



**City of Sonoma
Design Review and Historic
Preservation Commission
REVISED AGENDA**

**Meeting of January 19, 2016 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Micaelia Randolph Chair

Commissioners: Kelso Barnett
Christopher Johnson
Leslie Tippell
Bill Essert

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of November 17, 2015 and December 15, 2015

CORRESPONDENCE

ITEM #1 – Continued Design Review	Project Location: 405 First Street West	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of new paint colors for a hotel (El Dorado Hotel).	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant: El Dorado Hotel	Zoning: Planning Area: Downtown District	
Staff: Wendy Atkins	Base: Commercial (C) Overlay: Historic (/H)	
ITEM 2 – Continued Design Review	Project Location: 227 East Spain Street	RECOMMENDED ACTION: Commission discretion.
REQUEST: Site design and architectural review of proposed alterations and an addition to a residence.	General Plan Designation: Low Density Residential (LR)	CEQA Status: Categorically Exempt
Applicant: Robert Baumann & Associates	Zoning: Planning Area: Northeast Area	
Staff: Wendy Atkins	Base: Low Density Residential (R-L) Overlay: Historic (/H)	

<p>ITEM 3 – Sign Review</p> <p><u>REQUEST:</u> Consideration of six window signs for a convenience store (Easy Stop Market #1).</p> <p><u>Applicant:</u> East Stop Market #1</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 925 Broadway</p> <p><u>General Plan Designation:</u> Mixed Use (MU)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Broadway Corridor</p> <p><u>Base:</u> Mixed Use (MX) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #4 – Sign Review</p> <p><u>REQUEST:</u> Consideration of a new illuminated monument sign for a gas station (76 Service Station).</p> <p><u>Applicant:</u> United Sign System</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 19249 Sonoma Highway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> None</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #5 – Sign and Design Review</p> <p><u>REQUEST:</u> Consideration of design review and new canopy signs for a gas station (76 Service Station).</p> <p><u>Applicant:</u> Perry Builders, Inc.</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 19249 Sonoma Highway</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> West Napa/Sonoma Corridor <u>Base:</u> Commercial (C) <u>Overlay:</u> None</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #6 – Design Review</p> <p><u>REQUEST:</u> Design review for a new single family residence and attached garage.</p> <p><u>Applicant:</u> Russell Nobles.</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 790 Second Street East</p> <p><u>General Plan Designation:</u> Low Density Residential (LR)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Central-East Area <u>Base:</u> Low Density Residential (R-L) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
<p>ITEM #7 – Design Review</p> <p><u>REQUEST:</u> Consideration of design review for a restaurant (Slice by Mary's).</p> <p><u>Applicant:</u> Michael B. Ross, AIA</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 14 West Spain Street</p> <p><u>General Plan Designation:</u> Commercial (C)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District <u>Base:</u> Commercial (C) <u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>

<p>ITEM #8 – Design Review</p> <p><u>REQUEST:</u> Design review of exterior modifications for two vacation rental units.</p> <p><u>Applicant:</u> Laura Olson</p> <p>Staff: Wendy Atkins</p>	<p><u>Project Location:</u> 162-166 West Spain Street</p> <p><u>General Plan Designation:</u> Medium Density Residential (MR)</p> <p><u>Zoning:</u> <u>Planning Area:</u> Downtown District</p> <p><u>Base:</u> Medium Density Residential (R-M)</p> <p><u>Overlay:</u> Historic (/H)</p>	<p><u>RECOMMENDED ACTION:</u> Commission discretion.</p> <p><u>CEQA Status:</u> Categorically Exempt</p>
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ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on January 15, 2016.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
November 17, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Anderson, Randolph, Tippell, Johnson, Essert
(Alternate)
Absent:
Others Senior Planner Gjestland, Associate Planner Atkins
Present:

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Randolph made a motion to approve the minutes of October 20, 2015. Comm. Tippell seconded. The motion was unanimously approved.

CORRESPONDENCE: Late mail was received on Items 1, 2, and 3.

Item #1 – Design Review – Design review of a replacement porch for a commercial building at 445-447 First Street West (Applicant: Sidney Hoover).

Associate Planner Atkins presented the staff report.

Comm. Tippell inquired as to the current height of the railing and staff requested that question be addressed by the applicant.

Chair Barnett opened the public comment.

Sidney Hoover, applicant, explained that the existing railings are tapered and do not meet the existing building code. The railing has to meet current building code requirements in order for it to be used. The existing porch is sloped down and the proposed design brings the edge of the porch up so pedestrians cannot reach up and grab it.

Chair Barnett requested the applicant address the proposal to move the posts back eighteen inches from the street.

The applicant stated that the Building Official requested the post be moved back eighteen inches to avoid contact with vehicle bumpers.

Chair Barnett asked if the balcony is currently in use and the applicant replied in the affirmative.

Comm. Randolph inquired as to the height of the new awning and the applicant replied that the height will be the same at the building line. Comm. Randolph further inquired if the new 43-inch railing will obstruct the view of the window and the door from the street. The applicant replied that it probably will but that is the best he can do to meet the requirements.

Chair Barnett asked if there was any thought given to mimicking the height as it is now and then having some sort of glass behind it that would create the 42-inch high railing. The applicant replied in the negative.

Comm. Randolph asked if the balustrade on the building was originally intended to be used as a porch. The applicant requested that there is little history available on the building.

Mary Martinez stated that she wrote a letter that addressed her concerns with the façade change. She suggested that the new railing will change the appearance of the building and whittle away its history. She asked if it was necessary do make this change right now? She stated she was okay with the “L” beam if it is at the same scale. She asked the commission to consider this application carefully.

Chair Barnett closed the public comment.

Comm. Johnson stated that these projects are always difficult and he appreciates the comments from the public. He can understand why the proposal is necessary and initially would not have agreed with the decision to move the posts back 18-inches but understands now that it is an issue with safety. He will support the project but will consider other comments from the commission.

Comm. Tippell asked if safety compliance trumps safety compliance and she thinks it does. In a perfect world she would like to keep it the same. She supports moving the posts back 18-inches. She appreciates that the new design duplicates the existing design and she supports it.

Comm. Anderson stated that it appears that he architect has really studied the issues and put a lot into preserving the aesthetics of the building. This is the best alternative given the building code requirements.

Comm. Randolph stated that she loves this building and it contributes to the feeling of living in history. She feels that the applicant does not have any other choice. She is alright with the proposal even though it would change the way the building looks.

Chair Barnett stated that he worries about unintended consequences when reviewing applications such as the one before the commission tonight. He also likes historic buildings that are functional. He stated that he is concerned with moving the post back additional 10-inches from the street and how that may change the aesthetics from the sidewalk but he understands the reasons for the modification.

Comm. Johnson made a motion to approve the project as submitted.

Comm. Tippell seconded. The motion was unanimously approved

Item #2 – Design Review – Site design and architectural review of proposed alterations and an addition to the residence at 227 East Spain Street (Applicant: Robert Baumann & Associates).

Senior Planner Gjestland presented the staff report.

Chair Barnett suggested the commission break review of the item into two parts given the significant amount of late correspondence that was received: first address historic matters then conduct site design and architectural review.

Chair Barnett opened the public comment.

Alice Duffee, APD Preservation, noted that she had prepared three reports for the property/project including a Historic Resource Evaluation, Determination of Effect, and a Secretary of the Interior's analysis. She confirmed that the residence is an historic resource under CEQA and summarized aspects of the property that contribute to the National Register District.

Chair Barnett confirmed with the historic consultant that the DRHPC should evaluate the project the same whether the residence is individually significant or significant as a contributor to the National Register District.

Alice Duffee, APD Preservation, expressed unlikelihood that archaeological resources would be discovered during construction given extensive disturbance that has occurred on site.

George McKale, representing the Sonoma League for Historic Preservation, noted the League is scrutinizing the project because the residence is one of the oldest buildings in Sonoma. He disagreed with APD Preservation's findings and felt that the project would adversely impact the resource.

Alice Duffee, APD Preservation, responded by showing a graphic that illustrated how the structure was substantially modified over time with the original salt box home engulfed.

Chair Barnett asked the historic consultant if the 1918 Queen Anne iteration can be viewed individually historically significant. Alice Duffee indicated that, while old enough, it cannot because it has been highly modified and exterior changes over the years compromised the historic significance of the building. Chair Barnett found this conclusion troubling since most people consider the residence historically significant and because the League gave an award for the 2001-2003 renovation. Alice Duffee responded that the renovation created a false sense of historicism and degraded the structure's true features. Chair Barnett confirmed with the historic consultant that a building can seem or appear to be historically significant but not be based on the rigid standards under CEQA.

Based on this discussion Comm. Randolph concluded that the DRHPC should treat the building as an historic resource due to its contribution to the National Register District and focus project review on how the remodel addresses the four aspects of location, materials, setting, and feeling.

Chair Barnett pointed out that Historic Resource Evaluations are not typically disputed, and when a similar disagreement came up in review of a remodel/addition project at 563 Second Street East, the DRHPC required peer review. Given Mr. McKale's concerns and credentials, Chair Barnett suggested that peer review may be warranted in this case. Comm. Randolph noted that several people had requested peer review.

Chair Barnett confirmed with staff how the process would lay out if more analysis or peer review were required by the DRHPC. He then asked if Mr. McKale wanted peer review. Mr. McKale answered that he does not feel peer review is needed though additional research is necessary, which could result in changes to the project. Personally, he does not like being peer-reviewed himself and would prefer to work with the historic consultant to come to an agreement about impacts.

Comm. Randolph emphasized that the DRHPC's responsibility is to review the project in terms of scale, massing and feeling.

Robert Baumann, applicant and project architect, noted that lots of time, effort, and money have been expended to design a proposal that addresses the various parameters that apply to the property. He pointed out that the structure has significant decay and many life-safety issues based on inspections. He met with staff and APD Preservation early on to figure out how to approach the project and meet his client's needs. Ultimately, the

direction was to save the front façade, even though he didn't feel the façade warranted preservation, and increase the second floor height to make it usable and code-compliant. The project meets all zoning requirements and the project would use similar but not identical materials consistent with the Secretary of the Interior's Standards.

Comm. Randolph, appreciated the significant effort put into the proposal but noted this is the first time the DRHPC has seen the project.

Chair Barnett requested public comment on the project design.

Kathy Sperring, adjoining neighbor at 442 Second Street East, stated the project is a significant enlargement that will adversely impact her. She expressed specific concern about the second dwelling unit proposed along the back of the property and increased storm water runoff onto her property from the development. She requested the DRHPC review the drainage issue and second unit. She also requested that the DRHPC require a greater setback for the second unit, and include the second unit's floor area in the Floor Area Ratio.

Chair Barnett confirmed that the DRHPC does not have discretion or review authority over the second dwelling unit or drainage matters.

Robert Baumann stated they have been proactive and hired Adobe & Associated 2-3 weeks prior to develop a drainage plan. He indicated that the Sperrings are disputing the location of the common property line which is why they feel so impacted.

Gene Sperring, adjoining neighbor at 442 Second Street East, asked the DRHPC to delay their decision in order to find out what's planned for drainage and grading. He indicated that there is a dispute about where the common property line is located.

Chair Barnett appreciated the concerns but reiterated those matters are outside the DRHPC's discretion.

Steve Weingard, adjoining neighbor at 245 East Spain Street, expressed the view that the scale and mass of the proposed home is excessive and will appear enormous from the street. He suggested that an addition could be designed to go deeper into the lot rather than wider.

Mary Martinez, resident, concurred with Mr. Weingard's comments. She showed a visual to contrast the difference in scale between the existing and proposed residence. She stated the project will dwarf the home to the east and adversely affect the historic fabric of the neighborhood.

Robert Bauman, project architect, responded by showing a more comprehensive visual diagram that illustrated the difference in scale between existing and proposed conditions. He noted that scale is subjective but professionally he feels the project meets the design intent, and is compatible with the texture of the east side and East Spain Street. He believes this is a successful solution given the variety of parameters that apply.

Chair Barnett inquired with Alice Duffee about how scale and mass should be treated. Ms. Duffee responded that the building is a historic resource for purposes of CEQA, and the Secretary of the Interior's Standards that apply are the rehabilitation standards.

Chair Barnett went through the rehabilitation standards to highlight the project's inconsistency with them and the discrepancy that arises when applying them in this case, even if the building is considered significant as a contributor rather than individually significant. Alice Duffee indicated there is very little guidance or direction on how to navigate the rehabilitation standards when dealing with a historic resource that is a contributor to a district but not individually significant.

Comm. Randolph asked the project architect about the rationale for increasing the width of the façade. Robert Baumann indicated that the design approach resulted from discussion with the City and historic consultant.

Tamara Honeybourne, 558 Second Street East, expressed concern that the project could impact the historic integrity of the neighborhood and urged the DRHPC to carefully consider the mass, size, and scale of the home.

Chair Barnett closed the public comment.

Comm. Anderson felt the main consideration was balancing the building's historic significance and the compatibility of new construction for modern needs. He noted the proposal is under the maximum height limit and complies with all other zoning standards.

Comm. Tippell concurred with Comm. Anderson and recognized that a significant amount of time and effort went into developing the proposal. She thinks the residence is historically significant given its association and the League award. She noted there are two differing professional opinions on the building's historic significance and ultimately the commissioners will have to decide. She felt the massing of the house on the street is significant and will appear prominent. She preferred the existing west elevation in comparison to the proposed which she felt was plain and also indicated a preference for a detached garage. She expressed concern about the proposed yellow siding color and suggested a lighter shade or cooler color tone.

Comm. Johnson agreed with APD's analysis. He understood neighbor concerns but noted the project is within the zoning standards. He concurred with Comm. Tippell regarding the proposed colors. He concluded that the proposal as presented falls within the parameters of what is allowable and therefore could not oppose it.

Comm. Randolph felt the primary consideration is the qualitative aspects of the project. She expressed her view that, despite the attractive design, the house feels too large and massive for the space and streetscape.

Chair Barnett noted that the DRHPC's interest is to preserve historic resources and he finds this particular case confusing. He recognized the property's significance in contributing to the streetscape and agreed that was a key consideration in reviewing the project. However, he felt the residence is individually significant and stated that he cannot approve the project as submitted because it does not comply with the Secretary of the Interior's Standards for rehabilitation.

Alice Duffee explained that the DRHPC needs to determine if the historic resource is the district or the individual structure and if the building is considered significant as a contributor rather than individually significant then the most important aspect is preserving the façade.

Bill Wisiaslowski, property owner, indicated that he wants to save the structure but also make it a two story, family home which requires major repairs and upgrades given current conditions. He emphasized that the proposal complies with all the zoning rules and explained that his intent is to improve the property and neighborhood.

Comm. Tippell suggested the DRHPC consider this a study session review and have the applicants come back to address their comments, similar to the DRHPC's initial review of the remodel/addition project at 563 Second Street East. Comm. Anderson concurred. Chair Barnett polled the commission who generally supported this approach, but recommended more specific direction be provided.

In providing more specific direction Comm. Tippell requested a different color palette. Comm. Johnson asked for size and mass to be addressed, and more distinction between old from new construction. Comm. Anderson indicated that he was prepared to approve the project as submitted but acknowledged other commissioners

concerns about massing at the streetscape. Comm. Randolph asked that the applicant revisit different options for the streetscape elevation. Chair Barnett felt the streetscape should be preserved as is with an addition at the back of the home. Chair Barnett also felt that peer review of the historic analysis should be required as the structure could be individually significant.

Senior Planner Gjestland asked the commission to clarify whether they desired peer review. The majority of the commission did not feel that peer review should be required.

Comm. Tippell made a motion to continue the item with direction given to the applicant. Comm. Anderson seconded. The motion was unanimously approved.

Item #3 – Demolition Review – Consider of a Demolition Permit to demolish the single-family home located at 19241 Fifth Street West (Applicant: Schellinger Brothers Construction).

Associate Planner Atkins presented the staff report.

Chair Barnett questioned the 1951 year built date on the staff report and noted the Sonoma League for Historic Preservation survey date indicated the building was constructed in 1925. Staff confirmed that the correct date is 1951 based on a 1941 topographic map, which confirmed that there were no buildings on the site in 1941. Aluminum clad sliding windows also indicated a mid-century building date.

Chair Barnett opened the public comment.

Tom Origer displayed an aerial photograph from 1948, which indicated that there were no buildings on the site; therefore, the Sonoma League for Historic Preservation survey was incorrect.

Bill Schellinger, applicant, stated he had no additional comments, except that he would like approval to demolish the building right away.

Comm. Randolph asked the applicant if he was going to build anything on the property and the applicant replied in the affirmative.

Chair Barnett closed the public comment.

Comm. Johnson made a motion to approve the project as presented and Comm. Randolph seconded. The motion was unanimously approved.

Issues Update: Associate Planner Atkins reported that the kick off meeting for the Downtown Design Guidelines project is on Thursday.

Comments from the Commission: Comm. Tippell requested that the Commission discuss and review the requirements for commercial real estate signs. Staff indicated that that item could be placed on the December agenda.

Comments from the Audience:

Adjournment: Chair Barnett made a motion to adjourn at 10.05p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, December 15, 2015. Comm. Tippell seconded. The motion was unanimously approved.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
December 15, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present:	Chair Barnett, Comms. Randolph, Tippell, Johnson, Essert (Alternate)
Absent:	Comm. Anderson
Others	Associate Planner Atkins, Planning Director Goodison, Administrative
Present:	Assistant Morris

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Mary Martinez, complimented the DRHPC on the approval of the new awning for Sweet Scoops Ice Cream that she felt complimented exterior façade of the building in the Plaza Historic District.

APPROVAL OF MINUTES: None

CHANGES TO AGENDA: Chair Barnett made a motion to move Items #2, #3 & #4 up before Item # 1 but after Item # 1A. Comm. Tippell seconded. The motion was unanimously approved.

CORRESPONDENCE: Late mail was received on Items #1 and #4.

Item #1A - Consent Calendar - These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party. (Proposal to install banners on the Plaza light standards for the Sonoma Valley Hospital from May 1, 2016 to May 31, 2016)

Comm. Tippell made a motion to approve the consent calendar as recommended. Comm. Johnson seconded. The motion was unanimously approved.

Item #1 - Sign Review-Consideration of a new monument sign for a mobile home park (Sonoma Oaks) at 19275 Sonoma Highway.

Applicant: Thomsen Properties

Associate Planner Atkins presented the staff report.

Chair Barnett opened the public comment period.

Robert Sanders, Robert Sanders & Company, described the new signage as more visually appealing.

Chair Barnett closed the public comment period.

Comms. Tippell and Johnson said the new monument sign for the mobile home park is an improvement.

Comm. Randolph agreed with her colleague's comments and supported the new signage.

Comms. Essert and Chair Barnett viewed the new monument sign as more visible and easier to read.

Chair Barnett is pleased with the new design and agreed with his fellow Commissioners that it is a vast improvement.

Comm. Essert made a motion to approve the sign proposal as submitted. Comm. Johnson seconded. The motion was unanimously adopted.

Item # 2- Consideration of a new monument sign and a window sign for a mixed use building at 545 West Napa Street

Applicant: Lucy Moreno

Associate Planner Atkins presented the staff report.

Chair Barnett opened the public comment period.

Lucy Moreno, business owner, requested the new signage to advertise her business. She removed the non-compliant signs as requested by the City.

Comm. Tippell is not fond of the green paint color chosen but thought it could be acceptable if all the signs were coordinated on site. She recommended a maroon/burgundy color for the background with white lettering to complement the peach tone of the building.

Comm. Essert liked the suggestions made and deferred to his fellow Commissioners for making a recommendation to the applicant.

Chair Barnett closed the public comment period.

Comm. Johnson is pleased with the design and font size for the new signage.

Comm. Essert thanked the applicant for being flexible about the suggestions made for the new signage which he found helpful in his review.

Chair Barnett agreed with Comm. Essert that the applicant's open mindedness to the recommendations from the Commissioners was very important.

Comm. Tippell made a motion to approve the monument sign and a window sign for the mixed use building as follows: 1) the monument sign shall include a burgundy background with either black or gold lettering; and, 2) the window sign shall not include a border. Comm. Randolph seconded. The motion was unanimously adopted.

Item #4- Design Review- Consideration of new paint colors for a hotel (El Dorado Hotel) at 405 First Street West.

Applicant: El Dorado Hotel

Associate Planner Atkins presented the staff report.

Comm. Tippell confirmed with staff that brush outs are in the back entrance near the stairwell.

Chair Barnett opened the public comment period.

Julie Workman, Moana Restaurant Group, Project Manager for EDI, said the goal is to refresh the hotel's façade with a lighter color palette.

Comm. Randolph inquired if changes were proposed for the doors. The applicant responded that a change in door color is being considered.

Mary Martinez, resident, is disappointed that the color palette chosen is too dark. She urged the Commission to postpone the review until more information was submitted.

Planning Director Goodison noted that many of the original elements of the Adobe have been removed over time.

Chair Barnett closed the public comment period.

Comm. Tippell favored "trendy" charcoal grays but thought the proposed colors might be too extreme for this prominent corner in the Historic District. She recommended softer gray tones with a mustard color as an accent color.

Comm. Randolph agreed with Comm. Tippell's comments that the entryway is too dark.

Comm. Essert agreed with Comm. Randolph's comments with nothing further to add.

Comm. Johnson agreed with his fellow Commissioners that a mustard color is a good choice.

Chair Barnett suggested lighter color options.

Comm. Tippell made a motion to continue the item with the suggestions made for lighter color choices and a mock up to better illustrate the proposal. Comm. Randolph seconded. The motion was unanimously adopted.

Item #1 (taken out of agenda order) - Continued Design Review - Site design and architectural review of proposed alterations and an addition to a residence at 227 East Spain Street.

Applicant: Robert Baumann & Associates

Associate Planner Atkins presented the staff report.

Chair Barnett clarified that the residence was a contributing resource under CEQA and the Secretary of Interior's standards should be followed. He noted that it might be possible to de-list the building, if it is truly not a historic resource, in which case the Secretary of Interior's standards would no longer apply.

Chair Barnett opened the public comment period.

Robert Baumann, Robert Baumann & Associates, project Architect, stated that the proposal is in full compliance with all the zoning regulations and the Development Code and revisions were made based on recommendations from the previous meeting. For example, retaining the salt shape box, bringing the side yard into compliance, more lighting in the east elevation of the plan, and a reduction of 18 inches in the roof height. He followed the Secretary of Interior (SOI) standards. The eave break is a delineation of the old portion of the home to the new section. The project is sympathetic to the characteristics of Sonoma.

Alice P. Duffee, Historic Preservation Planner APD Preservation LLC, the consultant retained by the applicant to review the historic aspects of the project, summarized her findings.

Amy Alper, local Architect, submitted late mail directly to Chair Barnett at 5: 35 p.m. that indicated full support of the project. Chair Barnett read the letter into the public record.

Chair Barnett inquired about the roof level.

Robert Baumann responded that the roof level is subordinated and the eave break is a delineation of the old portion of the home and the new section.

Comm. Tippell inquired about the design changes made to the home.

George McKale, representing the League for Historic Preservation, agreed with Alice Duffee's analysis of the proposal and the importance of retaining certain features of the structure.

Comm. Essert questioned the fenestration and door issues addressed by Alice Duffee in her report. He does not see a significant distinction between the old and new windows and his impression is that the new windows look similar. Comm. Essert said differentiating the old from the new is an important element of the proposal as discussed by Chair Barnett.

Robert Baumann noted that the windows are not scaled and the only change is 3 over 1. The original 20th century windows were replaced.

Chair Barnett is concerned with all 82 buildings in Sonoma that are contributing historic resources to the District, including this one, as they are a unique and irreplaceable resource. He noted that some of the interpretations are subjective in nature but disagreed with the opinions expressed that the integrity of historic residence should not be fully preserved. He referred to the seven elements and findings that must be applied under the Secretary of Interior Standards and Guidelines.

Mark Parry, Architectural Historian, is concerned with the deterioration of valuable cultural resources in cities. He described the historic home as a typical Queen Anne from the 1918 Era. He opposed the changes being proposed by the applicant since he is of the opinion they do not adhere to the Secretary of Interior standards as applied in other jurisdictions.

Comm. Randolph asked Mr. Parry if changing the fence was material. He responded that the additions should normally be placed in the rear so the streetscape remained the same, regardless of whether or not a fence is removed.

Robert Demler, resident/President for the League of Historic Preservation, confirmed that George McKale spoke on behalf of the League at the Board level. He appreciated all the parties input and the fair amount of negotiation and compromise made.

George McKale, stated that the League's opinion has changed after the revision made to the east elevation and in his view the standards are met.

Cathy Sperring, neighbor (442 Second St. East), asked that a letter written by Karla Noyes, not received by Staff or DRHPC members, be read into the public record. Planning Director Goodison was handed the correspondence and read the letter, expressing Karla Noyes' opposition to the application.

Bill Wisialowski, the property owner, expressed his desire to be flexible and integrate into the neighborhood. He intended to live in the home long-term and planned to leave the residence to his family. He was encouraged by his neighbors to make exterior/interior changes because of disrepair, safety concerns, and deferred maintenance issues. He hired local experts for his plan of action to repair the historic residence and felt he has been entirely responsive to the DRHPC suggestions

Victor Conforti, local architect, expressed confidence in Mr. Baumann's abilities as an experienced architect. He is of the opinion that the new roofline and the east addition detract from the historic qualities of the original residence. The Secretary of Interior guidelines advise against changing defining features, which is clearly being done with the changed massing of the building and new roof design. He is surprised by the reports that indicated the structure is not of historical significance according to State and Federal guidelines and in light of the Certified Local Government status for the City.

Mark Parry, felt that delisting the property from the National Registry is not the solution and the impact on the Historic District must be retained with proper treatment to the existing elements.

Chair Barnett closed the public comment period.

Comm. Essert appreciated the efforts made so far and wanted to preserve the historic integrity of the home as much as possible, He agreed with Mr. Parry about the significance of the small home and visibility from the street and preferred that it be built backward.

Comm. Randolph thanked the applicants and appreciated their flexibility and hoped a decision could be met so the owner could move forward. Her primary concern is the fence location in relation to the home.

Comm. Tippell thanked the applicants and expressed her desire to make a decision one way or another so the home would not deteriorate further. She interpreted the data as subjective and felt that the required findings could be made for the revised project.

Comm. Johnson thanked the applicant and is encouraged that members of the League supported the proposal. He felt they met the design parameters.

Comm. Randolph clarified that her previous comments are not intended to represent a decision and she hoped that with further discussion, clear direction for the applicant could be provided.

Chair Barnett asked about the circumstances, from staff's perspective of the original approach that was taken in the design of the additions. He also raised the question of whether a peer review should be undertaken of the Cultural Resources Evaluation.

Planning Director Goodison reviewed the staff contacts and meetings that were held with the architect and the other consultants to the project. He recommended against a peer review, noting that it is the job of the Commission to make independent findings. Having yet another study would not change that requirement.

Chair Barnett's concurred that a peer review might not be useful, but reiterated that the main issue from his perspective is that he does not agree that the project, even as revised, complies with the applicable Secretary of Interior standards. That said, he respected the right of the property owners and the architect's project goals and he believes that these could be fulfilled through an alternative design approach.

Chair Barnett re-opened the item for public comment.

Mr. Parry felt the remodel is not appropriate for Sonoma and the standards of care need to be followed.

Victor Conforti critiqued the project in terms of loss of integrity to the original building and said more improvements could be made.

Chair Barnett confirmed with Mr. Baumann that the roof extends back 2 feet and the fascia of the porch is continuous,

Comm. Essert said respect for the resource is key and the main focus should be on the salt box and then build back from that point to compromise the space in the back to respect the historic structure.

Comm. Randolph asked Mr. Conforti if doing certain items might retain the integrity of the historic integrity of the addition/remodel and whether the roof line should be lowered.

Robert Baumann said the determination could be considered subjective in nature but ultimately compliance with the standards should determine the property owner's ability to use the property as he/she determines is the best use. In his view, the Commission should respect the work that has been done by the historic resources consultant and the concurrence of the League for Historic Preservation. Applicants are advised to hire experts to guide them and to consult with the League. If the findings of these experts are brushed aside, why require them in the first place?

Bill Wisialowski, homeowner, said that he and his team had worked in good faith to address all the concerns raised by the Commission.

Chair Barnett asked the applicant if enough feedback was provided to move forward.

The Commission took a five-minute recess.

Robert Baumann requested that the Commission continue the item so that they could take some time to assess the feedback from the Commission and determine whether there is a way forward.

Comm. Essert made a motion to continue the project to the next meeting on January 19, 2015, with a recommendation for revised plans to be submitted, 3 D renderings, and further review of the Secretary of Interior Standards. Comm. Randolph seconded. The motion was unanimously adopted. (Comm. Anderson absent)

Item # 5 Discussion Item- Discussion and review of sign regulations related to commercial real estate signs.

Comm. Tippell made a motion to continue the Item #5 to the next meeting on January 19, 2016. Comm. Johnson seconded. The motion was unanimously approved.

Issues Update: Associate Planner Atkins reported the following;

The Downtown Design Guidelines will be reviewed at a special study session at 6:30 p.m. January 25, 2016, at the Sonoma Community Center.

Comments from the Audience: None

Election of Officers: Chair Barnett nominated Comm. Micaelia Randolph for Chair, Comm. Tippell seconded. The nomination was unanimously approved. Chair Barnett nominated Christopher Johnson as Vice Chair. Comm. Randolph second. The nomination was unanimously approved.

Planning Director Goodison thanked Chair Barnett for his great service and appreciated all the efforts of the Commissioners and congratulated the new Commissioners on their appointment.

Adjournment: Chair Barnett made a motion to adjourn at 10:15 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, January 19, 2016. The motion was unanimously approved.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

Cristina Morris, Administrative Assistant



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 1

Meeting Date: 01/19/16

Applicant

El Dorado Hotel

Project Location

405 First Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district
 - Listed on California Register of Historic Resources
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old
Year built: 1880
-

Request

Consideration of new paint colors for a hotel (El Dorado Hotel).

Summary

Background: At the December 15th DRHPC meeting the DRHPC conducted a preliminary review of new paint colors for the El Dorado Hotel. The DRHPC continued the review of the project to a future meeting and provided the applicant with the following feedback:

- Option 2 was preferred; however, it was recommended to lift up the gray a little bit more (similar to the color on the gable shingles).
- The front door should be a different color (i.e. a pop of gold).
- Consider adding a lighter yellow color in the triangle area of the building.
- Provide an alternate color scheme including two door colors and color mockup.

Exterior Colors: Four options for color schemes (all Benjamin Moore) have been put forward for the DRHPC's consideration (Option 1, Option 2, Option 3, and Option 4):

- Option 1: PM-8 (charcoal slate) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors. The charcoal slate color sample indicated in the Design Review Packet depicts a color that is 50 percent lighter than the original color.
- Option 2: HC-168 (Chelsea gray) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors. The Chelsea gray color sample indicated in the Design Review Packet depicts a color that is 25 percent lighter than the original color.
- Option 3: HC-167 (Amherst gray) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors. The Amherst gray color sample indicated in the Design Review Packet depicts a color that is 25 percent lighter than the original color.
- Option 4: 1600 (Timber wolf) on the exterior, OC-31 (fog mist) for the exterior trim, and 1617 (cheating heart) for the entrance doors.

Note: The existing sign painted on the building (south of the entrance) is proposed to be painted over with the new exterior paint color.

The applicant has indicated that color samples will be presented at the meeting, brush-outs have been applied to the building (on the north side of the building adjacent to the café and restaurant), and a color board will be presented by at the upcoming DRHPC meeting.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review and Historic Preservation Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.

3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact Lisa Sevilla at (707) 933-2205 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Historic Resources Inventory*
2. *Design Review Packet.*

cc: El Dorado Hotel
405 First Street West
Sonoma, CA 95476

Moana Enterprises, Inc.
Attn: Robert Harmon
625 Redwood Highway Frontage
Mill Valley, Ca 94941

Moana Restaurant Group

Attn: Julie Workman
835 Fifth Avenue
San Rafael, CA 94901

EDI Associates
835 Fifth Avenue
San Rafael, CA 94901-3204

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

HISTORIC RESOURCES INVENTORY

(State use only)

Ser _____ Mo. _____ Yr. _____
 UTM _____ Q _____ NR _____ SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

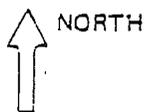
- Common name: El Dorado Hotel
- Historic name, if known: Site of North End of Salvadore Vallejo Home
- Street or rural address: 405 1st St. W.
 City: Sonoma ZIP: 95476 County: Sonoma
- Present owner, if known: Louisa Merlo Address: 405 1st St. W.
 City: Sonoma ZIP: 95476 Ownership is: Public Private
- Present Use: _____ Original Use: _____
 Other past uses: Boarding School

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Situated on the North West corner of 1st St. West facing the Plaza, the site of this two story plain facade stucco building was originally the Northern end of the Salvadore Vallejo adobe built in 1845. This north end of the adobe in 1849 became the El Dorado Hotel. The wooden second floor and upstairs balcony was added in 1858. It repeated the gabled roof of the south end of the structure which is still existing. Behind the gabled roof stucco front section is a long two story wing with brick foundation, large glass windows, an overhanging roof forming an open balcony with stick style posts and wood railing. The north end was destroyed in 1906 earthquake, and has been completely rebuilt.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map - Area 10

UTM (SONOMA QUAD)
 10/549,300/4,238,740
 10/548,280/4,238,400
 10/548,210/4,238,070
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 84 1st St. W.
 Depth 210 W. Spain
 or approx. acreage _____

9. Condition: (check one)

- a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other

12. Threats to site:

- a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other

13. Date(s) of enclosed photograph(s): Jan. 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
f. Other
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction @1906. This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): _____
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
f. Windmill g. Watertower/tankhouse h. Other i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

On this site formerly stood the one story, adobe El Dorado Hotel run by Pearce and Randolph. Second ^{floor} story later added ^{1846-9.} was occupied by Cumberland Presbyterian College 1858-64. Building was purchased by the Cumberland Presbyterian Church which opened the Cumberland College here in 1858 where leading families of the Valley and Northern California sent their children. Presbyterian Church services were held on Sundays (Smilie). The site is important having originally been the location of the north end of the Salvadore Vallejo adobe.* The scale of the present building, although lacking details is in keeping with the remainder adobe structure.

* It was destroyed in 1906 and was rebuilt as the El Dorado Hotel

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:
Here Lived the Californians - Oscar Lewis, 1957
Saga of Sonoma

23. Date form prepared: 12/29/78 By (name): Johanna M. Patri
Address: 621 Napa Rd. City Sonoma ZIP: 95476
Phone: 996-6412 Organization: Sonoma League for Historic Preservation

(State Use Only)

FILE COPY



EL DORADO

HOTEL & KITCHEN

JAN 08 2016



EL DORADO
SONOMA

Date: January 8, 2016

Project: El Dorado Hotel & Kitchen
405 1st Street West
Sonoma, CA 95476

Owner: EDI Associates
835 Fifth Avenue
San Rafael, CA 94901

DESIGN REVIEW SUBMITTAL – EXTERIOR PAINT SELECTIONS



EL DORADO

SONOMA

El Dorado Hotel is a legendary hotel, an historical landmark with a unique design.

As we look into bringing a fresh look to El Dorado Hotel & Kitchen, we are reminded of the beautiful building that was originally built in the 1800s, an historical building that has transformed over the years in many ways.

In keeping with the integrity of Sonoma's Historic Plaza, we would like to refresh the El Dorado Hotel & Kitchen and correspond to coincide with our Brand to reflect on the history and further enhance the character of downtown Sonoma's Historic Plaza. Including in our submittal, the Sonoma Historical Society brought further insight to the building and history through the years, which includes photos featuring adobe, cedar shingles, painted cedar shingles and most recently stucco as shown in the 1960s and 1970s.

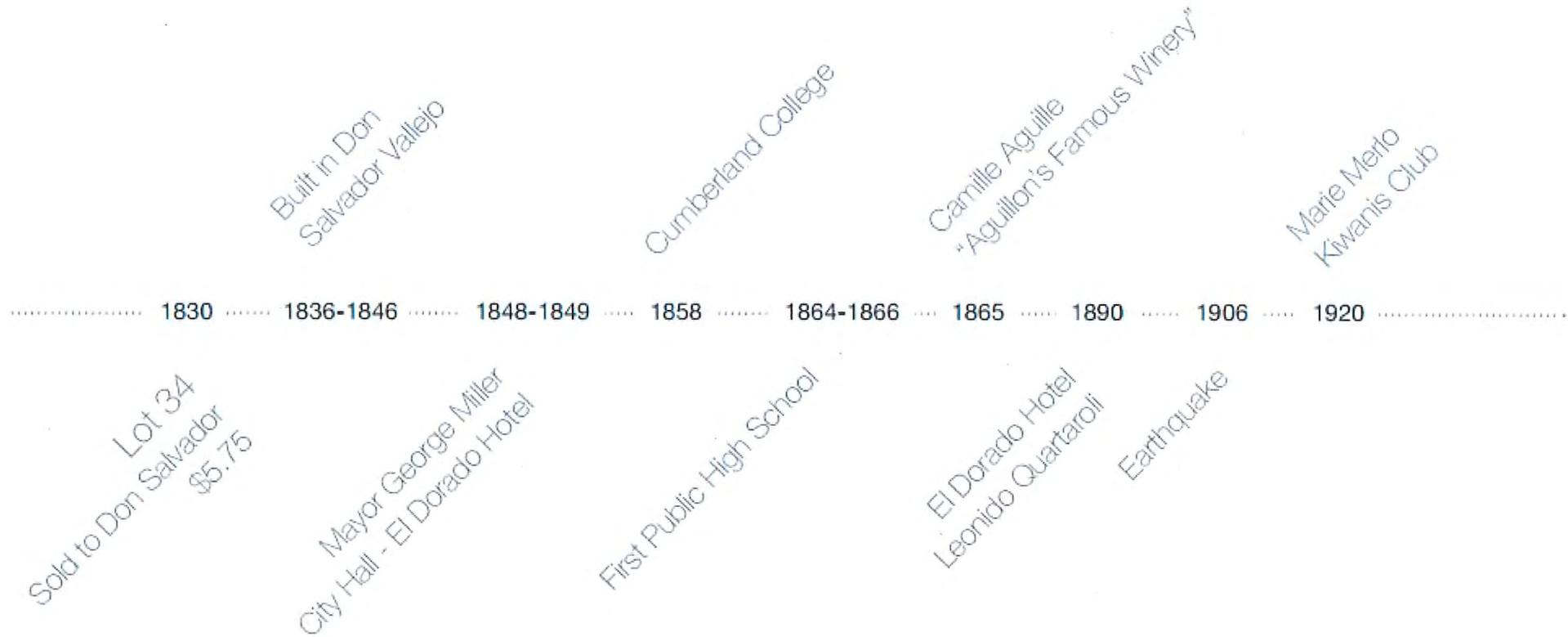
We would like to propose a lighter gray color palette based on the December 2015 Design Review and the commissioners' suggestions from our original submittal. The overall look of the hotel will reflect the historical colors while bringing a fresh, new look to El Dorado Hotel & Kitchen to further enhance and preserve the character of Sonoma's Historic Plaza area.



EL DORADO

SONOMA

THE HISTORY OF EL DORADO HOTEL

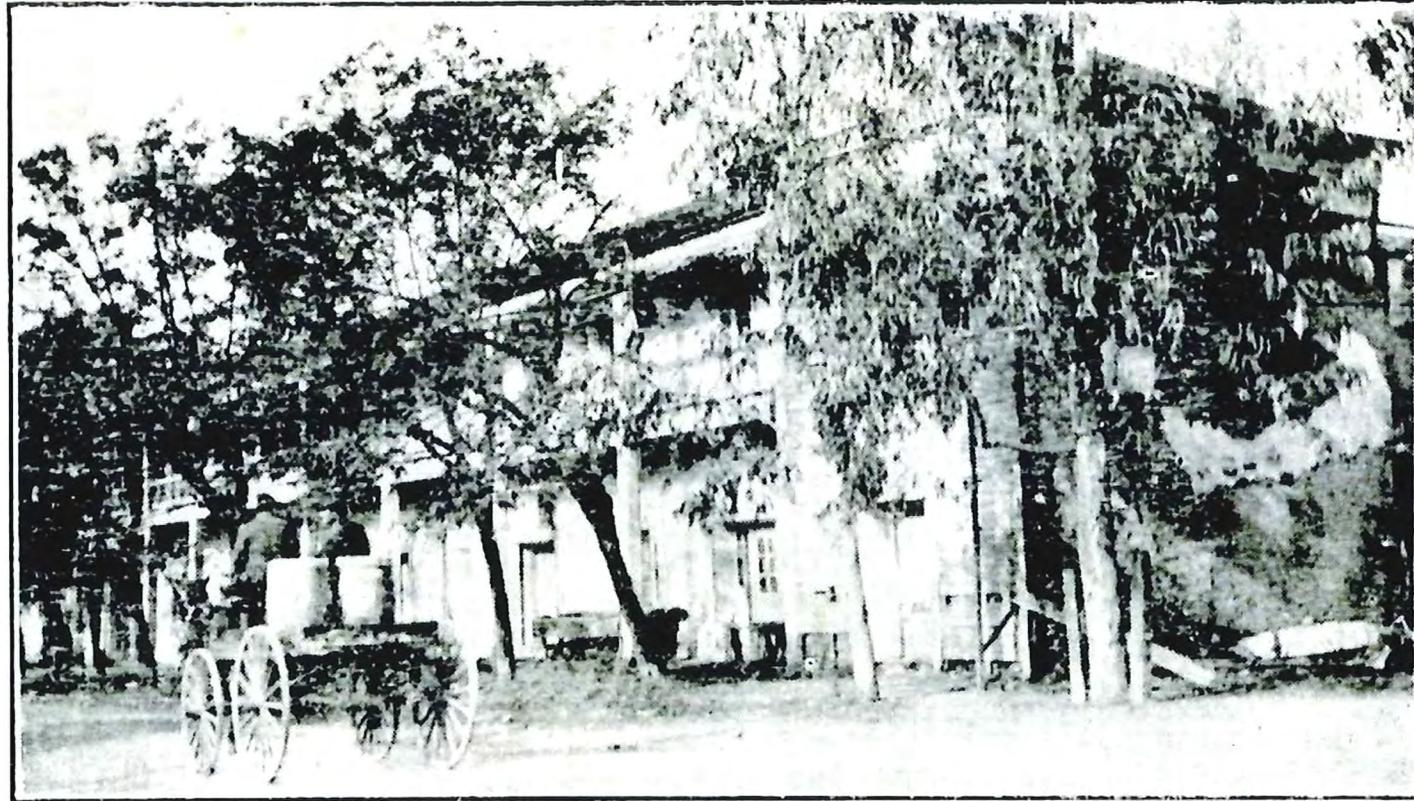




EL DORADO
SONOMA

El Dorado Hotel Early 1800s

Published by W. O. HOCKER, Sonoma, Cal.—Expositor Print



EL DORADO HOTEL, SONOMA, CAL.

The finest Hotel in California in the Forties. Later a Presbyterian College
Now used as a private residence.

Photo Courtesy of: Sonoma Valley Historical Society



EL DORADO
SONOMA

El Dorado Hotel 1840s



EL DORADO HOTEL, SONOMA, CAL

WEST FROM THE C.

The finest Hotel in California in the Forties. Later a Presbyterian College. Now used as a private residence.

1840-1841

Photo Courtesy of: Sonoma Valley Historical Society



El Dorado Hotel 1890

EL DORADO
SONOMA



Photo Courtesy of: Sonoma Valley Historical Society



EL DORADO

SONOMA



Photo Courtesy of: Sonoma Valley Historical Society



EL DORADO
SONOMA

El Dorado Hotel after 1906 earthquake



Photo Courtesy of: Sonoma Valley Historical Society



EL DORADO
SONOMA

El Dorado Hotel 1940s



Photo Courtesy of: Sonoma Valley Historical Society

El Dorado Hotel 1960s – 1970s



EL DORADO
SONOMA



Photo Courtesy of: Sonoma Valley Historical Society



EL DORADO
SONOMA

EL DORADO HOTEL & KITCHEN TODAY





EL DORADO

SONOMA



ADDITIONAL HISTORY

Sonoma County Library's Website: 12/02/15 "The Press Democrat featured an online photo gallery - Things You Will Never See Again in Sonoma Valley - a few weeks back that included images from the Sonoma County Library. One photo, described as depicting Mariano Vallejo's Casa Grande, caught the attention of Emily Walski, an interpretative specialist with Sonoma State Historic Park. Emily was under the impression that no photo of Vallejo's "Casa Grande" existed and that the Library's photo actually showed a building that is now home to the El Dorado Hotel. After a bit of research and input from Dr. Peter G. Meyerhof we've discovered that the photo in question was one of two adobes owned by Mariano's younger brother, Salvador Vallejo. According to one source, a portion of the building was occupied by the El Dorado Hotel in 1849. Between 1858 and 1864 it was the home of Cumberland Presbyterian College, and then again, the El Dorado Hotel. The north end was destroyed in the 1906 earthquake, but rebuilt and is still occupied by the El Dorado Hotel. Salvador Vallejo's other adobe would later be become the Swiss Hotel."

Submitted by Peter G. Meyerhof on December 2, 2015 - 8:34pm

"It is also worth mentioning that in early April 1848 this building, then known as the Colonnade building housed the first theatre (regular plays performed to a paying audience) anywhere in California. The actors were a group of men from Company C of the Regiment New York Volunteers who had time on their hands. The productions are described in a contemporary newspaper. Monterey has claimed incorrectly to be the site of the first theater in California, but plays were first performed there only several months subsequently."



EL DORADO

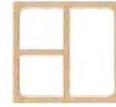
SONOMA

CURRENT EXTERIOR PAINT COLORS





EL DORADO
SONOMA



EL DORADO HOTEL & KITCHEN BRANDING

HOTEL & KITCHEN OVERVIEW

El Dorado Hotel & Kitchen is a fun, stylish and lively boutique destination for visitors year-round, known for its urban sophistication and wine country spirit. Located right on the Sonoma square in the center of the action, the hotel easily accommodates large parties, weddings and pre-wedding festivities and offers many options for private dining to celebrate any occasion. El Dorado Hotel & Kitchen reflects the casual elegance of Sonoma and includes extra touches that welcome guests including a stone courtyard for outdoor dining, a relaxing pool and an inviting fireplace lounge. Guest rooms are plushly-appointed with custom Prima Fleur amenities, a mini-bar, private balcony, flat-screen TVs, Tivoli Bluetooth audio systems and pillow-topped mattresses. The rooms feature a clean, neutral color palette outfitted with furnishings from Restoration Hardware.

The property's destination restaurant features farm-driven California fare from Executive Chef Armando Navarro (trained under some of the best chefs in the country including Jean-Georges Vongerichten, Daniel Boulud, Traci Des Jardins and Richard Reddington), using the best Sonoma County produce. Heavily tilted toward local Sonoma and Napa wineries, the robust wine list is a virtual tour through California wine country and includes more than 200 selections, with additional international wines from France, Italy, Australia and Spain. The craft cocktails are made with passion and a sense of humor, using only the best spirits and fresh juices.



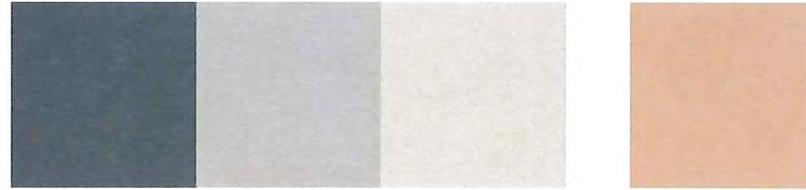
EL DORADO

SONOMA

EL DORADO HOTEL & KITCHEN'S/BRAND COLOR PALETTE

COLORS

PANTONE



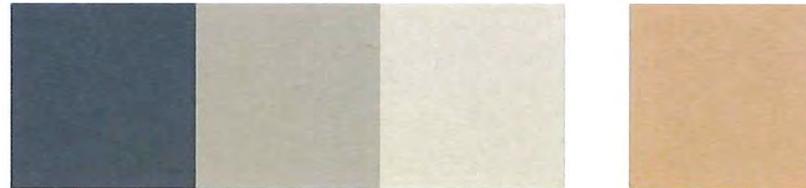
BLACK 6U

WARM
GREY 4U

WARM
GREY 1U

728U

PRINTED (CMYK)



67, 61, 50, 42

35, 32, 49, 3

11, 13, 29, 4

19, 38, 63, 5

ON SCREEN (RGB)



61, 61, 68

163, 156, 132

225, 203, 175

196, 152, 105



EL DORADO

SONOMA

SONOMA PLAZA





EL DORADO
SONOMA

SONOMA PLAZA

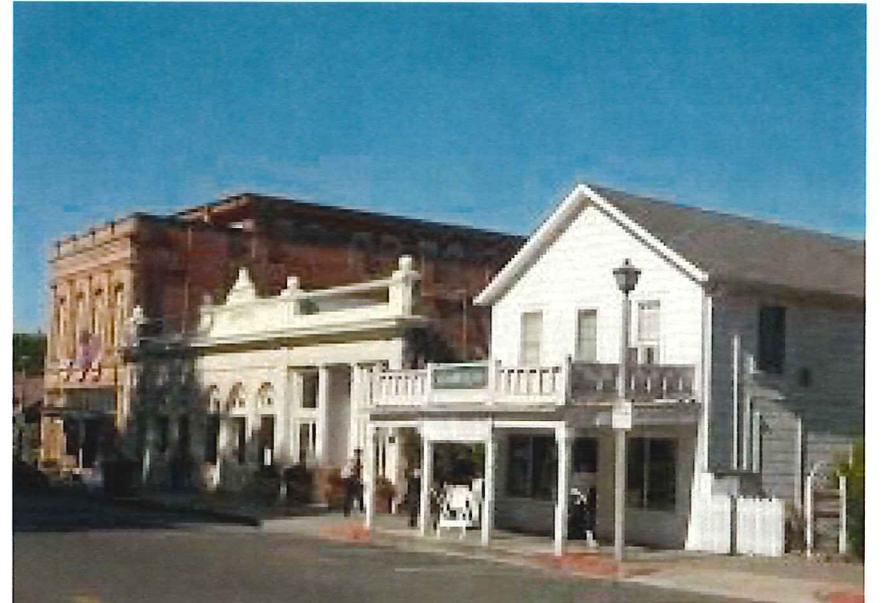
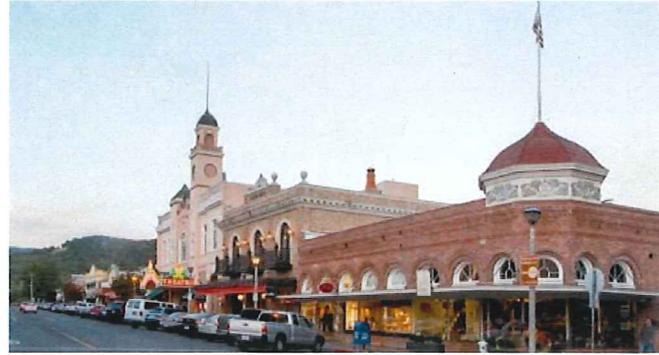




EL DORADO

SONOMA

SONOMA PLAZA

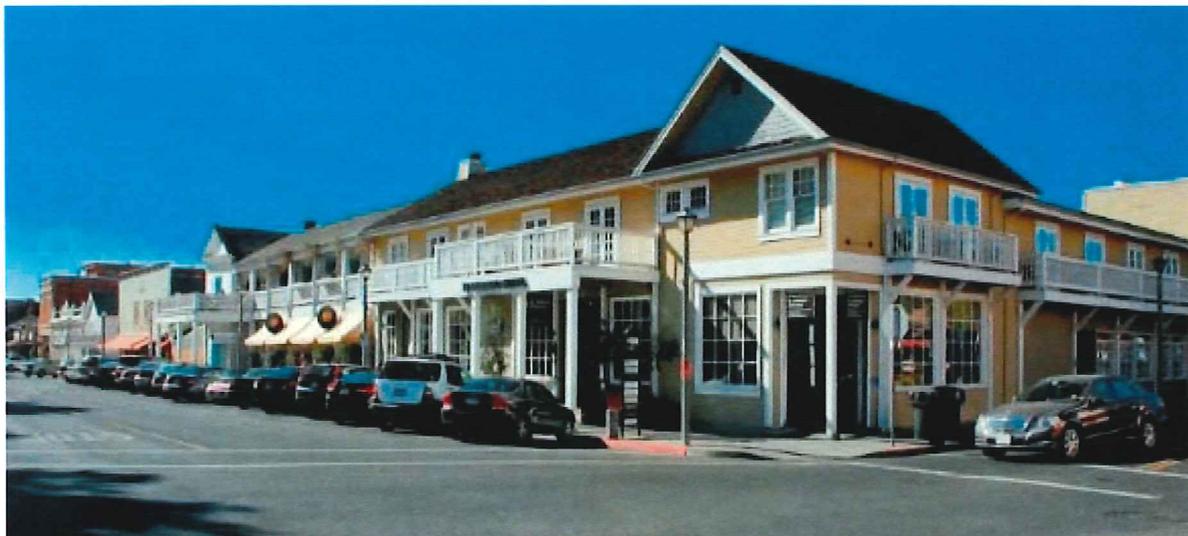




EL DORADO

SONOMA

CURRENT EXTERIOR PAINT COLORS



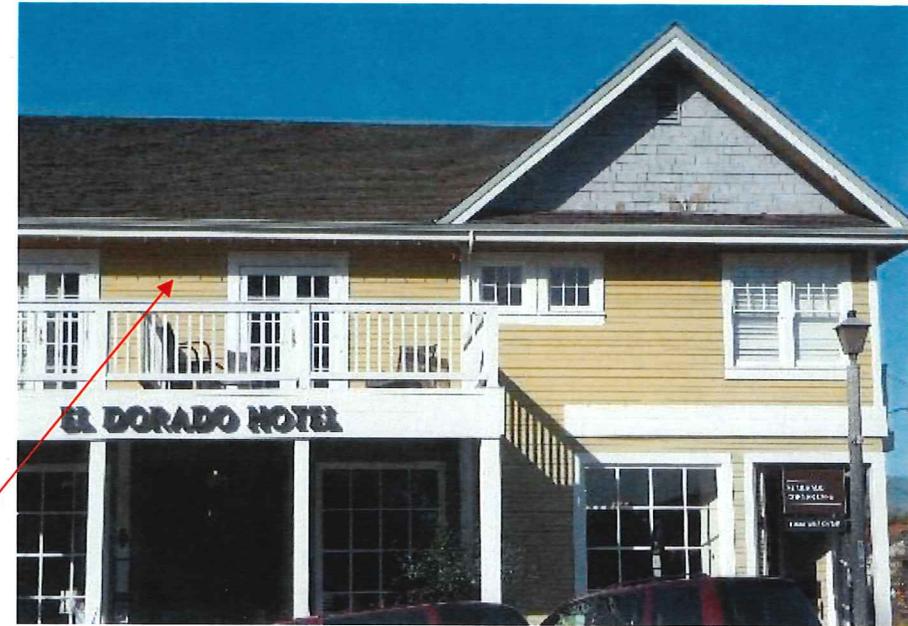


EL DORADO

SONOMA

EXTERIOR PAINT COLORS

Exterior Painting of Entire Building & Trim





EL DORADO

SONOMA

PROPOSED NEW EXTERIOR
PAINT COLORS – A - 25% LIGHTER



A – EXTERIOR
PAINT



B – EXTERIOR
TRIM PAINT



EXTERIOR
ENTRANCE DOORS' PAINT





EL DORADO

SONOMA

PROPOSED EXTERIOR PAINT COLORS
OPTION '1'



A - EXTERIOR – OPTION '1'
BENJAMIN MOORE
PM-8 CHARCOAL SLATE
(CUSTOM - 50% LIGHTER)



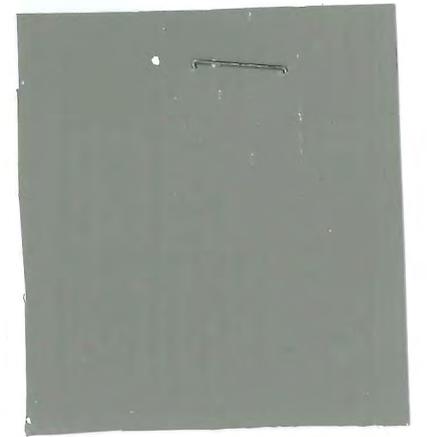


EL DORADO
SONOMA

PROPOSED EXTERIOR PAINT COLORS
OPTION '2'



A - EXTERIOR – OPTION '2'
BENJAMIN MOORE
HC-168 CHELSEA GRAY
(CUSTOM - 25% LIGHTER)



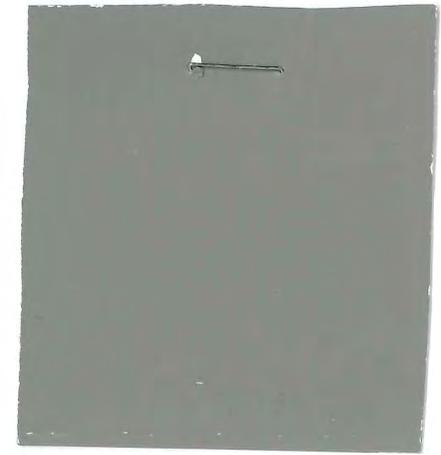


EL DORADO
SONOMA

PROPOSED EXTERIOR PAINT COLORS
OPTION '3'



A - EXTERIOR - OPTION '3'
BENJAMIN MOORE
HC-167 AMHERST GRAY
(CUSTOM - 25% LIGHTER)





EL DORADO

SONOMA

PROPOSED EXTERIOR PAINT COLORS
OPTION '4'



A - EXTERIOR – OPTION '4'
BENJAMIN MOORE
1615 ROCK GRAY





EL DORADO

SONOMA

PROPOSED NEW EXTERIOR PAINT COLORS – LIGHTER GRAY



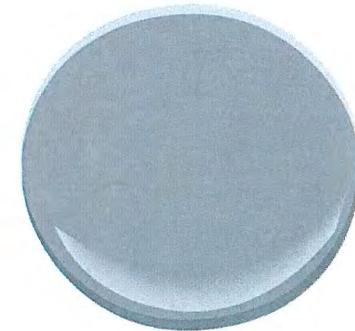
A - EXTERIOR – OPTION '1'
BENJAMIN MOORE
PM-8 CHARCOAL SLATE –
50% LIGHTER



A - EXTERIOR – OPTION '2'
BENJAMIN MOORE
HC-168 CHELSEA GRAY –
25% LIGHTER



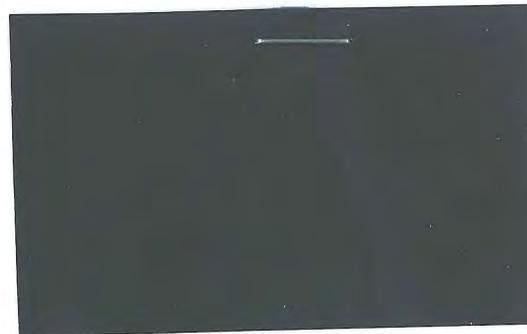
A - EXTERIOR – OPTION '3'
BENJAMIN MOORE
HC-167 AMHERST GRAY –
25% LIGHTER



A - EXTERIOR – OPTION '4'
BENJAMIN MOORE
1615 ROCK GRAY



B - EXTERIOR TRIM:
BENJAMIN MOORE
OC-31 FOG MIST

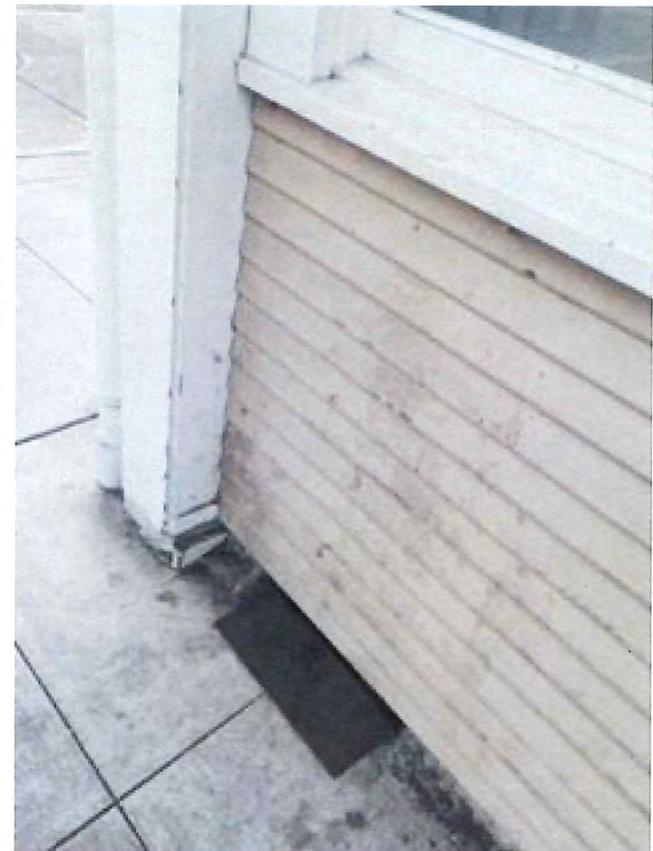


EXTERIOR – ENTRANCE DOORS
BENJAMIN MOORE
1617 CHEATING HEART



EL DORADO

SONOMA



The corner location of the Hotel and Restaurant produces a high-traffic area. The current light paint is more challenging to keep clean.



EL DORADO

SONOMA

PROPOSED NEW EXTERIOR PAINT COLORS – A- 25% LIGHTER GRAY



NEW/REVISED SAMPLE COLORS TO BE PAINTED ON SPAIN STREET ELEVATION ADJACENT TO CAFÉ AND RESTAURANT.

MEMO

To: Design Review and Historic Preservation Commission
From: Associate Planner Atkins
Re: Continued design review of proposed alterations and an addition to the residence located at 227 East Spain Street

Site Description

The subject property is a 12,081-square foot parcel located on the south side of East Spain Street less than two blocks from the Plaza. The property is currently developed with a $\pm 2,000$ square-foot, two-story home with a detached garage connected to a guest room/tower, and separate greenhouse (a swimming pool and some trees at the back of the parcel were recently removed in anticipation of construction). The property slopes downward from East Spain Street to the south (96 to 91 feet above msl). The frontage is improved with curb, gutter, and sidewalk, with a driveway on the east side. A six-foot tall fence is located directly behind the sidewalk along with two Japanese maples trees and a large oak tree in the front yard. The residence was initially constructed circa 1850 with a substantial renovation occurring in 1918 and subsequent alterations since that time. Adjoining land uses consist of single-family homes.

Evaluation of Historic Significance

The property is located within the City's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP district. A recently updated Historic Resource Evaluation and Determination of Effect prepared by APD Preservation (enclosed) found that: 1) the home does not appear to be historically significant as an individual resource due to loss of integrity; 2) it is significant as a *contributing* resource to the streetscape and surrounding NRHP district. This finding is consistent with the determination of the initial assessment, but the revised report incorporates responses to questions that were raised regarding the analysis. As requested by the DRHPC, the historic consultant met with representatives of the League for Historic Preservation in order to clarify question areas, resolve areas of disagreement, and discuss potential modifications to the design.

Background

At the November 17th DRHPC meeting the DRHPC conducted a preliminary review of proposed alterations and an addition to the residence located at 227 East Spain Street. The DRHPC continued the review of the project to a future meeting and provided the applicant with feedback with regard to site design and massing of the project:

- The massing of the building is excessive and it may appear too large from the street.

- The existing west elevation, with the inclusion of the bay window, should be retained.
- The intensity of the color selection should be toned down to fit in with the neighborhood. In addition, an alternative color scheme was requested.
- A preference for a “salt box” roof-line was expressed.
- It was suggested that the garage be detached from the residence and set back further from the street.
- Streetscape perspectives were requested.
- The drawings should better distinguish existing building element from new construction.
- The project may not be consistent with the Secretary’s Standards for Rehabilitation.
- The design of the façade should be revised to fit in better with the existing streetscape.

At the December 15th DRHPC meeting the Commission reviewed a revised proposal. In the revision, basic direction of filling in the residence with a two-story addition on the east and increasing the overall roof height was retained. However, the added building element was stepped back two feet from the face of the existing building and the height of the new roof-line was reduced. The use of a different dormer design and siding were also proposed as a means of distinguishing the original from the new. Following an extensive discussion, the DRHPC continued the review of the project to a future meeting and provided the applicant with the following feedback:

- Improve the differentiation between the original structure and the proposed addition, perhaps by using a connecting building element.
- The addition to the front of the original building should be a single story element to better differentiate it from the original structure.
- Retain the look of the older smaller residence.
- Windows can be used as a tool to differentiate the old from the new.
- By modifying the front elevation and changing the height of the roof, the project may not be consistent with the Secretary’s Standards for Rehabilitation. Instead, it would be preferable to retain the original elements of the front facade, including the roofline, employ a larger setback and greater differentiation of any additions, and focus the placement of new construction at the back of the residence or set back from the front of the original structure.
- Provide a larger setback for the addition (twelve feet or more).
- Provide a 3-dimensional rendering.

These directions were provided by individual Commissioners and do not necessarily represent a consensus of the Commission. However, it appeared through the discussion that while two Commissioners felt that the revised project was acceptable, three Commissioners were concerned that it still did not adequately comply with the Secretary of Interior Standards for Rehabilitation.

Revised Project Description

At this time, a revised proposal has been prepared and is presented to the DRHPC for review including a letter from APD Preservation LLC stating that the revised project is consistent with the

Secretary of the Interior's Standards for Historic Preservation (attached). The revised proposal features the following modifications:

- The façade of the existing home shall be restored and the outline of the 1918 renovation will be maintained.
- The addition will be set back twelve feet from the front façade of the existing home, and the new garage will be set back five feet from the face of the connecting building element.
- The style of the addition employs Monterey Colonial features, with wood timber upper level balconies, stucco walls, and a clay tile roof. This approach clearly distinguishes it from the original structure.
- Multiple-light windows are featured on the old portion of the building and 2 over 1 windows are featured on the new addition.
- New horizontal wood siding will not have the cove-lap joints, but coursing joints that will align with the coursing joins of the main house siding.
- A revised color scheme has been provided.
- An alternate style of shingle roof material has been proposed consisting of Zappone aluminum shingles, slate gray in color (the applicant would like both options to be approved by the DRHPC).

The revised elevations and color scheme are attached, along with streetscape elevations showing nearby residences.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a Historic Resource Evaluation and Determination of Effect was prepared for the residence and suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an analysis was conducted to determine whether the proposal is consistent with the Standards (refer to attached Historic Resource Evaluation and Determination of Effect 227 East Spain Street, Sonoma, Sonoma County, California, prepared by ADP Preservation and letter from APD Preservation LLC stating that the revised project is consistent with the Secretary of the Interior's Standards for Historic Preservation). The analysis concluded that the proposed project meets the Secretary of the Interior's Standards for Rehabilitation, which means that application is considered to be categorically exempt from CEQA.

Required Findings: As set forth in §19.54.080.G of the Development Code, in order to approve an application for site design and architectural review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. *The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.*

The project complies with the applicable policies and regulations set forth in the Development Code.

2. *On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.*

The elements of the property that contribute to the overall time, place, and historical development of the Sonoma Plaza NRHP District are its location, setting, material, and feeling. By preserving and restoring the original structure and by clearly distinguishing the new building elements from the original structure through setbacks, design and materials, while maintaining compatible scale and massing, the proposed project would not impair those aspects of the property. Therefore, the project is consistent with the applicable design guidelines of the Development Code.

3. *The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.*

The project proposes a residential addition, which is compatible with adjacent development and consistent with height and setback requirements. As noted above, the large oak tree on the site would be preserved.

4. *The project will not impair the historic character of its surroundings.*

The front elevation of the original residence will not be altered, except by relocating the front door several feet to the east, centered under the existing second story dormer. The project includes a proposed residential addition, which would be setback 39 feet from the north property line. This addition will not significantly diminish public views of the original residence and it complies with height, setback, coverage and other applicable limitations of the Development Code.

5. *The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.*

While the property is identified as a contributing resource to the Sonoma Plaza NRHP District, the Cultural Resources Evaluation concludes that it does not appear to be historically significant as an individual resource because of loss of integrity. However, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district. The façade of the original building will be retained and restored; thereby, preserving its compatibility with the site and its surroundings as well as its contribution to the NRHP district. The proposed addition to the house is set back from the original building and clearly distinguished from it in terms of its design and materials, but is compatible in its design, scale, massing, and materials.

6. *The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).*

In staff's view, the project complies with SMC 19.42 in that the retention and rehabilitation of the original structure preserve its essential architectural features and thereby further its contribution to the historic character of the surrounding neighborhood.

7. *The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.*

The project is not located within a local historic district.

8. *The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.*

The Historic Resource Evaluation and Determination of Effect on Historic Resource prepared by APD Preservation finds that the elements of the property that contribute to the overall time, place, and historical development of the Sonoma Plaza NRHP District are its location, setting, materials, and feeling. The proposed project would not impair those aspects of the property. Furthermore, based on the analysis of the compatibility of the proposed project with the “Secretary of the Interior’s Standards for Rehabilitation” and an assessment of the project’s consistency with the City of Sonoma’s current design guidelines, the project would have no adverse effect on the Sonoma Plaza NRHP District.

Since the original building is being preserved and restored, these findings do not rely on the conclusion of the Historic Resources Evaluation that the building is significant as a contributing resource, but not as an individually significant resource. Staff would note that the historic consultant and the League for Historic Preservation concur that the modified design would not cause a substantial change to the historic integrity of the structure as a contributor to the District.

Recommendation

Commission discretion.

Attachments

1. Project Narrative.
2. Historic Resource Evaluation and Determination of Effect: 227 East Spain Street, Sonoma, Sonoma County, California.
3. Letter from APD Preservation LLC, dated January 11, 2016.
4. Picture of Roofing Material.
5. North Elevation.
6. Site Plan.
7. Existing Exterior Elevations.
8. Proposed Exterior Elevations.
9. Proposed Exterior Details.
10. Existing Exterior Details.
11. Neighborhood Elevations.

cc: Robert Baumann (via email)
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Patricia Cullinan, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

George McKale, via email

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P - 707.996.7947 F - 707.996.7904

rb@robertbaumann.com

DATE: January 11, 2016

TO: City of Sonoma, Planning Department

RE: D.R.H.P.C. PROJECT NARRATIVE – Wisialowski Residence, 227 East Spain Street

This submittal has been prepared, and is now being submitted for, our third DRHPC hearing. The first hearing was deemed a study session, and the second hearing was continued at the option of the applicant. As such, this narrative is divided into 2 parts to quickly and clearly demonstrate how the design has been revised. Part 1 addresses the concerns raised at the second hearing. Part 2 is a reiteration of the general characteristics of the project, most of which have not changed since the first application.

1. Design Revision

The minimal direction offered by the Commission at the last hearing included: a) further subordination of the new from the old (setback and separation); and b) clearer differentiation between old and new in terms of design and materials. A subsequent communication from one of the Commissioners, forwarded to us via the Planning Director, suggested the notion of reversibility; the ability to return the structure to its original design if a future home wanted to do so.

Our design approach now is to preserve and highlight the original old structure. Without raising the ridge height of the existing structure as shown in the previous submittals, the existing upper level is impractical to re-use as habitable space. Our revised concept is to remove the upper level floor (which was unsafe) and vault the interior to be used as the main "public area" of the restored and renovated home. The interior vaulting will highlight our best guess of the original circa 1850 structure, which was originally an ancillary building (perhaps storage) of the Ray Adobe and, after the sub-division of Lot 37, a small, simple residence.

The existing detached garage; guest house and pump house structure on the east side of the home, each of which is non-conforming, were modern additions and determined not to be historically significant. These structures shall be removed and their building materials recycled and re-used where possible. The removal of these structures allows for a new attached garage to be placed in a conforming location with regard to side property line setback.

This prompted the more private bedroom areas of the new home to be placed behind and above the garage to consolidate new square footage and preserve as much of the back yard as possible. The new addition is attached to the main house through a connection element that is a reconstruction of a 2003 dining room addition to the home. That addition does not have historical significance, but given that it exists, our plan is to utilize it to connect the old house to the new addition. The connector is set back 12 feet (versus 2 feet in previous design), resulting in clear subordination of the new addition. This connection element also creates a very clear separation between the old and the new.

We chose a style for the new addition that is iconic to Sonoma, the Monterey Colonial. The intent is not to replicate this style as faux history, but rather be a modern day interpretation of the simple, two-story structure with wood timber upper level balconies, stucco walls and a clay tile roof. We

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utilized a hip roof to minimize ridge height of the new structure and further distinguish its style from the original structure.

The result is that the 1918 Goess structure is preserved and easily discernable by passersby. We have preserved the rear roof pitch as well, so that oblique views of the old house allow the viewer to “see” the 1918 remodeled structure constructed by Andrew Goess.

Our research has concluded that most, if not all of the existing windows are not original. The most likely stylistically original windows are on the west elevation. We're taking that as a cue to create a rationale between old and new fenestration. We utilize multiple-light windows at the old part on the front and side elevations, and more contemporary windows (2 over 1) at the connector and addition. We also decided to “dress-up” the front elevation a little more with border muntin patterns we found in many examples of Queen Ann windows.

We are confident we have adequately addressed the concerns of the commission. This project conforms to the guidelines for design within the Historic Overlay District as well as the Guidelines for In-Fill Development. The proposed forms, scale, fenestration and exterior materials for this project are very respectful of the surrounding structures and maintain this property's contribution to the fabric of Sonoma's historic plaza. We have gone a long way to reversing most of the changes made to the structure since 1918 while restoring the house and adding a visually separate structure to accommodate family bedrooms and requirements of modern living.

2. General Project Characteristics

In anticipation of remodeling an existing home over 50 years old just 2 blocks from Sonoma's historic plaza, the Owner of this property hired Alice P. Duffee of APD Preservation, LLC, to conduct an evaluation of the historic character of the house. The results of her research have been compiled in the previously submitted Historic Resource Evaluation (HRE). Alice's research has determined that the structure *individually* is not historically significant due to loss of integrity; in other words, no single element or feature is an authentic, historically important component. However, according to the Historic Resource Evaluation, the building does still “*remain significant as a contributing resource to the streetscape and surrounding NRHP district*”. Design features at the front of the house should be preserved, and the final character, scale and style should be compatible with neighboring structures.

Approximately 1638 square feet of living space shall be added on to the home, along with a garage of 523 square feet, expanding the building footprint to the east and south. The new connection element to the new addition will be set back 12' from the front façade of the existing home, and the new garage and will be set back an additional 5 feet from the face of the connection.

The façade of the home shall be restored, and the outline of the 1918 renovation will be maintained. Existing foundations at the perimeter of the home shall be re-used where possible. Exterior materials, door styles and window styles shall all be preserved or replaced in like kind if they have deteriorated beyond re-use. The majority of exterior wall surfaces have horizontal wood siding with a cove-lapped joint and 8" exposure. Other types of siding that resulted from various renovations and additions over the years shall be replaced with siding to match existing cove-lapped siding.

The existing 1988 square foot house is located fairly close to the street, encroaching into the front yard setback approximately 3 feet. Unfortunately, the structure is less than acceptable in its existing condition and much of it needs to be rebuilt. The guidelines for Preservation and Adaptive Reuse recognize that additions to historically valuable structures may be necessary to ensure their continued use, and promote the preservation of essential architectural features. The original

challenge posed the question of what exactly needed to be preserved – our approach now is to preserve the entire original structure as seen from public view.

A number of diseased and poorly located small trees have been removed. A large oak tree in the front yard, characteristic of the older downtown parcels, shall be preserved. The existing fence in the front yard, non-conforming in its height, shall be replaced with a new fence conforming to height guidelines.

Exterior materials at the connection will relate to, but not be an exact duplication of, exterior materials on the existing historic home. New horizontal wood siding will not have the cove-lap joint, but coursing joints shall align with the coursing joints of the main house siding. Revised color specifications have been submitted and a material sample board will be presented at the hearing on December 15th. Materials at the new addition will be completely different than exterior materials on the new home.

The Owner is an advocate of sustainable building practices. In addition to the mandatory requirements of the CalGreen building code, the following measures and systems are being incorporated into this project:

1. Donation of deconstructed materials to Habitat for Humanity including stone pavers, plumbing fixtures and lighting fixtures.
2. Recycling of existing wood framing as interior accent features.
3. Re-use of existing concrete foundations and various building materials where possible.
4. Efforts to improve storm water management on site, including implementation of water retention swales, and permeable driveway and walkway surfaces.
5. Adoption of water efficiency measures, including specifying low-flow plumbing fixtures, and drought tolerant plants allowing low-volume landscape irrigation.
6. Implementation of photovoltaic panels as the primary source of electrical power; high-efficiency water heaters and furnaces, Energy Star rated appliances; and Dual pane, low-E clad wood windows shall be used throughout.
7. Maximizing indoor environmental quality through the use of products having zero to low Volatile Organic Compound (V.O.C.) emissions or off-gassing.

If you require additional information, or have any questions about the submitted material, please contact me at your earliest convenience.

Thank you,

A handwritten signature in black ink, appearing to read "Robert Baumann", with a long horizontal flourish extending to the right.

Robert Baumann, *Architect*



APD Preservation LLC

11 January 2016

Bill Wisialowski
bill@wiz3.com

Subject: 227 East Spain Street

Dear Mr. Wisialowski:

Thank you for giving me the opportunity to review your revised project for 227 East Spain Street in Sonoma. The current design involves a "Monterey Colonial" style addition abutting the existing 2003 dining room wing and extending along a north-south axis along the eastern border of the parcel, towards the rear of the property.

The exterior of the original block of the house (ca. 1918) would remain virtually unchanged. The front door would be relocated several feet to the east, centered under the existing second storey dormer. The modern (1991) bathroom addition on the west side would be removed, and the two dormers at the rear of the house would be reconfigured into a single shed dormer. On the east elevation, several windows would be infilled. Window sash would be replaced throughout the older section of the house.

The "Secretary of the Interior's Standards for Historic Preservation" (36 CFR 67) were established to "provide direction in making appropriate choices in planning the repairs, alterations, and additions that may be part of a rehabilitation project."¹ While not regulatory, they are specifically cited in the California Environmental Quality Act (CEQA) (CPRC § 21000 et seq.) as the vehicle for evaluating the impact of a project on the historic character of a resource.

This project is consistent with those standards. Standards 9 and 10 are most relevant to this project.

1. The house would remain in its historic, residential use.
2. The "Queen Anne" character of the original block of the house would remain unchanged. Those physical characteristics that render the structure a contributing element to the surrounding NRHP district (location, setting, material and feeling) would remain intact.
3. The project avoids conjecture and false historicism as applied to the original block of the house.
4. The 1918 "Queen Anne" feel of the original block of the house would be retained and restored by the removal of the 21st century bathroom addition on the west wing and the replacement of the modern vinyl windows with more historically accurate wood windows.
5. The proposed project retains the distinctive "Queen Anne" shingles, bay window, siding, and overall form.
6. **N/A** ("repair rather than replace deteriorated historic features")
7. **N/A** (Use gentlest chemical/physical treatment)
8. **N/A** (See my November 2015 comments archeological finds included in my "Historic Resource Evaluation and Determination of Effect," pages 12-13).

¹ <http://www.nps.gov/tps/standards/applying-rchabilitation.htm>



APD Preservation LLC

9. **“New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”² (emphasis added)**

The proposed project would not damage, destroy or obscure any “historic” materials, features or spatial relationships. The addition would abut a *modern* wing (2003); it would have no physical interface with the older section of the house. The dormers to be reconfigured at the rear of the house are modern additions (2003), as well. The front door to be replaced is also a late 20th century application.

The “Monterey Colonial” style clearly differentiates the addition from the older “Queen Anne” structure, and is compatible with the surrounding NRHP District.

Similarly, the addition is clearly differentiated from the older section of the house by its 17’ setback from the primary (streetside) elevation of the older structure.

While the garage and second floor porch would be visible from the street, the majority of the addition would be at the *rear* of the site, obscured from public view. The addition would be roughly the same height as the older section of the house, though separated from it by a “hyphen,” or connector. The addition would be setback 48’ from the street, thereby visually minimizing its massing from the public right of way.

10. **“New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”³**

The proposed project is fully “reversible.” The addition is its own separate entity, abutting a modern wing and could be easily removed in the future, with no impact to the older section of the house. Similarly, enough documentation exists to allow for the replacement of the east elevation windows should a future owner so desire.

Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,

Alice P. Duffee
APD Preservation LLC

cc: Robert Baumann, rb@robertbaumann.com
Robert Demler, President, Sonoma League for Historic Preservation, robertcdemler@gmail.com

² <http://www.nps.gov/tps/standards/rehabilitation.htm>

³ <http://www.nps.gov/tps/standards/rehabilitation.htm>

Historic Resource Evaluation and Determination of Effect
227 East Spain Street, Sonoma,
Sonoma County, California
(APN 018-222-019-000)



Prepared for:
Bill Wisialowski
bill@wiz3.com



Prepared by:
Alice P. Duffee, Historic Preservation Planner
APD Preservation LLC
July 2015, revised November 2015

DEC 07 2015

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Project Overview & Executive Summary

The owners of the property at 227 East Spain Street in Sonoma, California, are assessing the historic character of the house on this property and assessing the impact of a proposed renovation project on the resource. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. They have also hired Alice Duffee to assess the proposed project's potential impact on the resource. This report is the result of those evaluations.

Historic Resources

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does qualify as an historic resource under the California Environmental Quality Act (CEQA) because of its inclusion as a contributing element to the Sonoma Plaza National Register Historic.

A structure has occupied this lot since at least 1852, though that original house has since been engulfed in a 1918 renovation and exists only as a few structural members embedded within the current walls. The Goess Family purchased the house shortly before 1900 and embarked on a major renovation project in 1918, adding a Queen Anne façade, removing a wing, raising the building a half storey, and adding a back porch. The house stayed in the Goess family nearly 80 years, until it was sold in 1979. Subsequent owners embarked on a long series of renovations that have eroded away the buildings historic integrity:

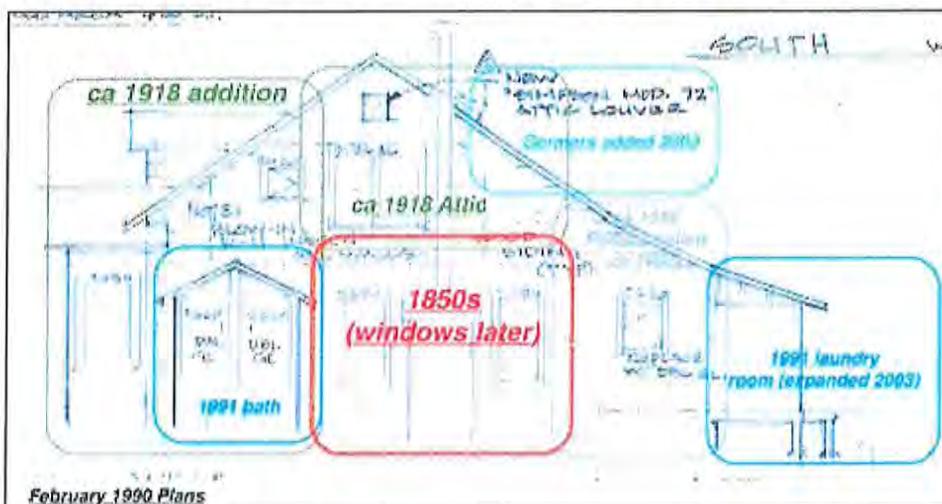
1918: Queen Anne façade, roof redesigned and raised ½ storey, wing removed, rear porch added

1982: rear porch (1918) partially infilled, wing added off of SW corner

1991: bathroom wing on west

2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

The severe loss of integrity of design, materials, feeling, and workmanship render the building not historically significant as an individual resource. However, the façade of this building and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district. Historically significant resources near the property include the Ray-Nash Adobe immediately to the west, the Adler House across the street, and a frame house immediately to the east (245 East Spain Street).



Proposed Project

The owners of 227 East Spain Street propose to raise the ridgeline of the oldest section of the house by 18" and replace the 2003 wing on the east with a new wing that extends towards the rear of the property. This new wing would also replace the existing garage/guest house, which would be demolished as part of this project. At the rear of the house, the owners propose to remove the 1982 wing off the kitchen, reconfigure the porch and rebuild the dormers.

Determination of Effect

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation" and the City's guidelines as outlined in the Municipal Code, the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) and CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.
- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

Methodology

On July 12, 2015, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Northwest Information Center (NWIC)
- Sonoma County Recorder's office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

Evaluator qualifications

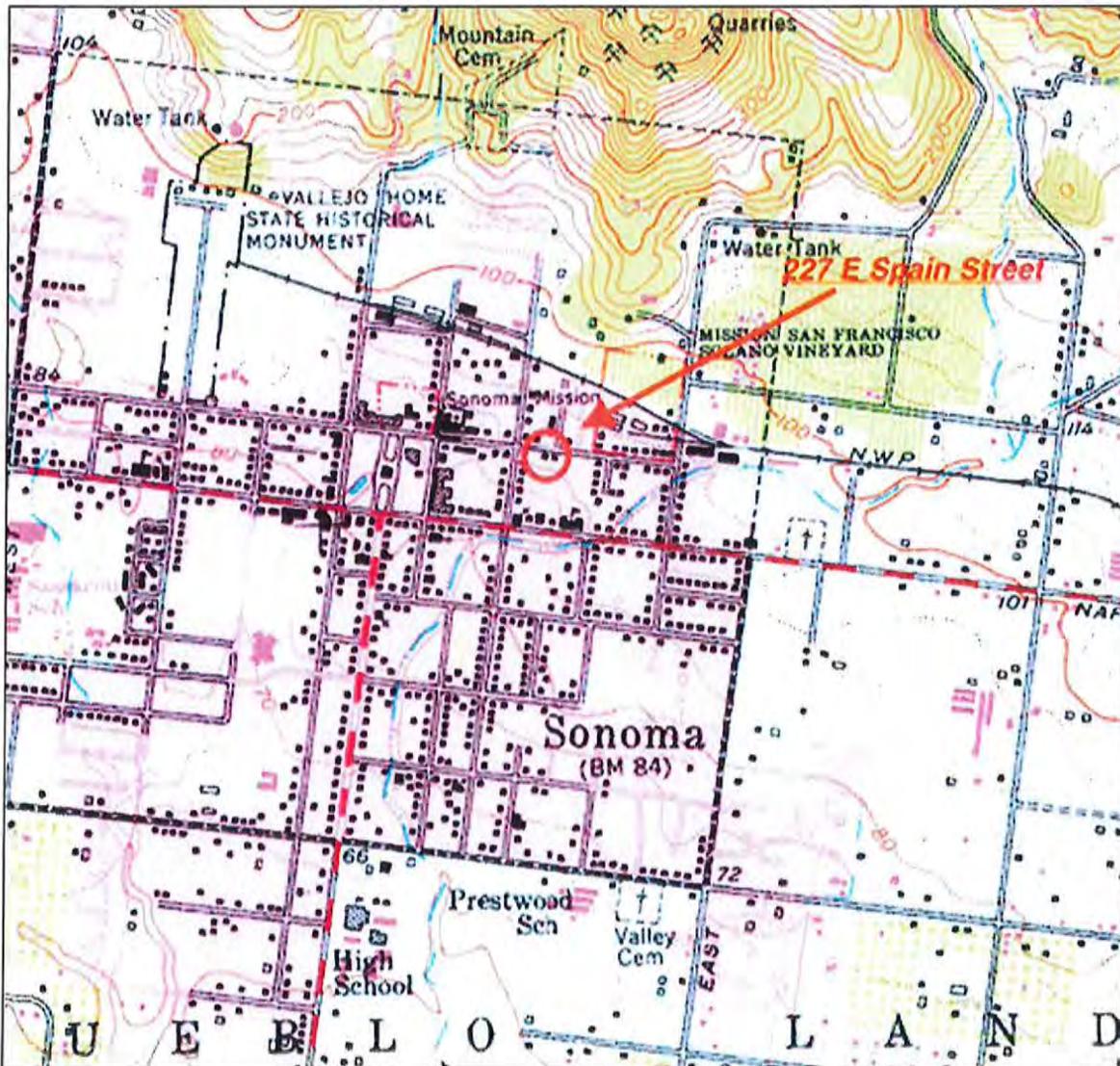
Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the house at 227 East Spain Street in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical



Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

Site Location

The house at 227 East Spain Street sits on the north side of East Spain Street, just east of the intersection of Second Street East in the City of Sonoma. A 6' wood board fence surrounds the entire property, shielding it from view from the street and its neighbors. The streetscape is established mature landscaping around modest single-family residences from the early to mid twentieth century. This section of East Spain Street has two lanes of traffic (two-way) with street parking on both sides.



Location of 227 East Spain Street (Sonoma Quadrangle, USGS Map, 2012)



Aerial view of Parcel

Description

The one-and-a-half-storey cottage at 227 East Spain Street consists of a central block with additions on the east, south and east sides and a projecting bay off of the front facade. The house is further set back from East Spain Street than either of its neighbors to the east or west. It is separated from the street by a sidewalk, mature trees, and a 6' wood board fence. All sections of the structure are clad in wood shiplap siding and rest on a modern concrete foundation. The roof was most recently replaced in 1999 with modern composition shingles.

The primary, gable-roofed block has a shed-roofed porch that spans the eastern two-thirds of the façade and terminates in the three-sided, gabled-roofed bay window off the northwest corner. The front door is centered on the primary (north) façade and consists of a pair of Queen Anne style, arched light, French doors with two raised and heavily moulded panels below the lights (see figure 3). A modern (2003) bay window projects from the wall east of the doors. The three windows of the bay are one-over-one, double-hung modern windows (see figure 6). The gables of the 2nd storey dormer and the projecting bay are filled with scale and diamond shape shingles. The dormer features three vertical windows of five lights each. Modern (post-1978) turned posts support the porch roof (see figure 4). The porch floor is painted wooden boards. The overhanging eaves of the porch, dormer and house all display scrolled rafter tails (see figures 2 and 4).

A modern (2003) gable-roofed addition dominates the east elevation. The decorative details of the original block have been repeated on this wing: shingled gable, scrolled rafter tails, shiplap siding, louvered ventilation opening (see figure 7). Two fixed pane windows occupy the east façade of the addition. On the principal block of the house, a pair of one-over-one, double-hung wood windows occupies the gable and is surmounted by a louvered ventilation opening into the attic (see figures 7 and 12). A modern (2003), shed-roofed bay window butts up against the addition where the north façade meets the older block of the house (see figure 14).

The rear of the house faces south and is an eclectic mix of renovations over the past century. A pair of gable-roofed dormers (2003) has been cut into the roof to provide more living space in the second storey attic. Another gable-roofed addition with a shingled gable end and scrolled rafter tails projects off the southwest corner of the main block. Shed roof porches, supported on square 4 x 4 posts, span the 2003 addition on the east as well as the east two-thirds of the main block of the house. A wood deck unites the

main block and the eastern addition. A pair of modern French doors accesses the deck from the addition, while a single door accesses the deck from the main block. One-over-one, double-hung, modern windows flank the back door. A single one-over-one, double hung window is centered on the south façade of the addition on the southwest corner. Modern solar panels occupy the south facing roof slopes (see figure 15).

The west façade features a pair of six-over-six, modern, double-hung replacement windows set in a simple wood frame in the gable. A smaller, one-over-one, double-hung window is positioned immediately north of the pair of windows. A louvered ventilation opening is at the top of the gable. Two six-over-six, double-hung windows flank a metal flue pipe that runs up the side of the building, venting the first floor fireplace. The hot water heater is enclosed in a shed roofed, clapboard cabinet south of the chimney flu (see figure 24). A hip-roofed, three sided bay projects from the kitchen. A modern (1991) addition projects from the northwest corner, towards the west property line, and contains a large bathtub (see figure 29). All of the original windows on this elevation have been replaced.

The other structure on the property is a combined garage/guest house. Like the main house, the building is wood frame with a gabled roof. A single garage door and a pedestrian door occupy the north end, while the west façade has two 6-paned windows. The board and batten addition on the back was constructed in 1990 and copies designs of local water towers. Exterior wood stairs lead to a room and porch on the second floor (see figures 35 and 37).

A modern pool (ca. 1980) occupies the rear section of the yard (see figure 38).

Permit records for this property include:

- 1958: electrical upgrades
- 1959: replacement of the garage
- 1979: a new foundation
- 1980: a pool
- 1983, 1989, 1999: roofing
- 1990: modifications to the garage/guest house
- 1991: bathroom expansion (west side)
- 2003: major renovation (addition on east, addition on southwest, dormers on rear)

Historical Context of Sonoma

The house at 227 East Spain Street is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

History of 227 East Spain Street

The lot that contains 227 East Spain Street was on the northeastern corner of what was originally known as Lot 37 on the early pueblo map of Sonoma. The earliest mention of a structure on the property appears July 14, 1851 when Joseph & Nancy Ann Neville sold the property for \$2,000 to Robert Hopkins who, according to the deed, was already living on the property.¹ John G. Ray had erected an adobe house next door (on the corner of East Spain and 1st Street East) in 1847 and sold off the land containing the project area to Neville in 1850.² Ray or Neville may have erected a small frame building on the current parcel sometime between 1847 and 1851, though there is no further record of it. Otto V. Geldern's 1875 map shows the Ray Adobe, but no building on the project area. Lewis Adler owned the property at this time, and the structure may have been too inconsequential to merit inclusion on Geldern's map.



Detail of Otto V. Geldern's 1875 Plan of Sonoma showing property location.

Robert Hopkins was born in Kentucky in 1822, and came to Sonoma from Vermont with his family before 1849. In 1849, he was chosen as the first District Judge for Sonoma. He served as the first mayor of Sonoma from 1853-1854. By 1860, however, he had relocated to Napa and his family had returned to Vermont.³

Lewis Adler had bought the property at 227 East Spain Street before 1865. The property changed hands several more times until George Andrew ("Andrew") Goess and his wife, Jennette Robinson Simmons Goess, purchased the property sometime before 1900.⁴ Andrew Goess was the son of a German immigrant (George Andreas Goess) who arrived in the United States from Bavaria in 1848. Andrew Goess was born in California in 1858 and was living in Sonoma at least by 1870.⁵ In 1882 he married

¹ Sonoma County Deed Book F, page 157.

² Sonoma County Deed Book A, page 32.

³ 1860 US Federal Census.

⁴ The 1900 US Federal Census shows the Goess family living in this house, though I have not located the deed for this property transfer in the records of the Sonoma County Recorder's Office.

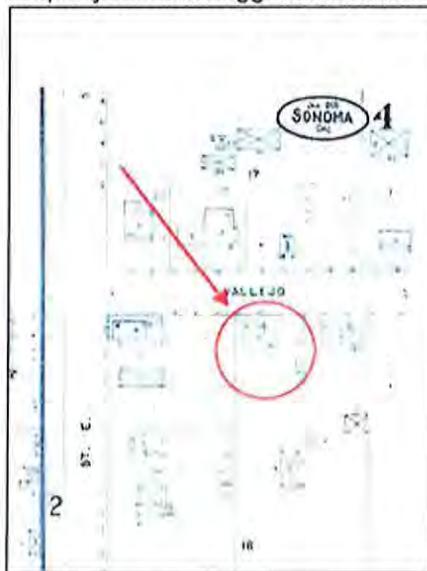
⁵ 1870 US Federal Census.

Jennette Robinson Simmons. Andrew Goess was a carpenter and had four children with Jennette.⁶ They owned the property until 1921 when the couple gifted it to their two married daughters, Jennette Goess Homer and Hazel Goess Fowler.⁷ Andrew Goess died August 15, 1926 in Sonoma, followed by Jennette Goess on November 13, 1926.⁸

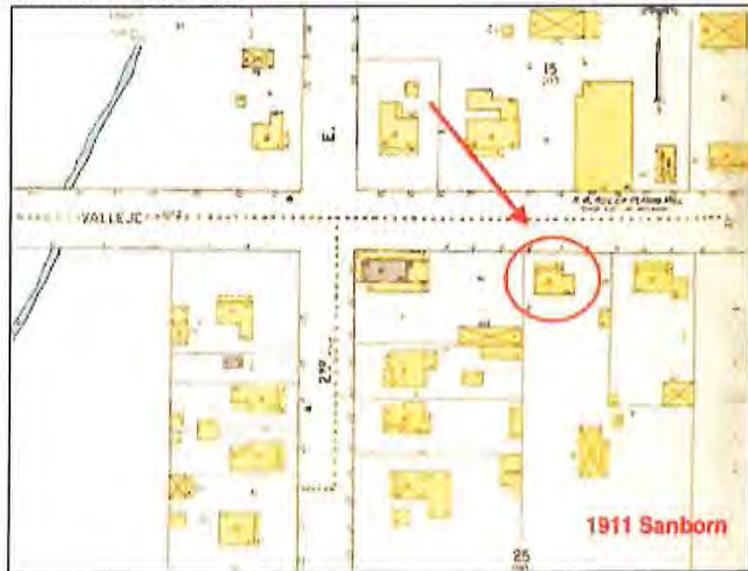
The Goess daughters retained the property until 1979, renting it out while the two sisters resided in San Francisco.⁹ Jennette Homer died in 1938 and willed her share of the property to Hazel Fowler, who later sold the property in 1979 to Peter Law.¹⁰ Hazel Fowler died August 18, 1981. Peter Law sold the property three years later to a widowed realtor from San Francisco, Elizabeth Evans. Penny McNaughton bought the property from Elizabeth Evans in 1986 and her estate sold it to the current owners, William and Karen Wisialowski in May 2015.¹¹

A dwelling appears on the site in the 1905, 1911 and 1923 Sanborn Fire Insurance maps (see maps below). In both 1905 and 1911 the house is represented as a one-storey frame structure with a shingled roof, tile chimney, and one-storey porch across the front. It was roughly "L" shaped, with an addition on the east side of the central block.

On the 1923 map, however, the footprint changes. The main block of the building appears the same, but the eastern addition is gone. The front section of the building is now 1½ storey, frame, shingle roof, tile chimney, with a three-sided bay window off the northwest corner and a porch across the front. A one-storey, frame section with a shingled roof on the rear of the house also had a porch across its length. Property records suggest that this renovation occurred in 1918.¹²



1905 Sanborn Fire Insurance Map



1911 Sanborn Fire Insurance Map

⁶ www.ancestry.com

⁷ Sonoma County Deed Book 110, page 499.

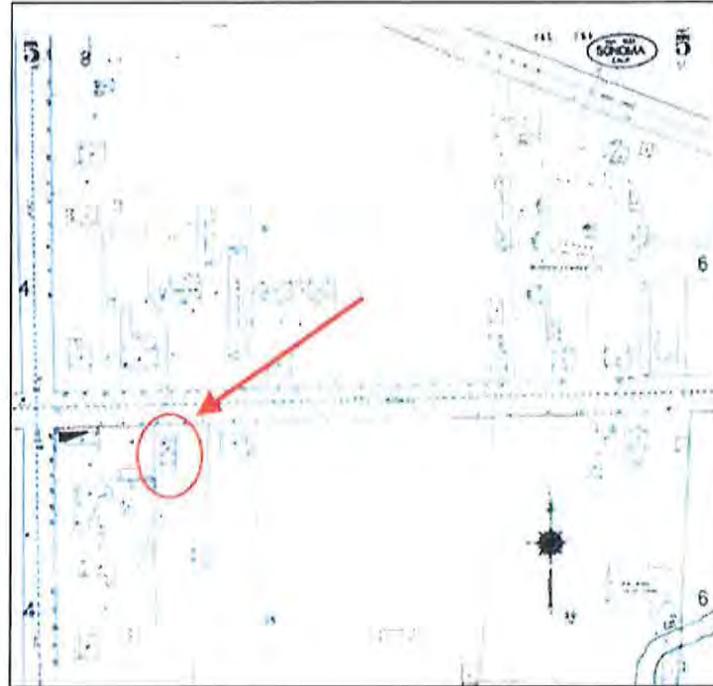
⁸ Both are buried in Mountain Cemetery in Sonoma. www.ancestry.com

⁹ Jennette moved to Los Angeles prior to her death in 1938. www.ancestry.com

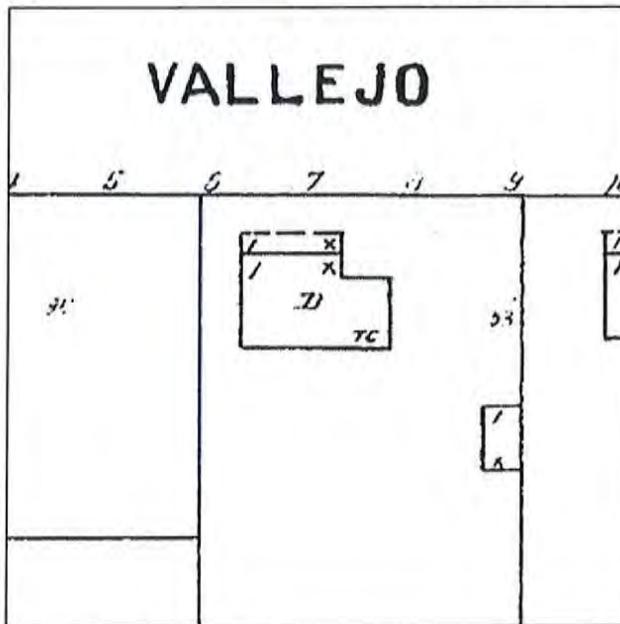
¹⁰ Sonoma County Deed Book 470, page 203 and Deed 1982058617. Decree of Distribution Book 2141, page 406.

¹¹ Property records do not support the Sonoma Index-Tribune article of 11/13/2003 that states that the O'Neals owned the property. The O'Neals may have rented the property, though. Similarly, Robert Hopkins was from Maryland, not Kentucky, and the house was not added onto until 1911-1923 (not the 1880s or 1890s). It may have resembled the house to the east, though we have no documentation to that effect. And neither one of them would be considered "salt box" in design.

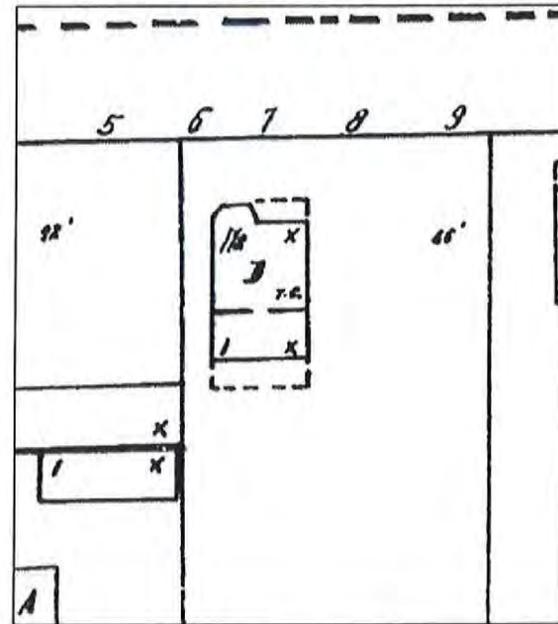
¹² I found no newspaper references or permit history to confirm this information, but it is within the timeframe of 1911-1923.



Sanborn Fire Insurance Map, October 1923.



1905 Sanborn Detail



1923 Sanborn Detail



An inspection of the interior of the house indicates that the main block of the 1850s building was incorporated into the larger c.1923 dwelling. Type B Machine cut nails (ca. 1820 – 1900) are present in the framing members of the walls of what is now the middle room, adjacent to the modern dining room. This section was built using braced frame construction, which was common through the mid-nineteenth century because of its strength and affordability (see figure 30). The beams in this section are also hand hewn and joined with half dovetail tenons (see figure 31). The ceiling in this section is about a foot lower than the ceiling in the north section of the

house, suggesting that they were built at different times, as well. The original house has no evidence of a chimney, though it probably had a wood or coal stove.

The physical and primary resource evidence suggest that the ca. 1850 house possibly built by Robert Hopkins was fully engulfed within a new house constructed by Andrew Goess between 1911 – 1923. Property records indicate that the exact date was 1918. Goess raised the roof another half storey, added an attic, added three rooms and a porch across the front of the house, demolished the east wing, and built a porch across the back. The 1850s front door became the entrance into the back room (see figure 33). He added a staircase in the old block of the house to access the attic (see figure 34). All that remained of the original house was the west wall, the east wall, and the south wall. The roof was gone and the north wall was fully enclosed.

The 1918 addition used popular details, such as the bay window, the shaped shingles and the scrolled rafter ends. There is no evidence that this 1918 addition had a fireplace either, though the Sanborn Maps indicate that it did have a tile chimney, which probably serviced a stove.

Peter Law and Bob Tait undertook the next major renovation in 1982. Besides replacing the foundation, Law and Tait built the pool and redesigned the rear of the house. They partially enclosed the rear porch and built a small addition off the southwest corner as part of a kitchen remodel.¹³ Tait and Law also added or enlarged the windows on the west façade, flanking the flue pipe, cutting into the 1850s brace at the northwest corner of the room (see figure 30). On the front porch, Law and Tait replaced the plain square posts with Victorian-inspired posts and replaced the front door with a pair of Queen Anne-style French doors. The replaced elements appear in the photograph of 227 East Spain included in the Historic Resource Inventory of 1978.



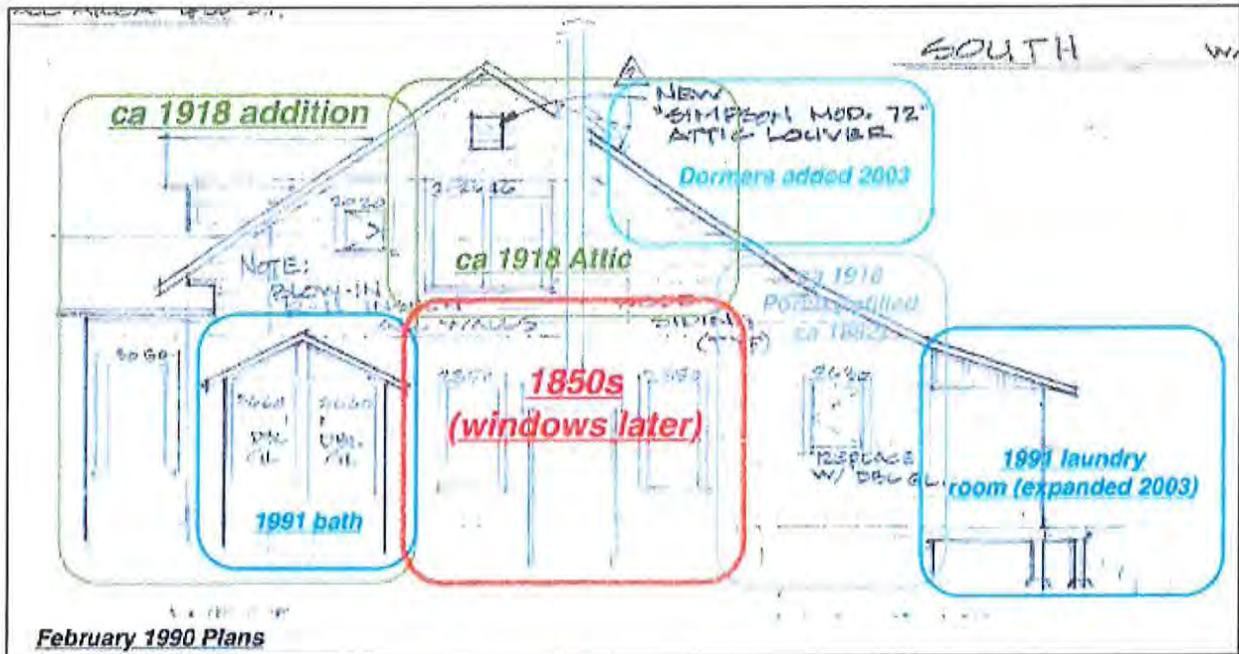
Historic Resource Inventory photo, 1978. Note the square posts and original front door

Penny McNaughton undertook the next three phases of renovation. In 1990 she built the "Water Tower" at the back of the 1959 garage, and in 1991 built the bathtub addition off the northwest corner of the house. She undertook the largest project in 2003:

- construction of a new wing on the east side
- replacement or enlargement of the small wing off the kitchen on the southwest corner
- addition of the two dormers on the rear of the house
- reconfiguring the attic space
- insertion of new bay windows on the north (the window east of the front door), the east (window at junction of new eastern addition), and west (kitchen).

Over the course of the numerous renovations, all of the windows and doors were replaced at least once.

¹³ Henley, "Honoring the Past," Sonoma Index-Tribune, 11/13/2003. And building permit records.



Determination of Historic Significance

In order for a resource to be historically significant it must meet pass three tests: 1) it must be over 45 years old;¹⁴ 2) it must meet one or more of the "criteria of eligibility" (outlined below); AND 3) it must retain enough integrity to convey its significance as it relates to the aforementioned criteria.

The core of the house at 227 East Spain Street is over 165 years old, and its 1918 addition is nearly 100 years old and potentially historic in its own right. The building lies in Sonoma's Historic Overlay District, is included in the Sonoma League for Historic Preservation's "Historic Resource Survey,"¹⁵ and is listed as a contributing element to the Sonoma Plaza National Register of Historic Places (NRHP) Historic District (1992).

However, its integrity has been severely compromised over time to the extent that it is not historically significant as an individual structure. It does, however, contribute to the historic feeling and setting of the NRHP district.

ARCHAEOLOGY

Even though the site has been severely disturbed during 150 years of human occupation, there remains a possibility that buried archaeological deposits could be present and that accidental discovery could occur. In keeping with the CEQA guidelines, if such archaeological remains are unearthed, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds.¹⁶

Prehistoric archaeological indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g. slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items, with the possible addition of bone and shell remains and fire-affected stones.

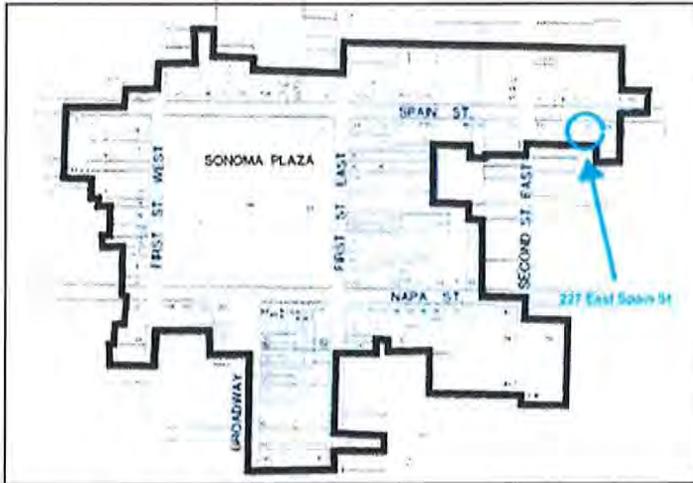
¹⁴ In certain situations, the age requirement may be waived.

¹⁵ Some of the "Survey" information is false, including the name of the property: "Gaese Residence." The construction date of 1900 is also unsupported, though the 1850 date may be correct. Robert Hopkins may or may not have built the house though he did live in a house on the property in 1851.

¹⁶ 14 CCR 15064.5 (f)

Historic period site indicates generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains, such as building foundations and discrete trash deposits (e.g. wells. Privy pits, dumps).

SONOMA PLAZA NATIONAL REGISTER HISTORIC DISTRICT



The Sonoma Plaza National Register District was listed in the National Register of Historic Places in 1975 for its architectural significance and its contribution to the early establishment of the town of Sonoma. The original period of significance for this district was 1825-1849.

The boundaries of the District were expanded in 1992 and the period of significance was redefined as 1835-1944. The 1992 NRHP nomination form describes the district as a "small country town center" characterized by a mix of commercial and residential structures. The broad description in the nomination reads as follows:

USDI/NPS NRHP Sonoma Plaza (National Register Boundary Increase)

Page 3

7. Description

Architectural Classification:

Mid-19th Century: Other: California Monterey Colonial

Late Victorian: Queen Anne, Eastlake

Late 19th and 20th Century Revival: Beaux Arts, Mission, Spanish Colonial Revival

Late 19th and Early 20th Century American Movements: Bungalow

Materials:

foundations: brick, stone walls: frame, stone, brick, adobe

roof: mission tile, asphalt shingle, wood shake

Describe present and historic physical appearance.

X See continuation sheets

This revised district includes 88 contributing resources, and 58 non-contributing resources. For a resource to be included as contributing, it had to "retain architectural integrity to [its] construction date, [retain] integrity of location, and [retain] the ability to convey a sense of history of the change and development of the district during the period of significance." Though not included in the original 1975 District, the house at 227 East Spain Street is included as a contributing resource in the revised district nomination based on the changed period of significance:

54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.

227 East Spain Street Entry from NRHP Nomination (1992)

Many of the "Queen Anne" details that may have been attributed to the significance of this house, including the ornate front doors and turned porch posts, are actually recycled architectural materials applied to the house after 1978 (see HRE for further information and pre-1978 photos).

The house, however, does "convey a sense of history of the change and development of the district" in that it represents the early-twentieth century residential development of the East Side of Sonoma.¹⁷ Specifically, the elements of 227 East Spain that retain enough integrity to contribute to the sense of time, place and historical development of the Sonoma Plaza are its location, setting, materials, and feeling.

CRITERIA OF ELIGIBILITY FOR THE CALIFORNIA REGISTER

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria.¹⁸

Criteria	227 East Spain Street
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	It was not directly associated with a major local or regional development trend or event.
2. Associated with the lives of persons important to local, California or national history.	<p>The original block of the house is associated with Robert Hopkins, who is significant at the local level as the first mayor of Sonoma and the first District Judge of Sonoma.</p> <p>The Goess family owned the house for nearly 80 years, though they only occupied it for the first 25 years. They rented out the property from at least 1926-1979.</p>
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	<p>The 1918 façade typifies early-twentieth century Queen Anne cottages, though its integrity has been severely compromised by the replacement of character defining original details: window, porch posts, and door. The replacement of the porch posts and front door lend a degree of false historicism to the building. Only hints of the structure of the ca. 1850 house remain buried in the walls of the 1918 structure. All of the windows on the building have been replaced, and the rear of the building has been totally redesigned several times.</p>
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	<p>The area has been significantly disturbed by development on the lot, and is not known to contain any archeological resources. No surveys have been conducted on or immediately adjacent to the site.</p>

¹⁷ See also, National Park Service, "Manual for State Historic Preservation Review Boards." (<http://www.nps.gov/nr/publications/bulletins/strevman/strevman10.htm>)

¹⁸ Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



INTEGRITY ANALYSIS OF THE INDIVIDUAL RESOURCE

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.¹⁹

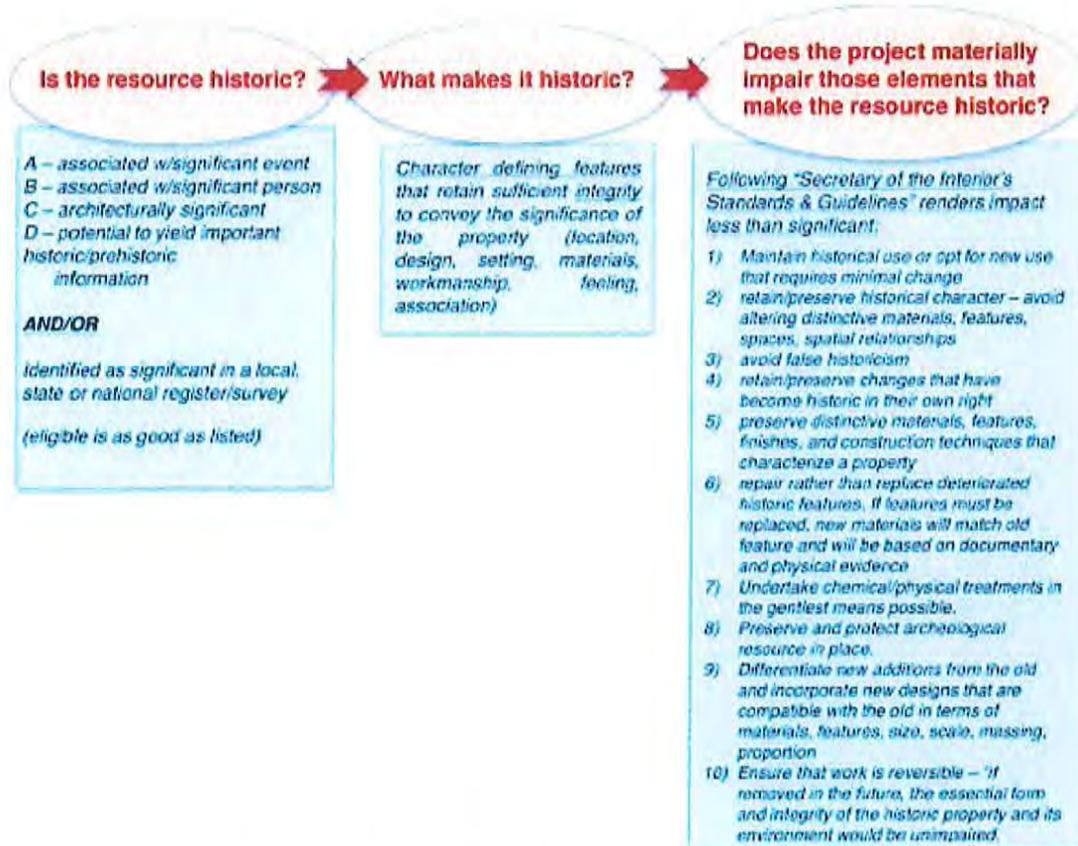
Integrity Element	227 East Spain Street	Conclusion
Location (<i>"place where the property was built"</i>)	All sections of the building retain their integrity of location as they have not been moved or relocated.	INTACT
Design (<i>"combination of elements that create the form, plan, space, structure, and style"</i> (NPS))	The original ca. 1850 design was destroyed during the 1918 renovation with the removal of the east wing, application of a new front façade, and raising of the building by half a storey. The 1982 renovation further eroded the design by filling in part of the 1918 porch and adding another wing on the back. In 1991, yet another wing was added to the west. The <i>coups de grace</i> came in 2003 with the addition of a large wing on the east, the addition of two dormers on the rear, the addition of three bay windows, and the extension of the 1991 kitchen wing.	COMPROMISED
Setting (<i>"physical environment"</i>)	Though the building itself has been altered, the overall residential setting of the project area remains unchanged from the late-nineteenth century: freestanding one and two-story residential structures set back from the street on modest sized lots.	INTACT
Materials	All of the original and 1918 windows and doors have been replaced. The original materials of the ca. 1850 dwelling are encased in the 1918 structure. The entire rear section of the building is new. Character-defining, original 1918 details, such as the porch posts and front door, have been replaced.	COMPROMISED
Workmanship (<i>"evidence of labor and skill"</i>)	The ca. 1850 workmanship remains only in the structural elements encased in the 1918 walls. Some 1918 details remain, such as the scrolled rafter tails and the shaped shingles. Changes to the building over time have neither detracted from nor added to the character of workmanship.	COMPROMISED
Feeling (<i>"expression of the aesthetic or historic sense of a particular period of time"</i>)	On its surface, the cottage retains its 1918 feeling as an early twentieth century, Queen Anne style dwelling. The window replacements, porch modifications, and addition have not diminished this overall "feeling." The embellishment of the porch posts and front door have added to this feeling, lending a degree of false historicism to the property.	COMPROMISED
Association (<i>"direct</i>	The original house that was associated with	COMPROMISED

¹⁹ http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm



link between an important historic event or person")	Robert Hopkins is no longer recognizable due to the extensive renovations made to the property over the last 150 years.	
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California Environmental Quality Act (CEQA) Review



Even though the house at 227 East Spain Street is not individually eligible for listing in the California Register due to its lack of historic integrity, the **house qualifies as an historic resource under CEQA because of its inclusion as a contributing resource to the Sonoma Plaza NRHP District.**²⁰

The physical characteristics that retain enough integrity to render 227 East Spain Street a contributing element to the district (its character defining elements) are its **location, setting, material and overall feeling.**

The next step is to evaluate the impact of the proposed project on those elements that "convey [the house's] historical significance (i.e. its character-defining features)."²¹ In this situation those elements are: location, setting, material, feeling. Ultimately, the house is significant because of its contribution to overall historic streetscape.

²⁰ 14 CCR §15064.5(a)(2)

²¹ California OHP, "Technical Assistance Series #1: California Environmental Quality Act (CEQA) and Historical Resources."

According to CEQA, an adverse effect is defined as one that would “[alter]...the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.”²² Typical examples of adverse effect include demolition, destruction, or relocation. Significant alterations, however, can constitute an adverse effect if they compromise the integrity of those elements that justify the resource’s inclusion in (or eligibility for inclusion in) the California Register.

For alteration projects, CEQA allows that projects that are consistent with the Secretary of the Interior’s Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings “shall be considered “less than a significant impact on the historical resource.”²³

Secretary of the Interior (SOI) Standards for the Treatment of Historic Properties

In September 1977 the National Park Service published its final version of “The Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings” to provide “guidance to historic building owners and building managers, preservation consultants, architects, contractors, and project reviewers prior to treatment.”²⁴

The “Standards” consist of ten directives that provide generalized advice on how to address projects on to historic resources; they are codified in 36 CFR 67. The “Guidelines,” on the other hand, are practical recommendations on how to treat specific design issues, such as mechanical systems, structural systems, windows, new additions, storefront, etc.²⁵

In this situation, the proposed project could impact two historic resources: the NRHP district and the house at 227 East Spain Street. The integrity of the house has been radically compromised in terms of design, workmanship feeling, and association; but its façade continues to contribute to the overall sense of the historic character of the surrounding streetscape.

Therefore, the following SOI analysis looks at both the potential impact of the proposed project on the surrounding NRHP district (as expanded in 1992), as well as its potential impact on those elements of the house that render it a contributing element to the NRHP district (location, setting, materials, and feeling).

Standard	Sonoma Plaza NRHP District (1992)	227 E Spain Street (House)
1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	The building has remained in continuous use as a residence since its construction. No change is proposed.	
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	The building would remain a single-family residence, consistent with the neighborhood around it. The relationship of the house to the streetscape would remain unchanged. Those qualities that render the building a contributing element to the NRHP (location, feeling, materials, setting) would not	The majority of the original distinctive materials, features and spaces have been compromised by a series of projects and are no longer historically significant.

²² 14 CCR §15064.5(b)(1)

²³ 14 CCR §15064.5(b)(3)

²⁴ <http://www.nps.gov/tps/standards.html>

²⁵ <http://www.nps.gov/tps/standards/rehabilitation/rehab/guide.htm>



	change.	
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.		The proposed addition would avoid the use of false historicism in its design, while still using materials, massings and architectural details that are compatible with its historic neighbors (gabled roof, shiplap siding, composition shingle roof).
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.	N/A	Changes to the house over the past 100 years that could have been considered historic in their own right have been compromised by the alteration of their details and application of new design elements. The proposed project, therefore, will have no effect on historically significant modifications.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	N/A	The proposed project preserves the 1918 dormer, bay window and porch on the primary facade. It replaces the front door and porch posts, which were replaced after 1978.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	N/A	N/A
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	N/A	N/A
8. Archeological resources will be protected and	N/A	The proposed addition on the east would occupy land disturbed by the

<p>preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>		<p>previous addition, the driveway and the garage/guest house. The new pool is roughly in the same location as the previous pool, and would not disturb previously undisturbed ground. No surveys have been conducted on or immediately adjacent to the site. See above section on archaeology for recommendations regarding accidental discovery.</p>
<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p>	<p>The scale of the renovated house remains consistent with the surrounding district and individually significant resources (see elevations of neighboring structures in Appendix G).</p>	<p>The proposed addition would be compatible with the older block of the house in its materials (wood siding, composite shingle roof, shingled gables) and design elements (gable roof, dormers, windows). At the same time, these features would be distinguishable from the older elements (e.g. shiplap siding instead of cove siding, shed dormers instead of gabled).</p> <p>The new addition will be set back from the older block of the house by 24", allowing for clear differentiation between the two sections. The roofline of the older section will be articulated, as well.</p>
<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>	<p>N/A</p>	<p>The proposed addition on the east side replaces the 2003 addition, which severely compromised the original materials of the east side of the main block of the house. The proposed addition would have no additional impacts to the house at the first storey, though it would affect the second storey. This secondary elevation is not historically significant either to the building or the streetscape.</p> <p>The reconfiguration of the rear of the house removes modern additions which are not historically significant, including two 2003 dormers and a 1982 addition.</p> <p>The proposal to raise the roof 18" impacts areas previously affected by the installation of dormer windows on the south side of the house.</p>

The "Guidelines for Rehabilitation Historic Buildings" are markedly more specific than the "Standards" and recommend practical treatments for a variety of common preservation design issues, including new

additions to historic resources. Specifically, the Guidelines offer the following recommendations for new additions:

Recommendation	227 East Spain Street
Placing functions and services required for the new use in non-character-defining interior spaces rather than installing a new addition.	N/A
Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.	In this situation, the character defining features are location, setting, material (general), and feeling. The proposed new addition would have no impact on the location or setting and would maintain the general feeling of a single-family residence that typifies this neighborhood.
Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.	The majority of the new addition extends to the rear of the building, though it does maintain a prominent position on the street-facing elevation of the house. It is, however, set back from the original block of the house. The garage is stepped back even further, for a total distance of approximately 39' to the street. Viewed from the east, the addition will mimic the "salt box" profile of the older structure, dipping down to a low point at the rear of the garage before popping up again at the master suite. The effect will add visual interest to the elevation, as well as provide for better light and air circulation for both this house and its neighbor to the east. The massing and scale would also be consistent with the surrounding historic resources.
Designing new additions in a manner that makes clear what is historic and what is new.	The addition on the east would be set back from the original block of the house by 24" and would be clad in shiplap siding instead of the cove siding that covers the older structure.
Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.	The attached exterior addition would be differentiated from the older block of the building by its setback and use of different siding techniques. Its design elements would not copy the older structure, though they would be compatible (e.g. shed roof dormer instead of gable roofed dormer).
Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building,	N/A
Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed	N/A

from the street.	
------------------	--

City of Sonoma Design Guidelines

In April 2015, the City of Sonoma issued a "Request for Proposals" (RFP) for the preparation of Design Guidelines to address the modification of buildings in the Sonoma Plaza NRHP District. These guidelines will address modifications to contributing and non-contributing resources, as well as infill development.

The contract has been awarded to Page & Turnbull, though the product is still in its early stages of preparation. In the meantime, the City of Sonoma's Municipal Code provides basic guidelines for new construction within the Historic Overlay District.

The overarching principle of Sonoma's existing guidelines is that new construction in the historic overlay district must be compatible with its surrounding neighborhood in terms of "building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style." Similarly, the 2020 General Plan states that:

Sonoma should continue to be characterized by variety in terms of land uses, building types, and housing, and this diversity should be consistent with preserving the town's small-scale and historic character.

In the absence of the new Design Guidelines, I have summarized the Municipal Code, Chapter 19.412: "Historic Preservation and Infill in the Historic Zone."²⁶ As noted on the table, I have supplemented several areas with particularly applicable excerpts from Philadelphia's Design Guidelines.²⁷

<u>Consideration</u>	<u>Consistency</u>
Site Planning	
" common patterns that should be continued are entries facing the public right-of-way, front porches, and garages/parking areas located at the rear of the parcel."	The overall feeling of the façade would remain unchanged, though the door would be relocated several feet to the east. The porch would remain in its current location, though extended across the new addition on the east. Siding would be shiplap siding, aligned with the older cove siding. The garage is currently on the east side of the property, screened from the street by a wooden fence. The proposed garage would be set back from the street approximately 39' though it would still be visible from the street. A landscaped arbor would partially screen it.
The height (and massing) of new structures should be considered within the context of their surroundings. Structures with greater height should consider providing greater setbacks at the second-story level, to reduce impacts (e.g., blocking or screening of air and light,	The ridge of the roof would be raised 18 inches , though this increase would be unnoticeable from pedestrians on the street. The house is currently taller than both of its neighbors. This minimal increase is still in keeping with the neighbors on the east, west, and north (see elevations in Appendix G).

²⁶ <http://www.codepublishing.com/ca/Sonoma/html/Sonoma19/sonoma1942.html>

²⁷ Preservation Alliance for Greater Philadelphia, "Sense of Place: Design Guidelines for New Construction in Historic Districts" (2007) http://www.preservationalliance.com/publications/SenseofPlace_final.pdf.



privacy, etc.) on adjoining single-story structures.	
Setbacks should maintain the relationship to the street or property line characteristic of the district or block (supplementing the muni code)	The set back of the house would remain unchanged.
Rhythm / Pedestrian experience: New buildings should incorporate architectural elements that divide the facade into intervals that maintain a pedestrian friendly scale. Windows and doors should be placed in a manner that is harmonious with the established rhythm of the district or block. (supplementing the muni code)	The house is currently screened from the street and sidewalk by a 6' wood plank fence. The pedestrian experience of this property would change in that the existing plank fence would be replaced with a low picket fence. Otherwise, the experience would remain similar with a shed-roofed porch delineating the first and second stories. The garage would be partially screened by a landscaped arbor.
Architectural Considerations	
support the distinctive architectural characteristics of development in the surrounding neighborhood, including building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style	The proposed addition reiterates design elements of the existing house in terms of materials, decoration, scale, etc., which is consistent with the surrounding single-family dwellings.
incorporation of balconies and porches is encouraged for both practical and aesthetic reasons. These elements should be integrated to break up large front facades and add human scale to the structures.	The original porch would be retained and extended across the length of the new addition.
contemporary architectural treatments proposed for new residences should complement and not detract from the qualities of the historic overlay district and the neighborhood setting of the proposed development.	The new addition would incorporate materials and details similar to the original block of the house, though easily distinguishable. The siding, for example, would be wood, shiplap siding that would align with the cove-lap siding on the older block of the house.
should incorporate an appropriate mixture of the predominant materials in the surrounding neighborhood	The materials are consistent with the surrounding neighborhood, which is a mix of adobe and wood siding.
Materials should be used in a manner that creates details, incorporates textures or small-scale elements that give buildings a three-dimensional character and a "human scale" especially at the ground level. (supplement to muni code)	The continuation of the horizontal wood siding would provide texture and "human scale" to the single-family residence.
Color schemes for infill structures should consider the color schemes of	The muted pastels are consistent with the surrounding neighborhood.



existing structures in the surrounding neighborhood in order to maintain compatibility and harmony	
Accessory Structures	
New accessory structures (e.g., garages, second units, sheds, etc.) that are visible from the public right-of-way should incorporate the distinctive architectural features (e.g., color, materials, roof pitch and style, etc.) of the main structure.	The accessory structure would not be visible from the public right-of-way.
Design features should be applied with less detail on the accessory structure so that it does not compete with the main structure and is clearly subordinate to it.	The proposed unit would reiterate the basic design elements of the original house and its new addition in terms of materials and design. Its position at the rear of the lot and its reduced scale would make it clearly subordinate to the main house.

Conclusion

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district.

Numerous building campaigns have eroded away the historic integrity of this house:

- 1918: Queen Anne façade applied, roof redesigned and raised ½ storey, wing removed, rear porch added
- 1982: rear porch (1918) partially infilled, wing added off of SW corner
- 1991: bathroom wing on west
- 2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

However, the façade of this building (even with its false historicism) and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district.

The proposed project includes replacing the addition on the east side with a larger addition that extends towards the rear of the lot, removing the garage/guest house, raising the roof 18", and configuring the rear of the building.

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation", the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.

- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

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www.archives.org

www.cdnc.ucr.edu
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Figure 1: Front (north) facade..



Figure 2: Front (north) facade. Dormer.

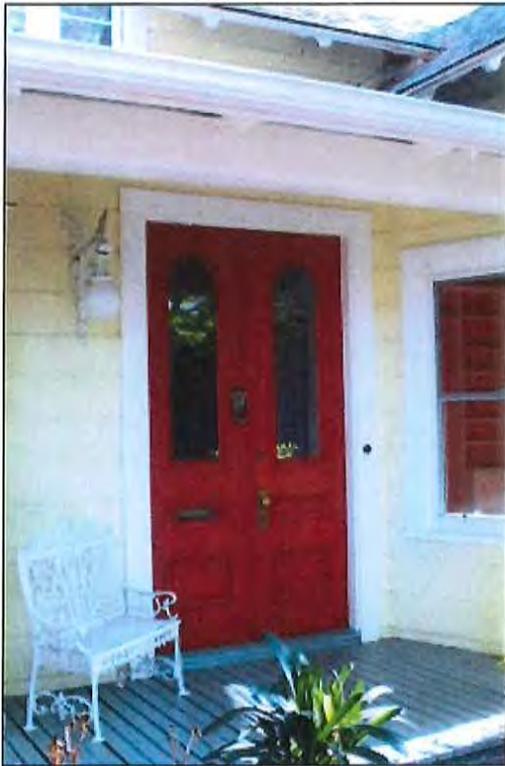


Figure 3: Front (north) facade. Front Door.



Figure 4: Front (north) facade. Porch post.



Figure 5: Front (north) facade. Bathroom addition.



Figure 6: Front (north) elevation. Bay window.



Figure 7: East (side) elevation.



Figure 8: East (side) facade. Rear of building.



Figure 9: East (side) elevation. Cove lap siding.

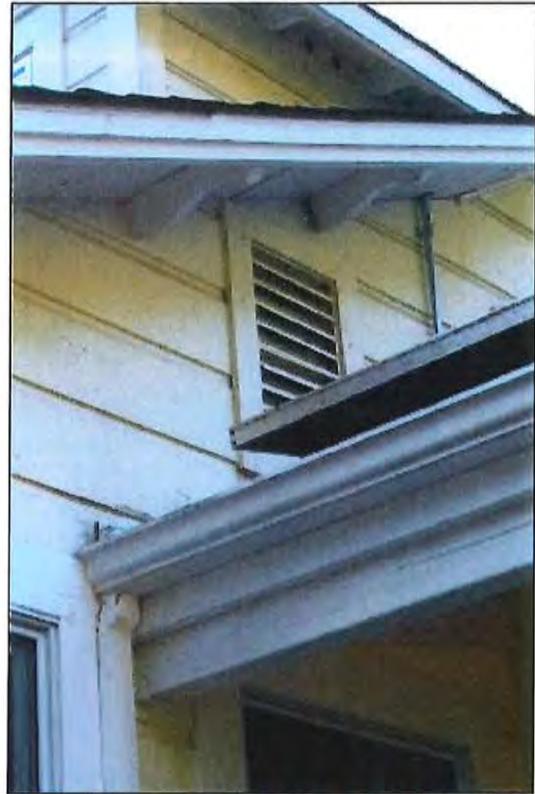


Figure 10: East (side) gable end. Ventilation opening.



Figure 11: East (side) elevation. SE corner.



Figure 12: East (side) elevation. Windows in gable.



Figure 13: East (side) elevation. Eaves at NE corner.



Figure 14: East (side) elevation. Bedroom bay window.



Figure 15: South (rear) elevation.



Figure 16: South (rear) elevation. Back door and dormers.

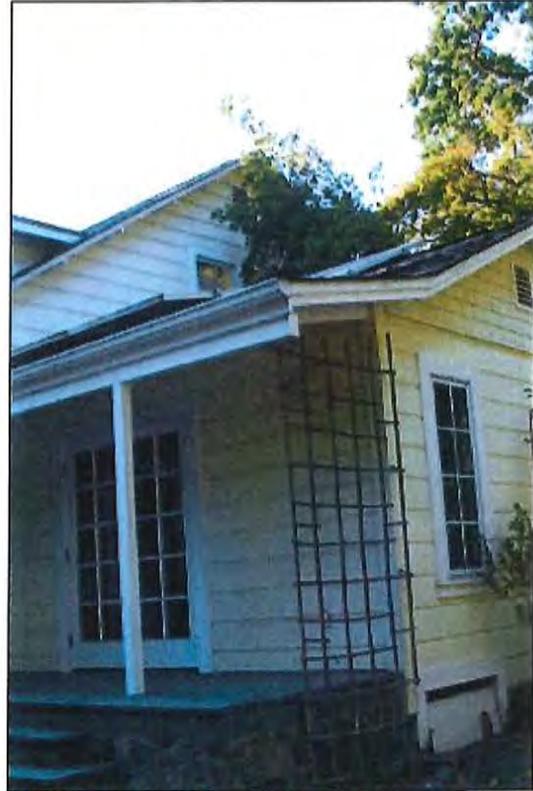


Figure 17: South (rear) elevation. SE corner.

Figure 18: South (rear) elevation. Back door and modern dormers.



Figure 19: South (rear) elevation. Back porch and kitchen wing.



Figure 20: Back porch looking at east side of kitchen addition. Figure 21: South (rear) elevation. Kitchen wing.

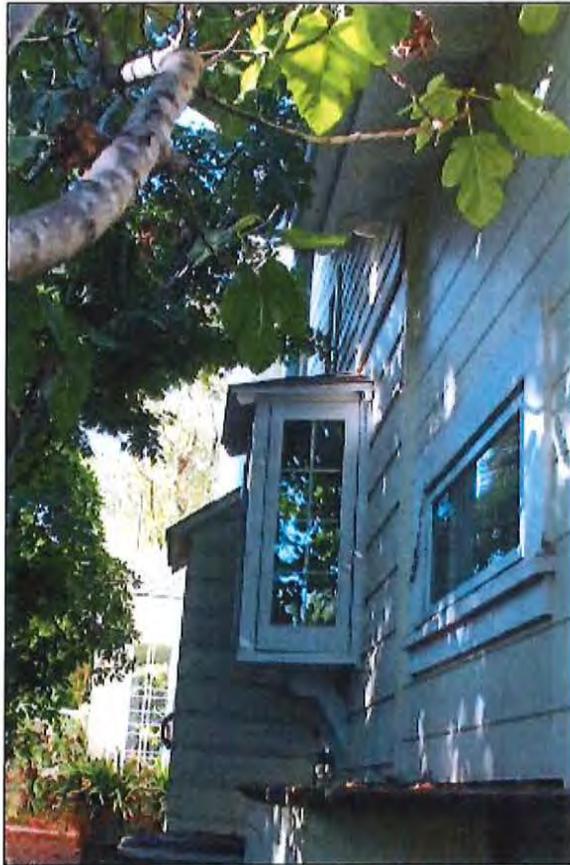


Figure 22: Neighbor to west (obscured behind landscaping).

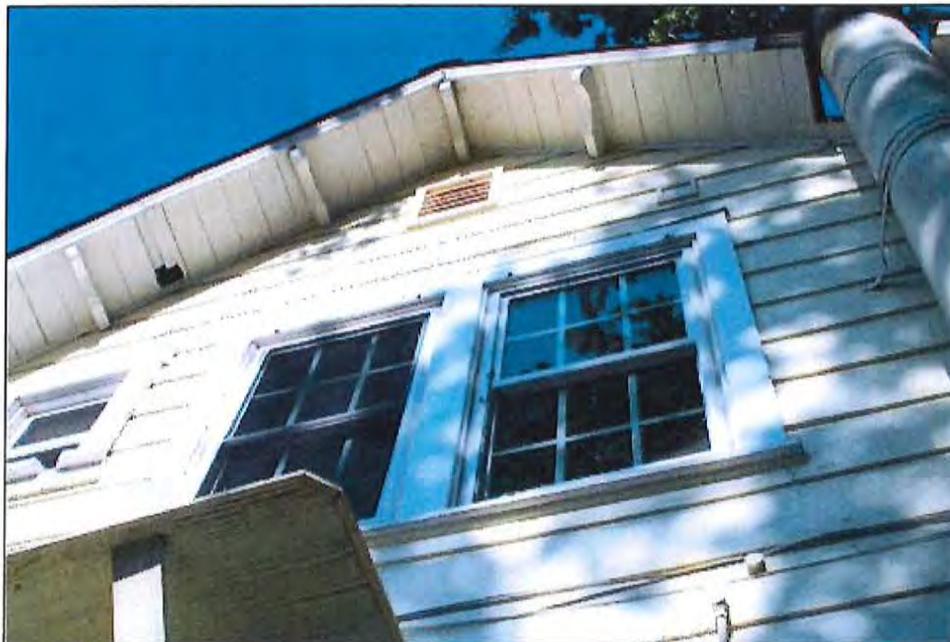


Figure 23: West (side) elevation. Windows in gable.



Figure 24: West (side) elevation. Seam of infilled porch.



Figure 25: West (side) elevation. Building seam.



Figure 26: West (side) elevation. Evidence of older window.

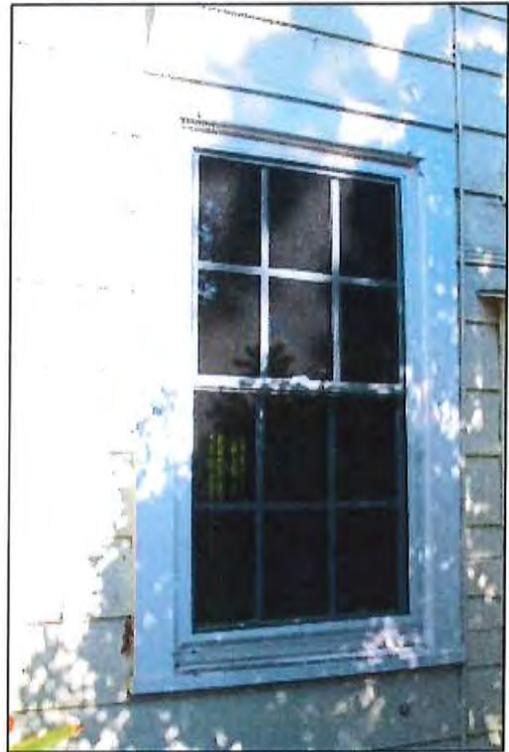


Figure 27: West (side) elevation. New window.



Figure 28: West (side) elevation. Gable.

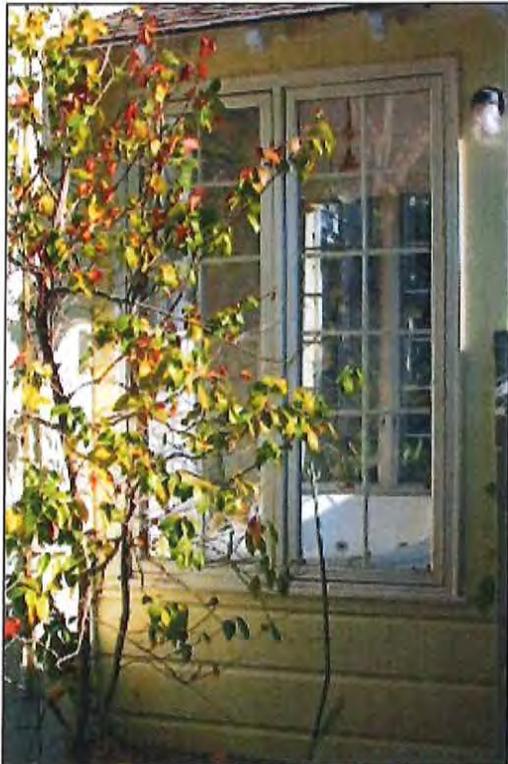


Figure 29: (West (side) elevation. Bathroom addition (1991).



Figure 30: West wall viewed from inside. Showing braced frame construction, replacement windows cutting joists (right), and fireplace cut into wall.



Figure 31: Hand hewn joists, dovetailed.

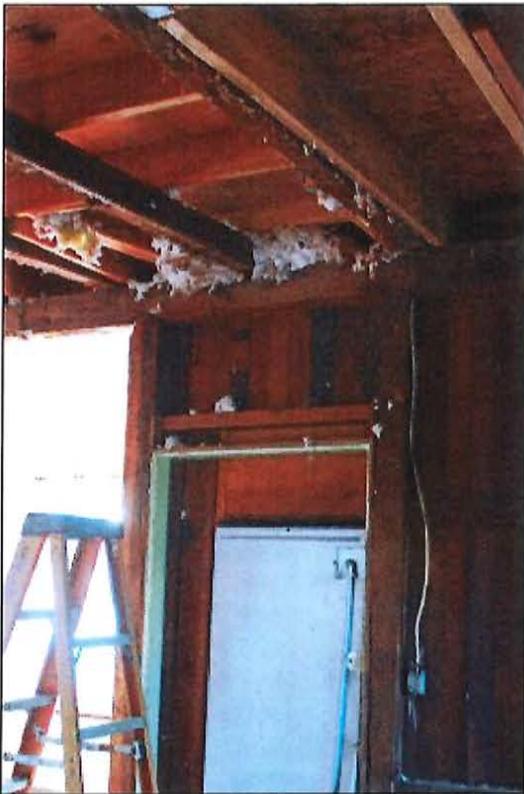


Figure 32: South wall, original back door.

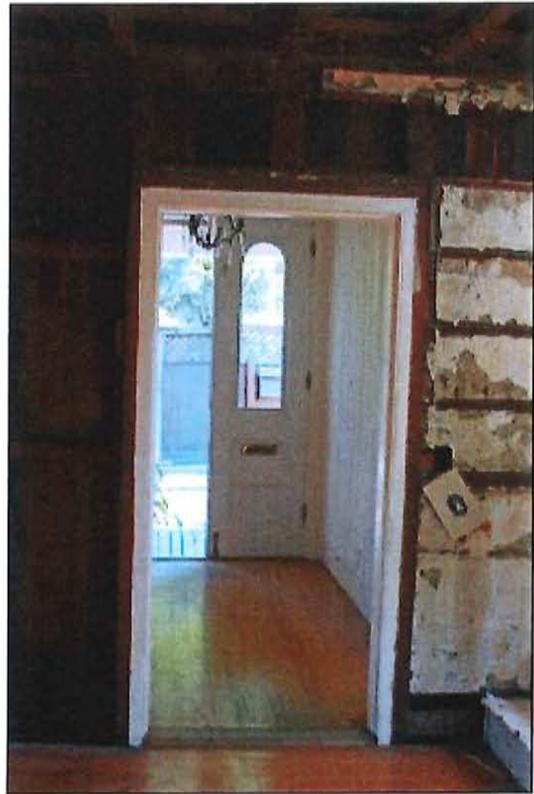


Figure 33: North wall. Original front door.



Figure 34: Stairs.



Figure 35: Garage (north side).



Figure 36: Greenhouse behind garage/guest house.



Figure 37: Garage/Guest House. West side.



Figure 38: Pool.



Figure 39: View of house from Spain Street.



Figure 40: View of house from Spain Street.



Figure 41: 245 E. Spain St. ("Dr. Taylor House, ca 1852-1857).



Figure 42: Existing driveway to 227 East Spain Street.



Figure 43: 205 East Spain Street (Ray-Adler Adobe, ca. 1848)



Figure 44: Fence separating 205 and 227 East Spain Street.



Figure 45: 220 East Spain Street (Adler House, ca 1911)



Figure 46: 256 East Spain Street (Castagnasso House, ca 1848 and 1871)



Figure 47: Looking east down Spain Street.



Figure 48: Looking west down Spain Street.

**Appendix B: 1978 League Survey Form for
227 East Spain Street²⁸**

²⁸ Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

Ser _____ Site _____ Mo. _____ Fr. _____
 JTM _____ 3 _____ NR SHL _____
 Lat _____ Lon _____ Era _____ Sq _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

1. Common name: Fowler Residence
2. Historic name, if known: Goese Residence
3. Street or rural address: 227 E. Spain St.
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Hazel Fowler Address: c/o Shea 1212 Market St.
 City: San Francisco ZIP: 94102 Ownership is: Public Private
5. Present Use: Residence Original Use: Residence
 Other past uses: _____

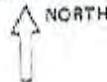
DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Located on the south side of E. Spain Street, east of Second St. East, this small unique two-story gabled roof residence features a shed roof covered porch with two square wood posts, the original wood paneled front door with one light, a broad bay with overhanging gabled roof projecting out on the west corner. At the second story is a gabled roof dormer with 3 vertical windows of 5 lights each. Under the gables are tear-drop shingles. The exterior finish is ship lap siding. The back has a salt box type roof line.

Included on the side at the property line to the east is a very large oak tree.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map Area 10

DTM (SONOMA QUAD)
 10/549,300/4,238,740
 10/548,280/4,238,400
 10/548,210/4,238,070
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 81
 Depth 151
 or approx. acreage _____

9. Condition: (check one)

- a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other

12. Threats to site:

- a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other

13. Date(s) of enclosed photograph(s): Nov. 1978



NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
 f. Other
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction ¹⁸⁵⁰ @1900 This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): Robert Hopkins, member of Town Council in 1851
19. Related features: a. Barn b. Carriage house c. Outhouse d. Sheds e. Formal garden(s)
 f. Windmill g. Watertower/tankhouse h. Other i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

The original owner is believed to have been Andrew Gaese. The Fowler Family has owned it prior to 1949. It has been a rental.
 This unique residence, situated in a neighborhood of historic homes is unaltered* and the only example of its style in Sonoma. The house, located on a large lot, is between an adobe dating back to 1848 and a wood home dating back to 1850's. The house is compatible with the surrounding historic residential neighborhood and if restored as a single family residence would be an asset to the street.

It was greatly altered at the turn of the century

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
 c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
 g. Religion

22. Sources: List
 Laure
 Reube

23. Date form prepared
 Address:
 Phone:



ZIP: 95476
 ic Preservation

**Appendix C: Sonoma Plaza National Register
of Historic Places (NRHP) Registration form²⁹**

²⁹ Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



United States Department of the Interior

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM: CONTINUATION SHEET**

Section No. 7 Description: Sonoma Plaza Boundary Increase

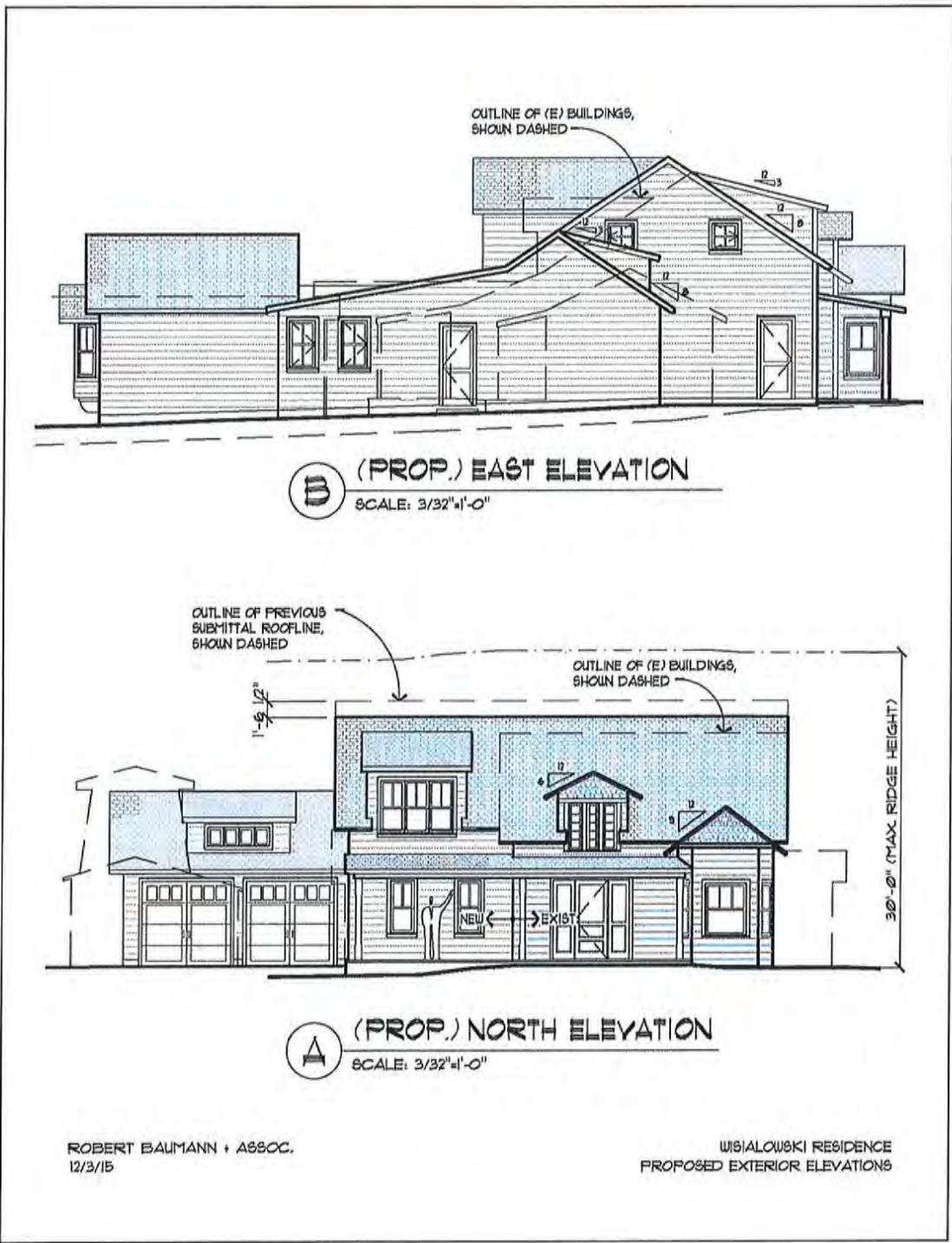
sidewalk and front lawn is a low rock-faced random laid stone retaining wall. This locally quarried stone is the same used for other stone buildings, trim, and sidewalks in other parts of the district.

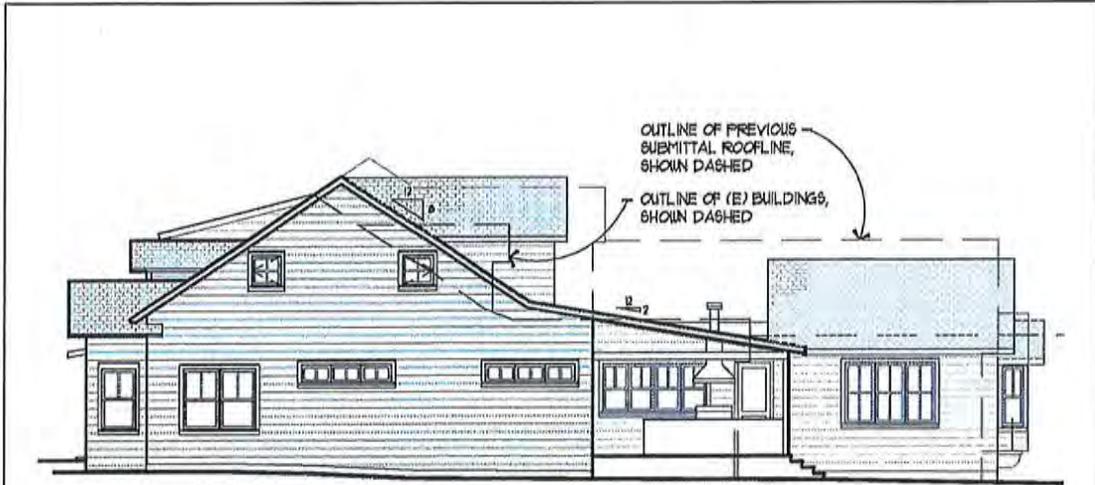
53. 220 East Spain Street. At the rear of the lot, towards the northeast, is a large one-story garage with detailing matching the main house, including narrow wood siding, large shaped open brackets and original wood doors.
54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.
55. 245 East Spain Street, the Cooke House, was built circa 1852-57. It is a one-story frame house with a gable roof with a break that extends to form a porch over the 5-light wood casement windows on the north elevation. It was enlarged in the 1940s during the period of significance.
56. 256 East Spain Street, the Castagnasso House, is a vernacular style frame house. The first floor was built in 1849; a second story was added in 1878. The entry door has a glazed transom and sidelights. The building was first moved in 1856 and then again to its present site in 1902.

Appendix E: Existing Elevations
(* not to scale)

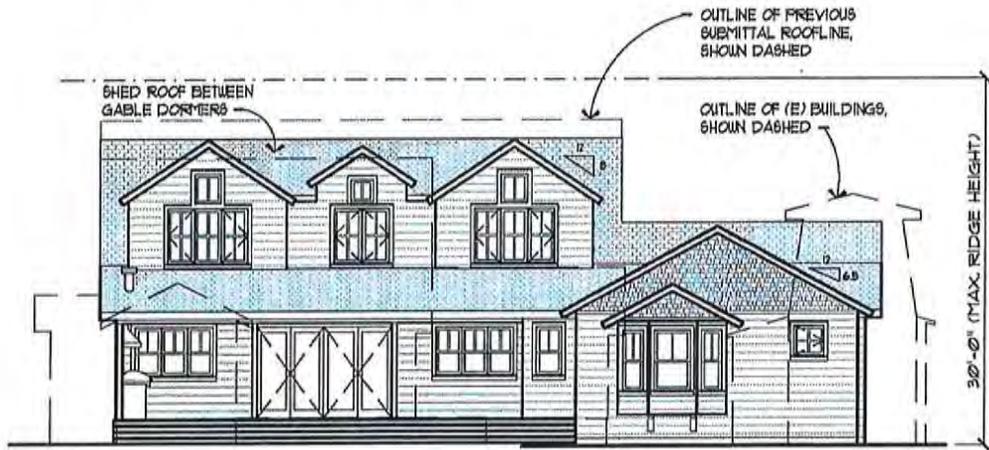


Appendix F: Proposed Elevations
(* not to scale)





B (PROP.) WEST ELEVATION
SCALE: 3/32"=1'-0"

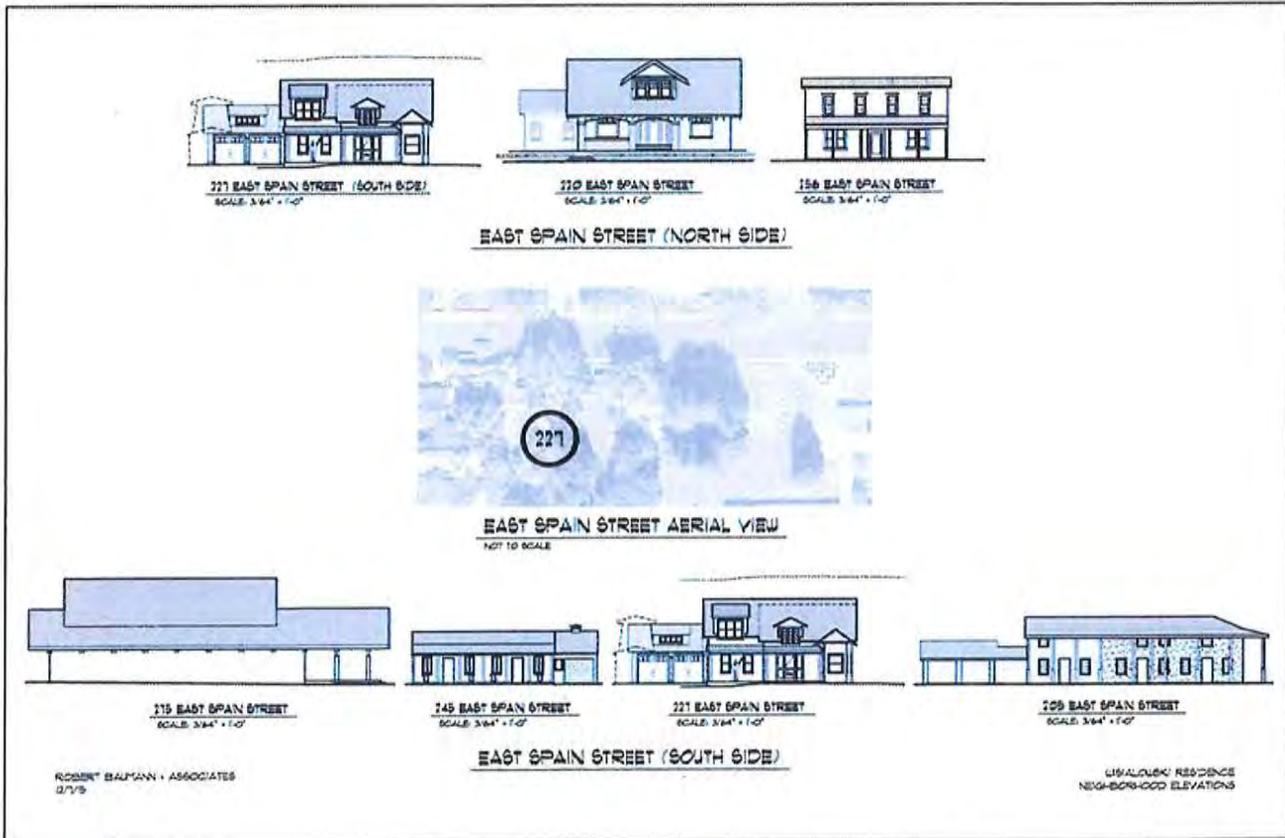


A (PROP.) SOUTH ELEVATION
SCALE: 3/32"=1'-0"

ROBERT BAUMANN + ASSOC.
12/3/15

WISIALOWSKI RESIDENCE
PROPOSED EXTERIOR ELEVATIONS

Appendix G: Neighborhood Elevations
(* not to scale)





GAF 'CAMELOT II' ASPHALT SHINGLES IN CHARCOAL



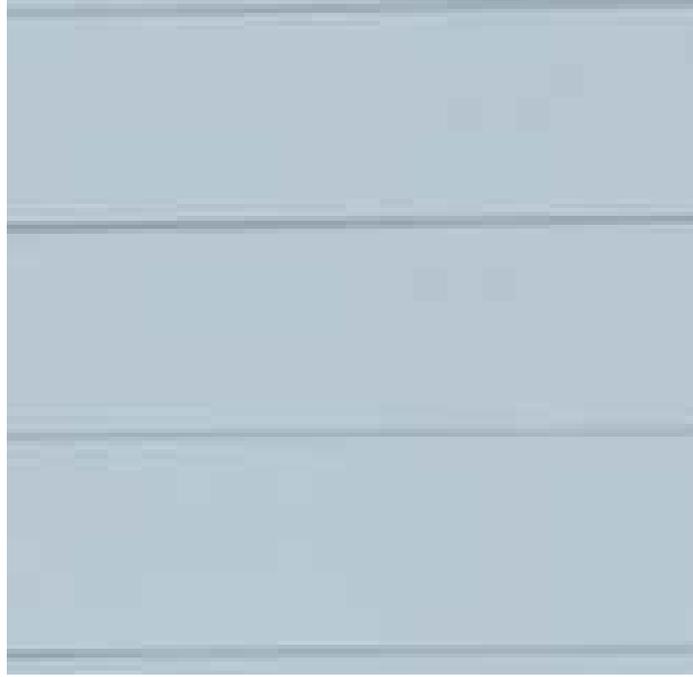
ALTERNATE OPTION TO ASPHALT SHINGLES.
ZAPPONE ALUMINUM SHINGLES IN SLATE GRAY



CLAY TILE ROOF



STUCCO



CUSTOM PLAIN HORIZONTAL SIDING (COURSING TO MATCH EXISTING)
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



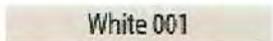
CUSTOM COVERED LAP SIDING (TO MATCH EXISTING)
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



Bronze 024

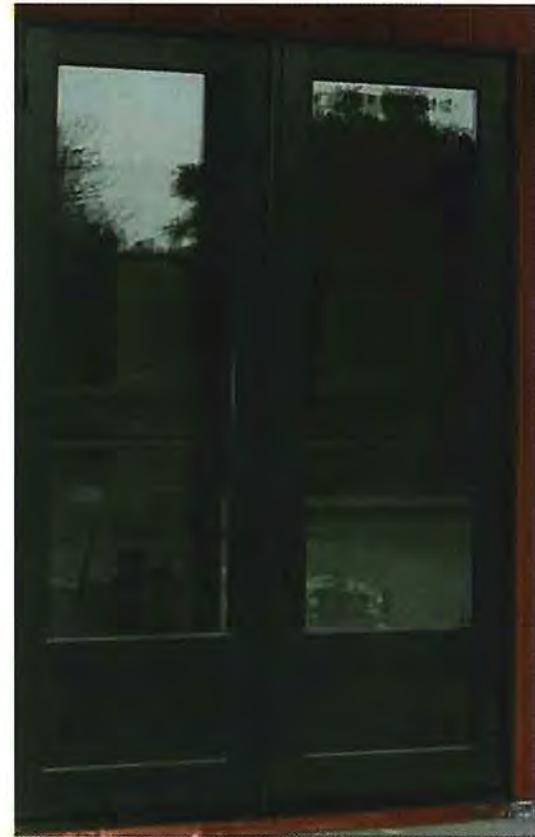


Linen 032



White 001

SIERRA PACIFIC (OR EQUAL)
ALUMINUM CLAD WINDOWS & EXTERIOR
DOORS IN WHITE OR LINEN (AT WD.
SIDING) & BRONZE (AT STUCCO)



WOOD SHINGLE COLOR
BENJAMIN MOORE 'SWANS MILL CREAM' 260

WOOD SIDING COLOR
BENJAMIN MOORE
'MUSHROOM CAP' 111

PAINTED WOOD TRIM COLOR
BENJAMIN MOORE
'POWDER SAND' OC-113

FRONT DOOR COLOR
BENJAMIN MOORE
'COTTAGE RED' FM-15

STAINED WD. TRIM @
GARAGE/BEDROOM
ADDITION

MED. AGGREGATE
TEXTURE STUCCO IN
PALE TAN (SIM. TO
SHINGLE COLOR)

TO FINISH FLOOR (UPPER)
EL. 106'-2 1/2"

10'-1 1/2"

TO FINISH FLOOR (MAIN)
EL. 96'-1"

6'-6 1/2"

FIN. FLR. HIGH PT. (GAR.)
EL. 95'-6 1/2"



NORTH ELEVATION

NOT TO SCALE

ROBERT BAUMANN + ASSOCIATES
1/11/16



WISIALOWSKI RESIDENCE
COLOR SAMPLE SHEET

1/11/16

T.O. FINISH FLOOR (UPPER)
EL. 106'-2 1/2"

10'-1 1/2"

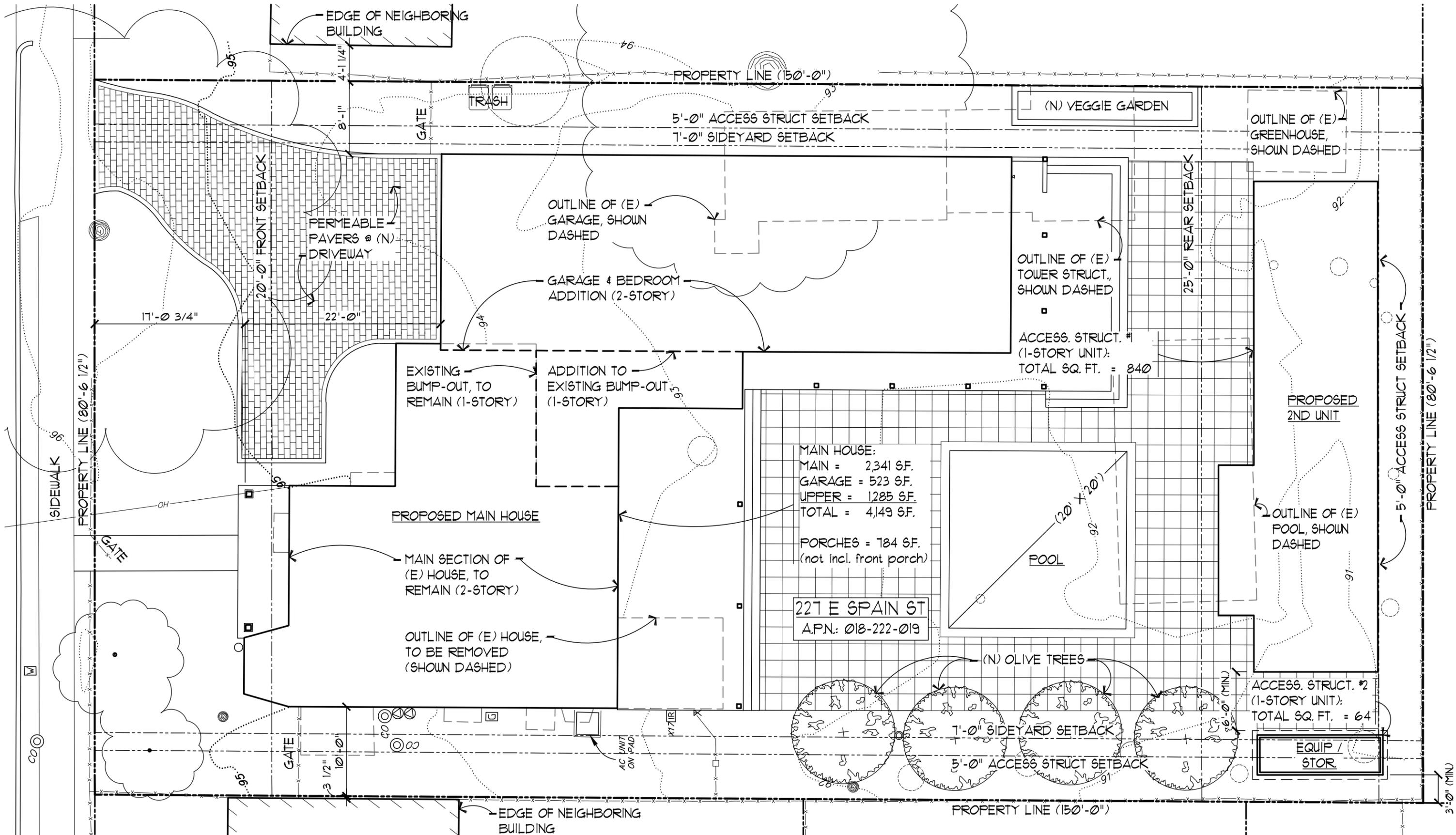
T.O. FINISH FLOOR (MAIN)
EL. 96'-1"

6 1/2"

FIN. FLR. HIGH PT. (GAR)
EL. 95'-6 1/2"



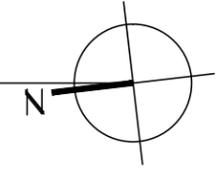
(A) (PROPOSED) NORTH ELEVATION
SCALE: 1/8"=1'-0"



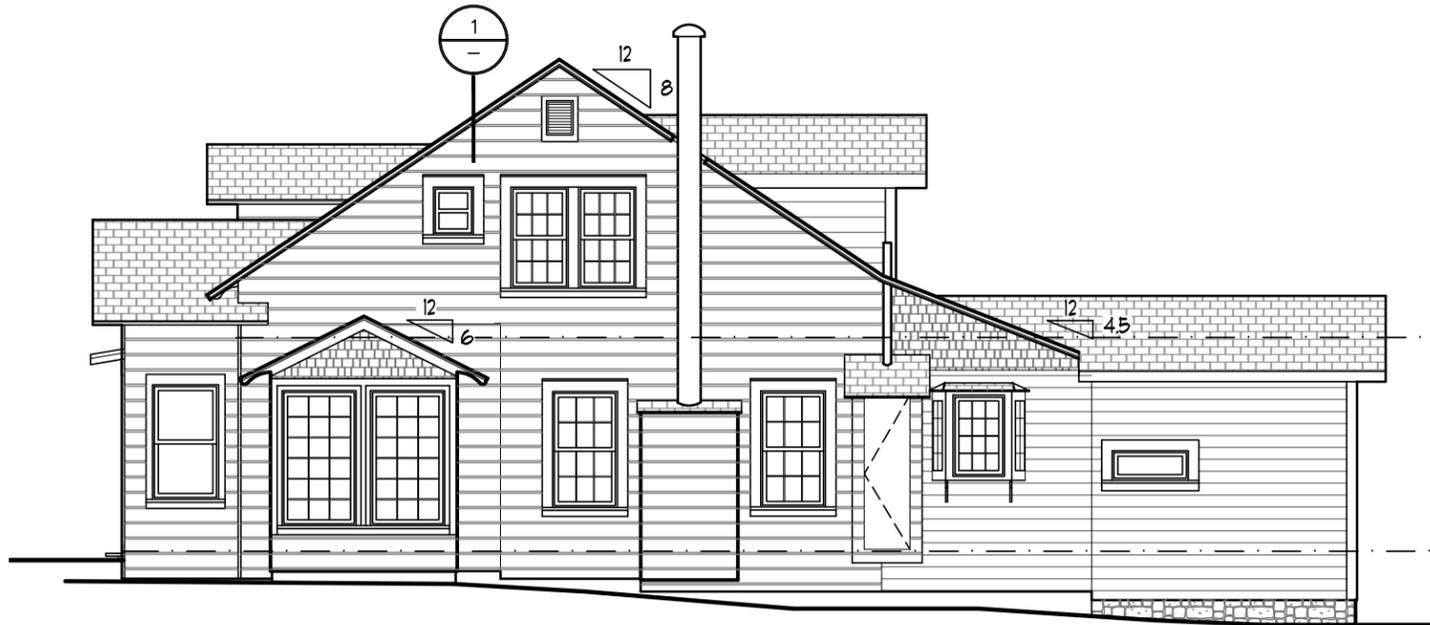
ROBERT BAUMANN + ASSOC.
 1/11/16

ZON. REQ'S.	PROPOSED
MAX. FAR = 4,229 SF.	4,149 (HOUSE) = (OK)
MAX. COVER = 4,833 SF.	2,341 + 523 + 784 + 841 + 64 = 4,553 (OK)
MAX. R. YRD COVR. = 100% SF.	REAR YARD COVER = 90% (OK)

1 PROPOSED SITE PLAN
 SCALE: 1/10" = 1'-0"



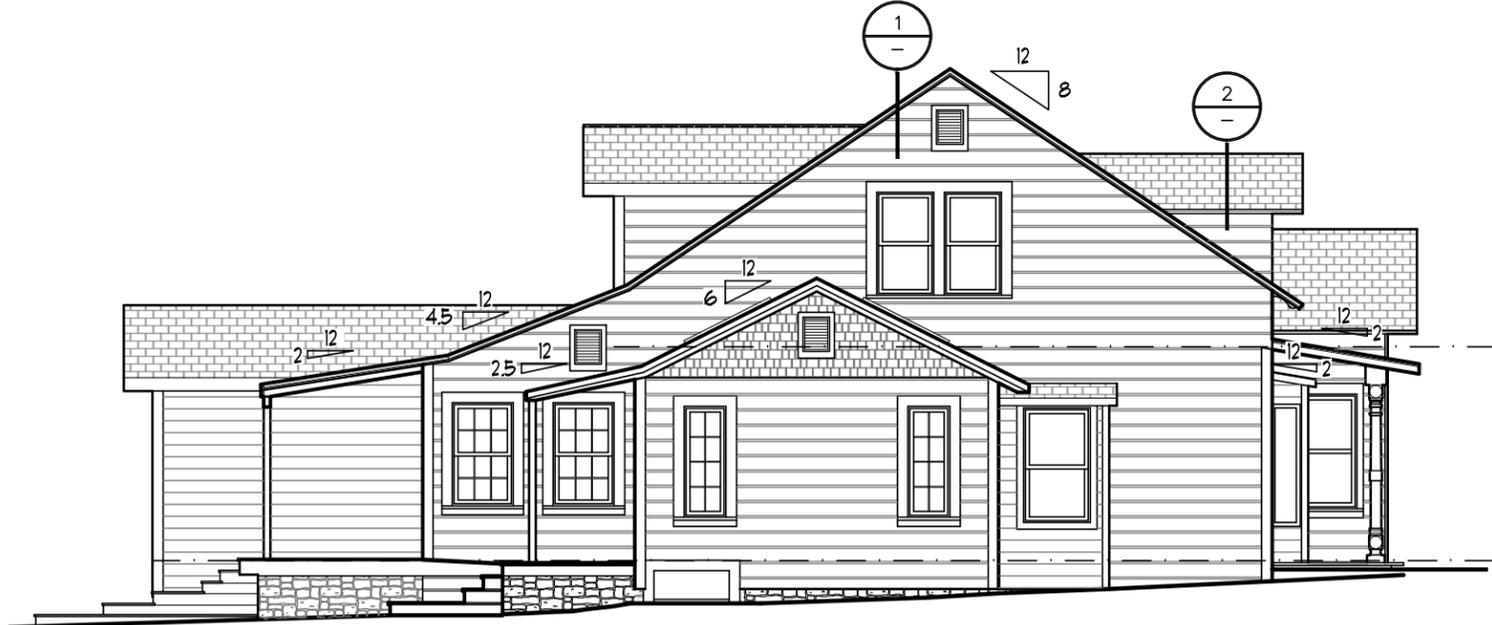
WISIALOWSKI RESIDENCE
 PROPOSED SITE PLAN



D EXIST. WEST ELEVATION
SCALE: 1/8"=1'-0"



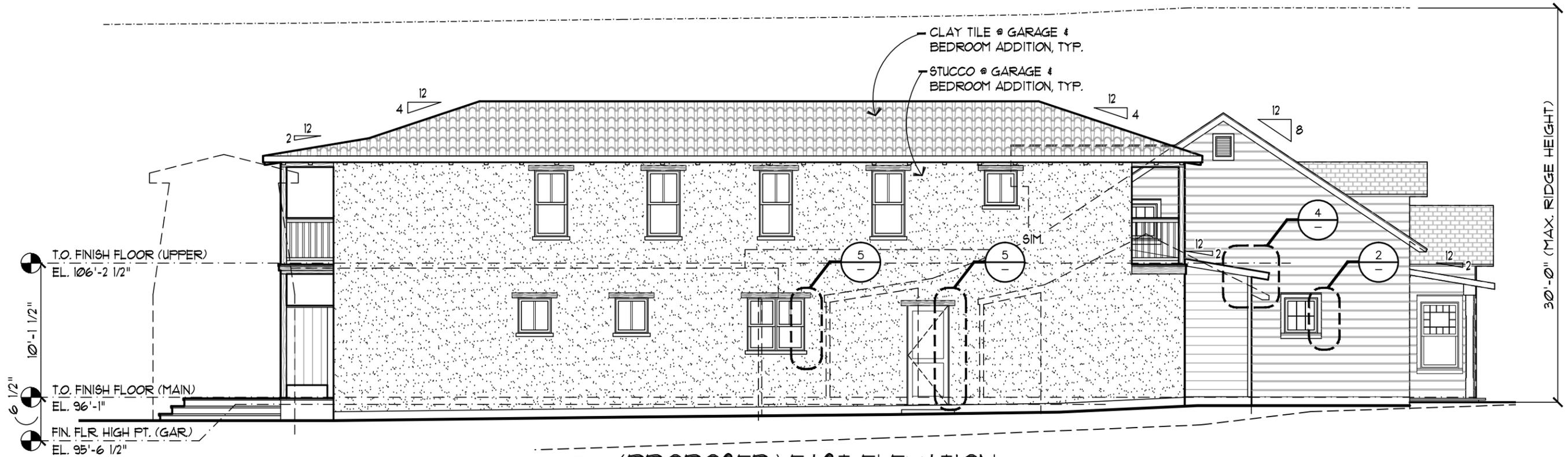
C EXIST. SOUTH ELEVATION
SCALE: 1/8"=1'-0"



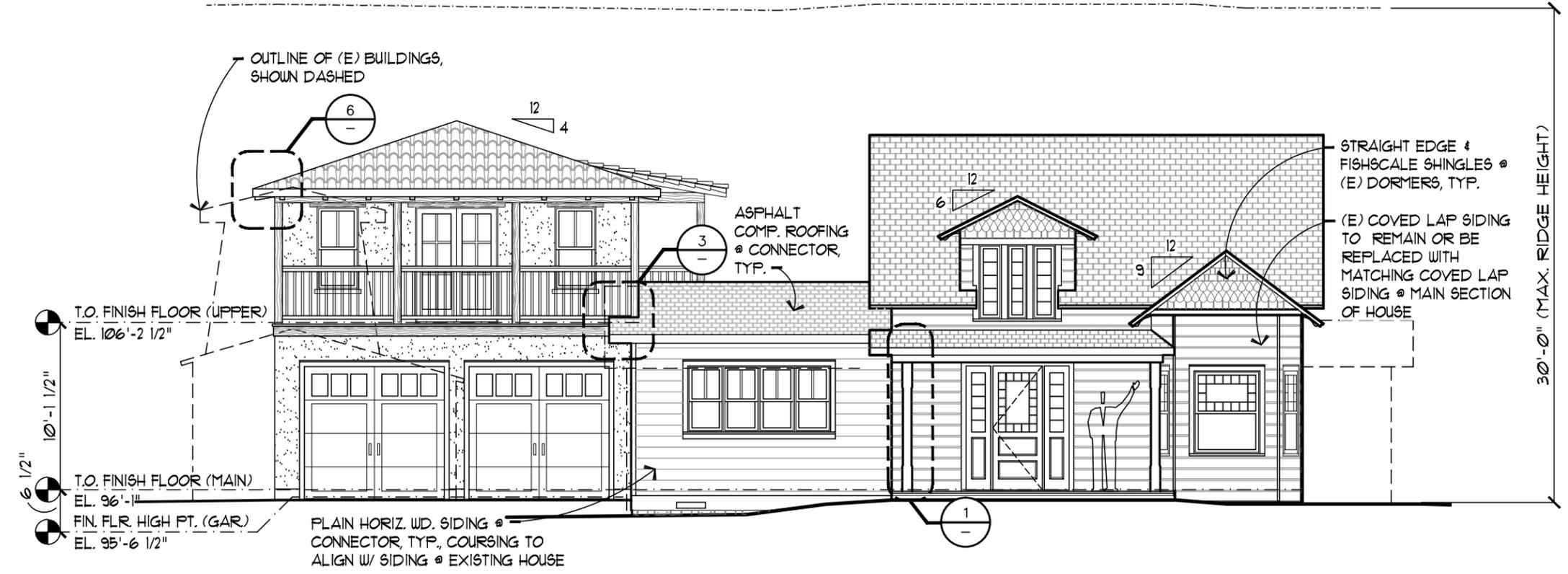
B EXIST. EAST ELEVATION
SCALE: 1/8"=1'-0"



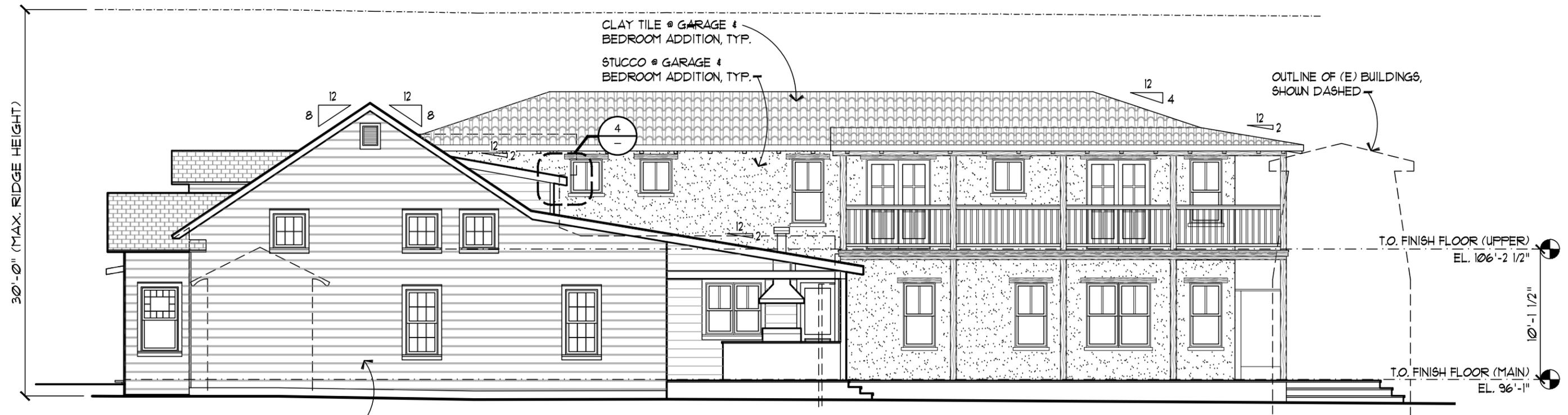
A EXIST. NORTH ELEVATION
SCALE: 1/8"=1'-0"



(PROPOSED) EAST ELEVATION
 SCALE: 1/8"=1'-0"

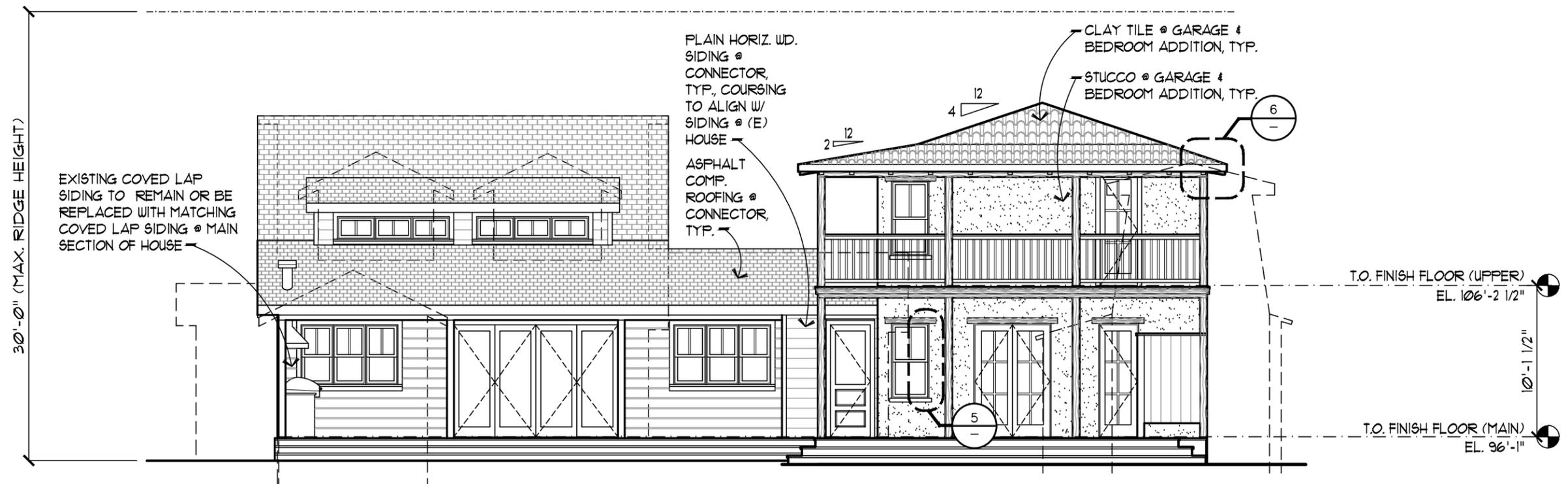


(PROPOSED) NORTH ELEVATION
 SCALE: 1/8"=1'-0"



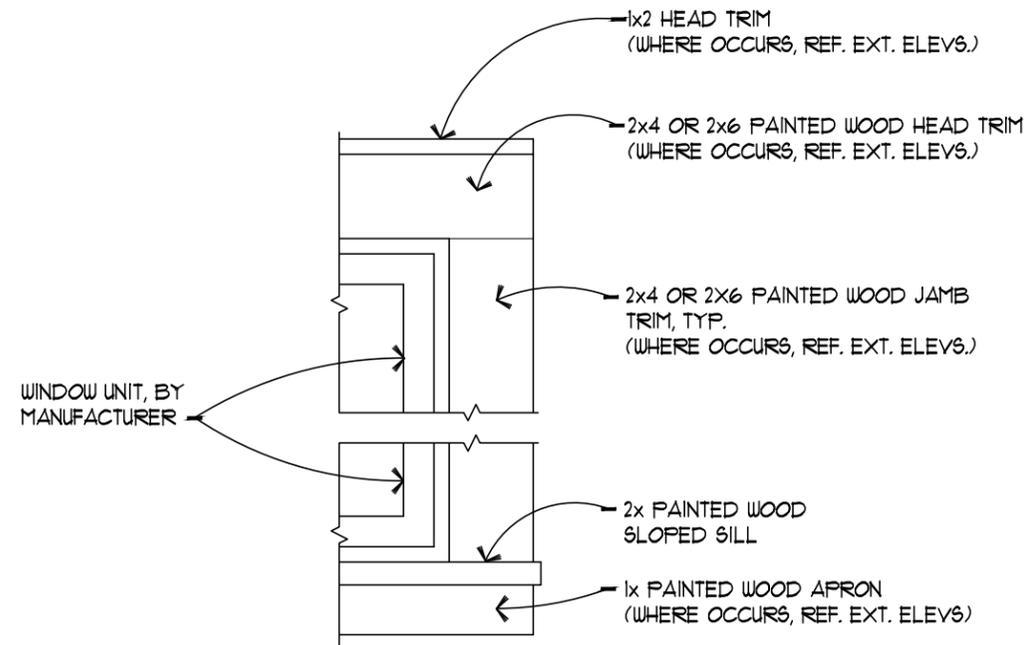
(E) COVERED LAP SIDING TO REMAIN OR BE REPLACED WITH MATCHING COVERED LAP SIDING @ MAIN SECTION OF HOUSE

(B) (PROPOSED) WEST ELEVATION
SCALE: 1/8"=1'-0"

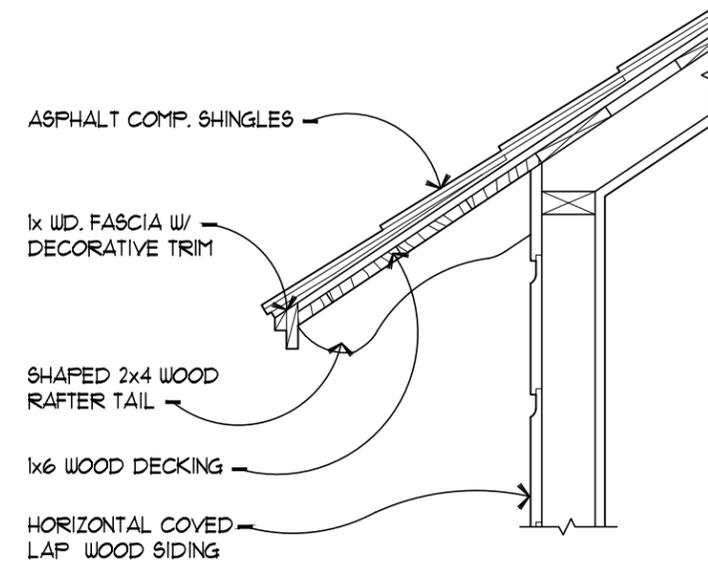


EXISTING COVERED LAP SIDING TO REMAIN OR BE REPLACED WITH MATCHING COVERED LAP SIDING @ MAIN SECTION OF HOUSE

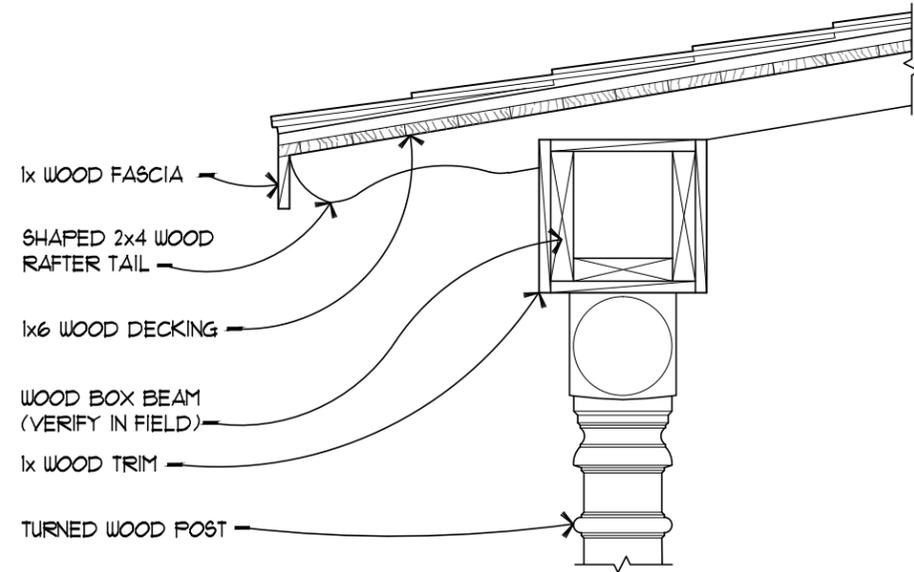
(A) (PROPOSED) SOUTH ELEVATION
SCALE: 1/8"=1'-0"



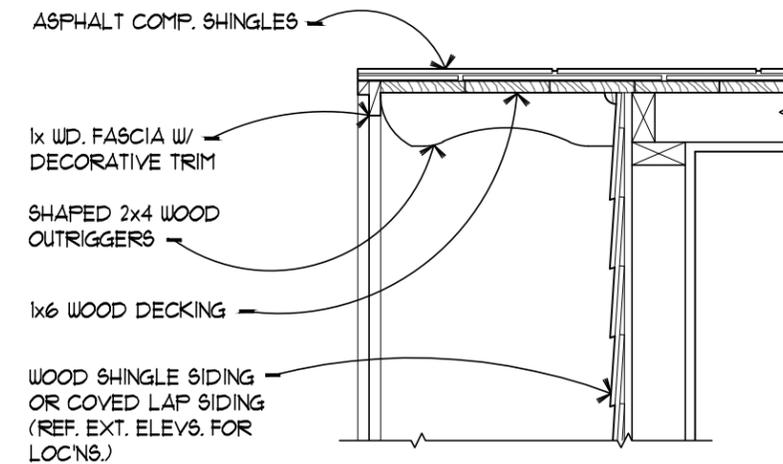
4 EXIST. TYP. WINDOW TRIM DETAIL
SCALE: 1" = 1'-0"



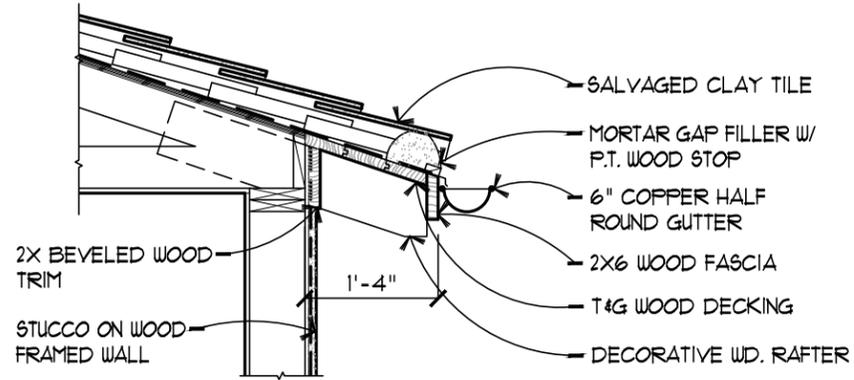
2 EXIST. TYP. EAVE DETAIL
SCALE: 1" = 1'-0"



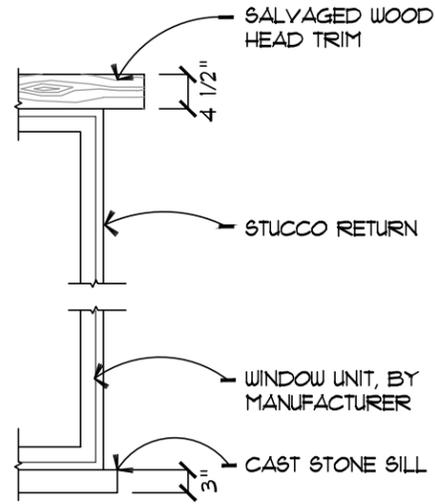
3 EXIST. PORCH EAVE DETAIL
SCALE: 1" = 1'-0"



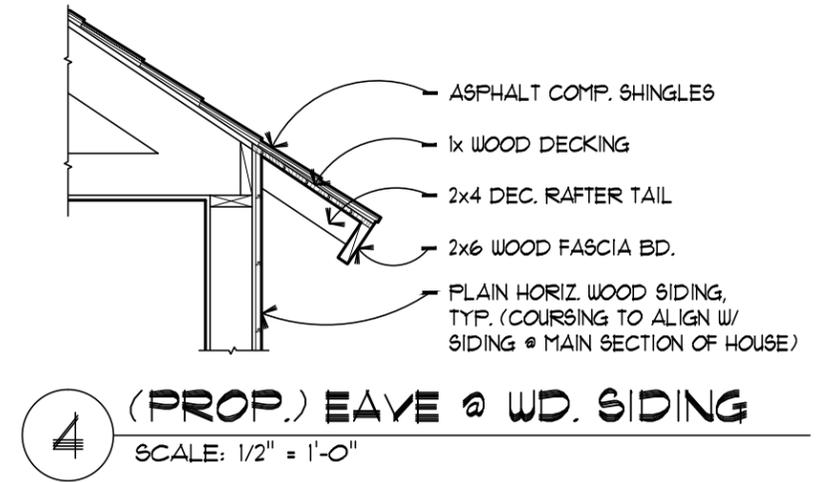
1 EXIST. RAKE DETAIL
SCALE: 1" = 1'-0"



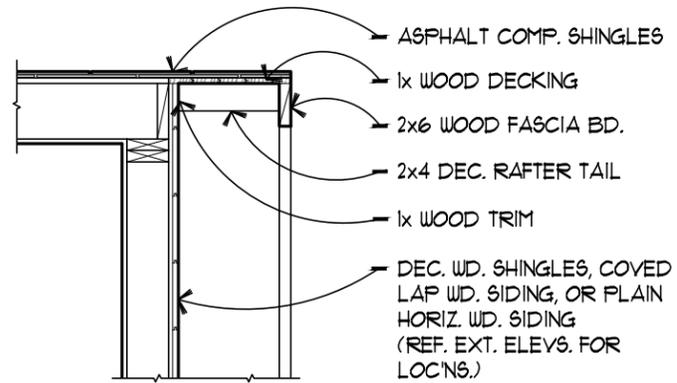
6 (PROP.) EAVE @ BDRM. ADD.
SCALE: 1/2" = 1'-0"



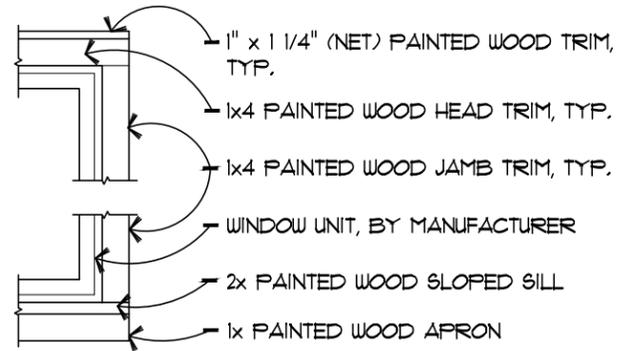
5 (PROP.) TYP. WNDW. TRIM @ STUCCO
(DOOR SIM.)
SCALE: 1/2" = 1'-0"



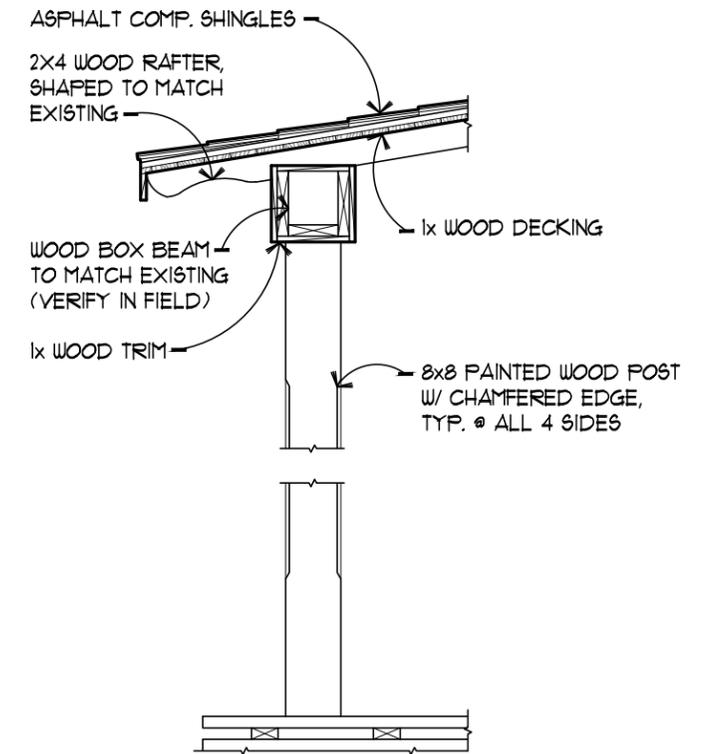
4 (PROP.) EAVE @ WD. SIDING
SCALE: 1/2" = 1'-0"



3 (PROP.) TYP. RAKE
SCALE: 1/2" = 1'-0"



2 (PROP.) TYP. WNDW. TRIM @ WD. SIDING
(DOOR SIM.)
SCALE: 1/2" = 1'-0"



1 (PROP.) ENT. PORCH COLUMN
SCALE: 1/2" = 1'-0"



227 EAST SPAIN STREET (SOUTH SIDE)

SCALE: 3/64" = 1'-0"



220 EAST SPAIN STREET

SCALE: 3/64" = 1'-0"



256 EAST SPAIN STREET

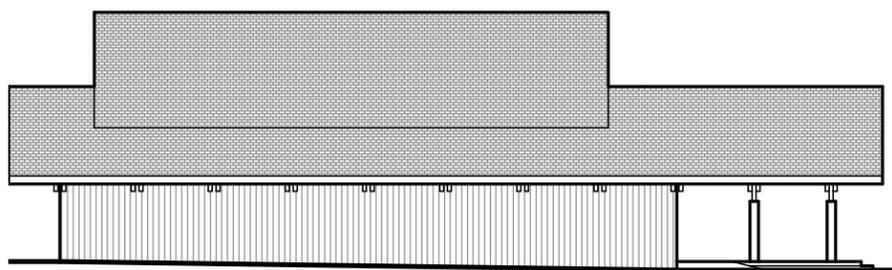
SCALE: 3/64" = 1'-0"

EAST SPAIN STREET (NORTH SIDE)



EAST SPAIN STREET AERIAL VIEW

NOT TO SCALE



275 EAST SPAIN STREET

SCALE: 3/64" = 1'-0"



245 EAST SPAIN STREET

SCALE: 3/64" = 1'-0"



227 EAST SPAIN STREET

SCALE: 3/64" = 1'-0"



205 EAST SPAIN STREET

SCALE: 3/64" = 1'-0"

EAST SPAIN STREET (SOUTH SIDE)



ROBERT BAUMANN & ASSOCIATES
1/4/16

STREET VIEW
NOT TO SCALE

WISIALOWSKI RESIDENCE
DRHPC HEARING



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 3

Meeting Date: 01/19/16

Applicant

East Stop Market #1

Project Location

925 Broadway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: 1983

Request

Consideration of seven window signs for a convenience store (Easy Stop Market #1) located at 925 Broadway.

Summary

The applicant is requesting approval of seven window signs for the Easy Stop Market #1 located at 925 Broadway. Staff would note that this application was submitted in response to a code enforcement action.

Window signs: The applicant is requesting the DRHPC consider approving the following window signs:

- One each “Groceries” LED style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches (2.92 square feet). The window area is 6 feet tall by 5.5 feet wide (33 square feet). The window sign would cover 8.8 percent of the area of the window.
- One each “Coffee” LED style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 6 feet tall by 5.5 feet wide (33 square feet). The window sign would cover 8.8 percent of the area of the window.
- One each “Beer & Wine” LED style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 6 feet tall by 5.5 feet wide (33 square feet). The window sign would cover 8.8 percent of the area of the window.
- One each “Lotto” LED style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 6 feet tall by 5.5 feet wide (33 square feet). The window sign would cover 8.8 percent of the area of the window*.
- One each “Open” LED style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 2.5 feet tall by 6 feet wide (15 square feet). The window sign would cover 19 percent of the area of the window.
- Two each multi-colored “Lottery” plastic style internally illuminated window sign: The sign would have a height of 12 inches and a width of 35 inches. (2.92 square feet). The window area is 6 feet tall by 5.5 feet wide (33 square feet). The window sign would cover 8.8 percent of the area of the window*.

*The “Lotto” and Lottery” signs are proposed to be placed in the same window. The combined windows signs would cover 18 percent of the area of the window.

It should be noted that additional window signs (poster signs) exist on the building that have not been included as part of this application. The applicant should remove the window signs not included in the application immediately.

Window Sign Regulations (§18.20.200): Permanent or temporary window signs shall not cover more than 20 percent of the aggregate area of each window facing a public right-of-way. Permanent window signs shall require review by the DRHPC, and shall be included in the total aggregate sign area allowable for the site. Display of temporary window signage shall not exceed 90 days per year. The window signs are consistent with this requirement.

Illuminated Window Sign Regulations (§18.20.130.B.4): One illuminated window sign no more than two square feet in area may be permitted. Such a sign shall be counted as one sign, and shall be included in the aggregate sign area. A neon sign shall be considered an illuminated window sign. The proposal is not consistent with this requirement in that there would be seven illuminated window signs for the business. The application is requesting a variance from the requirement.

Aggregate Sign Area: Based on the property's primary frontage on Broadway (38.5 feet), the maximum aggregate sign area allowed for the business is 21.4 square feet. The proposal would result in a total aggregate sign area of ± 17.5 square feet, including the seven window signs (17.5 square feet). *Note:* the aggregate sign area does not include the existing wall sign and monument sign. It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021). The proposal is not consistent with this requirement. The applicant is requesting a variance from this standard.

Number of Signs: Only one freestanding sign is allowed per property and a maximum of two signs are permitted for any one business (§18.16.012 and §18.16.010). The proposal is not consistent with these requirements in that nine signs are proposed for the property, including the existing wall sign, existing monument sign, and seven proposed illuminated window signs.

Basic Findings: In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC [18.04.010](#) and the applicable guidelines for signs set forth by SMC [18.60.010](#), Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Variances: As noted above, the window sign covers more than 20 percent of the aggregate area of the window facing the public right-of-way and the proposal exceeds the aggregate sign area for the property. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.
6. The sign will not limit, restrict, impede, or impair sight distance or visibility.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or ModificationsAttachments:

1. Project narrative
2. Sign pictures

cc: Easy Stop Market #1
 925 Broadway
 Sonoma, CA 95476

 Maria and Michael Lounibos
 P.O. Box 586
 El Verano, CA 65433-0586

 Patricia Cullinan, via email

 Alice Duffee, via email

 SLHP Historic Survey, via email

 Mary Martinez, via will call at City Hall

11/5/15

I am Barjinder S. Kaloya (Bittu), the owner of Easy Stop at 925 Broadway, and I am responding to a signage issue brought to my attention by the City of Sonoma.

The convenience store that is now Easy Stop opened about 1985 (see attached photo). I do not know much about its distant past but it changed ownership three times in the last 9 or so years, I as the last purchaser of the store in June 2014.

In the time I have owned the store, I have made many changes to improve the quality and types of merchandise inside. But I made no changes to the windows, which I understand from neighbors have been unchanged in perhaps 10 years, at least in relation to neon signage.

I have done 2 things regarding outdoor displays however. First, the previous owner hung beer, cigarette, soda and health drink signs on the pillars outside. I took them down and do not allow them. Second, in response to the City's interest in passing a regulation controlling the sale of tobacco and electronic cigarettes, I have removed their advertising from my doors and moved items attractive to underage minors to make them less prominent and less likely to be stolen.

I was unaware that there was an issue with my window signs until Wendy Atkins visited me in August, 2015, apparently following up on a complaint the City had received. There are 2 issues as I understand them. 1) the large 4x4 beer advertising scenes in the windows. 2) the 7 neon signs at the top of my five large windows.

To the first, I have removed the window branded beer scenes, even though they expose the back of the wine racks in the window to the outside which is not very aesthetic. I will however find a way to apply nice, non alcohol related scenes in the windows to protect the wine and the store from the heat of the sun in the mornings.

Regarding the second, I will comply with whatever agreement is reached between parties. There are 7 signs currently – Groceries, Coffee, Beer and Wine, Lotto, Open, ATM and the Current lotto information. They can be seen in the attached photo page. The first 4 are of the same size and design and were obviously created for and placed at the same time at the top of the 4 of big windows to the left of the door. The other 3 must have been added later.

None of these signs are branded advertising signs. They are generic informational signs that simply tell people that I am open, what categories of merchandise I sell and the lotto status as soon as they enter the parking lot. Furthermore, they are non-intrusive, not changing colors or flashing for instance. And finally, since I am normally open until 11pm, hours after all the other businesses in the building are closed, the lights are almost essential in bringing people to the store.

I cannot quantify the loss of business I might incur if required to take them down, but I do know for certain that removing a technique for building my business outside the store will have a negative effect. (This on top of the losses I will incur when the new tobacco and e-cigarette rules go into effect.) For instance, removing the ATM sign jeopardizes some of the \$300 or so I make on the machine per month. Or removing the Lotto/Lotto status sign would have a much more serious impact. Or if there was only an open sign, perhaps many people would think I was closed late at night since the store would be dramatically darker.

To simplify the situation, I will be removing the ATM sign shortly despite its impact on revenue, leaving six signs. I will also be moving the current lotto info sign under the LOTTO sign so they will function as one. That leaves the Open sign over the door and the Groceries, Coffee, and Beer & Wine signs

I have looked at other retail stores in the Sonoma and there are a substantial number with multiple neon/lit signs – up to 5 signs in fact – as well as many open signs that flash and/or scroll. It seems to me therefore that it is a little unfair that I am being singled out.

I respectfully ask that you approve the remaining signs.



**QUIK STOP,
Easy Stop's
predessor,
celebrating their
grand opening
about 1985.**



**The banners,
by the way,
were made
by Sonoma artist
Joan Shepherd**

May 10 2015

Easy Stop Neon Signage-October 2015





City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 4

Meeting Date: 01/19/16

Applicant

United Sign System

Project Location

19249 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: 1974
-

Request

Consideration of a new illuminated monument sign for the 76 service station.

Summary

Background: On August 16, 2005, the Design Review Commission approved a new canopy fascia color, new canopy logo signs, and the refacing of an existing (47 square-foot in area) monument sign for the Jolly Washer 76 service station. On April 15, 2014, the DRHPC approved a new monument sign for the service station. At this time, the applicant is proposing to a new monument sign located along Sonoma Highway.

Monument Sign: The proposal involves installing a new illuminated monument sign located in the northeast corner of the site. The sign would have a height of 7 feet and a width of 7 feet 2 inches (50.12 square feet in area). The sign would be constructed of a plastic material. Copy on the sign would consist of blue and black lettering on a red and grey background. Service stations are allowed one freestanding/monument company identification sign not exceeding 18 square feet per side and one price sign not exceeding twelve square feet per side. Both signs may be double-faced and illuminated (§18.20.170). The monument sign combines both company identification and pricing. Accordingly, a maximum sign area of 30 square feet per side may be permitted if the DRHPC supports the concept of combining these two elements. However, even under this scenario, the monument sign exceeds the maximum size limitation, in that each side is ±50.12 square feet. The DRHPC has the discretion to require a smaller monument sign if deemed necessary or allow the new monument sign through a variance.

Illumination: Illuminated signs are considered generally inappropriate except for businesses that normally operate in the evening hours, which is the case for the 76 Service Station. The sign would be illuminated from 4 a.m. to 11 p.m. (Monday through Friday) and 6 a.m. to 10 p.m. (Saturday and Sunday). Gas is dispensed 24 hours per day. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Aggregate Sign Area: Based on the property's frontage on Sonoma Highway (±140 feet) and Ramon Street (±265 feet), the maximum allowable aggregate sign area for the property is 115 square feet. The proposal would not comply with this standard in that signage for the service station would total ±116.18 square feet, including the monument side (75.18 square feet of aggregate sign area), the two logo signs on the fascia (12 square feet of aggregate sign area combined) (proposed on a separate application), the wall sign on the carwash (±9 square feet of aggregate sign area), and the wall sign on the primary building (±20 square feet of aggregate sign area). The applicant is requesting a variance from this standard.

Existing Signs: During the site visit, staff observed a number of illegal signs displayed on the property consisting of a portable freestanding sign (California Lottery), and a number of illuminated and non-illuminated window signs. These signs have not been approved and shall be removed immediately.

Basic Findings: In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Variances: As noted above, the window sign covers more than 20 percent of the aggregate area of the window facing the public right-of-way and the proposal exceeds the aggregate sign area for the property. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.
6. The sign will not limit, restrict, impede, or impair sight distance or visibility.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Picture of existing monument sign*
3. *Sign drawings*

cc: United Sign Systems
5201 Pentecost Drive
Modesto, CA 95356-9271

Cachita LLC
721 W School Street
Cotati, CA 94931-4162



January 8th 2016

To whom it may concern.

This site is a current 76 gas station that has been included in the new image upgrade which will consist of changing out the existing monument price sign with a new one. Installing the new canopy acm fascia panels with the orange illuminated wave and 76 logos. The canopy columns will be wrapped with a round silver cladding. The pumps will receive new vinyl wrap on the lower skirts and a illuminated valance at the top. This is a standard 76 program for sites. The new monument will have an off set ball with a led message center if allowed. The only difference to the canopy would be the illuminated wave.

Sincerely,

Brian Campbell

Sales Rep

United Sign Systems

A Division of Johnson United, Inc.

5201 Pentecost Drive, Modesto, CA 95356

Phone (209) 543-1320 Fax (209) 543-1326

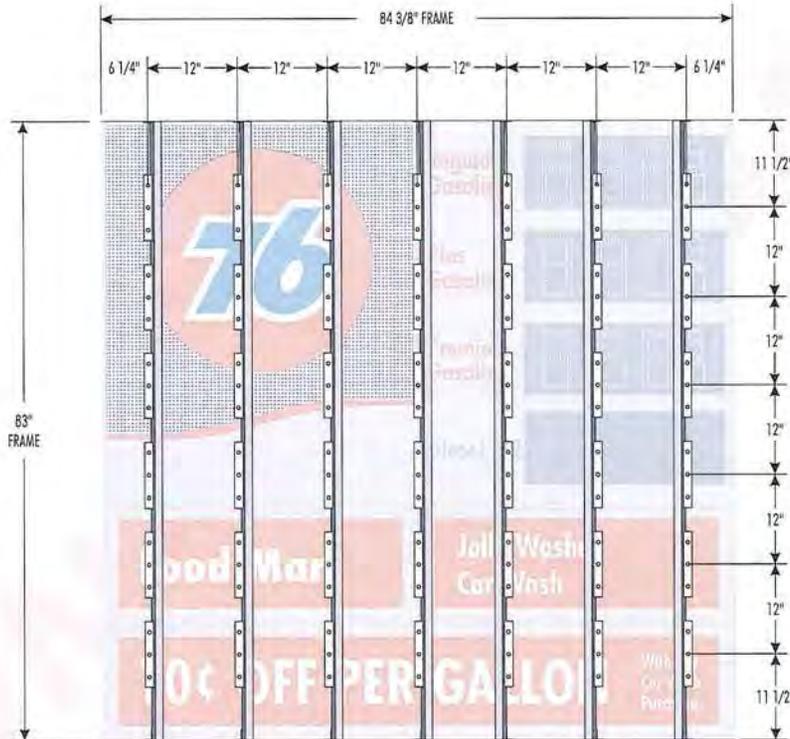
Contractors License #718965

5201 Pentecost Drive, Modesto, CA 95356

Phone (209) 543-1320 Fax (209) 543-1326

Contractors License #718965

LED LIGHTING COMPONENTS			UOM	TOTAL LED COUNT
	83" RAILS W/ DOUBLE SIDED LEDS	7	EACH	42
DGCP524180	24V-180 WATT LED POWER SUPPLY	2	EACH	



LED ILLUMINATION LAYOUT



NOTE: POWER SUPPLY LOCATION WILL VARY BASED ON FIELD CONDITIONS



SignResource
IDENTITY GROUP
6155 District Blvd • Skaneateles, CA 90220
800-423-4283 • Fax 323-560-7147
Website: www.signresource.com

REVISION HISTORY:

REV	DATE	REVISION BY	APPROVED BY
A	12/31/15	SJM	SP

INITIAL DRAWING RELEASE

PARTS LIST:

ITEM	DESCRIPTION
1	
2	
3	
4	
5	

SCALE 1"=16"

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
 - GRAPHICS +/-1/8" • FACE SIZE +/-1/16"-1/4"
 - CABINET +/-1/8" • VINYL OVERLAP +/-1/8" +/-1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAYPAINT MIX SYSTEM
- NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT FCN.
- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

DESCRIPTION
PSX
LED RETRO-FIT KIT FOR
APPROX. 7' X 7' DF CABINET

VOLTAG: CREDIT: CURRENCY: DESERV LEAD:

DRAWN BY: S.PATTERSON CHECKED BY:

CURBS: PSX

LOCATION: BRRF # 858013

QUOTE: Q 226608 DATE: 12/31/15

DRAWING/PART # PSX8385-RETRO REV. SHEET # 1 OF 2

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APPROVAL SIGNATURE _____ DATE _____

By signing, you are validating the dimensions and graphic provided to SignResource and/or you are handling your own installation.

REVISION HISTORY:

REV	DATE	REQUESTED BY	UPDATED BY
A	12/31/15	RM	SP

REVISION DESCRIPTION
INITIAL DRAWING RELEASE

PARTS LIST:

ITEM	DESCRIPTION
A	
B	
C	
D	
E	
F	
G	
H	
I	
J	
K	
L	
M	
N	
O	
P	
Q	
R	
S	

MATERIAL LIST

SCALE 1"=10"

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GENERAL NOTES

1. TOLERANCE (UNLESS NOTED)
 - GRAPHICS +/- 1/8" • FACE SIZE +/- 1/16"-1/8"
 - CABINET +/- 1/8" • VINYL OVERLAP +/- 1/8" +/- 1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. THIS COLOR CHART INDICATES USE OF SPRAYPAINT AND SYSTEM
4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECR.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

DESCRIPTION

PSX
LED RETRO-FIT KIT FOR
APPROX. 7' X 7' DF CABINET

RELEASE: DESIGN: CHECKED: DESIGN LEAD:

DRAWN BY: S.PATTERSON CHECKED BY:

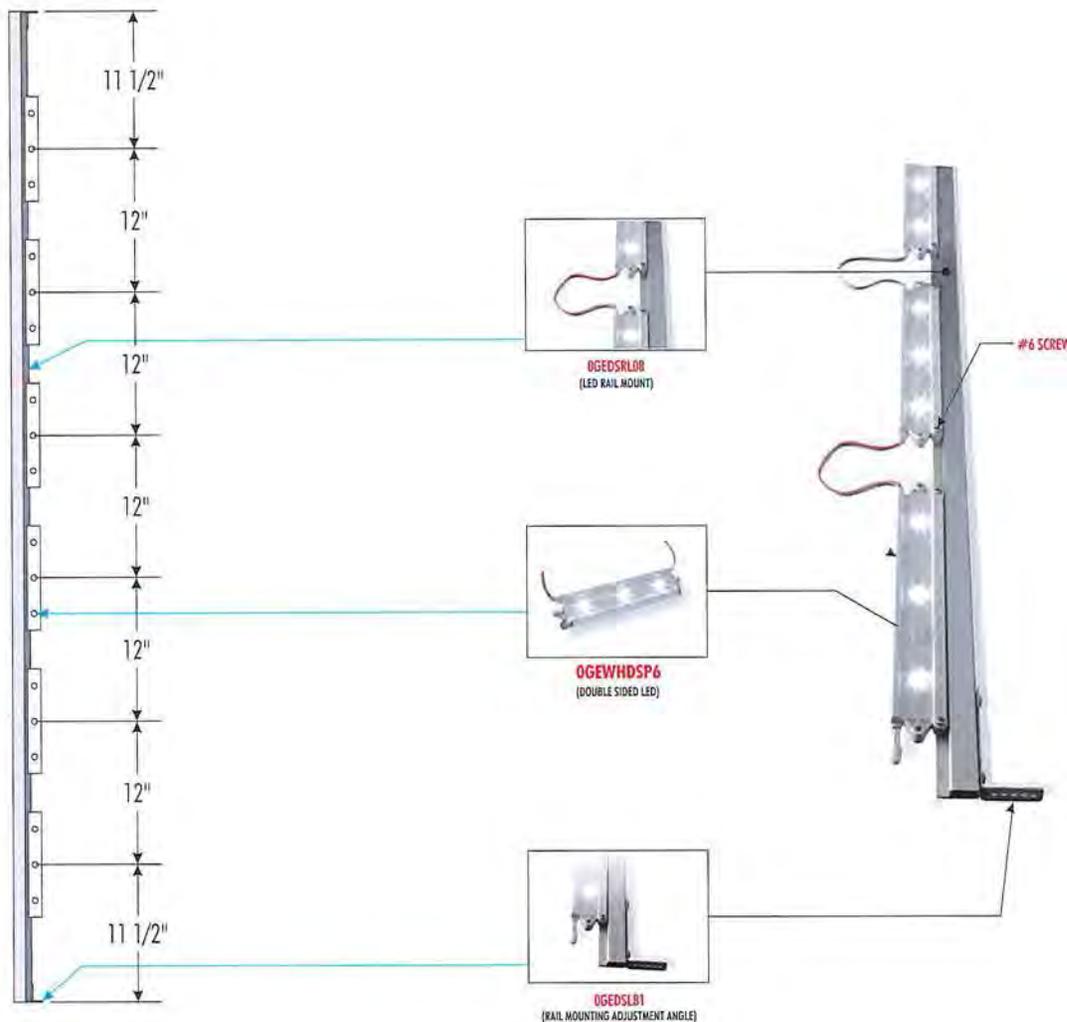
CLIENT: PSX

LOCATION: BRRF # 858013

QUOTE: Q 226608 DATE: 12/31/15

DRAWING PART # PSXB385-RETRO REV A SHEET # 2 OF 2

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(7) QTY. REQUIRED



SIDE A



SIDE B

ITEM 1 - 4P FACE PART NUMBER:
1PSXYLED0036KP
83" x 84 3/8" FRAME SIZE



ITEM 2 - 4P FACE PART NUMBER:
2PSXYLED0036KP
83" x 84 3/8" FRAME SIZE



ITEM 3 - LED PART NUMBER:
(1ABPK0814PW)

LED SET CONFIGURATION
ITEM CONSISTS OF
THREE (3) WHITE 8" LED PRICE LINE
ONE (2) GREEN 8" LED PRICE LINE
ONE (1) MASTER CONTROLLER
ONE (1) REMOTE CONTROL

SPECIFIED LED MANUFACTURER
ABLE APPLIED TECHNOLOGIES

PARTS COMPONENT LIST			
ITEM	PART NUMBER	DESCRIPTION	QTY
1	1PSXYLED0036KP	83" x 84 3/8" - 4 PRODUCT FACE	1-EACH
2	2PSXYLED0036KP	83" x 84 3/8" - 4 PRODUCT FACE	1-EACH
3	1ABPK0814PW	4 PRODUCT LED PRICE LINE SET	1-SET
4			

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6135 District Blvd • Maywood, CA 90270
600.423.4283 • Fax 323.560.7143
Website: www.signresource.com

REVISION HISTORY:			
REV	DATE	REVISIONS	APPROVED BY
A	12/22/15	R.M.	DD

INITIAL DRAWING RELEASE

COLOR DECORATION	
A	SILVER PAINT TO MATCH ACM BRIGHT SILVER BSX
B	GREEN
C	DAY/NIGHT PERFORATED VINYL
E	PMS 287C
F	PMS 185C
G	
MATERIAL LIST	
1	.177 PLASTIC
2	ALUMINUM
3	
4	
5	

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 800 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
• GRAPHICS +/- 1/8" • FACE SIZE +/- 1/16" - 3/4"
• CABINET +/- 1/8" • VINYL OVERLAP +/- 1/8" +/- 1/16"
• ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPORRY AT WEB SYSTEM
- NO SUBSTITUTION OR MATERIAL SUBSTITUTION WITHOUT FOL.
- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 40

DESCRIPTION
(PSX)
6'x8' APPROX
4 PRODUCT 8" LED PRICE LINE
REPLACEMENT FACE W/ RETAINER

DRAWN BY: D. DAWSON
CHECKED BY:
DATE: PSX CONOCO

APPROVAL SIGNATURE: BRRF # 858013

QUOTE: 226608 DATE: 12/22/15

LEADER SHEET # PSXYLED0036-KP REL. SHEET # A OF 4

Please Note: Weights and Measures requirements vary by State, County and Municipality. It is the responsibility of the customer to confirm that these graphics are compliant with all local Regulations, Statutes and Ordinances. Compliance must be confirmed by the party obtaining the permit. SignResource is not liable for misinterpretation of local Weights and Measures requirements or any rule changes that may occur after the order has been placed. If permitting and installation is provided by SignResource, we will make every effort to confirm the signage provided is compliant at the time of installation.

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INFORMATION BAR:

THIS IS A KIT PART ORDER

KIT PART NUMBER:

PSXYLED0036-KP

PAGE NUMBER:

1 OF 4

QUOTE NUMBER:

226608

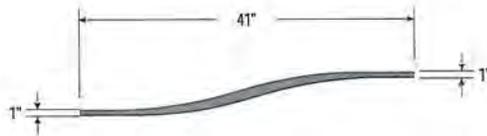
SignResource is not liable for misinterpretation of local Weights and Measures requirements or any rule changes that may occur after the order has been placed. If permitting and installation is provided by SignResource, we will make every effort to confirm the signage provided is compliant at the time of installation.



Food Mart Jolly Washer Car Wash

10¢ OFF PER GALLON

NIGHT ILLUMINATION VIEW



PRODUCT COPY

2 1/2" Regular Gasoline 1 11/16"

2 1/2" Diesel #2 1 11/16"

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6135 District Blvd • Maywood, CA 90270
800-423-4283 • Fax 323-569-7143
Website: www.signresource.com

REVISION HISTORY:

REV	DATE	REVISION BY	APPROVED BY
A	12/22/15	R.M.	DD

INITIAL DRAWING RELEASE

COLOR DECORATION

A	SILVER PAINT TO MATCH ACM BRIGHT SILVER BSX
B	GREEN
C	DAY/NIGHT PERFORATED VINYL
E	PMS 287C
F	PMS 165C
G	

MATERIAL LIST

1	.177 PLASTIC
2	ALUMINUM
3	
4	
5	

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GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
• GRAPHICS +/- 1/16" • FACE SIZE +/- 1/16"-3/4"
• CABINET +/- 1/8" • VINYL OVERLAP +/- 1/8" +/- 1/16"
• ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAY/AT MIB SYSTEM
- NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT POI.
- ALL ELECTRICAL SIGNS TO COMPLY WITH ILL 48

DESCRIPTION

(PSX)
6'x8' APPROX
4 PRODUCT 8" LED PRICE LINE
REPLACEMENT FACE W/ RETAINER

DRAWN BY: D. DAWSON

CHECKED BY: PSX CONOCO

APPROVAL SIGNATURE: BRRF # 858013

DATE: 226608 DATE: 12/22/15

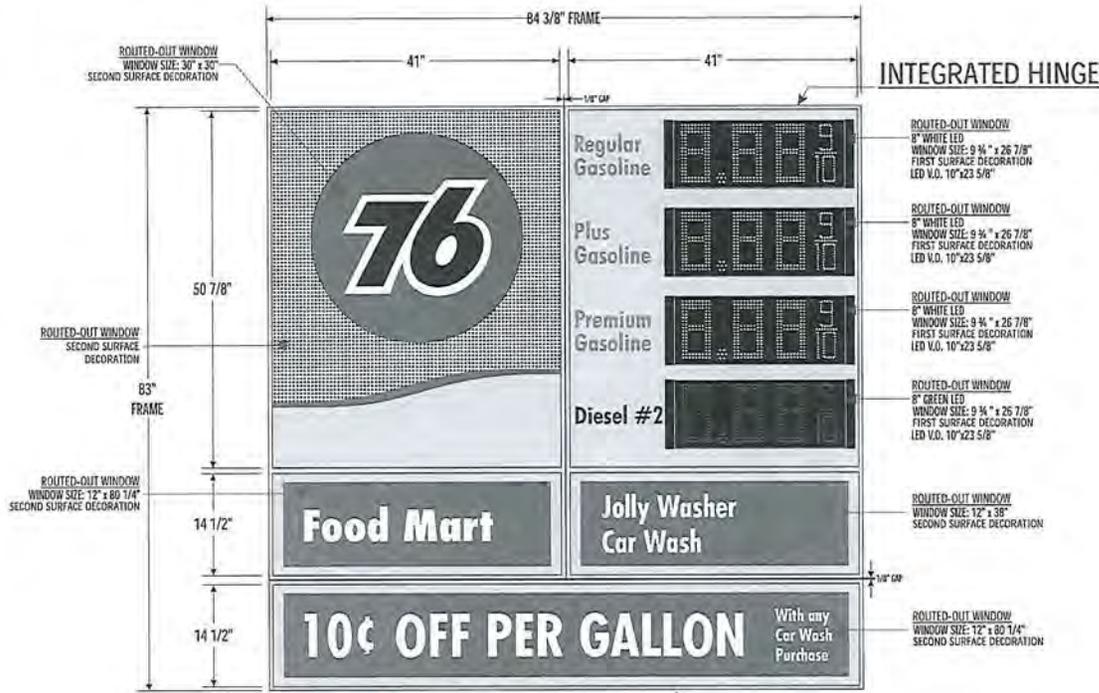
DESCRIPTION # PSXYLED0036-KP NEW SHEET # A 2 OF 4

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By signing you are certifying the dimensions and graphics provided to SignResource and you are handling your own installation.



SIDE VIEW



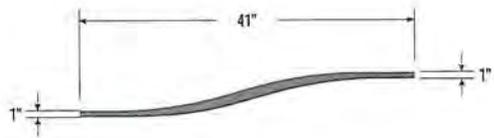
SIDE A

FRONT VIEW

SIDE VIEW

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INFORMATION BAR:	KIT PART NUMBER	PART NUMBER	PAGE NUMBER	QUOTE NUMBER
THIS IS A KIT PART ORDER	PSXYLED0036-KP	1PSXYLED0036KP	2 OF 4	226608



PRODUCT COPY
 2 1/2" Regular Gasoline 1.11/16"

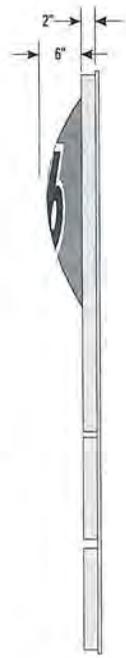
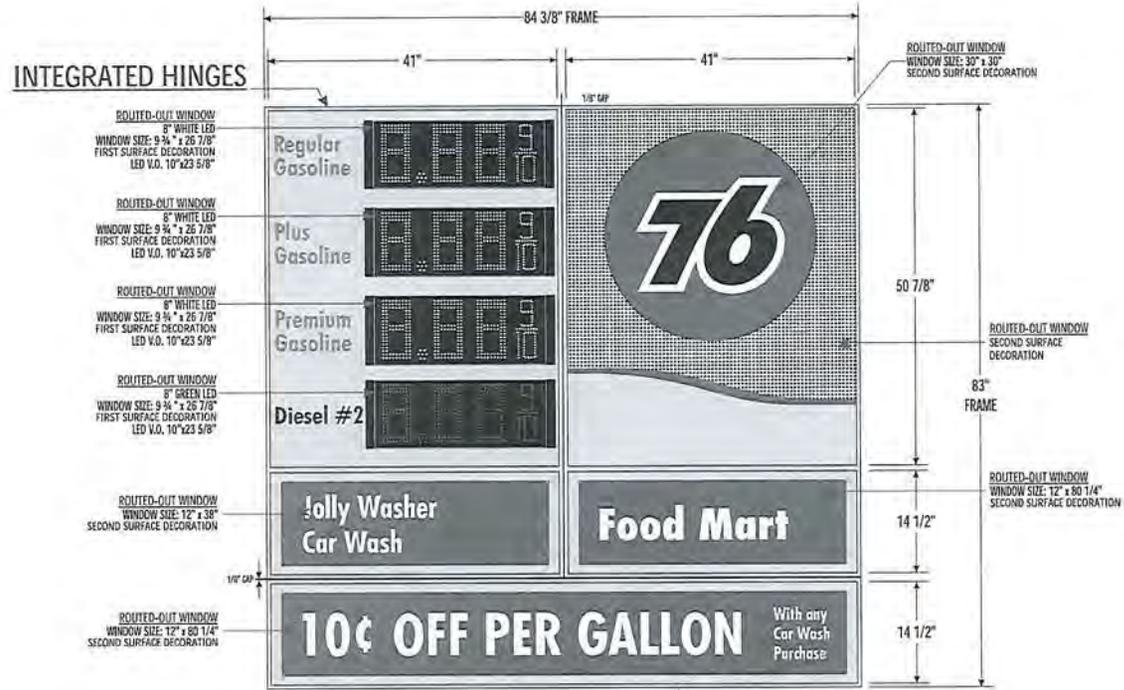
2 1/2" Diesel #2 1.11/16"

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 Website: www.signresource.com

REVISION HISTORY:

REV	DATE	REVISION BY	APPROVED BY
A	12/22/15	R.M.	DD

INITIAL DRAWING RELEASE



COLOR DECORATION

A	SILVER PAINT TO MATCH ACM BRIGHT SILVER BSX
B	GREEN
C	DAY/NIGHT PERFORATED VINYL
D	PMS 287C
E	PMS 165C
F	
G	

MATERIAL LIST

1	.177 PLASTIC
2	ALUMINUM
3	
4	
5	

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GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
 - GRAPHICS +/- 1/8" • FACE SIZE +/- 1/16" VC
 - CABINET +/- 1/8" • VINYL OVERLAP +/- 1/8" +/- 1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPURRY AT RISE SYSTEM
- NO REDUCTION OR MATERIAL SUBSTITUTION WITHOUT EGR.
- ALL ELECTRICAL SIGNS TO COMPLY WITH I.A. 48

DESCRIPTION
 (PSX)
 6'x8' APPROX
 4 PRODUCT 8" LED PRICE LINE
 REPLACEMENT FACE W/ RETAINER

DRAWN BY: D. DAWSON
 CHECKED BY:
 DATE: PSX CONOCO

LOCATION: BRRF # 858013
 QUOTE: 226608 DATE: 12/22/15

DRAWING PART #	REV	SHEET #
PSXYLED0036-KP	A	3 OF 4

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APPROVAL SIGNATURE
 By signing, you are verifying the dimensions and graphics provided in SignResource and/or your own fielding your own installation.

INFORMATION BAR:	KIT PART NUMBER	PART NUMBER	PAGE NUMBER	QUOTE NUMBER
THIS IS A KIT PART ORDER	PSXYLED0036-KP	2PSXYLED0036KP	3 OF 4	226608

REVISION HISTORY:

REV	DATE	REVISION BY	UPDATED BY
A	12/22/15	R.M.	DD

INITIAL DRAWING RELEASE

COLOR DECORATION

A	SILVER PAINT TO MATCH ACM BRIGHT SILVER BSX
B	GREEN
C	DAY/NIGHT PERFORATED VINYL
E	PMS 287C
F	PMS 165C

MATERIAL LIST

1	.177 PLASTIC
2	ALUMINUM
3	
4	
5	

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GENERAL NOTES

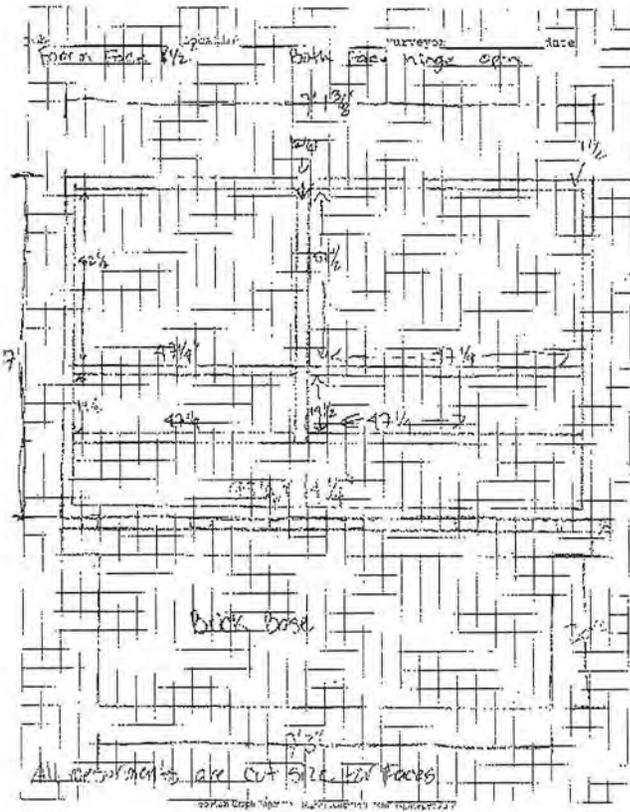
1. TOLERANCE (UNLESS NOTED)
 - GRAPHS + / - 1/8" • FACE SIZE + / 1/16" - 3/4"
 - CABINET + / - 1/8" • VINYL OVERLAP + 1/8" + / 1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. PMS COLOR CALLOUT INDICATES USE OF SPRAY-ON INK SYSTEM
4. NO REDUCTION OR MATERIAL SUBSTITUTION WITHOUT PERM.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

DESCRIPTION
(PSX)
6'x8' APPROX
4 PRODUCT 8" LED PRICE LINE
REPLACEMENT FACE W/ RETAINER

DRAWN BY: D. DAWSON
CHECKED BY:
DRAWN: PSX CONOCO
LOCATION: BRRF # 858013
QUOTE #: 226608 DATE: 12/22/15

DESCRIPTION # PSXYLED0036-KP REV A SHEET # 4 OF 4

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SURVEY INFORMATION

INFORMATION BAR

THIS IS A KIT PART ORDER

KIT PART NUMBER

PSXYLED0036-KP

PAGE NUMBER

4 OF 4

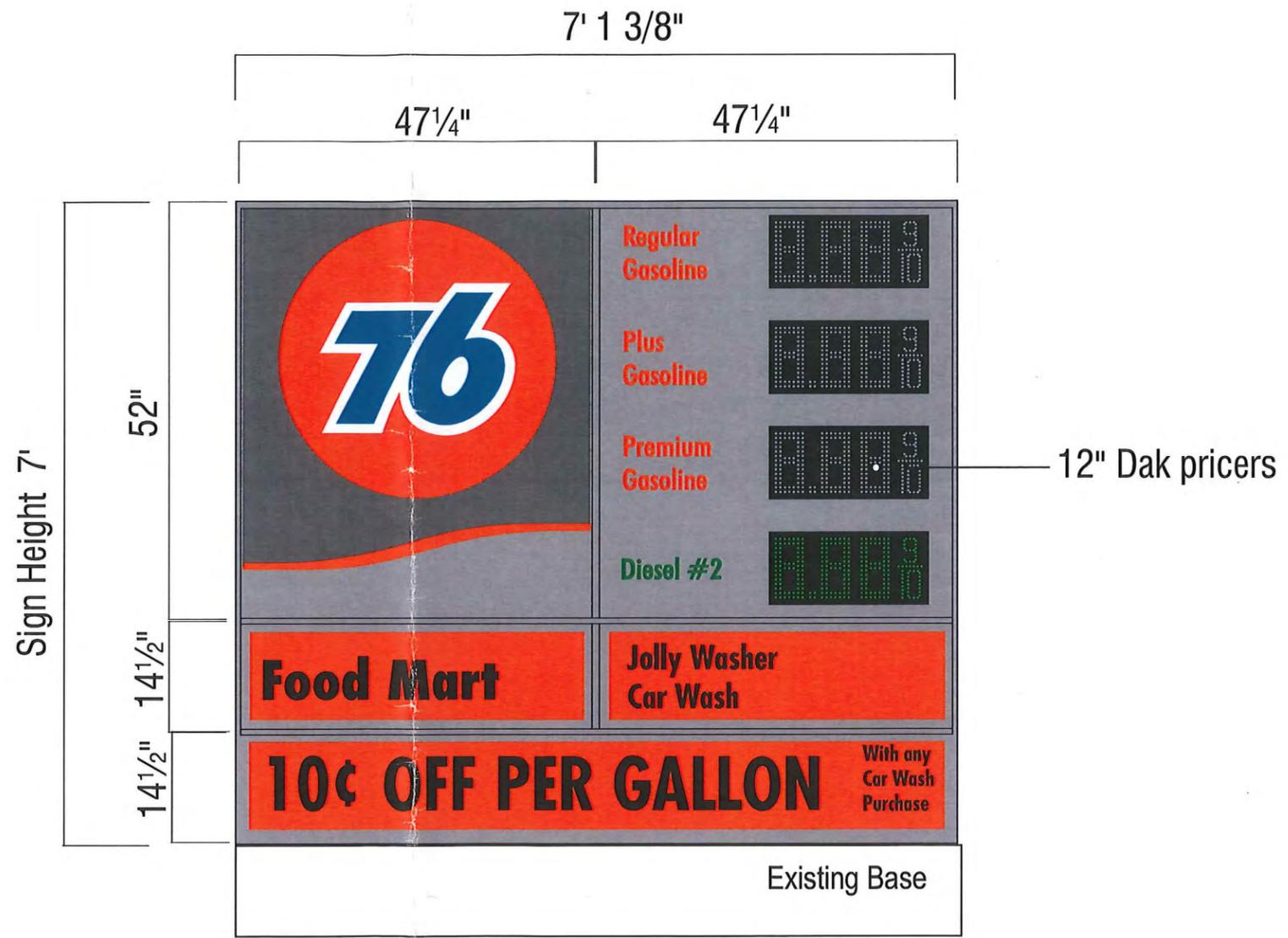
QUOTE:

226608

C MONUMENT



BEFORE



project name CONVERSION - 76	shipto # 858013
customer Phillips 66	created by C. RUSSELL
revision # R1	date 08_17_2015
scale NA	page # 6 OF 8


BIG RED ROOSTER FLOW
 2 Northfield Plaza, Ste 211 Northfield, IL 60093
 P: (847) 441-1818 F: (847) 592-9564

PERMIT PACKET

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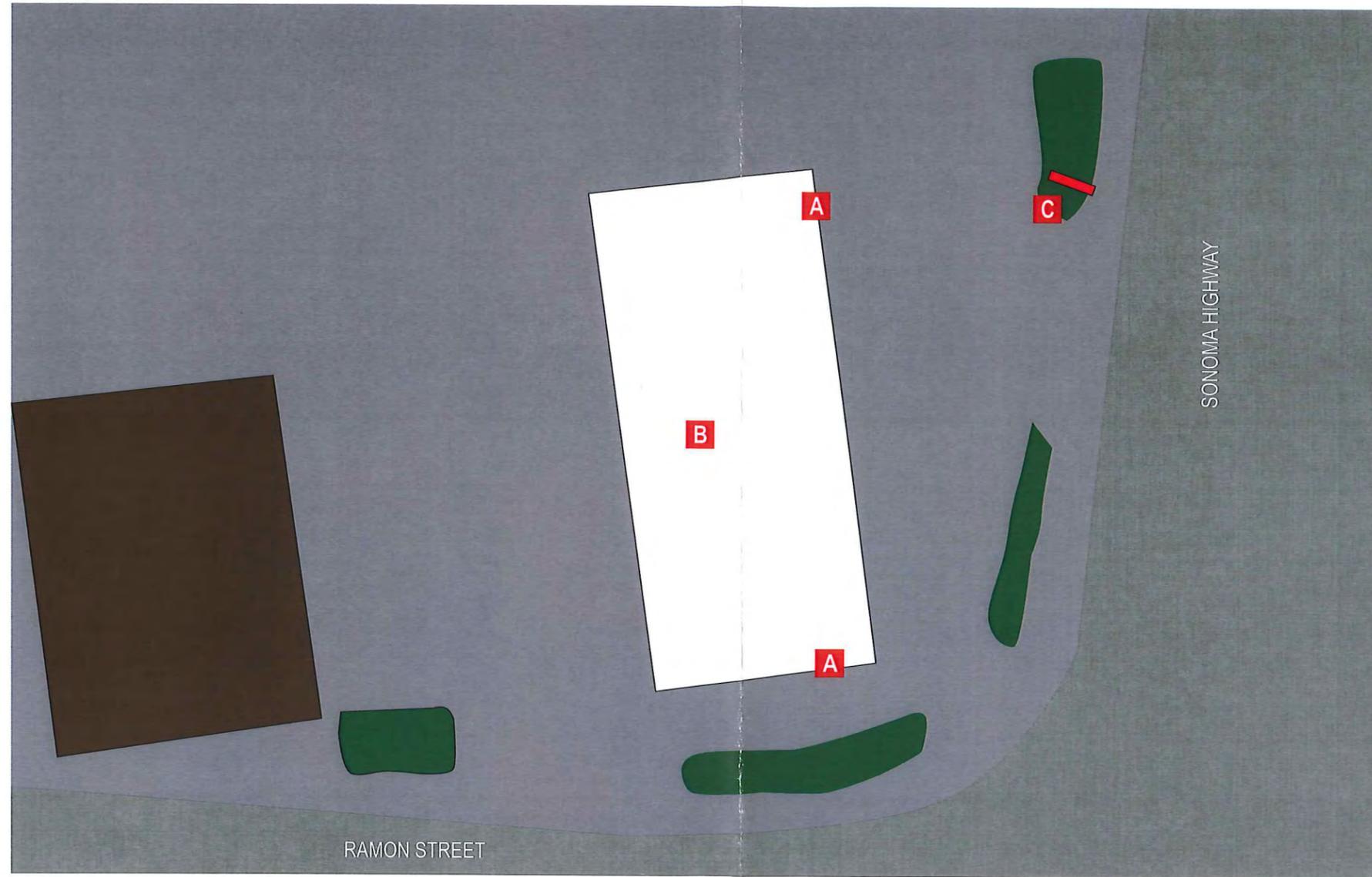
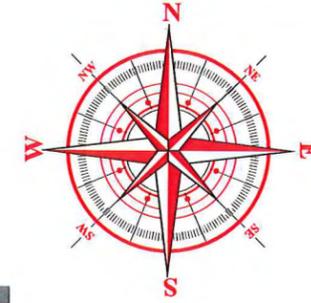
*19249 Sonoma Hwy
Sonoma, CA*

approval signature
 I have reviewed the visuals within this document and I approve the designs and scope of work listed within.

NOV 30 2015

SITE PLAN

- A** Canopy Logos
- B** Canopy Image
- C** Main ID



 approval signature
 I have reviewed the visuals within this documnet and I approve the designs and scope of work listed within.

project name CONVERSION - 76	shipto # 858013
customer Phillips 66	created by C. RUSSELL
revision # R1	date 08_17_2015
scale NA	page # 8 OF 8

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BIG RED ROOSTER FLOW
 2 Northfield Plaza, Ste 211 Northfield, IL 60093
 P: (847) 441-1818 F: (847) 592-9564

PERMIT PACKET

NOV 30 2015



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 5

Meeting Date: 01/19/15

Applicant

Perry Builders, Inc.

Project Location

19249 Sonoma Highway

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: 1974
-

Request

Consideration of design review and new canopy signs for the 76 service station.

Summary

Background: On August 16, 2005, the Design Review Commission approved a new canopy fascia color, new canopy logo signs, and the refacing of an existing (47 square-foot in area) monument sign for the Jolly Washer 76 service station. A separate application (with a different applicant) has been submitted for a new monument sign. At this time the applicant is proposing design review and new canopy signs for the property.

Modifications to Canopy & Pump Islands:

- The existing canopy is proposed to be removed and replaced with a plastic material, grey in color with an red decal sticker. The east and west facing elevation are proposed to be illuminated (See sheet A3 of the submitted plans). The existing canopy roof is proposed to remain unchanged.
- Install new dispenser illuminated valences, toppers, and decals (red with blue, gray and white accent colors) on gas pumps.
- The fueling islands curbs and U shaped bollards are proposed to be painted grey.
- The existing canopy light fixtures are proposed to be removed and replaced (see attached specification sheet).

Canopy Signs:

Two new "76" canopy signs are proposed on the north and east facing elevations. The signs are 6 square feet in area (33 inches in diameter). The sign would be constructed of a plastic material. Copy on the sign would consist of blue and white lettering on a red background. Internal illumination is proposed. The applicant is proposing to illuminate the signs from 4 a.m. to 11 p.m. (Monday through Friday) and 6 a.m. to 10 p.m. (Saturday and Sunday). Gas is dispensed 24 hours per day. The applicant has stated that the surface brightness will not be greater than one hundred (100) foot-lamberts.

Aggregate Sign Area: Based on the property's frontage on Sonoma Highway (± 140 feet) and Ramon Street (± 265 feet), the maximum allowable aggregate sign area for the property is 115 square feet. The proposal would not comply with this standard in that signage for the service station would total ± 116.18 square feet, including the monument side (75.18 square feet of aggregate sign area), the two logo signs on the fascia (12 square feet of aggregate sign area combined) (proposed on a separate application), the wall sign on the carwash (± 9 square feet of aggregate sign area), and the wall sign on the primary building (± 20 square feet of aggregate sign area). The applicant is requesting a variance from this standard.

Canopy Signs: A maximum of three identification signs, not to exceed 10 square feet each, are allowed on a service station canopy (§18.20.027). The two "76" signs proposed on the canopy fascia would comply with this requirement in that each sign is 6 square feet.

Issues: As the existing and proposed signage would exceed the maximum permitted for the site, a variance would be

required for the approval of the requested sign permit. In review of this application, the DRHPC has discretion over the ultimate number, size, and location of proposed signs, as well as any exterior changes to improvements on the site, including colors, architectural details (e.g. proposed canopy fascia) and illumination (e.g. proposed illuminated logo signs on the canopy fascia). However, staff would note that the city cannot require alterations to registered trademarks. Therefore any logo signs that the DRHPC chooses to approve (including the copy “76”) can utilize their respective trademark colors (red/blue/white). All other elements of the proposal are subject to the discretion of the commission, including use of corporate colors throughout the property.

Existing Signs: During the site visit, staff observed a number of illegal signs displayed on the property consisting of a portable freestanding sign (California Lottery), and a number of illuminated and non-illuminated window signs. These signs have not been approved and shall be removed immediately.

Basic Findings: In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC [18.04.010](#) and the applicable guidelines for signs set forth by SMC [18.60.010](#), Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Variances: As noted above, the proposal would exceed the maximum allowable aggregate sign area for the property. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, all signs shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications*Attachments*

1. *Project narrative*
2. *Permit packet*

cc: Perry Builders, Inc.
11130 Lorensor Road
Auburn, CA 95602

Cachita LLC
721 East School Street
Cotati, CA 94931-4162

76 Conversion

PROJECT LOCATION

19249 Hwy 12
Sonoma, CA 95476

[38.298787](tel:38.298787), [-122.475557](tel:-122.475557)

SITE MAP



PROJECT OVERVIEW

- A** Canopy Logos
- B** Canopy Visuals
- C** Main ID Visuals
- D** Dispenser Visuals

Project Manager:
Big Red Rooster Flow
2 Northfield Plaza, Suite 211, Northfield, IL
60093
847-501-2739

Marketer:
Miguel Bunting
(707) 528-3600

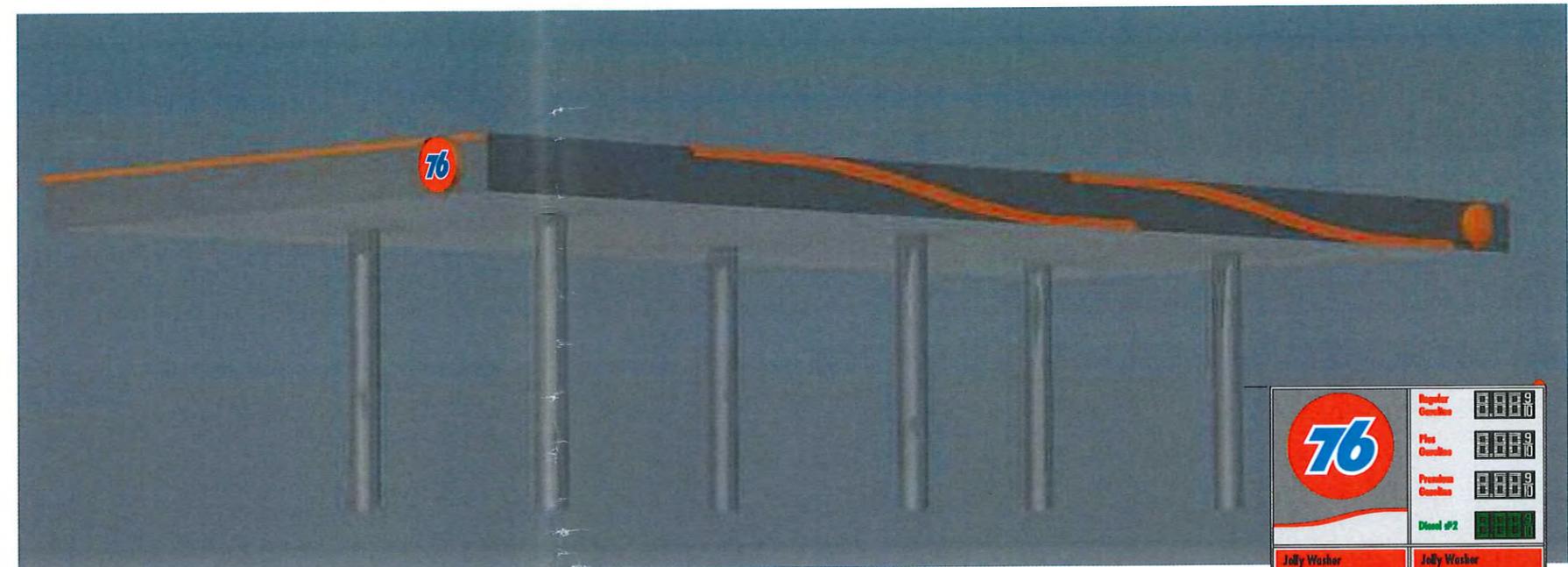
Site Operator:

Forecourt Installer:

Sign Installer:



SITE - BEFORE



SITE CONCEPT - AFTER



approval signature
I have reviewed the visuals within this documnet and I approve the designs and scope of work listed within.

project name	shipto #
CONVERSION - 76	858013
customer	created by
Phillips 66	C. RUSSELL
revision #	date
R1	08_17_2015
scale	page #
NA	1 OF 8

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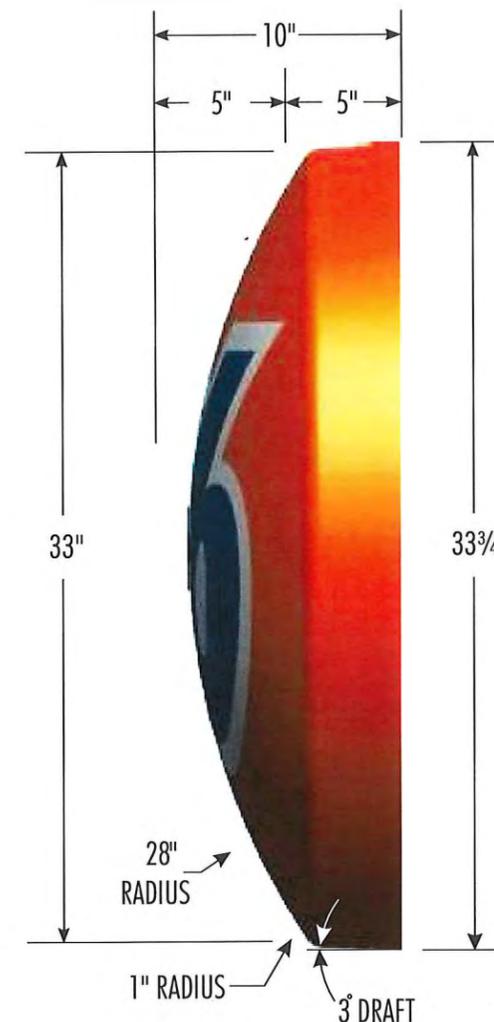

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A CANOPY LOGOS



FRONT VIEW



SIDE VIEW

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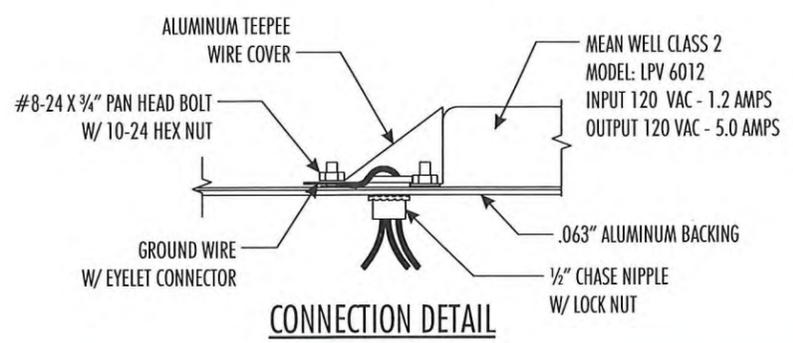
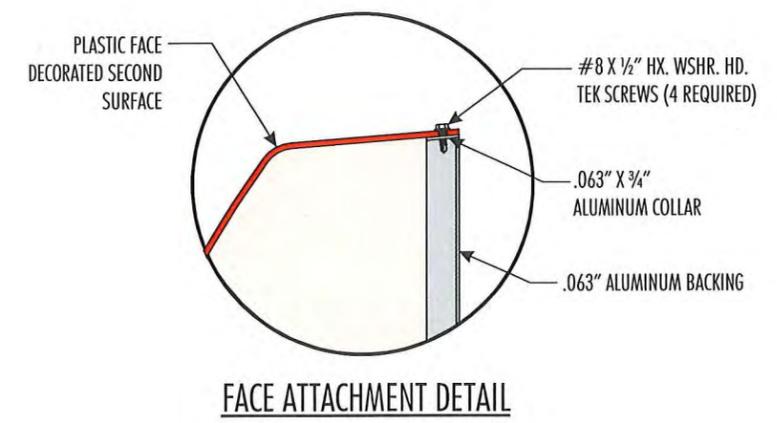
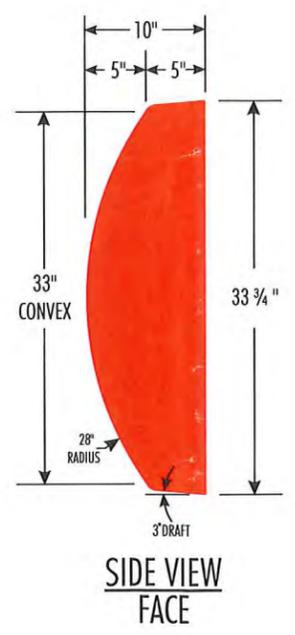
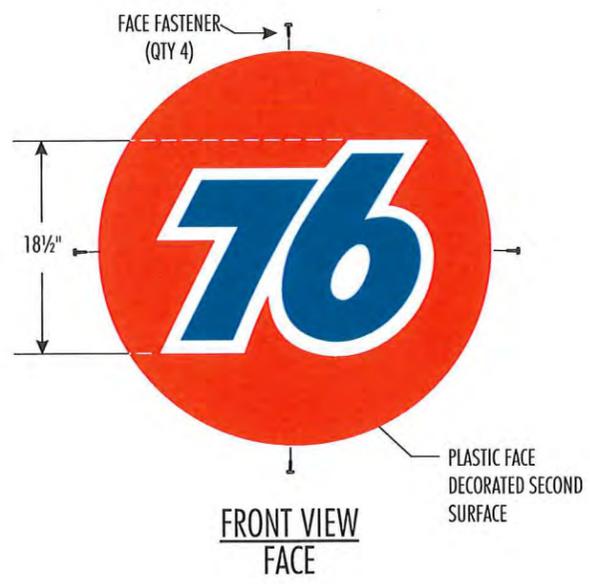
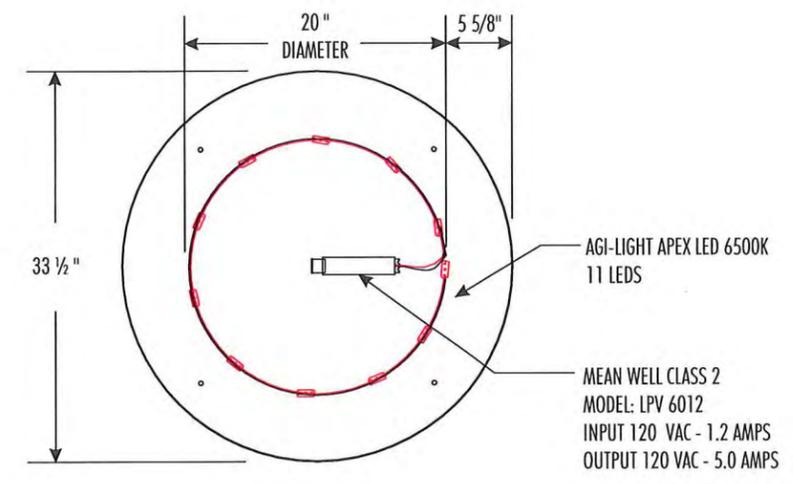
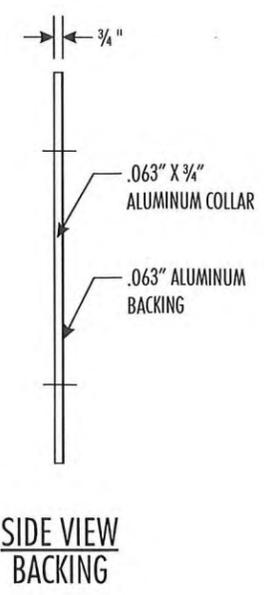
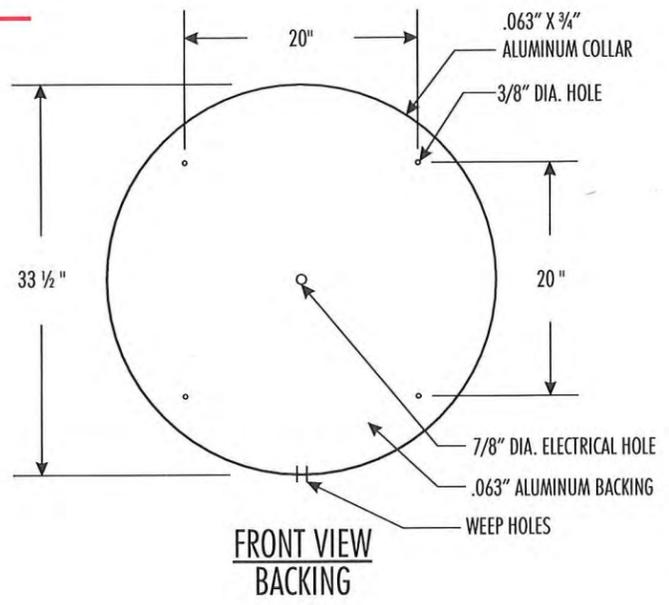
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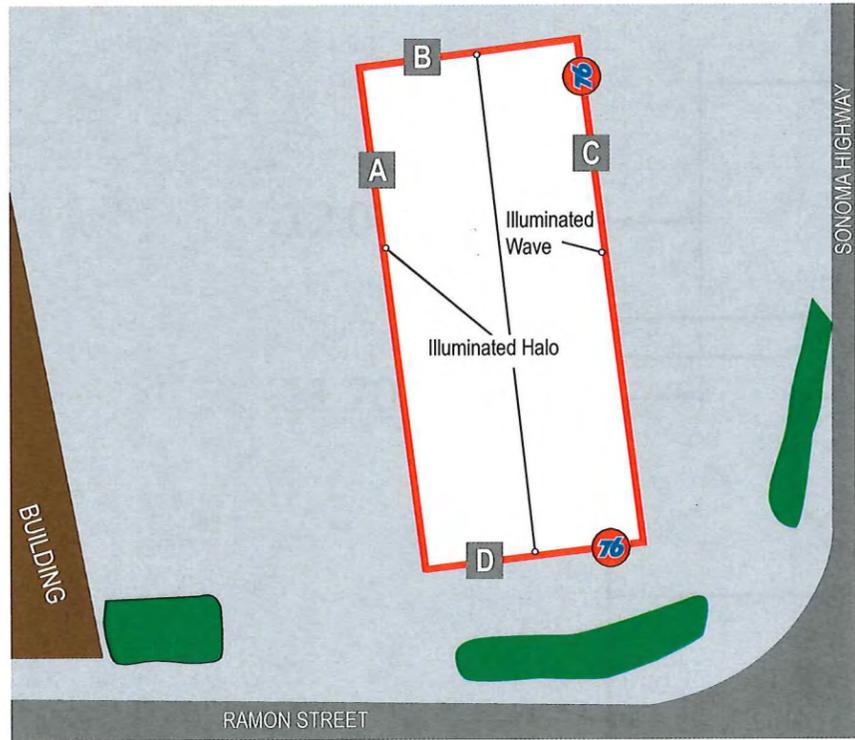
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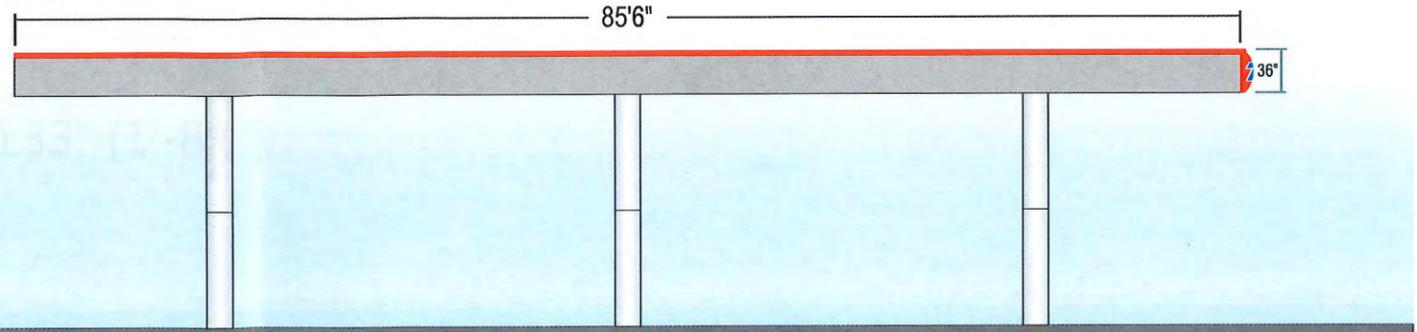
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B CANOPY IMAGE

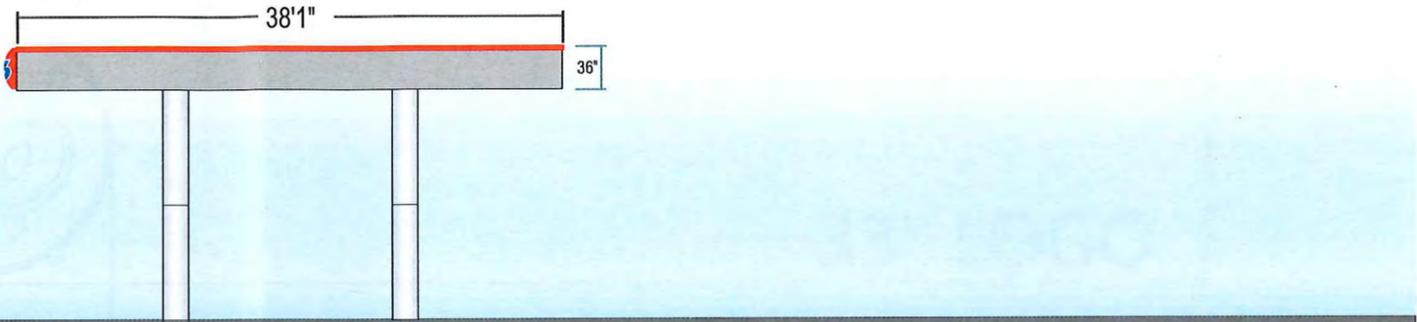


CANOPY PERSPECTIVE

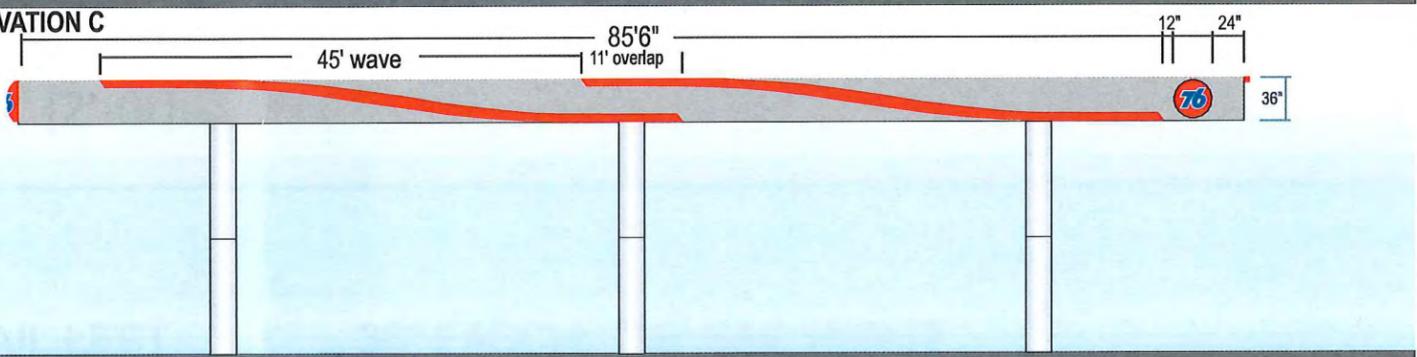
ELEVATION A



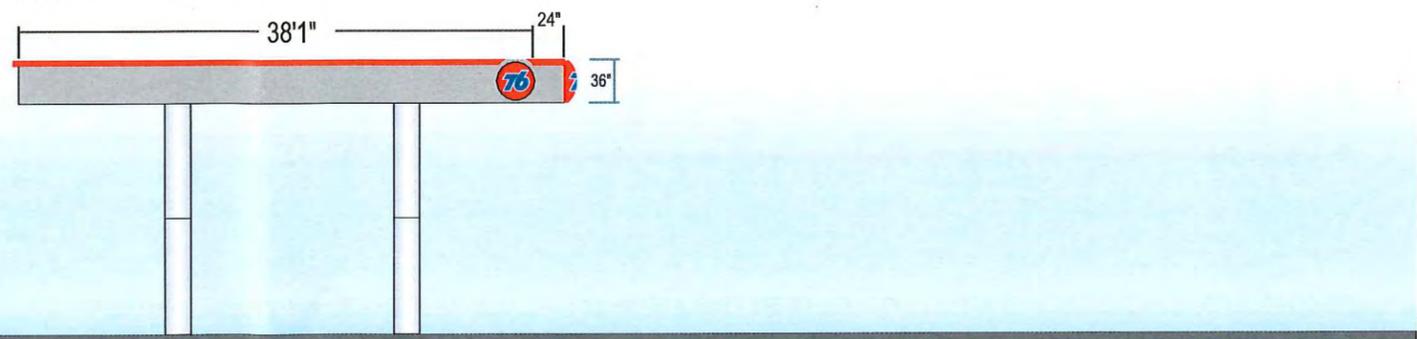
ELEVATION B



ELEVATION C



ELEVATION D



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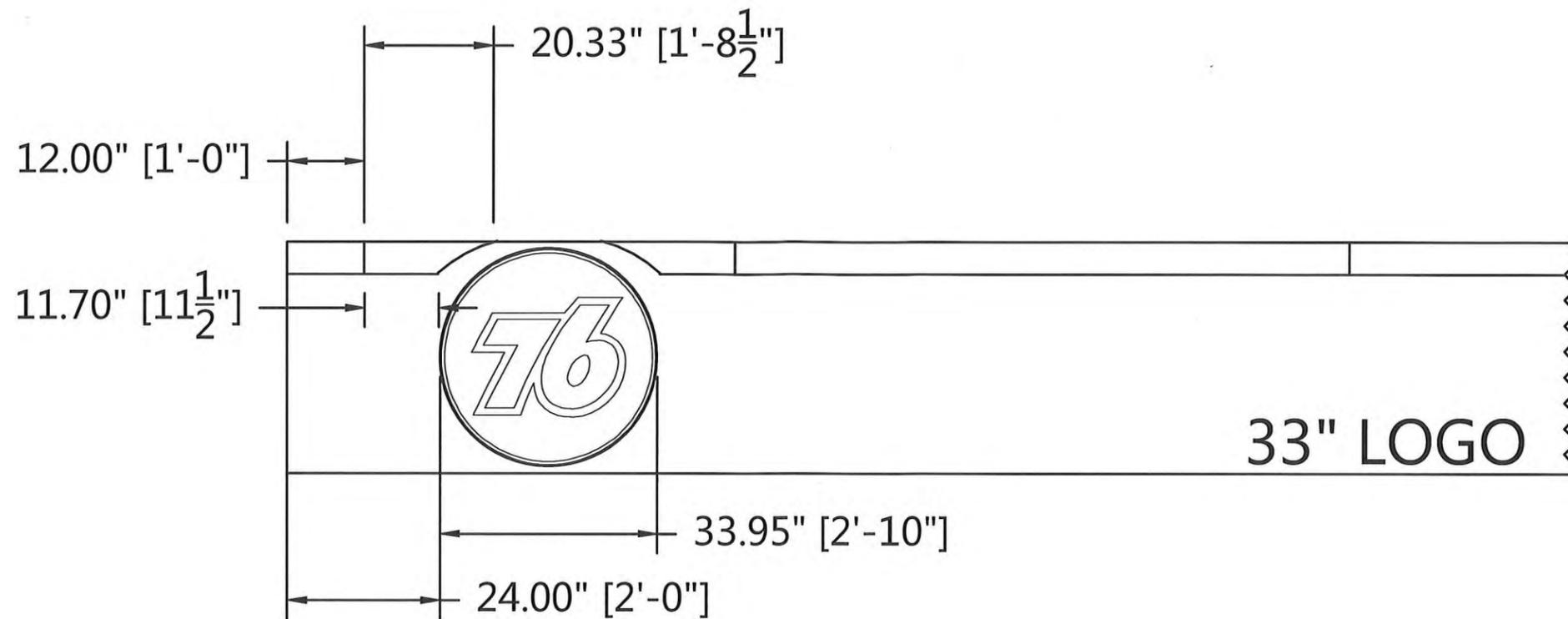
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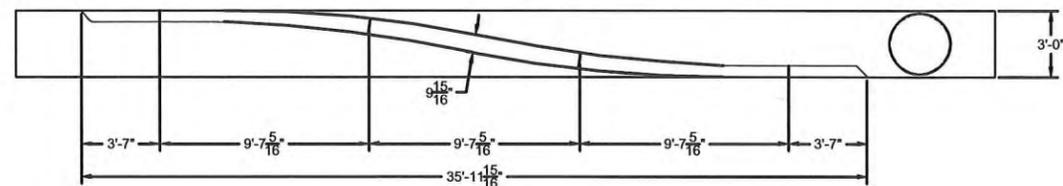
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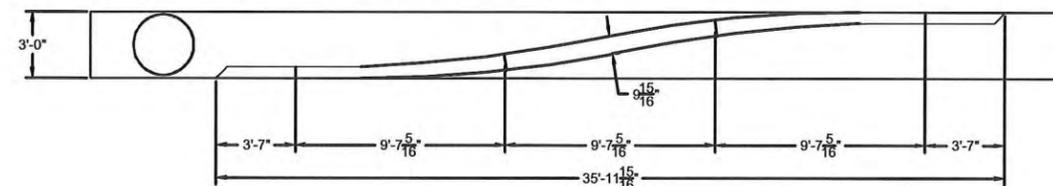
B CANOPY IMAGE



36" FASCIA - 36' SAIL LEFT



36" FASCIA - 36' SAIL RIGHT



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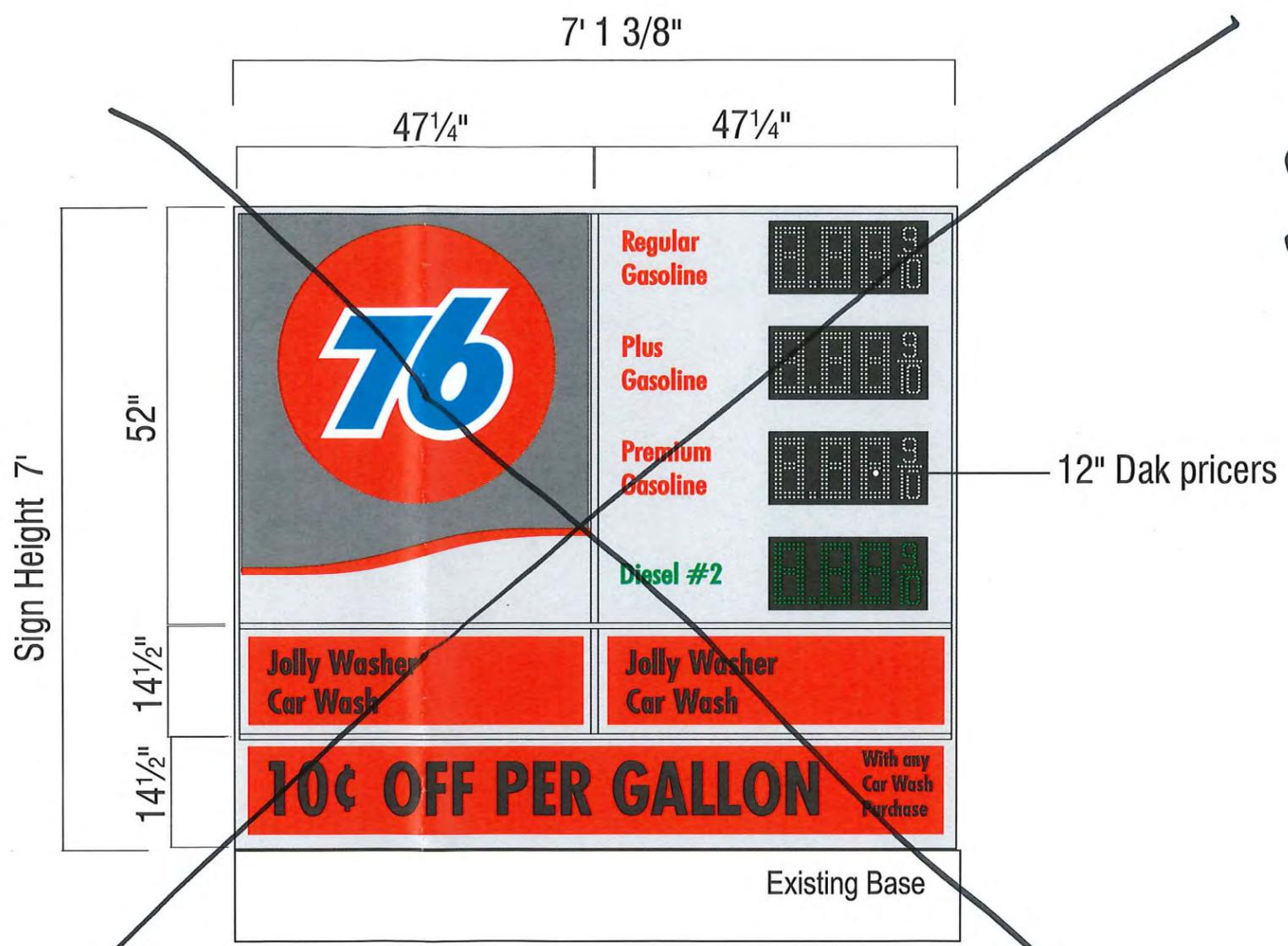
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C MONUMENT



BEFORE



Not part of this application

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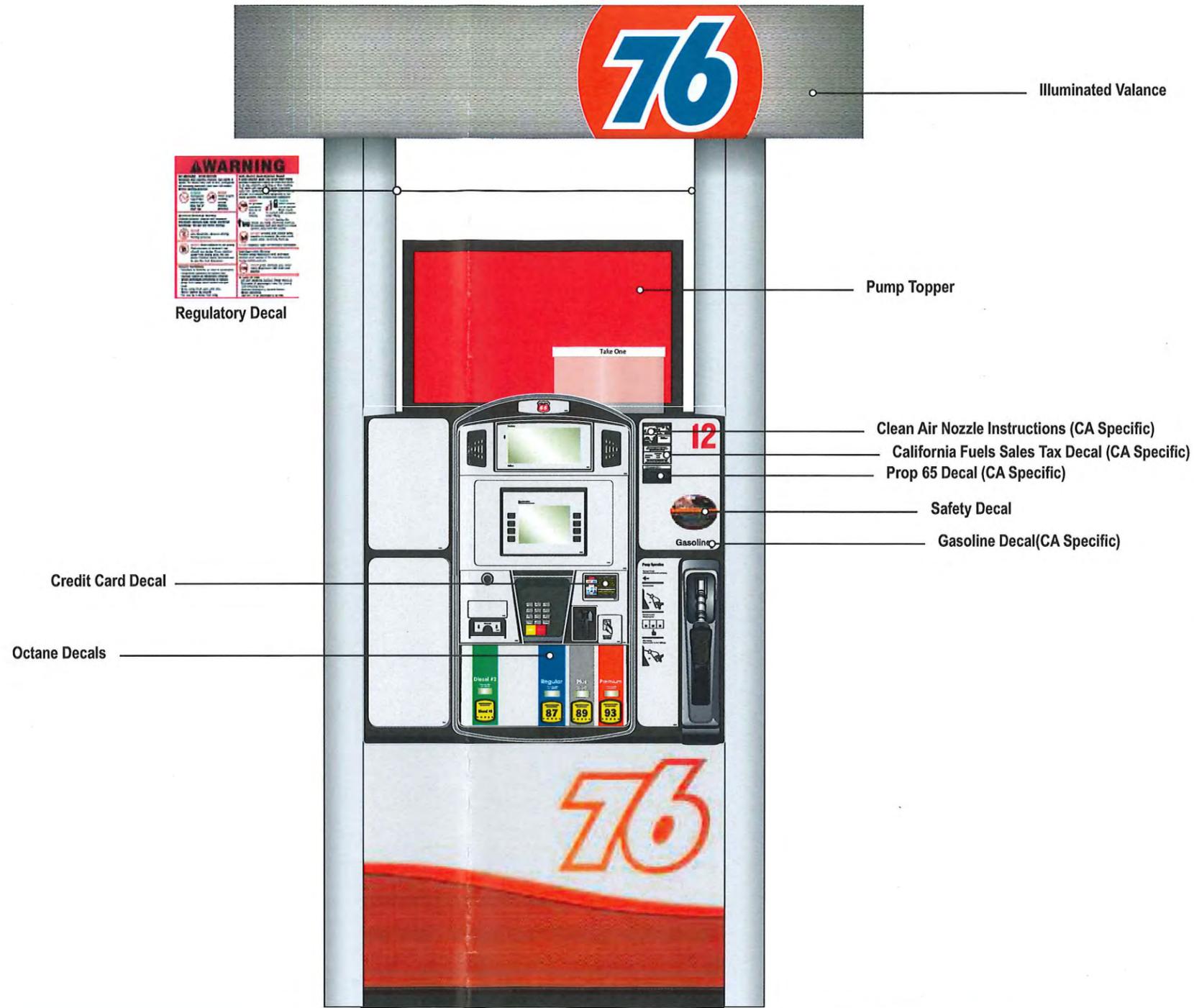
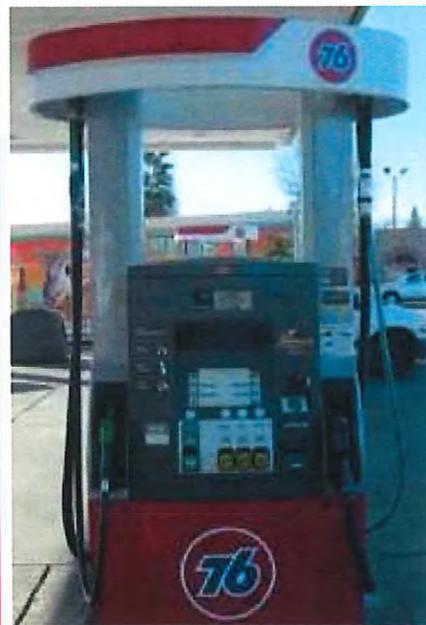
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E DISPENSER



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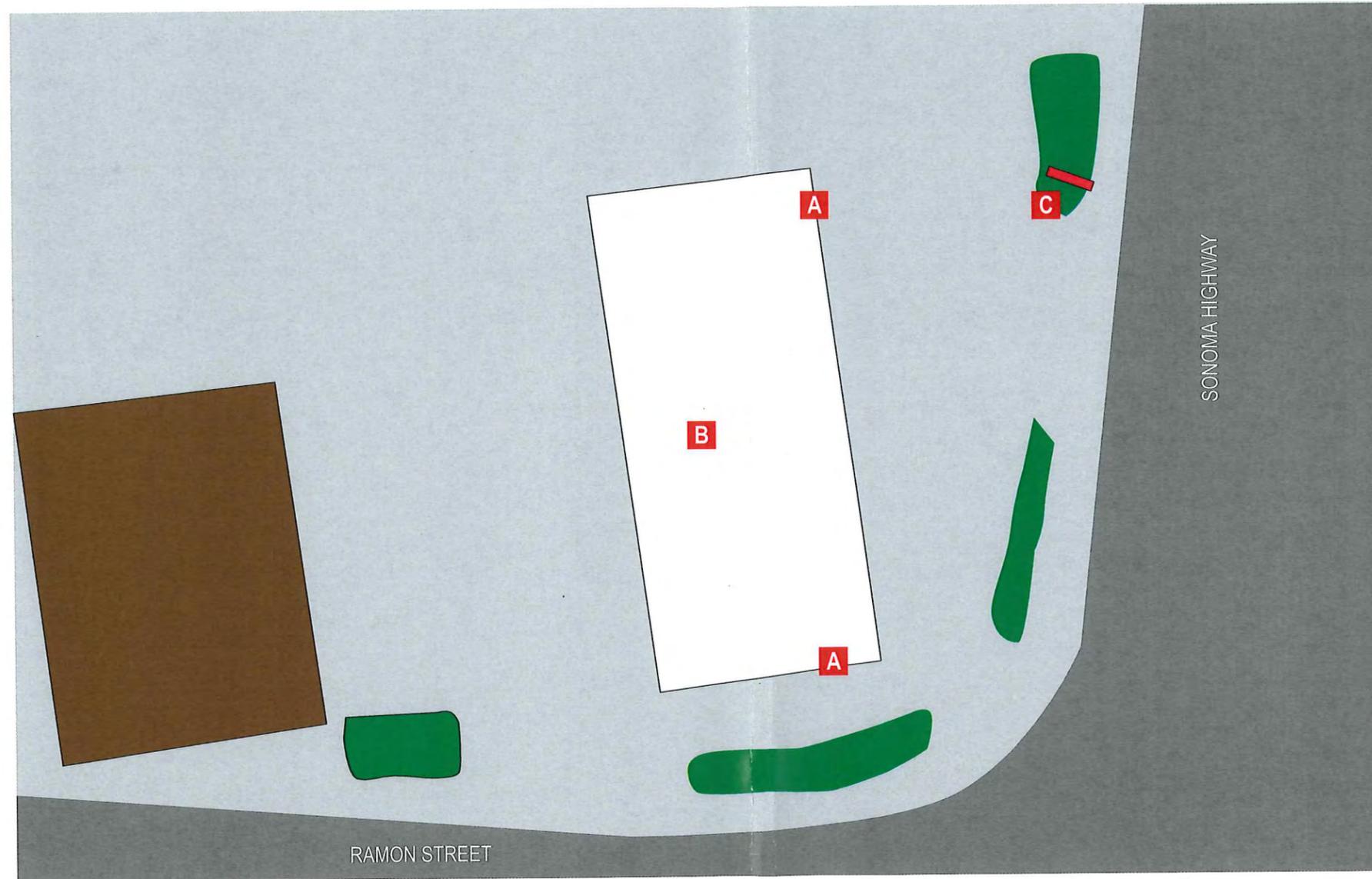
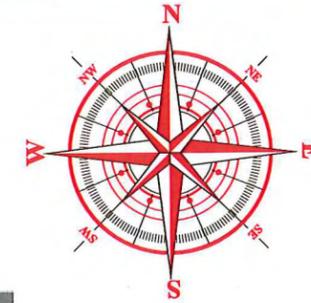
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DEC 08 2015

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SITE PLAN

- A** Canopy Logos
- B** Canopy Image
- C** Main ID



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City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

**DRHPC Agenda 6
Item:**

Meeting Date: 01/19/16

Applicant

Russell Nobles

Project Location

790 Second Street East

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built:

Request

Design review for a new single family residence and attached garage located at 790 Second Street East.

Summary

Background: On October 20, 2015, the DRHPC approved the demolition of a single-family residence located on the property at 790 Second Street East.

At this time the architect is proposing to construct a 2,640 square foot residence and 560.25 square foot attached garage on the property.

Zoning Requirements: The standards of the Low Density Residential zone applicable to the proposal are as follows:

- *Setbacks:* The new residence will meet or exceed the normal setback requirements.
- *Coverage:* At 28%, site coverage is less than the 40% maximum allowed in the Low Density Residential zone.
- *Floor Area Ratio:* The project would result in a F.A.R. of 0.28, which is less than the 0.40 maximum allowed.
- *Parking:* Two covered parking spaces are provided in the attached garage. This meets the requirement.
- *Height:* The one-story residence would have a maximum ridge height of 21 feet one inch, which is less than the 30-foot height limit allowed in the zone.

In short, the project complies with the applicable requirements of the Development Code, and is not subject to Planning Commission approval.

Design Review: New single family homes located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
There are no historically significant features on the site.

2. Environmental features on or adjacent to the site;
Staff is not aware of any environmental features on or adjacent to the site.
3. The context of uses and architecture established by adjacent development;
The adjacent properties to the north, west, and east are developed with single family residences.
4. The location, design, site plan configuration, and effect of the proposed development.
The location, design, site plan configuration, and effect of the new residence are compatible with surrounding uses.

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement residence and detached garage.

Building Elevations & Exterior Materials: The design of the new residence is intended to be compatible with the surrounding neighborhood. Proposed exterior materials consist of horizontal HardiePlank lap siding with 7-inch exposure per board and CertainTeed Landmark Pro (fiber glass construction shingles) Georgetown gray in color. The front door and side lights will consist of Simpson (or comparable) custom made stained glass depicting grapevines and will be composed of wood and glass material. The door on Chase Street will consist of a custom made Simpson (or comparable) design composed of wood and glass. The applicant is proposing Talon aluminum clad style windows (see attached specification sheets). The top ¼ of all windows will be mullioned in a 2-pane or 3-pane pattern. The windows will be double-hung in style, with the exception of the windows on the Second Street East/Chase corner, which will be a series of tall windows.

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan;
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code; and
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site; and
5. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative
2. Window specifications
3. Siding specifications
4. Roofing material specifications
5. Site plan
6. Floor plan
7. Elevations
8. Building sections

cc: William and Sandra Burcham
256 Richards Blvd
Sonoma, CA 95476-3448

Russell Nobles
P.O. Box 1712
Santa Rosa, CA 95402

Mary Martinez, via will call at City hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey

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Custom
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CA#665074

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CITY OF SONOMA

12/15/2015

Planning Department
City of Sonoma

The following is offered in support of an application for a Building Permit for the property located at 790 Second Street East, Sonoma, CA 95476.

Background

The subject property is located within the Historic Overlay. An Historic Resources Evaluation was performed concluding that the property was not of any historic or architectural significance. The HRE report and supporting documentation were submitted to the Design Review and Historic Preservation Commission in application for a Demolition Permit. The Commission voted to approve the Demolition Permit as submitted.

Project Description

The project is a single-level Craftsman Style home. This style is highly representative of the area. Features will include a porch on the 2nd Street East side of the house under an extension of the main roof. The main entrance to the house will be from this porch. A second, smaller porch will provide access to another door on the Chase Street side of the house. Both porches will be framed by tapered square columns supporting the roof. The main entrance will be accessed by a brick walkway and brick stairs to the porch. There will be brick wainscoting around portions of the exterior of the house and the porches. The porch enclosures will be further defined by white wood railings.

The front door and side lights will be stained glass depicting grapevines. The front door will be 8 feet in height. There will be an awning window on the gable above the front porch and decorative brackets under the eaves. The porch on the Chase Street side will mimic this look with decorative window and decorative brackets under the eaves.

The top ¼ of all windows will be mullioned in a 2-pane or 3-pane pattern in keeping with the size of each window. This pattern will be carried out on the door on the Chase Street side as well. The windows will mostly be double-hung in style, with the exception of the windows on the 2nd Street/Chase corner, which will be a series of tall windows, also with mullion panes at the top. Windows will be aluminum clad painted to match the trim of the house.

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The siding will be horizontal lap siding, with 7-inch exposure per board. The material will be fiber cement in a textured cedarmill finish looking like wood grain. The color is Mountain Sage which will be offset by trim and windows in Swiss Mocha. The downspouts will be made of colored metal that will match the trim.

The attached garage is north of the house and continues in the same style, utilizing the same materials and colors. The 2-car garage has 2 sectional type overhead carriage house style doors separated by a post. The driveway will be constructed of concrete and will utilize brick trim.

Low fencing would be utilized on both the 2nd Street East and the Chase Street sides of the property, while higher fences would abut the 2 neighboring properties to provide for privacy. The fencing will be a combination of brick stanchions alternating with white fencing.

Community Outreach

A flyer has been distributed to the neighbors with an update of the project status. Neighbors have been very encouraging regarding the pr



Russell Nobles
Russell Nobles Construction

Talon® Double-Hung Windows



White ALUM. CIAD

Frame & Sash

① Select wood components are kiln dried, and treated with water/insect repellent and preservative. Interior wood surfaces are available in pine or mixed grain fir, or optional wood species including cherry, hickory, African mahogany, maple, oak, walnut, alder or vertical grain fir. Interior surfaces are available unfinished or factory primed. Optional factory-applied finishes are available in a variety of stains and basecoats.

Glazing

③ High-performance Low-E4® glass with a low-conductance spacer. Triple insulated glass, tinted, clear IG, high-altitude glass and other special glazing options are available.

④ Glass is fixed in place from the interior with wood stops that can be removed for easy reglazing if necessary. Glass stops available in colonial and contemporary profiles.

Hardware

⑥ Sash lock/tilt mechanisms and keepers give a slim, more traditional design and allow opening and tilting of the window in one operation. Tilting the sash from the inside for cleaning is effortless.

Optional surface mount sash lifts allow for easy operation. Units less than 3' wide use one lift. Units 3' wide and greater use two lifts.

Hardware is available in finishes of bronze.

DEC 28 2015

Features & Options

Visit our website to see larger images of our features and options.

<p>6 <i>Sash Locks</i></p>	<p>7 <i>Rigid Jamb Liners</i></p> <p>OPTIONAL WOOD INSERT OPTIONAL METAL INSERTS</p>	<p>9 <i>Divided Lights</i></p> <p>*NOTE: Divided light options also available in 2 1/4" width and in contemporary profile.</p> <p>MDL - Modern Divided Lights* Flat - Between-glass grilles CDL - Classic Divided Lights* Contoured - Between-glass grilles Removable - Removable wood grilles</p> <p>See page 24 for more information on our divided light options.</p>
<p><i>Sash Lifts</i></p>	<p>8 <i>Insect Screens</i></p>	<p>10 <i>VeriLock™ Sensors</i></p> <p>E-Series/Eagle® double-hung windows with VeriLock™ sensors use a different sash lock. Available in all hardware finishes.</p>

Jamb Liner & Balance System
7 Double-hung jamb liners incorporate synthetic interior and exterior inserts or optional painted aluminum exterior and wood-veneered interior inserts.

Jamb liners encase balance assemblies that allow each sash to be tilted 90° inward from a bottom pivot and stay securely in place for washing.

Window Anchorage
 Optional folding vinyl nailing fins are

Aluminum screen mesh is available as an option.

TruScene® insect screens available in all 50 exterior colors and seven anodized finishes.

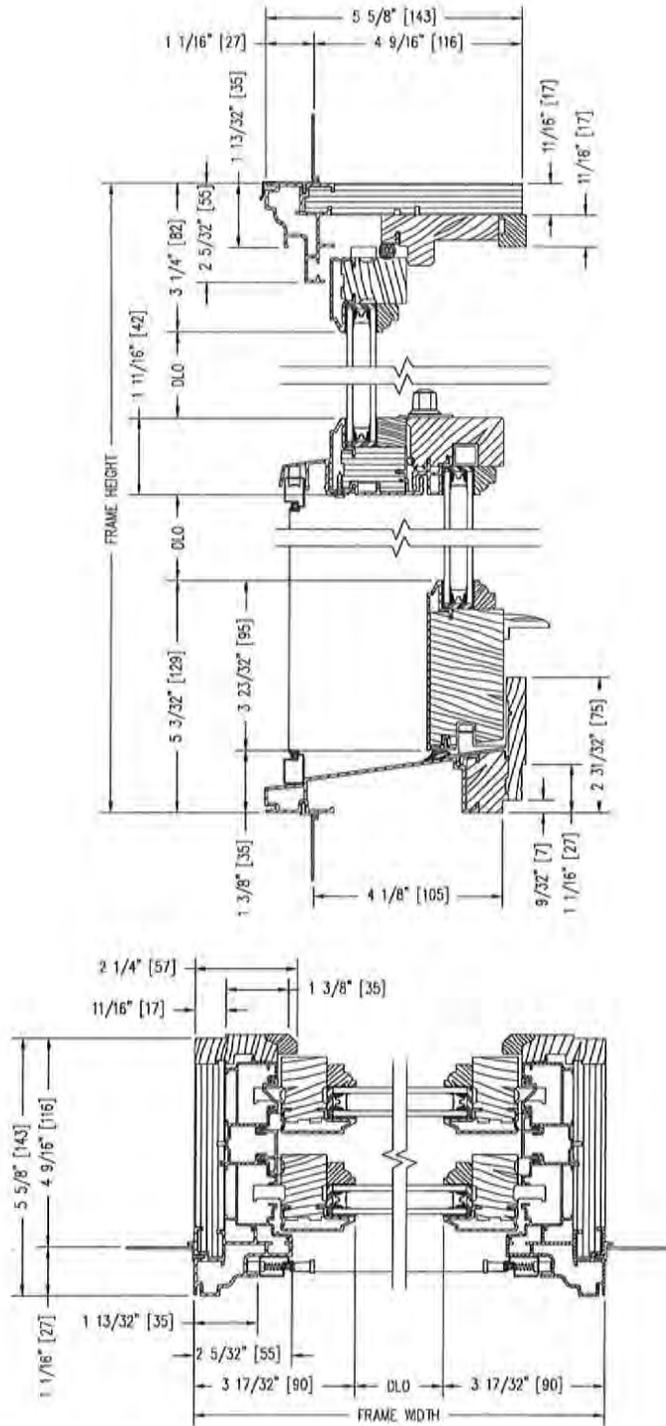
See page 26 for more information on our insect screen options.

9 Divided Lights
Modern Divided Lights. Fixed interior and exterior grilles with internal spacers

Between-glass grilles. Available in 3/8" flat or 1" contoured aluminum profiles. Two-tone colors of colony white/pebble tan, colony white/sierra bronze or colony white/forest green are available on the 1" profile.

Removable wood grilles. Removable wood grilles are available in a 7/8" width and colonial or contemporary profiles. Optional surround and fixed exterior grilles also available.

MONUMENTAL SINGLE HUNG



Notes: See drawing AD3072 for optional Aux Sill Stop.

Dynamically configure section details to your specific needs by going to EagleWindow.com, select Wintelligence. Eagle Window & Door reserves the right to change the specifications without notice.

DRAWING # AD3009
SCALE: 3"=1'-0"
REVISION: 2/2/09



Siding

Trim

Soffit

HardieWrap®

Finishing Touches

● HardiePlank® Lap Siding

HardiePanel® Vertical Siding

HardieShingle® Siding

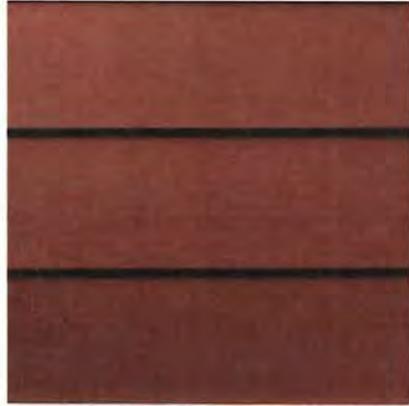
SELECT CEDARMILL®

Woodstock Brown



SMOOTH

Countrylane Red



BEADED CEDARMILL®

Khaki Brown



BEADED SMOOTH

Heathered Moss



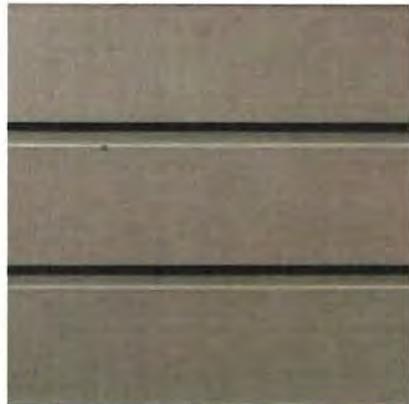
CUSTOM COLONIAL™ ROUGHSAWN

Mountain Sage



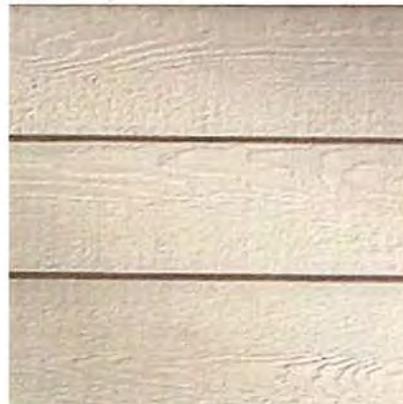
CUSTOM COLONIAL™ SMOOTH

Timber Bark



RUSTIC CEDAR*

Not available with ColorPlus Technology



*Rustic Cedar available exclusively in Washington and Oregon districts. Products are available primed or with ColorPlus Technology finishes. All sizes and textures not available in all areas. For more details, visit jameshardie.com

Siding

Trim

Soffit

HardieWrap®

Finishing Touches

● HardiePlank® Lap Siding

HardiePanel® Vertical Siding

HardieShingle® Siding



SELECT CEDARMILL®

Woodstock Brown

Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.*
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet		280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

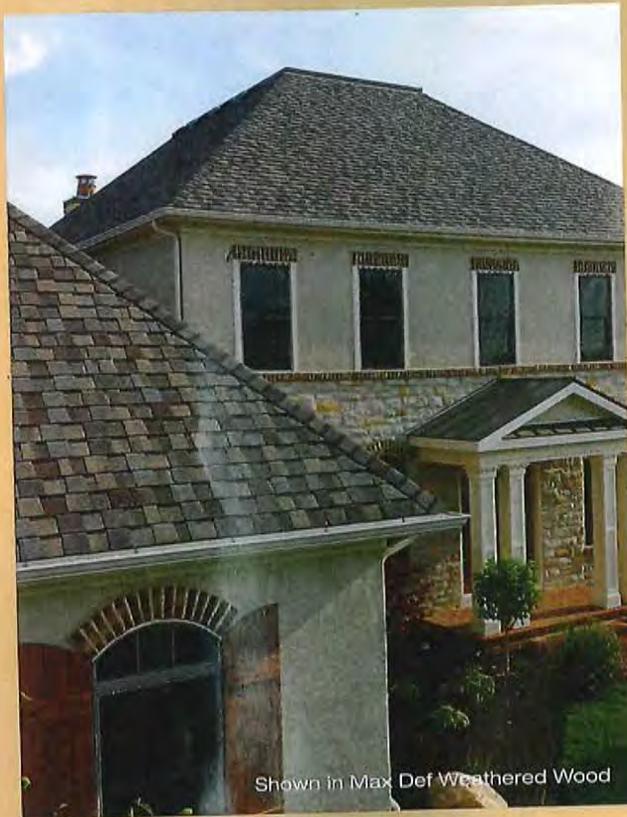
Available Colors



[View all HardiePlank Lap Siding Products](#)

*These 9.25 in. and 12 in. are only available primed.

LANDMARK™ PRO



introducing more value

Landmark Pro is designed specifically for the professional roofing contractor that takes pride in providing more to their customer.

Landmark Pro improves upon the CertainTeed Landmark shingle, a leading consumer publication's "Best Buy" for the past five years.

We started by adding more weathering asphalt to the industry's toughest fiberglass mat to provide more protection. Then we incorporated our Maximum Definition color blend technology to give the product more vibrancy on the roof. Included is the proven performance of our NailTrak feature, enabling faster installation.

specifications

- Two-piece laminated fiber glass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- 270 lbs. per square

For U.S. building code compliance, see product specification sheets.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Quality Standards:

- ICC-ES-ESR-1389

Landmark Pro Silver Birch is an ENERGY STAR® rated product and may qualify for a federal tax credit.

warranty

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

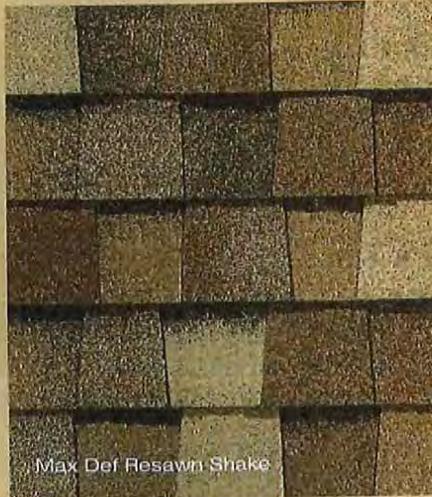
See actual warranty for specific details and limitations.

LANDMARK PRO color palette

max def colors - Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Silver Birch



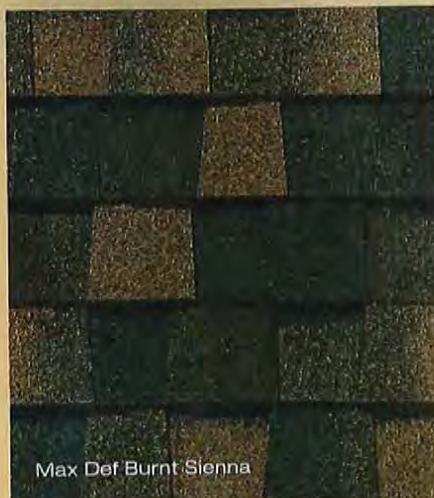
Max Def Resawn Shake



Max Def Georgetown Gray



Max Def Weathered Wood



Max Def Burnt Sienna



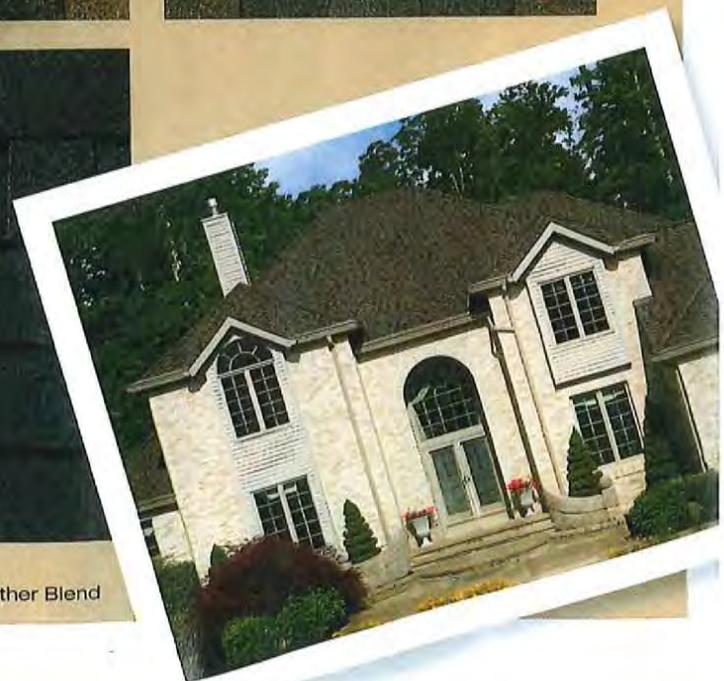
Max Def Heather Blend



Max Def Molre Black

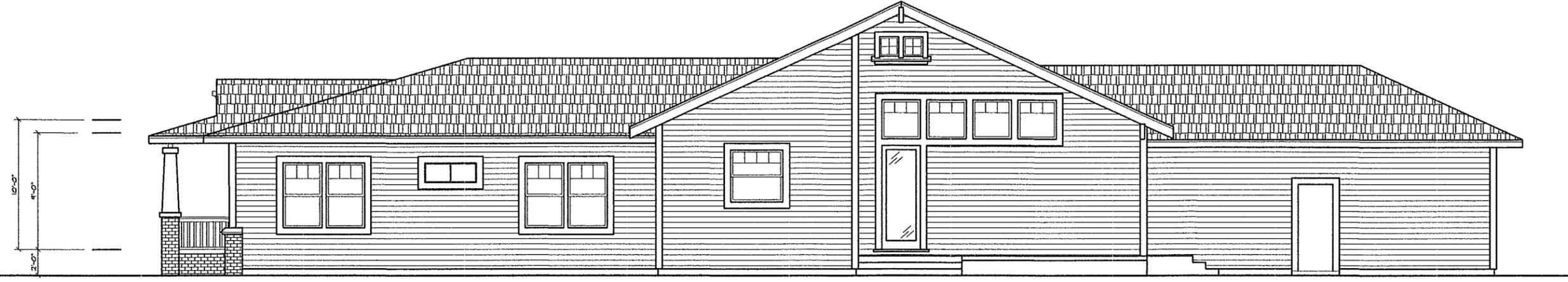


Max Def Black Walnut
(Available in Utah Only)



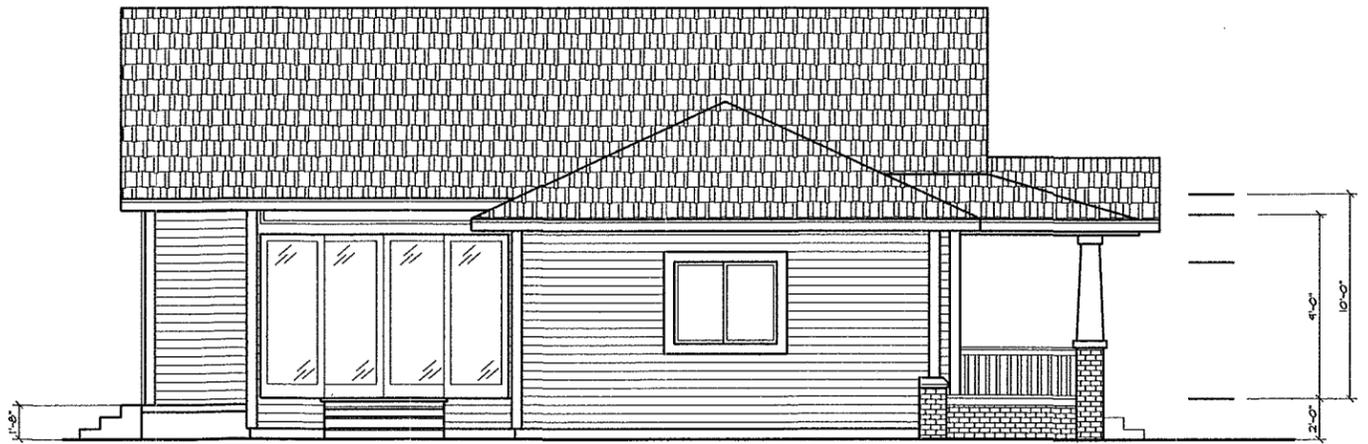
Shown in Max Def Heather Blend

IF THESE PLANS DO NOT BEAR THE SEAL OF THE REGISTRANT, THEY ARE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 TR. AS AMENDED DECEMBER 1970 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1976. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN CESSION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND OR MONETARY COMPENSATION TO INTEGRATED DESIGN INC., DAVID COLOMBO ARCHITECT.



REAR ELEVATION

SCALE 1/4"=1'-0"



NORTH ELEVATION

SCALE 1/4"=1'-0"

REVISIONS:
NOTES:



PROJECT JOB NAME:
BURCHAM REMODEL
 790 2ND ST. EAST, SONOMA CA 95476

INTEGRATED DESIGN
 804 COLLEGE AVE, SANTA ROSA, CA 95404
 (707) 568-0108 Fax (707) 568-5582

CHK BY: D. COLOMBO
DRAWN BY: L. PAVIS
SHEET NO. A4
OP: 1
DATE: 1/2/06
JOB NO. 10206107



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

DRHPC Agenda Item: 7
Meeting Date: 01/19/16

Applicant	Project Location
Michael B. Ross, AIA	8 West Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)
(Built between 1941 and 1953)
(This property is listed on the Sonoma Plaza District as a non-contributing building)

Request

Consideration of design review for a restaurant (Slice by Mary's) located at 8 West Spain Street.

Summary

Background: On December 10, 2015, the Planning Commission approved a Use Permit to operate a take-out food establishment in conjunction with the adjoining Mary's restaurant (see attached approval letter and conditions of approval).

Environmental Review: Pursuant to Section 15301 of the State CEQA Guidelines, the leasing or minor alterations of existing private structures and facilities is Categorically Exempt from the provision of CEQA (Class 1 – Existing Facilities).

Historic Evaluation: A historic evaluation has not been commissioned for this property. The property is listed on the Sonoma Plaza district as a non-contributing building (see attached National Register of Historic Places Registration Form). The property is listed on the DPR with a code of 6X (Determined ineligible for the NR by SHRC or Keeper).

Front Door Entry Modifications: The project requires design review for minor exterior alterations to the existing front entry door to meet current ADA access compliance requirements. The proposed alteration includes minor demolition of the existing entry foyer and the relocation of the front door and the transom window to provide adequate front approach clearances to the entry.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the DRHPC may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 938-3681 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Planning Commission approval letter*
3. *National Register of Historic Places Registration Form*
4. *Status code description*
5. *Site plan*

cc: RossDrulisCusenbery Architecture, Inc.
 Attn: Michael B. Ross, AIA
 18294 Sonoma Highway
 Sonoma, CA 95476

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

18294
Sonoma Highway
Sonoma
CA 95476

TEL 707 996 8448
FAX 707 996 8542

ARCHITECTURE

RossDrulisCusenbery

December 30, 2015

PROJECT NARRATIVE

Application Type: City of Sonoma Demolition Permit and Design Review

Project Name: Mary's Pizza Shack / "Slice by Mary's" expansion

Project Location: 8 and 14 West Spain Street, Sonoma, CA 95476

APN: 018-162-003-000

Owner: West Spain Partners

Developer: Mary's Pizza Shack

Project Architect: RossDrulisCusenbery Architecture, Inc.

PROJECT SCOPE

Mary's Pizza Shack is expanding its business on the Sonoma plaza to provide "fast casual" pizza by the slice takeout service. The space adjacent to and west of the current Mary's store located at 14 Spain Street will accommodate this new service. The project requires a demolition permit and design review for minor exterior alterations to the existing front entry door to meet current ADA access compliance requirements. The proposed alteration includes minor demolition of the existing entry foyer and the relocation of the front door to provide adequate front approach clearances to the entry. The attached drawings indicate the visual impact of this proposed change will be minor. The existing facade of the building was substantially remodeled before as part of the prior Marioni's Restaurant project.

The project will require interior demolition and construction work as shown on the attached drawings. The sidewalk slopes will be adjusted to provide ADA accessibility requirements at the entry to the store.

Submitted by:

Michael B. Ross, AIA, NCARB

Principal

RossDrulisCusenbery Architecture, Inc.

18294 Sonoma Highway

Sonoma, CA

City of Sonoma

Sonoma Sister Cities:

No. 1 The Plaza
Sonoma, California 95476-6618
Phone (707) 938-3681 Fax (707) 938-8775
E-Mail: cityhall@sonomacity.org



Aswan, Arab Republic of Egypt
Chambolle-Musigny, France
Greve In-Chianti, Italy
Kaniv, Ukraine
Patzcuaro, Mexico
Penglai, China
Tokaj, Hungary

December 21, 2015

Vince Albano, CEO
Mary's Pizza Shack
19327 Sonoma Highway
Sonoma, CA 95476

Subject: Application of Mary's Pizza Shack for a Use Permit to operate a take-out food establishment at 14 West Spain Street.

Dear Mr. Albano:

On Thursday, December 10, 2015, the Planning Commission considered the application of Mary's Pizza Shack for a Use Permit to operate a take-out food establishment at 14 West Spain Street in conjunction with the adjoining Mary's restaurant at 8 West Spain Street. After discussion and public testimony, the Planning Commission voted unanimously to approve the Use Permit, subject to the attached conditions of approval, which include an allowance for six counter seats.

If you have any questions regarding this matter, do not hesitate to contact me at 933-2202.

Sincerely,

Rob Gjestland
Senior Planner

cc: Chuck Drulis (via email)
RDC Architecture, Inc.
18924 Sonoma Highway
Sonoma, CA 95476

City of Sonoma Planning Commission
CONDITIONS OF PROJECT APPROVAL
Slice By Mary's Use Permit
14 West Spain Street

December 10, 2015

1. The building/tenant space shall be improved and used in conformance with the project narrative dated November 11, 2015, and approved Project Use Permit Drawings prepared by RDC Architecture dated 11/19/2015, except as modified by these conditions and the following:

- a. The expanded restaurant use within the tenant space at 14 West Spain Street shall be primarily takeout with a maximum of six (6) counter seats for customers.

Enforcement Responsibility: Planning Department; Building Department; Fire Department
Timing: Prior to issuance a building permit

2. All Building Department requirements shall be met, including applicable Building Code requirements related to the provision of commercial kitchen hood(s), and ADA requirements (i.e. disabled access including at the entrance, accessible paths of travel, etc.). A building permit shall be required.

Enforcement Responsibility: Building Department
Timing: Prior to construction

3. All Fire Department requirements shall be met, including applicable requirements related to emergency access, kitchen hood(s), fire sprinkler systems, and water line/connections for fire service.

Enforcement Responsibility: Fire Department; City Engineer; Building Department
Timing: Prior to issuance of any building permit; Prior to operation

4. If the building permit valuation for the project or other improvements to the property exceeds \$40,000 within any two-year period, the property owner shall be responsible for completing public frontage improvements such as the provision or repair of curb, gutter, and sidewalk as determined necessary by the City Engineer.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department
Timing: Prior to final inspection approval/occupancy

5. An encroachment permit from the City shall be required for all work within the public right of way on West Spain Street.

Enforcement Responsibility: City Engineer; Public Works Department; Building Department
Timing: Prior to any work/construction within the public right of way

6. The applicant shall obtain any necessary permits, licenses, and/or clearances from the Sonoma County Environmental Health Division and the State Department of Alcoholic Beverage Control (ABC) for food/beverage preparation, cooking, and service associated with the use. Food/beverage preparation, cooking, and service shall conform to the limitations of those permits.

Enforcement Responsibility: Department of ABC; Sonoma County Health Division; Planning Department
Timing: Prior to operation; Ongoing

7. The applicant shall comply with the following requirements of the Sanitation Division of Sonoma County Permit & Resource Management Department (PRMD) and the Sonoma County Water Agency (SCWA):

- a. The applicant shall submit a Wastewater Discharge Survey to PRMD. The Applicant shall obtain a **Survey for Commercial/Industrial Wastewater Discharge Requirements** ("Green form") from PRMD, and shall submit the completed Survey, along with two (2) copies of the project site plan, floor plan and plumbing plan to the Sanitation

Section of PRMD. The Survey evaluation must be completed by the Sonoma County Water Agency and submitted to the PRMD Engineering Division before a building permit for the project can be approved.

- b. If additional sewer pre-treatment and/or monitoring facilities (i.e. Grease trap, Sampling Manhole, etc.) are required by the Sonoma Valley County Sanitation District per the Wastewater Discharge Survey, the Applicant shall comply with the terms and requirements of the Survey prior to commencing any food or beverage service. If required, the Sampling Manhole shall be constructed in accordance with Sonoma County Water Agency *Design and Construction Standards for Sanitation Facilities*, and shall be constructed under a separate permit issued by the Engineering Division of PRMD.
- c. In accordance with Section 5.05, "Alteration of Use", of the Sonoma Valley County Sanitation District Ordinances, the Applicant shall pay increased sewer use fees as applicable for changes in the use of the existing structure. The increased sewer use fees shall be paid the Engineering Division of PRMD prior to the commencement of the use(s).
- d. A sewer clearance shall be provided to the City of Sonoma Building Department verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Sanitation Division of Sonoma County Planning & Management Resource Department; Sonoma County Water Agency: City of Sonoma Building Department

Timing: Prior to issuance of a building permit

8. The Applicant shall pay any required increased water fees applicable to the changes in use in accordance with the latest adopted rate schedule.

Enforcement Responsibility: Public Works Department; Water Operations Supervisor; City Engineer

Timing: Prior to final occupancy

9. In addition to those already identified, the following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:

- a. Sonoma Valley Unified School District [For school impact fees]

Enforcement Responsibility: Building Department

Timing: Prior to issuance of a building permit

10. The project shall be subject to design review by the Design Review & Historic Preservation Commission (DRHPC), encompassing exterior building modifications and exterior materials.

Enforcement Responsibility: Planning Department; DRHPC

Timing: Prior to the issuance of a building permit

11. Any new signage for the business/property shall be subject to review and approval by Planning Department staff of the Design Review & Historic Preservation Commission (DRHPC) as applicable.

Enforcement Responsibility: Planning Department or Design Review Commission

Timing: Prior to installation of signage

12. All applicable stormwater requirements shall be met and implemented on site prior to final occupancy.

Enforcement Responsibility: Stormwater Coordinator; City Engineer

Timing: Prior to final occupancy

13. Prior to the issuance of any building permit, water demand analysis shall be prepared by a licensed civil engineer and submitted by the applicant and shall be subject to the review and approval of the City Engineer. Said analysis shall be in compliance with the City's current policy on water demand and capacity analysis as outlined in Resolution 46-2010. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which

finding shall be documented in the form of a will-serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

Enforcement Responsibility: City Engineer; Public Works Department
Timing: Prior to issuance of any building permit

OFFICE OF HISTORICAL RESERVATION * * * Directory of Properties in the Historic Properties Data File for SONOMA County.				Page 89	04-05-12						
PROPERTY-NUMBER	PRIMARY-#	STREET ADDRESS	NAMES	CITY NAME	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT
087475		2 SPAIN ST		SONOMA	P	1945	HIST.RES.	NHL-92000293-0119	05/06/92	6X	
087476		8 SPAIN ST		SONOMA	P	1987	HIST.RES.	NHL-92000293-0120	05/06/92	6X	
087421		18 SPAIN ST	THE SWISS HOTEL	SONOMA	P	1850	HIST.RES.	NHL-92000293-0061	05/06/92	1D	ABC
087477		20 SPAIN ST		SONOMA	U		HIST.RES.	NHL-92000293-0121	05/06/92	6X	
087478		20 SPAIN ST	RESTROOM BUILDING	SONOMA	U		HIST.RES.	NHL-92000293-0122	05/06/92	6X	
087424		30 SPAIN ST	CUNEO (SEBASTIANI) APARTMENTS	SONOMA	P	1938	HIST.RES.	NHL-92000293-0063	05/06/92	1D	ABC
087426		38 SPAIN ST		SONOMA	P	1939	HIST.RES.	NHL-92000293-0064	05/06/92	1D	ABC
004220		800 SPAIN ST	ROMBERG DAIRY	SONOMA	P	1927	HIST.SURV.	5476-0105-0000		7N	
095900		121 SPAIN ST E	EL PASEO DE SONOMA - BLDG 'G'/LA C	SONOMA	P	1920	TAX.CERT.	537.9-49-0025	06/05/95	6T	
004390		220 SPECHT ST		SONOMA	P	1916	HIST.SURV.	5476-0276-0000		7N	
004075	14255	SR 12	SUNNY SLOPE RANCH	SONOMA	P	1920	HIST.SURV.	5476-0002-0000		7N	
004076	14805	SR 12	JOHNSON RANCH, JOHNSON BARN	SONOMA	P	1900	HIST.SURV.	5476-0003-0000		3S	
004077	15000	SR 12	RANCHO AGUA CALIENTE (PORTION), CO	SONOMA	P	1920	HIST.SURV.	5476-0004-0000		7N	
004078	15190	SR 12	MADRONE VINYARDS, CANOBIO FARM	SONOMA	P	1877	HIST.SURV.	5476-0005-0000		3S	
004079	15600	SR 12	RANCHO AGUA CALIENTE (PORTION), PA	SONOMA	P	0	HIST.SURV.	5476-0006-0000		3S	
004080	15900	SR 12	BACHIGALUPPI RANCH	SONOMA	P	1900	HIST.SURV.	5476-0007-0000		3S	
004081	16060	SR 12	JOSEPH HOOKERS RANCH, WATRIS RANC	SONOMA	P	1850	HIST.SURV.	5476-0008-0000		3S	
004214	19340	SR 12	REMEZZANO, F. AND J.	SONOMA	P	1913	HIST.SURV.	5476-0099-0000		7N	
004119	19343	SR 12		SONOMA	P	1850	HIST.SURV.	5476-0046-0000		3S	
004215	19360	SR 12	REMESSANO	SONOMA	P	1939	HIST.SURV.	5476-0100-0000		7N	
004452	2345	SR 37	TUBBS ISLAND BUNKHOUSE AND RANCH	SONOMA	P	1900	HIST.SURV.	5476-0338-0000		7N	
004451	2347	SR 37	TUBBS ISLAND BUNKHOUSE AND RANCH	SONOMA	P	1890	HIST.SURV.	5476-0337-0000		7N	
004137	1	THE PLAZA	SONOMA CITY HALL	SONOMA	M	1906	HIST.RES.	NHL-92000293-0017	05/06/92	1D	AC
							ST.FND.PRG	619.0-84-HP-49-003	10/30/85	3	
							HIST.SURV.	5476-0048-0017	01/01/78	1D	
							HIST.RES.	NHL-75000489-0017	04/03/75	1D	AC
004427	3779	THORNSBERRY RD	RHINEFARM, GUNDLACH BUNDSCHU WINER	SONOMA	P	1930	HIST.SURV.	5476-0313-0000		3S	
089313		VERANO AVE	WARWICK FARMSTEAD DISTRICT	SONOMA	P	1910	HIST.RES.	DOE-49-94-0017-9999	05/13/94	2D2	AC
							PROJ.REVW.	FHWA940330A	05/13/94	2D2	AC
004116	150	VERANO AVE	MAXWELL FARMS	SONOMA	P	0	HIST.SURV.	5476-0043-0000		7N	
113346	563	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0007-0000	05/13/94	6Y	
113347	564	VERANO AVE		SONOMA	P	1980	HIST.RES.	DOE-49-94-0008-0000	05/13/94	6Y	
113348	565	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0009-0000	05/13/94	6Y	
113349	570	VERANO AVE		SONOMA	P	1980	HIST.RES.	DOE-49-94-0010-0000	05/13/94	6Y	
113350	573	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0011-0000	05/13/94	6Y	
113351	583	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0012-0000	05/13/94	6Y	
113352	587	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0013-0000	05/13/94	6Y	
113353	590	VERANO AVE		SONOMA	P	1950	HIST.RES.	DOE-49-94-0014-0000	05/13/94	6Y	
113354	593	VERANO AVE		SONOMA	P	1975	HIST.RES.	DOE-49-94-0015-0000	05/13/94	6Y	
113356	600	VERANO AVE		SONOMA	P	1955	HIST.RES.	DOE-49-94-0016-0000	05/13/94	6Y	
089314	605	VERANO AVE	WARWICK BARN	SONOMA	P	1910	HIST.RES.	DOE-49-94-0017-0003	05/13/94	2D2	AC
							PROJ.REVW.	FHWA940330A	05/13/94	2D2	AC
089323	605	VERANO AVE	WARWICK FARMHANDS HOUSE	SONOMA	U	1910	HIST.RES.	DOE-49-94-0017-0001	05/13/94	2D2	AC
							PROJ.REVW.	FHWA940330A	05/13/94	2D2	AC
089315	605	VERANO AVE	WARWICK WATER TANKHOUSE	SONOMA	P	1910	HIST.RES.	DOE-49-94-0017-0002	05/13/94	2D2	AC
							PROJ.REVW.	FHWA940330A	05/13/94	2D2	AC
113357	610	VERANO AVE		SONOMA	P	1955	HIST.RES.	DOE-49-94-0018-0000	05/13/94	6Y	
113358	611	VERANO AVE		SONOMA	P	1946	HIST.RES.	DOE-49-94-0019-0000	05/13/94	6Y	
113359	620	VERANO AVE		SONOMA	P	1955	HIST.RES.	DOE-49-94-0020-0000	05/13/94	6Y	
113360	621	VERANO AVE		SONOMA	P	1980	HIST.RES.	DOE-49-94-0021-0000	05/13/94	6Y	
089316	623	VERANO AVE	JAMES B WARWICK HOUSE	SONOMA	P	1910	HIST.RES.	DOE-49-94-0017-0004	05/13/94	2D2	AC
							PROJ.REVW.	FHWA940330A	05/13/94	2D2	AC
113361	627	VERANO AVE		SONOMA	P	1980	HIST.RES.	DOE-49-94-0022-0000	05/13/94	6Y	
113362	630	VERANO AVE		SONOMA	P	1955	HIST.RES.	DOE-49-94-0023-0000	05/13/94	6Y	
113363	634	VERANO AVE		SONOMA	U	1975	HIST.RES.	DOE-49-94-0024-0000	05/13/94	6Y	
113365	640	VERANO AVE		SONOMA	P	1965	HIST.RES.	DOE-49-94-0025-0000	05/13/94	6Y	

United States Department of the Interior

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM: CONTINUATION SHEET

Section No. 7 Description: Sonoma Plaza Boundary Increase

102. 140 East Napa Street is a commercial building built outside the period of significance.
103. 141-45 East Napa Street is a former residence altered out of character.
104. 11 West Napa Street is a commercial building built outside the period of significance.
105. 19 West Napa Street is a commercial building built outside the period of significance.
106. 35 West Napa Street is a commercial building built outside the period of significance.
107. 103-05 West Napa Street is a commercial building altered out of character.
108. 2 Spain Street is a commercial building built in 1945 outside the period of significance.
- 109. 8 Spain Street is a commercial building built in 1987 outside the period of significance.
110. 20 Spain Street, at the rear, are gable and shed roof buildings built outside the period of significance.
111. 20 Spain Street at the rear is a restroom building built outside the period of significance.
112. 121 East Spain Street is a commercial building built outside the period of significance.
113. 138 East Spain Street is a house built in 1886. It is one-story with hipped roof and altered with all historic features removed.
114. 141 East Spain Street is a commercial building built outside the period of significance.
115. 175 East Spain Street is a house built outside the period of significance.
116. 236-38 East Spain Street is a one-story house built outside the period of significance.
117. 414 First Street East, at the rear, is the Vasquez House, a vernacular frame house built in 1851. In 1973 the building was moved from 535 First

5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.

- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to individually eligible for local listing or designation through survey evaluation.

- 5B Locally significant both individually (listed, eligible, or appears eligible) and as contributor to a district that is locally listed, designated, determined eligible, or appears eligible through survey evaluation.

6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Reevaluation

- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.

Using Status Codes

Users of the California Historic Resource Status Codes should keep in mind that the status codes are broad indicators which, in most cases, serve as a starting place for further consideration and evaluations. Because the assigned status code reflects an *opinion or action* taken at a *specific point in time*, the assigned status code may not accurately reflect the resource's eligibility for the National Register, California Register, or local listing or designation at some later time.

SLICE BY MARY'S

8 West Spain Street,
Sonoma, CA. 95476
A.P.N. # 018-162-003

**PROJECT USE PERMIT
DRAWINGS**

Sheet Title

**FRONT ENTRY
ACCESSIBILITY
ALTERATION**

Drawn By Author Checked By Checker

Scale:

Date:
12/30/2015

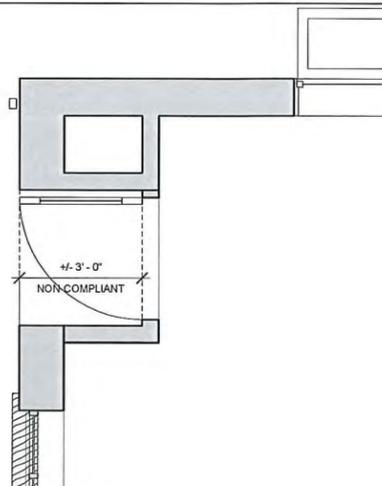
Project No. Project Number

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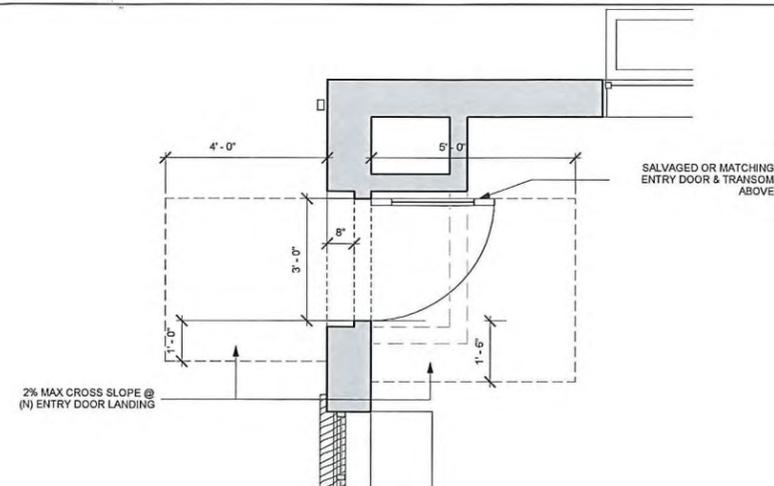
Drawing No.

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DEC 30 2015



⑥ PARTIAL PLAN- EXISTING
1/2" = 1'-0"



⑤ PARTIAL PLAN- PROPOSED
1/2" = 1'-0"



④ EXISTING- LOOKING NORTHEAST



③ PROPOSED- LOOKING NORTHEAST



② EXISTING
1/4" = 1'-0"



① PROPOSED
1/4" = 1'-0"



City of Sonoma
***Design Review and Historic
Preservation Commission***
Agenda Item Summary

**DRHPC Agenda 8
Item:**

Meeting Date: 01/19/16

Applicant

Laura Olson

Project Location

162-166 West Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: circa 1880
-

Request

Design review of exterior modifications for two vacation rental units located at 162-166 West Spain Street.

Summary

Background: On August 14, 2014, the Planning Commission denied a Use Permit application for adaptive re-use for two vacation rental units. On October 20, 2014, the City Council upheld the appeal and approved a Use Permit allowing, as an adaptive re-use, two vacation rental units within a historic building. The City Council approval also allowed for the following: 1) the in-kind replacement of the rear wooden deck and stairwell; 2) removal of wooden screening lattice beneath the deck; and, 3) the provision of a wheelchair ramp for ADA compliance. On August 18, 2015, the DRHPC approved the design review of exterior modifications for the building with a recommendation for the City Council to not require the installation the finial as required by the conditions of approval for the conversion of the building to two vacation rental units as an adaptive re-use of a historic structure. This request was not presented to the City Council by the applicant; therefore, the finial installation is required prior to final building permit approval.

Site Description: The subject property is a 7,500 square foot parcel located on the north side of West Spain Street, mid-block between First Street West and Second Street West. The property is developed with a historic building (the “Weyl House” constructed around 1880) which has been approved to accommodate two vacation rental units. A recent historic resources evaluation prepared by McKale Consulting determined that the Weyl House is eligible for listing on both the Nation Register of Historic Places and California Register of Historical Resources. A three-car garage and parking lot are located behind the structure. The frontage is improved with curb, gutter, and sidewalk. The site is designated Medium Density Residential by the General Plan and has a corresponding R-M zoning.

Proposed Project: The main elements of the project are as follows: 1) add two new small double-hung windows to the west facing elevation (one window on the first floor and one window on the second floor); and, 2) remove the existing door and brick staircase on the west exterior elevation. The door is proposed to be replaced with siding matching existing.

Design Review: Alterations to existing structures requiring a Building Permit that result in substantive changes to a primary or street-side building elevation located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
A Historic Resources Evaluation Report was completed for the property in May, 2014. This evaluation found that the Weyl House is eligible for listing on the National and California registers, which means that the residence is

an “historical resource” under CEQA. In addition, a Finding of Effect was completed for the property in December, 2015. This evaluation found that the Tillem Building Vacation Rental project is in compliance with the Secretary of the Interior’s Standards for the Treatment of Historic Buildings, and therefore, would not result in an adverse effect on the historical resource.

2. Environmental features on or adjacent to the site;
Staff is not aware of any environmental features on or adjacent to the site.
3. The context of uses and architecture established by adjacent development;
The adjacent properties to the north are developed with residential units and the property to the west is developed with a single family residences. The properties to the south consist of a vacation rental, newly constructed residence, and Bed & Breakfast Inn. The property to the east consists of a driveway, which serves the Park Villas PUD and Cypress Apartments. The proposed project will not alter street views of the building from the street. Setback, coverage, and FAR limitations are all met in the proposal.
4. The location, design, site plan configuration, and effect of the proposed development.
A Finding of Effect of the building modification was completed for the property in December, 2015. This report determined that the Tillem Building Vacation Rental project is in compliance with the Secretary of the Interior’s Standards for the Treatment of Historic Buildings, and therefore, would not result in an adverse effect on the historical resource. As noted above, the addition will not be visible from the street and it complies with all applicable requirements of the Development Code.

In general, it is staff’s conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the replacement structure.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the residence was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because review by the City Council was necessary, the DRHPC is responsible for reviewing and acting upon the elevation details and exterior materials.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a historic resources evaluation report and findings of effect were prepared for the structure and suggested that it is eligible for listing on both the National and California registers. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an analysis was conducted to determine whether the proposal is consistent with the Standards (refer to attached Finding of Effect Tillem Building Vacation Rental Project). The analysis that the proposed project meets the Secretary of the Interior’s Standards, which means that application is considered to be categorically exempt from CEQA.

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.
The project complies with the applicable policies and regulations set forth in the Development Code.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code.
The project is consistent with the applicable design guidelines of the Development Code in that the existing structure will be rehabilitated to reinforce the authentic historic character of the Downtown District. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features. The project proposes two vacation rentals, which is consistent with the adjacent development, and complies with height and setback requirement.
3. The project will not impair the historic character of its surroundings.
The front and side elevations of the original structure will not be altered, except for minor changes (addition of two windows). This addition will not alter public views of the original residence and it complies with height, setback, coverage and other applicable limitations of the Development Code.
4. The project substantially preserves the qualities of any significant historic structures or other significant historic

features on the site.

A historic evaluation was conducted for the property, which has been developed with a structure that has been determined to be eligible for listing on the National and State registers.

The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).

In staff's view, the project complies with SMC 19.42 in that the existing structure will be rehabilitated to improve the historic integrity to the house.

- 5. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

The project is not located on a local historic district.

In summary, it is staff's view that the modified project is consistent with the findings required for approval of the application for Site Design and Architectural Review.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design and Historic Preservation Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

- 1. Project Narrative.
- 2. Finding of Effect.
- 3. Historic Resources Evaluation Report.
- 4. Historic Resources Inventory.
- 5. Window specification sheets
- 6. Floor Plan.
- 7. Existing and Proposed Exterior Elevations.

cc: Laura Olson
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Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall