8,857	0.85	3,126	0	$(28.58 \times \frac{3126}{0.85}) + (28.58 \times \frac{0}{0.85}) = 89,341$ gallons/year
0.6	308	0.85	217	0	$(28.58 \times \frac{217}{0.85}) + (28.58 \times \frac{0}{0.85}) = 6,202$ gallons/year
1.0	0	0.85	0	0	$(28.58 \times \frac{0}{0.85}) + (28.58 \times \frac{0}{0.85}) = 0$ gallons/year
					$(28.58 \times \frac{\quad}{\quad}) + (28.58 \times \frac{\quad}{\quad}) = \quad$ gallons/year
ETWU					Sum of above = 95,543 gallons/year

**Statement of Compliance:**

*This MAWA Form has been prepared by me or under my general direction. As required under the City's Water Efficient Landscape Ordinance, the landscaping and irrigation system has been designed such that the Estimated Total Water Use for the landscaped area is less than the Maximum Applied Water Allowance (i.e., "water budget").*

Ed Rankin (Print)

[Signature] (Signature)

11-14-14 (Date)

**CITY OF SONOMA  
HYDROZONE TABLE FORM**

**COMMON AREA**

Revised: 11/11/10

This documentation form shall be used in compliance with the City's Water Efficiency Landscape Ordinance as codified in Chapter 14.32 of the Sonoma Municipal Code. This Form is a simple form version of what is provided by the State of California. The Applicant may choose to use the more complex State form as codified in Chapter 2.7, *Model Water Efficient Landscape Ordinance*, California Code of Regulations, Title 23.

Hydrozone*	Zone or Valve	Irrigation Method	Area	% of Landscape Area
High water use	N/A	---	---	---
High water use	N/A	---	---	---
Medium water use	N/A	---	---	---
Medium water use	Biofiltration	Drip	308	3.4
Low water use	Shrubs & GC	Drip	2,579	28.1
Low water use	Trees	Bubblers	6,278	68.5
		Total	9,165	100%

Summary Hydrozone Table		
Hydrozone*	Area (Square Feet)	% of Landscape Area
High water use	N/A	---
High water use	N/A	---
Medium water use	N/A	---
Medium water use	308	3.4
Low water use	2,579	28.1
Low water use	6,278	68.5
	Total	100%

Submitted by: EE Rankin (Print)

 (Signature)

11-4-14 (Date)

NOV 06 2014



# CANYON RIDGE®

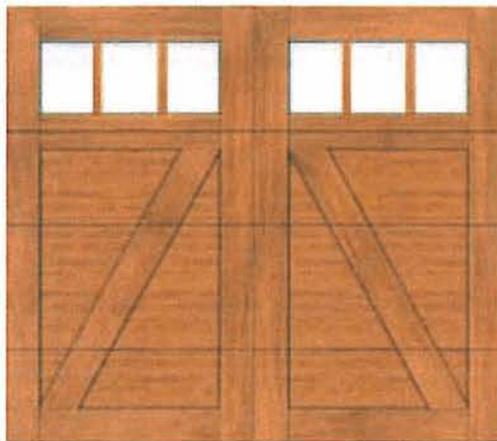
collector

LIMITED EDITION SERIES | ULTRA-GRAIN® SERIES



America's Favorite Garage Doors®

## CANYON RIDGE® COLLECTION ULTRA-GRAIN SERIES



An attractive and more economical alternative to the Limited Edition Series, this door features a 2" polyurethane steel base door with Ultra-Grain®, a durable, natural-looking, woodgrain paint finish. Stained Clear Cypress composite overlays are applied to the steel door surface to create beautiful carriage house designs.



Surface Detail

Canyon Ridge® Collection Ultra-Grain® Series Design 22 Shown in Medium Finish with Clear Cypress Overlays and REC13 Window Design (Model CAN222NCREC13)

### FINISH

Whitewash Finish

## DOOR & WINDOW DESIGN



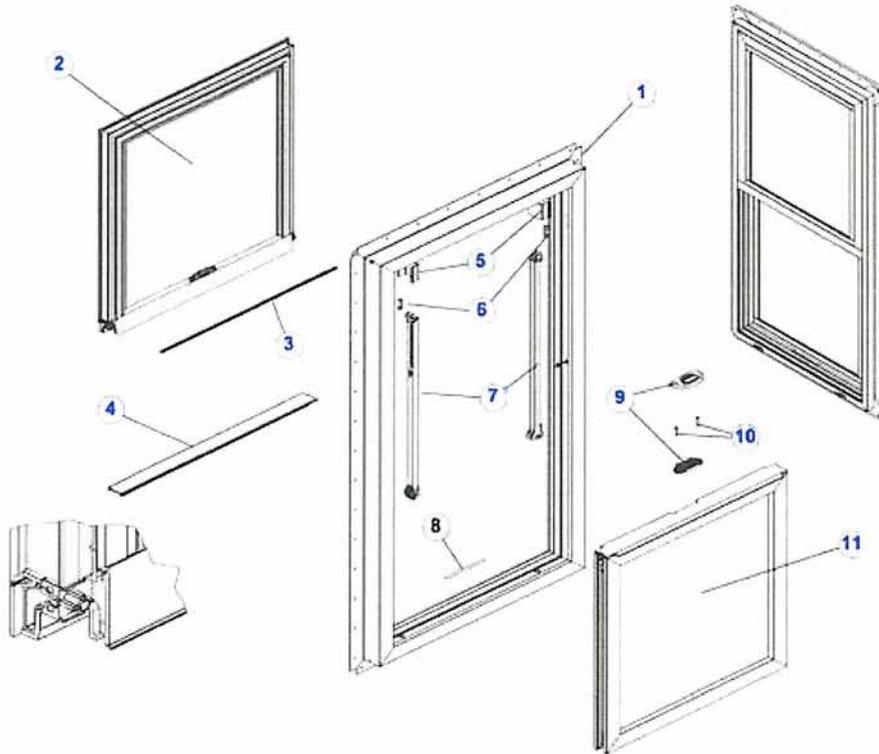
REC13

### — SERIES 2 —



Design 22

# 100 Series Single-Hung Vinyl Windows



  
Frame Color: Black

# 100 Series Gliding Patio Door



Andersen 100 Series gliding patio door



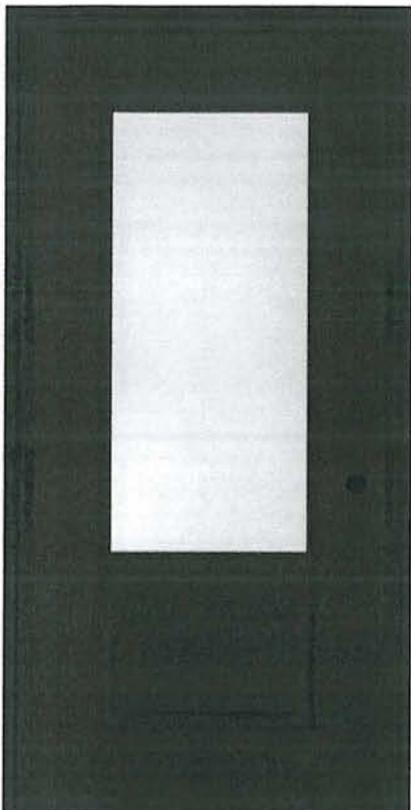
Frame Color: Black



My Selections  
www.masonite.com

## BELLEVILLE®

Fiberglass Entry Doors



BFT-404-115-1

### Belleville Fir Textured 1 Panel Hollister Door 3/4 Lite with Chord Glass

The Belleville® Fiberglass Door Collection combines superior beauty and architectural design with maximum flexibility. Belleville doors have a high-definition panel profile.

An organic linear styled glass that obscures the view while allowing natural light to flow into the home.

- The variable depth, straight grain Fir adds real wood authenticity to your door.
- The grain finishes easily and beautifully.
- Our extensive consumer research indicates that Fir is one of the most preferred wood grain textures.

+ [See the Features of a Belleville Door](#)

### Where to Buy

[American Window Systems - Napa](#) 24.57 mi



1729 Action Avenue  
Napa, CA 94559  
7072580880 [Website](#)

[Mead Clark Lumber Company, Inc](#) 3.26 mi

2707 Dowd Drive  
Santa Rosa, CA 95409  
7075763333 [Website](#)

[Jack Smith Glass, Inc](#) 3.98 mi

1050 North Dutton Ave  
Santa Rosa, CA 95401  
4154543740 [Website](#)

[Mead Clark Lumber Company, Inc \(Door Shop\)](#) 4.40 mi

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324 Yolanda Ave  
 Santa Rosa, CA 95407  
 7075763333 [Website](#)

[Friedman's Home Improvement - Santa Rosa](#) 4.40 mi  
 4055 Santa Rosa Ave  
 Santa Rosa, CA 95407  
 7075847811 [Website](#)

[Healdsburg Door & Sash](#) 14.63 mi  
 1460 Grove Street  
 Healdsburg, CA 95448  
 7074319681 [Website](#)

[Healdsburg Lumber](#) 14.63 mi  
 359 Hudson Street  
 Healdsburg, CA 95448  
 7074319663 [Website](#)

[Hudson Street Design Of Healdsburg](#) 14.63 mi  
 434 Hudson Street  
 Healdsburg, CA 95448  
 7074313630 [Website](#)

[Novato Builders Supply](#) 24.09 mi  
 800 Sweetser Ave  
 Novato, CA 94945  
 4158921651 [Website](#)

-  Instant Quote Available
-  Provides Installation Service

**Configuration and Design**

**Location:** Entry  
**Product Line:** Belleville Wood Grain  
**Glass:** Chord Glass  
**Style:** 1 Panel Hollister 3/4 Lite  
**Material & Texture:** Belleville Fir Textured  
**Configuration & Size**  
**Configuration:** Single Door  
**Transom Shape:**  
**Rough Opening:** 38.25" x 82"  
**Entire Unit:** 37.5" x 81.5"  
**Door:** 36" x 80"  
**Sidelite:** None  
**Transom:** N/A x N/A

**Performance**

**Glass Upgrades**  
**Low-E Upgrade:** Door - No, Sidelite - No, Transom - No  
**Low-E Argon Filled:** Door - No, Sidelite - No, Transom - No  
**Laminated Impact:** Door - No, Sidelite - No, Transom - No  
**Energy Star Rated:** No  
**Fire Rating:** None  
**Door Edge Construction:** Wood Edge

**Color**

**Professionally Finished?** No, I'll do it myself.  
**Outside Color / Finish**  
**Door:** Brick Red  
**Jamb:** Black  
**Brickmould:** Black  
**Inside Color / Finish**  
**Door:** Early American - Light  
**Jamb:** Early American - Light  
**Casing:** Early American - Light

**Swing Options**

**Option Selected:** N/A  
**Wall Depth:** N/A

**Frame Options**

**Jamb Material:** N/A  
**Astragal:** N/A  
**Frame Type:** N/A  
**Weather Stripping:** N/A

**Brickmould / Casing Options**

**Brickmould Material:** N/A  
**Casing Material:** N/A  
**Custom Casing:** N/A  
**Casing Separate:** N/A  
**Transom Interior Casing:** N/A

**Sill Options**

**Type:** N/A  
**Sill Finish:** N/A  
**Cap Finish:** N/A  
**Accessories:** N/A

**Accessories**

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**Handle Options:**

Option Selected: N/A  
Inactive Door Option: N/A  
Handles: N/A  
Deadbolt: N/A  
Finish: N/A  
Dummy Handle: N/A  
Handle Position: N/A  
Edge Prep: N/A

**Hinge Options:**

Option Selected: N/A  
Type: N/A  
Finish: N/A  
Hinge Position: N/A

**Mail Slot Options:**

Option Selected: N/A  
Finish: N/A  
Door Selected: N/A  
Size: N/A  
Mail Slot Position: N/A

**Pet Door Options:**

Option Selected: N/A  
Type: N/A  
Door Selected: N/A  
Size: N/A  
Pet Door Position: N/A

**Peep Hole Options:**

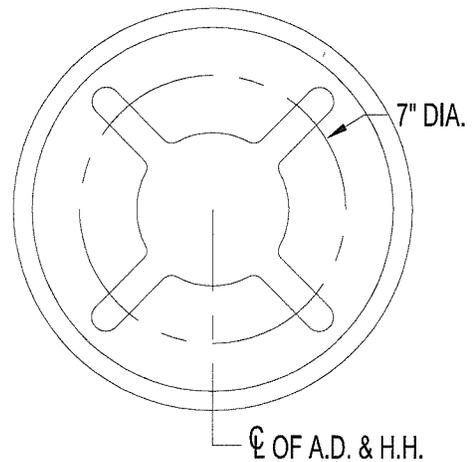
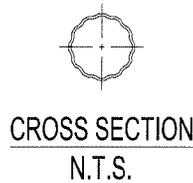
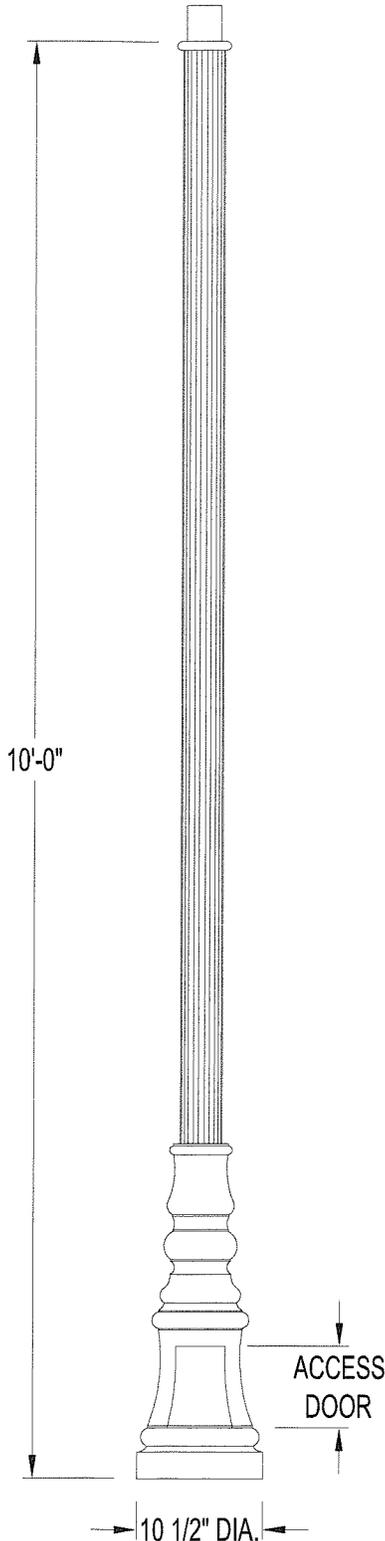
Option Selected: N/A  
Finish: N/A  
Door Selected: N/A  
Size: N/A  
Peep Hole Position: N/A

**Disclaimer:** Our continuing program of product improvement makes specifications, design and product detail subject to change without notice. Glass as viewed may not match exactly in color to actual product.

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**LAMP POST SPECIFICATIONS**

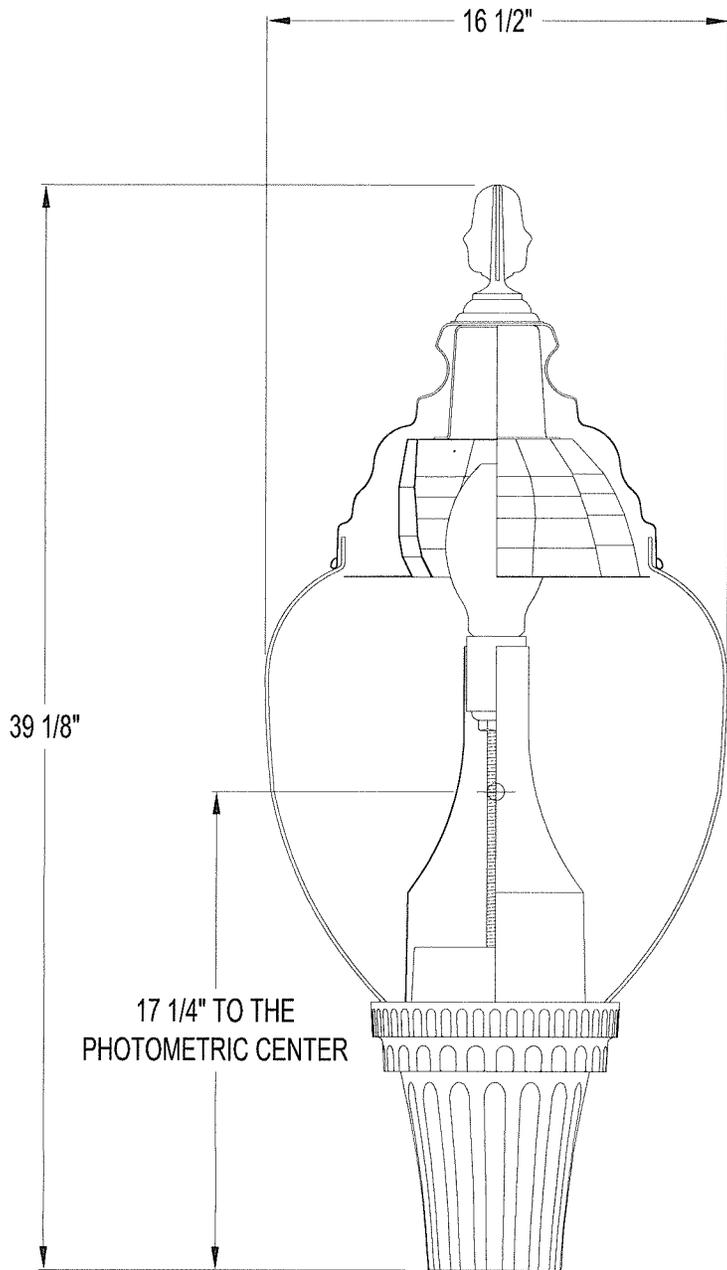
STYLE: BARCELONA  
 HEIGHT: \_\_\_\_\_' \_\_\_\_\_"  
 MAX HEIGHT: 16'-0" **PROPOSED HEIGHT = 10 FT.**  
 BASE: 10 1/2" DIAMETER  
 MATERIAL:  
     SHAFT: 3 1/2" DIA. - 12 FLAT FLUTE - ALUMINUM EXTRUSION - .125" WALL  
     BASE: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95  
 FINISH: PRIME PAINT THEN FINISH SHERWIN WILLIAMS ACROLON - PLEASE ADVISE COLOR  
 ACCESS DOOR: LOCATED IN BASE SECURED WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS  
 GROUND STUD PROVISIONS: DRILL AND TAP INSIDE WALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)  
 ANCHOR BOLTS: (4) 3/4" DIA. X 24" LONG + 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)  
 BOLT PROJECTION: 3" REQUIRED  
 TENON: \_\_\_\_\_" DIA. X \_\_\_\_\_" HIGH



 **Spring City Electrical Mfg. Co.**  
 SINCE 1943  
 HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475  
 PHONE (610) 948-4000 FAX (610) 948-5577  
 E-mail ADDRESS: sales@springcity.com

DESCRIPTION	APSBRC-10-__-E3	PDF
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**LUMINAIRE SPECIFICATIONS**

STYLE: BRENTWOOD VERTICAL LAMP, TYPE III, CUTOFF  
 HEIGHT: 39 1/8"  
 WIDTH: 16 1/2"  
 MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95  
 GLOBE: STIPPLED POLYCARBONATE  
 DISTRIBUTION: TYPE III - ASYMMETRIC  
 FINISH: PRIME PAINT THEN FINISH SHERWIN WILLIAMS ACROLON - PLEASE ADVISE COLOR  
 LAMPING: \_\_\_\_\_ WATT (250 MAX)  HPS  MH  OTHER \_\_\_\_\_  
 VOLTAGE:  120  208  240  277  480  QUAD  
 SOCKET:  MEDIUM BASE  MOGUL BASE  OTHER \_\_\_\_\_  
 PHOTO CONTROL: OPTIONAL - BUTTON TYPE



**Spring City Electrical Mfg. Co.**

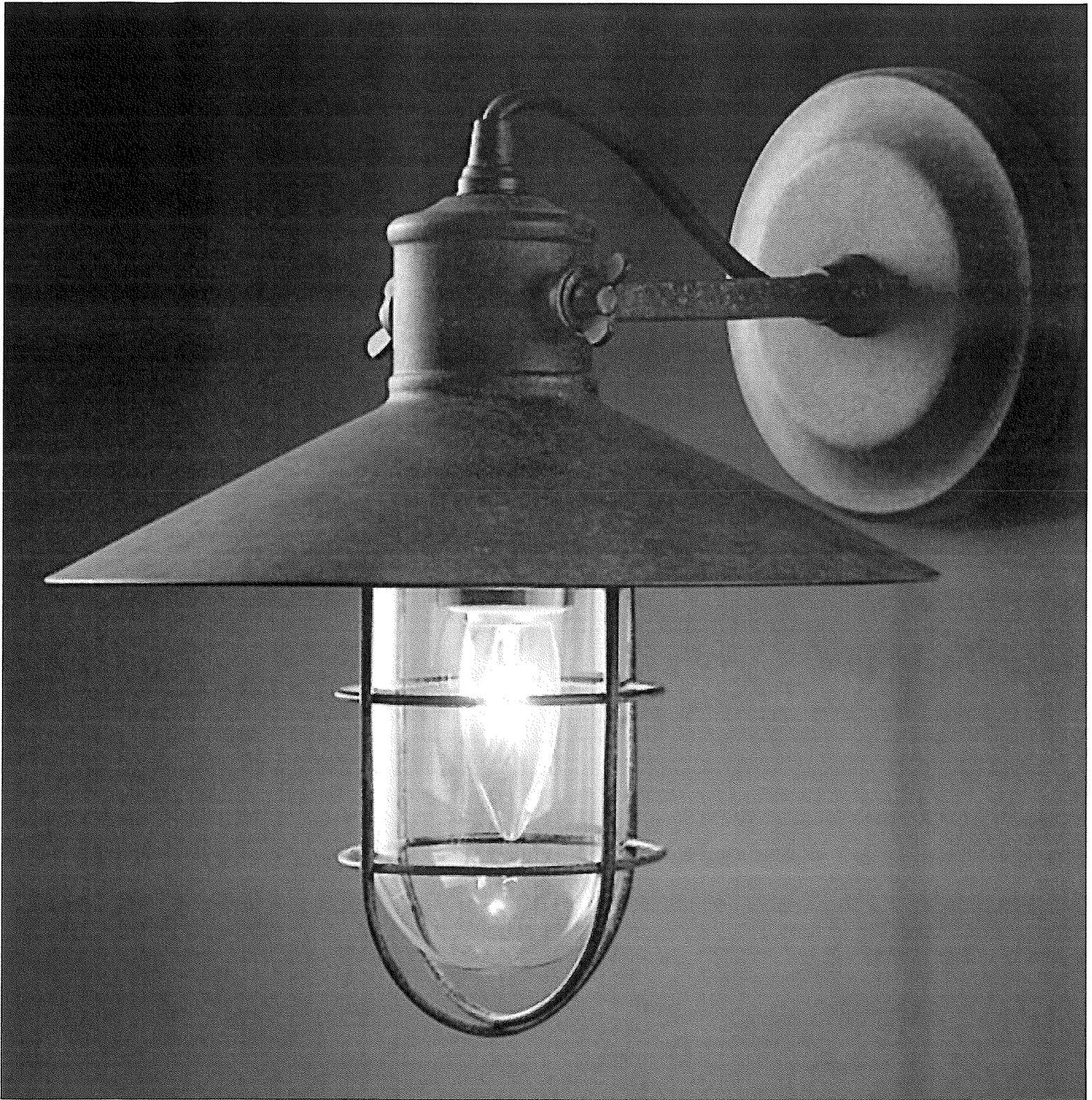
SINCE 1843  
 HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475  
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 E-mail ADDRESS: sales@springcity.com

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SCONCE AT GARAGE

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SCONCE AT HOUSE

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