



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Meeting of February 16, 2016 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Micaelia Randolph Chair

Commissioners: Kelso Barnett
Christopher Johnson
Leslie Tippell
Bill Essert

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of January 20, 2015, February 17, 2015, March 17, 2015, and January 19, 2016.

CORRESPONDENCE

ITEM #1 – CONSENT CALENDAR	<u>Request:</u>	<u>RECOMMENDED ACTION:</u>
These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party.	Request to install banners on Plaza light standards – 2016 Jack London Centennial.	Approve.
Staff: Wendy Atkins		
ITEM 2 – Continued Design Review	<u>Project Location:</u>	<u>RECOMMENDED ACTION:</u>
	227 East Spain Street	Commission discretion.
<u>REQUEST:</u> Site design and architectural review of proposed alterations and an addition to a residence.	<u>General Plan Designation:</u> Low Density Residential (LR)	<u>CEQA Status:</u> Categorically Exempt
<u>Applicant:</u> Robert Baumann & Associates	<u>Zoning:</u> Planning Area: Northeast Area	
Staff: Wendy Atkins	<u>Base:</u> Low Density Residential (R-L)	
	<u>Overlay:</u> Historic (/H)	

<p>ITEM 3 – Sign and Design Review</p> <p>REQUEST: Consideration of two new awnings and four new awning signs for a hotel (Sonoma Hotel).</p> <p>Applicant: Tim Farfan and Craig Miller</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 110 West Spain Street</p> <p>General Plan Designation: Commercial (C)</p> <p>Zoning: Planning Area: Downtown District</p> <p>Base: Commercial (C) Overlay: Historic (/H)</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>
<p>ITEM #4 – Sign Review</p> <p>REQUEST: Consideration of design review for a restaurant (Murphy’s Irish Pub Expansion).</p> <p>Applicant: Murphy’s Irish Pub, LLC</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 464 First Street East</p> <p>General Plan Designation: Commercial (C)</p> <p>Zoning: Planning Area: Downtown District Base: Commercial (C) Overlay: None</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>
<p>ITEM #5 – Discussion Item</p> <p>ISSUE: Discussion and review of sign regulations related to commercial real estate signs.</p> <p>Staff: Wendy Atkins</p>	<p>RECOMMENDED ACTION: Discuss and provide direction.</p>	

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on February 12, 2016.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made

available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
January 19, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Randolph, Comms. Barnett, Tippell, Johnson, Essert

Absent: None.

Others Present: Associate Planner Atkins, Planning Director Goodison, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Mary Martinez, resident, encouraged the public to participate in the discussions regarding the Downtown Design Guidelines by attending the upcoming City sponsored meeting at the Sonoma Community Center on January 25th at 6:30 p.m.

Robert Demler, resident, suggested that all late mail received prior to the meetings be distributed to all interested parties listed on the City's email distribution list.

APPROVAL OF MINUTES: Comm. Barnett made a motion to approve the minutes of November 17, 2015 and December 15, 2015 with changes noted. Comm. Essert seconded. The motion carried unanimously 5-0.

CHANGES TO AGENDA: None

CORRESPONDENCE: Late mail was received on Items #1 from Mary Martinez, and #2 from Lee Parry and Patricia Cullinan.

Item #1 – Continued Design Review – Consideration of new paint colors for a hotel (El Dorado Hotel) at 405 First Street West.

Applicant: El Dorado Hotel

Associate Planner Atkins presented the staff report.

Julie Workman, Moana Restaurant Group, Project Manager for EDI, proposed changing the hotel's façade and presented large visual displays.

Comm. Barnett confirmed that Julie Workman preferred design option 1 or 2.

Chair Randolph opened the item to public comment.

Mary Martinez, resident, encouraged the Commission to select “warm” paint color.

Chair Randolph closed the item to public comment.

Comm. Tippell appreciated the applicant working with the Commission and supported the revisions made. She preferred option 2 or 3.

Comm. Johnson agreed with Comm. Tippell’s comments and supported option 2.

Comm. Barnett complimented the applicant for submitting a complete application that included site history. He preferred option 2.

Comms. Essert supported option 2 because it exudes warmth and contrast.

Chair Randolph agreed with her fellow commissioners and preferred option 2. She appreciated seeing the brand palette since it was very helpful in making a decision.

Comm. Barnett appreciated the new design and agreed with his fellow Commissioners that it was a vast improvement.

Comm. Tippell made a motion to approve the application as submitted with the recommendation for option 2. (Benjamin Moore paint). Comm. Johnson seconded. The motion carried unanimously (5-0).

Comm. Barnett addressed the public, at the request of Planning Director Goodison, and said it was not necessary for him to recuse from Item # 2 as was requested by Robert Baumann, Robert Baumann & Associates, in a letter.

Item # 2 – Site design and architectural review of proposed alterations and an addition to a residence at 227 East Spain Street.

Applicant: Robert Baumann & Associates

Associate Planner Atkins presented the staff report.

Chair Randolph opened the item to public comment.

Bill Wisialowski, property owner, proposed a new design to restore the original structure with a connector between the old and new addition. He said the design was inspired by the Barracks and he wanted to make it different.

Comm. Barnett appreciated the new design and questioned whether the applicant responded to direction given or independently preferred a Queen Anne home.

Charlene Hunter, neighbor/League of Historic Preservation member, confirmed with the applicant that the tank house will be removed. She is disappointed that many historic homes are being replaced therefore diminishing the neighborhood character forever.

Steve Weingard, next door neighbor, is disappointed with the uninterrupted mass and height and disagreed that the project complied with the Historic District guidelines. He believes that the addition should be set back from the existing structure.

Bill Jasper, resident, felt the project could be compared to the restoration of the "Haunted House" on Fourth Street East.

Cathy Sperring, neighbor, is primarily concerned with the second unit in the back that would compromise her privacy. She viewed the proposal as inconsistent with elements of the Development Code.

Staff noted that accessory buildings are not subject to review by the DRHPC, but are evaluated as part of the building permitting process.

Simon Blattner, neighbor, (20 year resident) stated that while he has no objection in principle to the concept of an addition, he was concerned about potential privacy impacts and hoped that the applicant would address that issue.

Johanna Patri, resident/former President for the League of Historic Preservation complimented the applicant for efforts made to preserve the home. She is of the opinion that the intent of the Secretary of Interior standards is not to duplicate the structure or to introduce replications of historic structures, but rather to restore in modes that are contemporary but also complementary. She agrees that the Monterey style clashes with the original structure and that the massing of the addition is incompatible.

Mark Parry, architectural historian, stated that the project had been improved by retaining the historic façade and setting back the addition, but he was concerned that the design and materials proposed for the addition as in his view they are not subordinate to the original home and the materials selected are a distraction.

Robert Demler, resident/President for the League of Historic Preservation, said that the property owner is member of the League and that George McKale spoke on behalf of the League at the last meeting. He said the League discussed the proposal with the owner but did not have an opinion on the latest design.

Mary Martinez, suggested that story poles would be helpful.

Patty DaFerne, resident/former Planning Commissioner, is mainly concerned with the addition and how it might impact views of the property from the street and the neighbor on the east.

Victor Conforti, resident/local architect, expressed reservations regarding current plan. He felt the addition could be viewed as false historicism. He is confident in Robert Baumann's ability to solve the problem of differentiating the design in a revised proposal.

In response to a question from Comm. Barnett, Planning Director Goodison confirmed that detached garages (up to 400 square feet) are exempt from the floor area ratio.

Chair Randolph asked the applicant to return to the lecturn.

Bill Wisialowski, property owner reviewed illustrations for his presentation to respond to the concerns that had been raised and expressed his desire to be flexible. He noted that the grade of the back yard would not be raised and that a drainage plan would be developed and implemented. He agreed with comments that the east elevation could be improved and that the existing house could be better integrated with the new addition.

Commissioner Comments:

Comm. Tippell is sympathetic to the applicant returning for a third review session and she appreciated the preservation of the existing residence and the significant setback associated with the proposed addition. However, she opposed the new design, and would prefer a less contrasting style, i.e. traditional, farmhouse, single story, and suggested a lighter palette and the same roofing style for a harmonious ridge line.

Comm. Johnson applauded the efforts made to preserve the original structure but found the remodel disjointed in terms of its relationship to the original structure. He felt that a design that is more complementary to the existing structure should be used.

Comm. Barnett is pleased that the historic resource is addressed in the revised plan with respect to adhering to specific historic guidelines. He recognized a need to strike a fair balance between the rights of property owners and stringent regulations. His major concern is that the new addition should be subordinate to the original structure. Although there has been tremendous progress made, he did not support the architectural style and is concerned by the unresolved issues expressed by the neighbors. He stated that the addition does not comply with the spirit of the Standards.

Comm. Essert thanked the applicant and agreed with the majority of his fellow commissioner's comments. He recognized the importance of respecting the historic resource. He suggested having story poles so neighbors can better understand the scope of the project. He would prefer a single story addition, if that can be accommodated in the program.

Chair Randolph is concerned with the massing, neighborhood compatibility, and overall style. She agreed with Comm. Essert that the commission's role is not to design the home, but rather to offer suggestions during the review process.

The owner is receptive to the comments made and welcomed another review. He and his team will work in good faith to address all the concerns raised by the Commission.

Comm. Barnett made a motion to continue the item to the next meeting on February 16, 2016. Comm. Essert amended the motion to have the applicant include story poles on site and provide a landscape plan rendering. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #3 – Sign Review – Consideration of a six window signs for a convenience store (Easy Stop Market #1) at 925 Broadway.

Applicant: Easy Stop Market #1

Associate Planner Atkins presented staff's report.

Comm. Barnett confirmed with staff that the existing signs are neon not LED.

Chair Randolph opened the item to public comment.

Tom Mackin, business owner/tenant, (12 years), commended the store owner for the positive changes made to improve his store front. He recommended a City survey of non-conforming signs and felt it should be uniform throughout the community.

Associate Planner Atkins responded that the City Investigates code enforcement issues on a complaint basis.

Chair Randolph closed the item to public comment.

Comm. Essert supported the six signs.

Comm. Barnett agreed with Comm. Essert that this site might need a variance to allow for additional signage because of its setback location along Broadway/Highway 12.

Comms. Johnson and Tippell applauded the applicant for removing the non-compliant signs.

Comm. Barnett made a motion to approve the proposal for seven window signs at 925 Broadway. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #4 – Sign Review – Consideration of a new illuminated monument sign for a gas station (76 Service Station) at 19249 Sonoma Highway.

Applicant: United Sign System

Associate Planner Atkins presented staff's report.

Comm. Barnett confirmed that the existing signs were approved in 2014 and the new sign is larger.

Comm. Johnson questioned if all the illegal signs were removed.

Miguel Bunting, business operator, will remove everything on the windows that advertise promotional items. He explained the Phillip 66 corporate office is reverting back to the original logo for branding purposes.

Chair Randolph opened the item to public comment.

Brian Campbell, Sales Rep//United Sign Systems, said the sign will be similar and placed on the existing base.

Chair Randolph closed the item to public comment.

Comms. Tippell, Barnett, Essert and Chair Randolph supported the new design.

Comm. Johnson concurred and encouraged the applicant to remind outside vendors not to put non-conforming signs up.

Comm. Essert made a motion to approve a new illuminated monument sign for the 76 Service Station at 19249 Sonoma Highway as submitted subject to the conditions of approval that include conformance with California Building Code. Comm. Barnett seconded. The motion carried unanimously (5-0).

Item #5 – Sign Review – Consideration of design review and new canopy signs for a sign for a gas station (76 Service Station) at 19249 Sonoma Highway.

Applicant: Perry Builders, Inc.

Associate Planner Atkins presented staff's report.

Joe Sands, Parry Builders Inc., said that aluminum composite will be used not plastic.

Comm. Barnett confirmed the valiances will be illuminated.

Comm. Essert confirmed with the applicant there will be no audio sound or LED T.V.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comms. Tippell and Barnett are satisfied with the new modern branding proposed.

Comm. Essert liked the car wash.

Comm. Johnson made a motion to approve new canopy signs for a sign for a gas station (76 Service Station) at 19249 Sonoma Highway. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #6 – Sign Review – Consideration of design review for a restaurant (Slice by Mary's), at 14 West Spain Street

Applicant: Michael Ross, AIA

Associate Planner Atkins presented staff's report.

Comm. Barnett inquired when the building was built. Atkins replied that Senior Planner Gjestland determined it was built between 1941-1943.

Michael Ross, AIA, Ross Drulis Cusenbery Architecture, Inc., proposed a minor alteration to the building to accommodate a new service for the restaurant. The building underwent a major renovation in 1987.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comms. Tippell, Johnson, and Barnett supported the remodel application from a well-respected architect on behalf of a long time business on the Plaza.

Comm. Essert inquired about the windows.

Michael Ross said no changes are proposed for windows or the building's exterior.

Comm. Barnett made a motion to approve a restaurant addition (Slice by Mary's), at 14 West Spain Street. Comm. Essert seconded. The motion carried unanimously (5-0).

Item #6 – Design Review – Design review of exterior modifications for two vacation rental units at 162-166 West Spain St.

Applicant: Laura Olson

Associate Planner Atkins presented staff's report.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comm. Essert had reservations about the project as proposed. He confirmed with staff that George McKale, Historic consultant, submitted a letter of determination that the door is acceptable.

Comm. Barnett felt the proposal is respectful of the Historic standards.

Comms Tippell Johnson, and Barnett supported the proposed modifications.

Comm. Johnson made a motion to approve exterior modifications for two vacation rental units at 162-166 West Spain St. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item # 7 – Design Review – Design review for a new single family residence and attached garage at 790 Second Street East.

Applicant: Russell Nobles

Associate Planner Atkins presented staff's report.

Comm. Tippell requested to see the siding samples.

Gary Bishop, representing Russell Nobles Construction, showed building material samples for the home.

Chair Randolph opened the item to public comment.

William Burcham, homeowner, stated he spoke with the neighbors and received support for the project..

Chair Randolph closed the item to public comment.

Comms. Johnson and Barnett are impressed with the project and the receptiveness from the neighbors.

Comm. Barnett felt neighbors would have attended the meeting if there was opposition.

Comm. Essert concurred with Comm. Barnett and is pleased with the cleanup efforts.

Chair Randolph agreed that there has been significant improvement made to the property.

Comm. Barnett made a motion to approve a new single family residence and attached garage at 790 Second Street East. Comm.Tippell seconded. The motion carried unanimously (5-0).

Postponed to the meeting on February 16, 2016.

Discussion Item – Discussion and review of sign regulations related to commercial real estate signs.

Issues Update: Associate Planner Atkins reported the following;

The Downtown Design Guidelines will be reviewed at a special study session on January 25, 2016, 6:30 p.m. at the Sonoma Community Center.

Associate Planner Atkins proposed action Item minutes for the approval of the outstanding minutes from 2015.

All the commissioners agreed this was a good course of action.

Chair Randolph welcomed Comm. Essert as a regular member of the DRHPC.

Comments from the Audience: None

Adjournment: Chair Randolph made a motion to adjourn at 10:21 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, February 16, 2016. The motion carried unanimously (5-0).

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
January 20, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Randolph, Tippell, Anderson, McDonald, Johnson
Absent:
Others Associate Planner Atkins, Senior Planner Gjestland, Administrative
Present: Assistant Morris

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Rachel Hundley, City Councilmember, expressed her interest in Historic Preservation issues and appreciated the dedication of committee members and staff.

APPROVAL OF MINUTES: Comm. Randolph made a motion to approve the Minutes of December 17, 2014 as submitted. Comm. McDonald seconded. The motion was unanimously approved.

CHANGES TO AGENDA ORDER: Meek Shelf, Sonoma Wine and Cheese, requested a change in the agenda order change to move Item #7 forward because several business merchants were already in attendance.

Mary Martinez, resident, disagreed with changing the agenda order since it could set a precedent. Comm. Anderson made a motion to discuss Item 7 after Item 2. The motion was unanimously approved.

CORRESPONDENCE: Late mail was received for Items 1, 4 and 7.

Item #1 – Consideration of two wall signs for a restaurant (B & V Whiskey Bar & Grille) at 400 First Street East.

Applicant: Codi Binkley

Associate Planner Atkins presented staff's report.

Comm. Anderson confirmed with Staff that all the signs are approved.

Comm. Randolph inquired about a change in the menu style.

Codi Binkley, business owner, proposed a casual dining experience during the day with a more upscale menu offered at night.

Comm. Anderson clarified with the applicant that the daily menu displayed will be featured in a secured glass box with two keys.

Chair Barnett opened the item to public comment.

Mary Martinez, resident, felt the sign application is incomplete and should not be reviewed as presented.

Robert Ryan, commercial tenant, is satisfied with the proposal and commended the applicant for being supportive and a “good neighbor”.

Dawn Marmaduke, Grandma Linda’s Ice Cream, is pleased with the process in place for approving new signs.

Chair Barnett closed the item to public comment.

Comm. McDonald is satisfied with the proposed changes to the business yet remained concerned with the sign’s illumination and the mounting on the historic building. He did not oppose a variance.

Comm. Tippell supported the wall sign and new logo as a business improvement.

Comm. Randolph cautiously reviewed the proposal because a previously approved sign did not appear/reflect what she expected/envisioned.

Comm. Anderson reminded the Commission and public that there was a cork board and he could visualize the concept for the new sign.

Chair Barnett echoed some of the many comments made from his fellow commissioners and the public and supported.

Chair Barnett re-opened the public comment.

Codi Binkley stated that their lighting has not changed since 1983.

Comm. Anderson confirmed with the applicant that incremental approvals are acceptable so the menu board could be approved and the font size lettering could be decided by the Commission or Staff at a future date.

Chair Barnett closed the item to public comment.

Comm. McDonald made a motion to approve the application as submitted with the condition that any changes to the font, size, lighting, or orientation of the sign shall be brought back to the DRHPC. The approval applies to the illuminated wall sign and the menu board wall sign. Comm. Anderson seconded. The motion was unanimously approved.

Item #2 – Consideration of a trash enclosure area for a restaurant (El Dorado Kitchen) at 405 First Street West at 405 First Street West.

Applicant: Treg Finney

Associate Planner Atkins presented staff’s report.

Chair Barnett opened the item to public comment.

Treg Finney, applicant, said the enclosure will give the appearance of a fence when closed.

Comm. Anderson confirmed the metal framing will be flush with the building.

Chair Barnett closed the item to public comment.

Comm. McDonald thanked the applicant for making the recommended changes.

Comms. Tippell, Randolph, Anderson and Chair Barnett supported the proposal.

Comm. McDonald made a motion to follow the rolling gate frame design and materials baton board frames.

Comm. Tippell seconded. The motion carried unanimously.

Comm. McDonald made motion to change 7 to Item 3.

Item- Discussion and review of sign regulations related to portable freestanding signs.

Laurie Decker Economic Coordinator/Chamber of Commerce “got the word out” about the discussion tonight regarding displaying signs on the sidewalks in the alleyways. She mentioned that Sonoma Court Shops has an approved sign program in place.

Comm. Randolph appreciated staff’s packet in particular the “historical” discussion.

Chair Barnett opened the item to public comment.

Jeanette Fung, Sox & Vine, business owner in an alleyway across from the Plaza said it is sometimes difficult for customers to find the business and the portable signs are beneficial.

Meekk Shelf, thanked the commission for moving the item forward and working with Burgers and Vine. In her opinion, alleyway signs are valuable since businesses often find it challenging to attract customers. She believed the City should be more accommodating in this regard.

Robert Ryan, business owner on an alleyway agreed. He often hears visitors say “don’t miss the alleyways”. He appreciated the well maintained streets and the diversity of the storeowners on the Plaza streets being maintained and ADA compliant.

Ryan Cooper, Sonoma Wine Shop, supported other small businesses efforts to remain unique and friendly.

Dawn Marmaduke, felt the sign regulations limit her business and some are not applicable. She resented having received a letter from the City to remove the sign or pay a fine.

Chair Barnett closed the item to public comment.

Comm. Anderson questioned if alleyways or streets are differentiated in the sign applications and felt a bigger concern is signage along the Caltrans right of ways. He appreciated innovative and the artistic nature of the local signs.

Comm. Randolph summarized:

1. Small businesses want signs.
2. Costs for professional signs.
3. Support small business.
4. Simpler sign process.

Comm. Tippell suggested uniform and standardized signs options.

Comm. McDonald is pleased with the sign program around the Plaza. He wants more flexibility for business signage in the Sonoma Alleyways, (Private property owner will dictate-empowering the property owner with guidelines from the City. He agreed with his other Commissioners that the design will resolve itself.

Chair Barnett agreed that more flexibility for signage in alleyways should be considered. He agreed with Comm. McDonald but thinks a couple options may be too generic. He agreed that consistency is important,

Comm. McDonald summarized that commissioners agreed to allow standardized signs in alleyways, with property owner approval.

Comm. Anderson appreciated the public comment about seasonal signs.

Comm. McDonald motioned to continue the item to a future meeting to allow staff to provide examples of portable freestanding signs that could be approved administratively.

Item #4 – Consideration of design review for a Vacation rental and office building at 20079 Broadway

Applicant/Property Owner: William Welch

Associate Planner Atkins presented staff's report.

Comm. Anderson confirmed the approval for the vacation rental is for two rooms.

Chair Barnett opened the item to public comment.

William Welch, new property owner, is proposing an office and having a vacation rental that he feels is a better use for the building.

Comm. McDonald confirmed with the applicant the reason for changing the windows was the noise factor. He is concerned with the signage possibility of having an office use. He felt glazing is more inviting.

Fred O'Donnell, Figo Design, received the building approvals a year ago and is revising the scope of the project adding more parking spaces in the back.

Chair Barnett closed the item to public comment.

Comm. Tippell appreciated the modern design and she agreed with Comm. McDonald That the windows should be modified.

Comm. Randolph liked the changes made.

Comm. Anderson supported but likes the original cherry wood door.

Chair Barnett supported the proposal and is pleased that there will be a use for the space. More glass is beneficial.

Comm. McDonald suggested that lowering windows allowing more natural light to enter is beneficial for rental spaces,

Comm. Randolph said different windows will change the geometry of the building.

Comm. Anderson made a motion to approve the submittal as submitted. Comm. Randolph seconded. The motion carried 3-2. (Comm. McDonald and Chair Barnett opposed.)

Item #5 -Consideration of design review of proposed alterations to a residence at 116 Chase Street.

Applicant/Property Owner: Chad Overway

Associate Planner Atkins presented staff's report.

Chair Barnett opened the item to public comment.

Chad Overway and Jean Overway, applicants and property owners, were available to answer questions.

Comm. Anderson inquired if the window replacements will be same size wood windows,

Chris Brown, neighbor on the west side stated his main concern was with height of the building. He confirmed with staff that the setback is five feet and the new addition met the setback requirements.

Senior Planner Gjestland stated that an accessory structure does not require design review,

Joe Aaron, neighbor, supported the proposal.

Karen Collins, neighbor, supported the project and appreciated the efforts of the DRHPC to maintain the neighborhood integrity.

Chair Barnett closed the item to public comment.

Comm. Anderson is pleased with the preservation and restoration of the home.

Comm. Tippell congratulated the owners on the restoration.

Comm. McDonald and Chair Barnett appreciated the attention to details.

Comm. McDonald made a motion to approve the proposal as submitted with the following conditions of approval: 1) the final garage door selection shall be reviewed by the historic evaluator, Juliana Inman, for consistency; and 2) photographs of the interior of the residence (taken prior to any demolition) shall be provided to the Sonoma League for Historic Preservation. In addition, the DRHPC recommended that the dog-eared element on the porch be removed.

Chair Barnett called a five minute recess.

Item #6- Consideration of building elevations, exterior colors, materials, lighting, and landscaping for an 18 unit Planned Development at 821-845 West Spain Street.

Applicant: Ledson Development

Senior Planner Gjestland presented staff's report.

The City Council upheld the Planning Commission decision but requested a modification to Lot 3.

Chair Barnett opened the item to public comment.

Comm. McDonald is very pleased with the housing projects. He requested clarification on the utilities, landscaping, and water meters around the side of the units and screened by the landscaping,

Bill Reinhart, Landscaper/Civil Engineer, is impressed that Steve Ledson mentioned utilities for the site upon his first site visit.

Steve Ledson, applicant, confirmed that the mailboxes will be clustered.

Comm. Tippell questioned the architect about the color selections.

Bob Buckner, color consultant, will use the same color palette used in the West MacArthur Street subdivision.

Chair Barnett closed the item to public comment.

Comm. McDonald confirmed with Staff that landscaping will be reviewed by the Planning Director and the City Attorney. He recommended utilities to be reviewed as part of the landscaping plan.

Comms. Tippell and Randolph were impressed with the level of details in the landscaping plan.

Comm. Anderson is satisfied with the quality of construction in the Ledson Homes.

Chair Barnett commended the project team and said that the West MacArthur subdivision is a good opportunity for first time homebuyers.

Comm. McDonald made a motion to approve the site plan subject to COA that include CCRs to include perimeter trees and staff review of the final utility plan. Comm. Anderson seconded. The motion carried unanimously.

6- Consideration of building elevation details, exterior color and materials, and outdoor lighting for a mixed-use building (CocoaPlanet) located 921 Broadway.

Comm. Anderson recused due to proximity and left the room. Comm. Johnson came to the dais.

Associate Planner Atkins presented staff report.

Chair Barnett opened the public comment.

Tom Anderson, project Architect, described the project.

Anne McKibben, property owner, choose a muted blue color for the roof and natural stones.

Chair Barnett closed the item to public comment.

Comm. McDonald is pleased with the proposal and felt it will help upgrade this section of Broadway. His only reservation is the blue roof color.

Comms. Tippell, Randolph and Johnson concurred with Comm. McDonald but would like the roof color toned down.

Anne McKibben agreed with the Commissioners and will explore other color options for the roof.

Comm. McDonald made a motion to approve the project as submitted including the standing seam metal roof with the condition that the final color sample of the roof come back to the DRHPC with several options that are consistent with the corrugated metal siding, fenestration, window systems, and slate. In addition, a landscape plan shall be reviewed at a later date Comm. Randolph seconded. The motion was unanimously approved.

Comments from the Audience:

Chair Barnett made a motion to adjourn.

Adjournment: The meeting adjourned at 10:47 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, February 17, 2015.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
February 17, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Randolph, , Anderson, Johnson
Absent: Comrs. Tippell, McDonald
Others: Planning Director Goodison, Administrative Assistant Morris
Present:

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: No public Comment

APPROVAL OF MINUTES:

CHANGES TO AGENDA ORDER:

CORRESPONDENCE: None

Item #1 – Consideration of two window signs for two suites in a commercial building (Suites A and B) at 645 First Street West.

Applicant: Terry Harms

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

Terry Harms, applicant, clarified that the lettering is in white clear glass and the outline of the makeup lettering in red.

Chair closed the item to public comment.

Comm. Randolph is pleased with the characteristics of the sign proposed.

Comm. Anderson liked the design and font size.

Comm. Anderson made a motion to approve the application as submitted. Comm. Randolph seconded. The motion was unanimously approved.

Item #2 –Sign Review- Consideration of a wall sign and two window signs for a commercial building (Fig one’s Olive Oil Co, at 483 First Street West.

Applicant: Christine Triplet

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

No public comment.

Chair closed the item to public comment.

Chair Barnett postponed the item until later in the meeting since the applicant was not present.

Comm. Anderson recused due to conflict of interest.

Item- #3 Continued consideration of design review, a landscaping plan, and signs for a mixed-use building (Cocoa Planet) at 921 Broadway.

Planning Director Goodison presented the staff report.

Anne McKibben, applicant, selected an alternate color since none of the blue options would work. The exterior is corrugated silver and a copper color to match the foil wrap on the chocolate caramels. The landscaping plan features water saving plants.

Chair opened the item to public comment.

No public comment.

Chair closed the item to public comment.

Comm. Johnson applauded the applicant for their willingness to make changes.

Comm. Randolph was extremely impressed by the revisions.

Chair Barnett agreed the proposal is a vast improvement.

All Commissioners congratulated the applicant for the efforts made in developing the business proposal.

Staff noted consistency in the improvements and signage proposed for the building.

Comm. Randolph made a motion to approve the application as submitted. Comm. Johnson seconded. The motion was unanimously adopted. (Comm. Anderson recused)

Item #4 –Design Review- Consideration of design review and outdoor lighting for a commercial building (Pangloss Cellars) at 36 East Napa Street.

Applicant/Property Owner: Enterra Associates

Planning Director Goodison presented the staff report.

Chair opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Comm. Anderson suggested that more revisions be made.

Comm. Randolph appreciated Comm. Anderson's comment about the sash and would like to see a sash at the bottom.

Chair Barnett re opened the public comment.

Applicant, considered the sash and it is not critical and will consider as an option. The lantern light was selected to match the City lantern that existed,

Chair Anderson made a motion to approve the application limited to the East elevation and applicant to return with alternative designs for the North side. Comm. Johnson seconded. The motion was unanimously adopted.

Item #5 - Design Review- Consideration of a landscape plan for an 11-unit apartment development (Rabbit Apartments) at 840 West Napa Street.

Applicant/Property Owner: Ron Wellander

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Comrs. Johnson, Randolph and Anderson and Chair Barnett are pleased with the landscape plan.

Comm. Johnson made a motion to approve as proposed Comm. Randolph seconded. The motion was unanimously adopted.

Ron Wellander strongly expressed the desire to have a landscape plan reviewed during the building permit review process. He recommended this to the City Council and will continue to advocate for a change. Irrigation system should meet State requirements for water conservation efforts.

ISSUES UPDATE: Planning Director Goodison said that Comm. McDonald and Ron Wellander were selected by a two member panel of the City Council to fill the vacant positions on the Planning Commission. Comm. Johnson is a member of the DRHPC and the alternate position is open.

COMMENTS FROM THE COMMISSION

Reopening Item #2- Sign Review-Consideration of a wall sign and two window signs for a commercial building (Figone's Olive Oil Co, at 483 First Street West.

Applicant: Christine Triplet

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

No public comment.

Chair Barnett closed the item to public comment.

Chair Anderson made a motion to approve the sign at front elevation and not each side of the side doors. Comm. Randolph seconded. The motion was unanimously adopted.

Comments from the Audience:

Chair Barnett made a motion to adjourn.

Adjournment: Chair Barnett made a motion to adjourn the meeting at 9:30 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, March 17, 2015.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
March 17, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Randolph, , Anderson, McDonald, Johnson ,
Tippell
Absent:
Others Planning Director Goodison, Administrative Assistant Morris
Present:

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Mary Martinez, resident, requested that the Commission consider developing design guidelines for applicants to follow in the Historic District. She noted Pasadena as a good example where there are historic design guidelines for every neighborhood. She suggested a "Certificate of appropriateness" standard in light of the recent webcam placed on a historic building across from the Plaza.

Patricia Cullinan, resident, agreed with Mary Martinez and supported design guidelines for the Historic Districts in Sonoma.

APPROVAL OF MINUTES: Comm. Tippell made a motion to approve the Minutes of July 15, 2014 as submitted. Comm. Randolph seconded. The motion was unanimously approved.

CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late mail on Item #2 and #3.

Item #1- Sign Review-Consideration of a new monument sign for a mixed-use building at 19230 Sonoma Highway.

Applicant: Audrey Lee

Robert Sanders, Robert Sanders & Company, discussed that the new sign incorporated other adjoining businesses.

Planning Director Goodison presented the staff report.

Chair Barnett opened the public comment.

No Public comment.

Chair Barnett closed the public comment.

All Commissioners supported the sign and said it is an improvement.

Comm. Tippell made a motion to approve the sign as submitted. Comm. Johnson seconded. The motion was unanimously adopted.

Item #2 – Consideration of a wall sign for a restaurant (B & V Whiskey Bar & Grille) at 400 First Street East.

Applicant: Codi Binkley

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

No public comment.

Chair closed the item to public comment.

Comm. Anderson liked the scale and the link fits the building and the space and is an improvement.

Comm. Tippell is satisfied with the replacement sign and will help with the branding which was the original goal.

Comm. Johnson concurred with Comms. Tippell and Anderson and supported the proposal.

Chair Barnett appreciated the effort of the applicant.

Comm. Johnson made a motion to approve the application as submitted. Comm. Anderson seconded. The motion was unanimously approved.

Item #3 – Consideration of design review and outdoor lighting of commercial building (Pangloss Cellars) at 35 East Napa Street.

Applicant: Enterra Associates

Planning Director Goodison presented the staff report.

Chair Barnett opened the item to public comment.

Patricia Cullinan, resident, supported the proposal and felt it is a successful addition to the Plaza District.

Mary Martinez, resident, felt the applicant “listened to the concerns” and improved the plan.

Alice Duffee, Historical Consultant, was present but did not address the Commission.

Chair Barnett closed the item to public comment.

Comm. Johnson thanked the applicant for working with Mary Martinez and Patricia Cullinan to insure that the Historic Buildings are preserved in Sonoma.

Comm. Tippell is comfortable with the overall design elements.

Comm. Randolph appreciated the flexibility of the applicant and is pleased with the proposed upgrades to the building.

Comm. Anderson commended the applicant for staying on course and described the process as an “architectural journey”.

Chair Barnett said the course taken has gone well.

Comm. Tippell made a motion to approve the revised submittal with the recommendation to use Smokey Taupe (983) and all the finishes as presented. Comm. Randolph seconded. The motion carried unanimously.

Item #4- Discussion Item- Discussion and review of sign regulations related to portable freestanding signs.

Planning Director Goodison presented the staff report.

The update was received by the commission.

Item #5- Discussion Item- Discussion and review of interior remodels and demolitions and potentially related to the Certified Local Government program.

Planning Director Goodison presented the staff report.

There is nothing in the Development Code that gives the DRHPC authority to review the interior of buildings but it is reviewed by the City’s Building Department.

Planning Director Goodison reported the following;

1. Webcam on Maya restaurant building.

Comm. Tippell questioned if the building owner gave authorization for the use.

2. Draft RFP to hire consultant for Downtown Design Guidelines.

3. Tree removal application from Sonoma Court Shops for Broadway trees.

Comments from the Audience: Patricia Cullinan thanked Planning Director Goodison for all the productive efforts for developing the downtown design guidelines.

Chair Barnett made a motion to adjourn at 8:00 p.m.

Adjournment: The meeting adjourned at 8:00 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, April 21, 2015.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 17th day of March, 2015.

Approved:

Cristina Morris, Administrative Assistant

Memo

DATE: February 16, 2016

TO: Design Review and Historic Preservation Commissioners

FROM: Wendy Atkins, Associate Planner

SUBJECT: Request to install banners on Plaza light standards—2016 Jack London Centennial

Jack London Park Partners is proposing to install banners on Plaza light standards from June 1, 2016, to June 30, 2016. The banners are consistent with the Plaza Banner Administrative Policy approved by the City Council on May 21, 2008.

If approved, the applicant shall submit a fee in the amount of \$1,380 to the City of Sonoma. This fee will cover the costs of installing and removing the banners, the staff time required to support installing and removing banners, and associated City administrative expenses.

Attachments

1. *Plaza Banner Form*
2. *Sample of proposed banners*

cc: Jack London Park Partners
Attn: Tjiska Van Wyk, Executive Director
2400 London Ranch Road
Glen Ellen, CA 95442

Terry Melberg, Parks Supervisor

Colleen Pratt, Public Works Administrative Assistant

City of Sonoma



Plaza Banner Form

JAN 29 2016

Planning and Community
Development
No. 1, The Plaza
Sonoma, CA 95476

Please read the Plaza Banner **CITY OF SONOMA**
Administrative Policy (attached) prior to
filling out form.

Phone: (707) 938-3681 Fax: (707) 938-8775 E-mail: cityhall@sonomacity.org Web: www.sonomacity.org

Please submit completed form to City Hall no later than 90 days prior to the requested banner installation date for new banners and 30 days prior to the requested banner installation date for previously approved banners.

Required banner size: 30" x 94", with 4" stitched pocket with grommet at top and bottom; no text in pocket area.

Date application submitted: January 28, 2016

Applicant Information:

Organization name: Jack London Park Partners

Contact: Tjiska Van Wyk, Executive Director

Phone number: 707-938-3689

Address: 2400 London Ranch Road, Glen Ellen, CA 95442

Email: tvanwyk@jacklondonpark.com

Event Name: 2016 Jack London Centennial – Discover Your Call of the Wild

Event Description: Year round activities to commemorate the legacy of Jack London

Event Sponsor(s): Jack London State Historic Park

Event Start and End Dates: Start: January 12 End: November 22

Number of street light poles requested: 21 Other number requested _____
(If other number requested please include justification in project narrative).

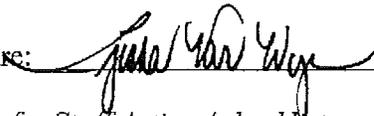
Requested 30-day installation period: From: June 1 To: June 30 is
Additional desired installation
period (maximum period is 60 days, subject to availability):

From: _____ To: _____

New banners: Yes No Or reusing existing banners: Yes No

Please attach proposed banner design(s) (if new), or graphic/photo of existing banner(s). Drawing should be in color and to scale.

I have read and agree to the terms, conditions, and responsibilities outlined in the attached documents:

Signature:  Printed Name and Date: Tjiska Van Wyk 1/28/2016

Section for Staff Action / checklist:

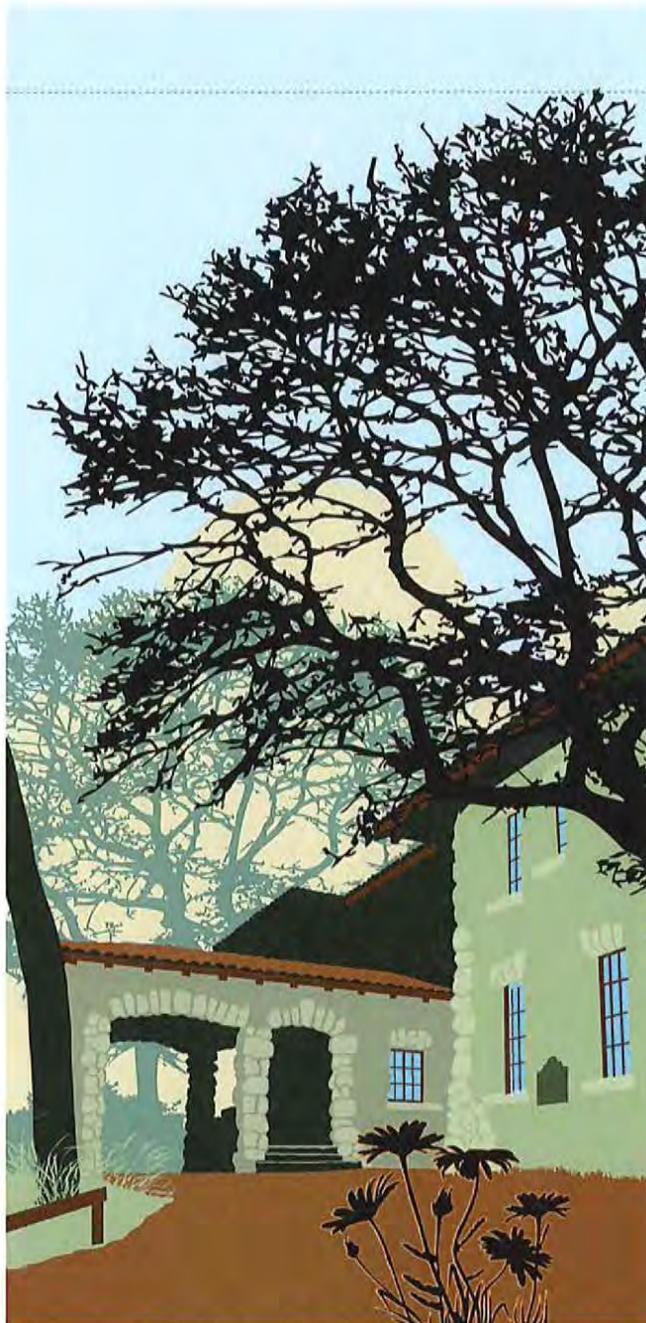
Deposit in the amount of \$1,380 received: Date Received: _____

Design Review Commission meeting Date: _____

Design Review Commission Approval: Yes No Date Approved: _____

Application and banner payment receipt forwarded to Public Works Administrative Assistant: Yes

No Date sent: _____



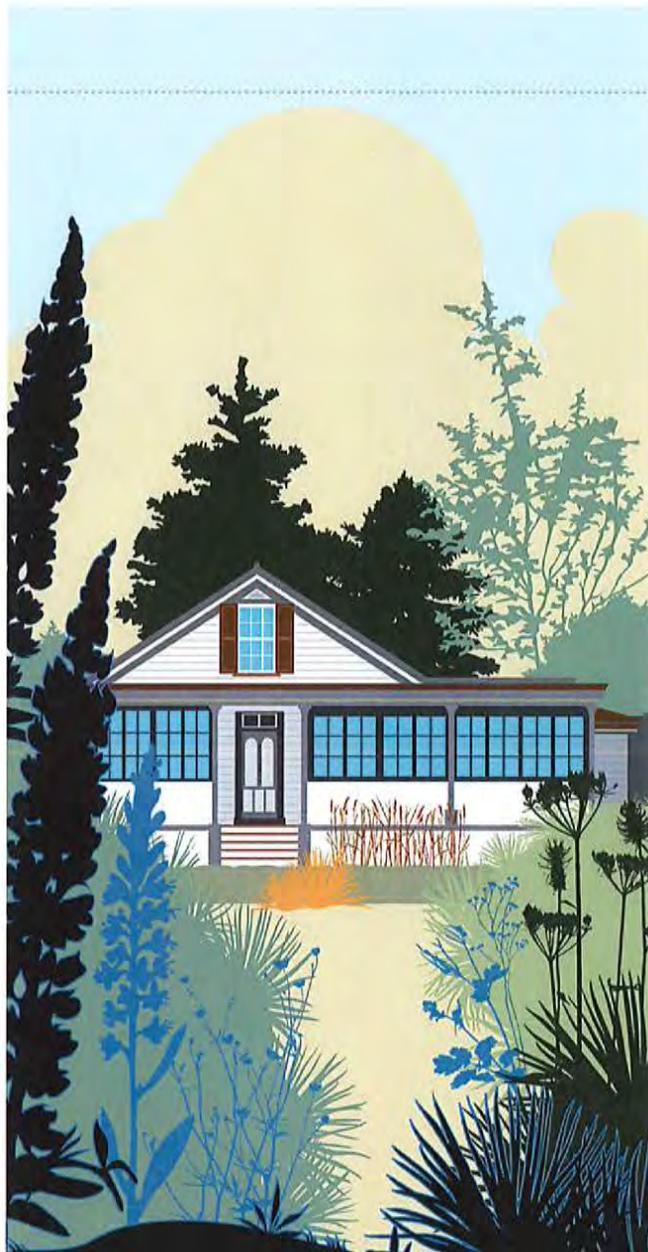
HOUSE OF HAPPY WALLS



JACK LONDON
STATE HISTORIC PARK

1916 - 2016

Discover Your Call of the Wild



LONDON'S COTTAGE



JACK LONDON
STATE HISTORIC PARK

1916 - 2016

Discover Your Call of the Wild

MEMO

To: Design Review and Historic Preservation Commission
From: Associate Planner Atkins
Re: Continued design review of proposed alterations and an addition to the residence located at 227 East Spain Street

Site Description

The subject property is a 12,081-square foot parcel located on the south side of East Spain Street less than two blocks from the Plaza. The property is currently developed with a $\pm 2,018$ square-foot, two-story home with a detached garage connected to a guest room/tower, and separate greenhouse (a swimming pool and some trees at the back of the parcel were recently removed in anticipation of construction). The property slopes downward from East Spain Street to the south (96 to 91 feet above msl). The frontage is improved with curb, gutter, and sidewalk, with a driveway on the east side. A six-foot tall fence is located directly behind the sidewalk along with two Japanese maples trees and a large oak tree in the front yard. The residence was initially constructed circa 1850 with a substantial renovation occurring in 1918 and subsequent alterations since that time. Adjoining land uses consist of single-family homes.

Evaluation of Historic Significance

The property is located within the City's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP district. A recently updated Historic Resource Evaluation and Determination of Effect prepared by APD Preservation (enclosed) found that: 1) the home does not appear to be historically significant as an individual resource due to loss of integrity; 2) it is significant as a *contributing* resource to the streetscape and surrounding NRHP district. This finding is consistent with the determination of the initial assessment, but the revised report incorporates responses to questions that were raised regarding the analysis. As requested by the DRHPC, the historic consultant met with representatives of the League for Historic Preservation in order to clarify question areas, resolve areas of disagreement, and discuss potential modifications to the design.

Background

Beginning in November 2015, the DRHPC has conducted a series of reviews on the application. At the meetings of November 17th and December 15th, the proposed design direction called for filling in the residence with a two-story addition on the east, set off with a relatively small setback, and increasing the overall roof height. A scaled-back version of this approach was presented at the December meeting. However, due in part to a change in its composition, a majority of the Commission directed that a different approach be taken, calling for the main façade of the

residence to be preserved and for the addition to be substantially set back from the front of the building.

At the January 19, 2016 DRHPC meeting the Commission reviewed a revised proposal reflecting the updated approach. In the revision, the façade of the existing home was to be restored and the outline of the 1918 renovation maintained. The addition was set back twelve feet from the front façade of the existing home, and the new garage was set back five feet from the face of the connecting building element. In order to provide a clear contrast between old and new, the style of the addition employed Monterey Colonial features, with wood timber balconies, stucco walls, and a clay tile roof. Following an extensive discussion, the DRHPC continued the review of the project and provided the applicant with the following feedback:

- Appreciation and support were expressed for the preservation and restoration of the historic façade.
- Prior to the next DRHPC meeting, the applicant should conduct outreach to neighbors and the Sonoma League for Historic Preservation regarding revisions to the project.
- The height and massing of the addition should be reduced.
- The Monterey Colonial design may be interpreted as false historicism and may not fit in the surrounding neighborhood.
- The use of strongly contrasting styles and materials raises concerns. A traditional farmhouse, craftsman, or contemporary style is preferred over the Monterey Colonial.
- The east elevation appears to be a long wall—can it be broken up?
- Story poles would be helpful and should be installed within five days of the DRHPC meeting.
- A preliminary landscape plan addressing privacy issues should be submitted.

These directions were provided by individual Commissioners and do not necessarily represent a consensus of the Commission. However, it appeared through the discussion that while the commissioners supported preserving the existing structure, a majority had substantial concerns regarding the style and massing of the revised design.

Revised Project Description

In response to the Commission's direction, a revised proposal has been prepared and is presented to the DRHPC for review, including a letter from APD Preservation LLC stating that the revised project is consistent with both the letter and the spirit of the Secretary of the Interior's Standards for Rehabilitation (attached). The revised proposal features the following modifications:

- The façade of the existing home will be restored and the outline of the 1918 renovation will be maintained.
- The addition now begins with a one-story garage element set back five feet from the connector element and twelve feet from the front façade of the existing home. It then steps up to a second-story element set back twelve feet from the face of the garage and steps down to a one-story element at the rear. To further reduce its massing, the length of the addition has been shortened by 30% and gable elements have been introduced on the east elevation. The addition features an 8-foot side yard setback on the east.

- The addition features a Farmhouse style with a traditional gable roof, plain horizontal siding, and an asphalt composition roof. This approach distinguishes it from the original structure, but the style and materials are not as strongly contrasting as previously.
- Multiple-light windows are featured on the old portion of the building and 2 over 1 windows are featured on the new addition.
- New horizontal wood siding will not have the cove-lap joints, but coursing to match existing coursing joints of the main house siding.
- A revised color scheme has been provided.
- An alternate style of shingle roof material has been proposed consisting of Zappone aluminum shingles, slate gray in color (the applicant would like both options to be approved by the DRHPC).
- Landscaping would be installed at key locations to address privacy concerns. Specifically, Italian Blue Cypress trees (initially between 9 and 11 feet in height) are proposed along the southern property edges and southwestern property line. In addition, the applicant has stated that the existing trees canopy on the property to the east will, in large part, block the view of the addition to the east.

The revised elevations and color scheme are attached, along with streetscape elevations showing nearby residences. It should be noted that the applicant has indicated that outreach was made to the Sonoma League for Historic Preservation and to the adjoining neighbors prior to submitting the revised proposal. In addition, story poles have been installed on the site as suggested by the Commission.

Accessory Buildings: To reiterate a point made in previous reviews of the project, residential accessory structures, including second units, are not subject to design review.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a Historic Resource Evaluation and Determination of Effect was prepared for the residence and suggested that it meets the CEQA definition of a historical resource. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an updated analysis was conducted to determine whether the proposal is consistent with the Standards (refer to attached Historic Resource Evaluation and Determination of Effect 227 East Spain Street, Sonoma, Sonoma County, California, prepared by ADP Preservation and letter from APD Preservation LLC stating that the revised project is consistent with the Secretary of the Interior's Standards for Historic Preservation). The analysis concluded that the proposed project meets the Secretary of the Interior's Standards for Rehabilitation, which means that application is considered to be categorically exempt from CEQA.

Required Findings: As set forth in §19.54.080.G of the Development Code, in order to approve an application for site design and architectural review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. *The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.*

The project complies with the applicable policies and regulations set forth in the Development Code. It meets all relevant requirements associated with residential development in the Low Density Residential zone, including limits on height, setbacks, Floor Area Ratio, and lot coverage.

2. *On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.*

By preserving and restoring the original structure and by clearly distinguishing the new building elements from the original structure through setbacks, design and materials, while maintaining compatible scale and massing, the proposed project would not impair those aspects of the property and would maintain its contribution to the character of the neighborhood. Therefore, the project is consistent with the applicable design guidelines of the Development Code.

3. *The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.*

The project proposes a residential addition, which is compatible with adjacent development and consistent with height and setback requirements. As noted above, the large oak tree on the site would be preserved.

4. *The project will not impair the historic character of its surroundings.*

The front elevation of the original residence will not be altered, except by relocating the front door several feet to the east, centered under the existing second story dormer. The project includes a proposed residential addition, which would be setback 40 feet from the north property line. This addition will not significantly diminish public views of the original residence and it complies with height, setback, coverage and other applicable limitations of the Development Code.

5. *The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.*

While the property is identified as a contributing resource to the Sonoma Plaza NRHP District, the Cultural Resources Evaluation concludes that it does not appear to be historically significant as an individual resource because of loss of integrity. However, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district. The façade of the original building will be retained and restored; thereby, preserving is compatibility with the site and its surroundings as well as its contribution to the NRHP district. The proposed addition to the house is substantially set back from the original building and clearly distinguished from it in terms of its design and materials, but is compatible in its design, scale, massing, and materials.

6. *The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).*

In staff's view, the project complies with SMC 19.42 in that the retention and rehabilitation of the original structure maintains its essential architectural features and thereby preserves its contribution to the historic character of the neighborhood.

7. *The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.*

The project is not located within a local historic district.

8. *The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.*

The updated Historic Resource Evaluation and Determination of Effect on Historic Resource prepared by APD Preservation finds that the elements of the property that contribute to the overall time, place, and historical development of the Sonoma Plaza NRHP District are its location, setting, materials, and feeling. The proposed project would not impair those aspects of the property. Furthermore, based on the analysis of the compatibility of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation" and an assessment of the project's consistency with the City of Sonoma's current design guidelines, the project would have no adverse effect on the Sonoma Plaza NRHP District.

In summary, the findings required for project approval can all be made.

Recommendation

Commission discretion.

Attachments

1. Project Narrative.
2. Historic Resource Evaluation and Determination of Effect: 227 East Spain Street, Sonoma, Sonoma County, California.
3. Letter from APD Preservation LLC, dated February 8, 2016.
4. North Elevation Color Sample Sheet.
5. Windows and Exterior Door Information.
6. Siding Information.
7. Roofing Information.
8. Proposed North and East Elevations.
9. Proposed West and South Elevations.
10. Correspondence
11. Existing Elevation.
12. Proposed Site Plan.
13. Proposed Details.
14. Existing Exterior Details.
15. Neighborhood Elevations.

cc: Robert Baumann (via email)

545 Third Street West
Sonoma, CA 95476

Bill Wisialowski (via email)
40 Homeplace Ct.
Hillsborough, CA 94101

Alice Duffee (via email)
APD Preservation
13125 Arnold Drive
Glen Ellen, CA 95442

Cathy and Gene Sperring
442 Second Street East
Sonoma, CA 95476

Patricia Cullinan, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

George McKale, via email

Victor Conforti, via email



Robert Baumann + Associates

CA License # C28431

545 Third Street West, Sonoma, CA 95476

P - 707.996.7947 F - 707.996.7904

rb@robertbaumann.com

DATE: February 8, 2016

TO: City of Sonoma, Planning Department

RE: D.R.H.P.C. PROJECT NARRATIVE – Wisialowski Residence, 227 East Spain Street

This is an updated version of previously submitted Project Narratives. The November hearing was deemed a study session, and the December and January hearings were continued at the option of the applicant. This narrative summarizes the recommendations of the Commission, the resulting revised design and a reiteration of the general characteristics of the project.

The Commission noted that the January submission did a "good job preserving the existing structure." The design-related direction offered by the Commission at the January hearing included: a) preference for a tradition farmhouse style; b) direction to use similar styles of siding and roofing materials in existing structure and addition and c) address overall mass of addition. In addition, the Commission suggested that story poles be installed at least 5 days before the DRHPC hearing, the revised plans be shared with neighbors before the hearing and preliminary landscape plan addressing privacy issues be included.

The existing structure has 2,018 square feet of living space (based on detailed CAD drawings). In the revised design, the total living space will be increased by 1,328 feet. A 524 square foot attached garage will also be added. The project expands the building footprint to the east and south and conforms to all City of Sonoma Code requirements.

This design continues to preserve and highlight the original old structure. Without raising the ridge height of the existing structure as shown in the first two submittals, the existing upper level is impractical to re-use as habitable space. The design removes the upper level floor (which was unsafe) and vaults the interior to be used as the main "public area" of the restored and renovated home. The interior vaulting will highlight our best guess of the original circa 1850 structure, which was originally an ancillary building (perhaps storage) of the Ray Adobe and, after the sub-division of Lot 37, a small, simple residence.

The existing detached garage, guest house and pump house (1993) on the east side of the home (each of which is non-conforming) were modern additions. These structures shall be removed and their building materials recycled and re-used where possible. The removal of these structures allows for a new attached garage to be placed in a conforming location with regard to front and side property line setbacks.

The family bedrooms of the home are placed in an addition behind and above the garage. The new addition is attached to the main house through a connection element that is a re-use of a 2003 dining room addition to the home. That addition does not have historical significance, but our plan is to utilize it to connect the existing structure to the new addition. The connector is set back 12 feet from the contiguous edge of front of the existing structure and more than 40 feet from East Spain Street. As noted by the Commission in January, this connection element creates a very clear separation between the old and the new.

FEB 08 2016

Following the January recommendation of the Commission, we chose a Farmhouse Style (with a traditional gable roof) for the new addition. The new garage is set back 5 feet from the face of the connection.

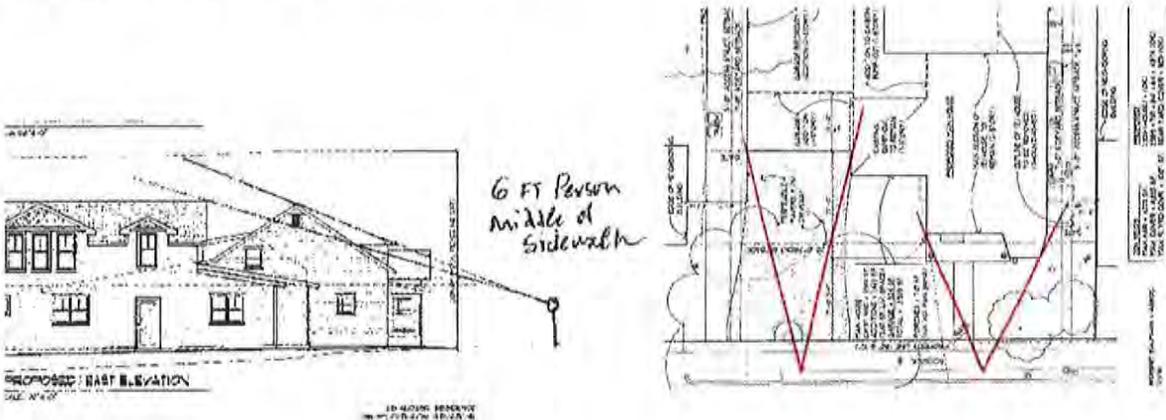
To minimize mass, the addition is just 22½ feet wide (versus the 25-foot wide historic structure), which, due to roof pitch, allows for just a hallway and one room in the width of the addition. We reduced the overall mass and scale of the addition by setting the façade of the second story back 12 feet from the façade of the garage. As a result, the second story addition begins 60 feet from the edge of East Spain Street.

The addition was designed to accommodate a single level (no steps) throughout the first floor. This is important to the owners as they plan to live permanently in the home (including a long, hopefully healthy, retirement). As a result, the ridge of the addition is 6" higher than the existing structure ridge. However, it should be noted that the significant setback results in a perspective view (attached) of the ridge of the addition as lower than the ridge of the existing structure. In addition, because the gable end of the addition faces East Spain Street, only the tip of the roof is inches higher than the existing structure ridge as seen from the "Street View." The gables on the eastern and western sides of the roof are sufficiently set back so that, in perspective, they will appear even lower than the ridge of the addition (and existing structure).

Further, we reduced the overall length of the second floor addition by more than 30% (which required the elimination of a bedroom) from the previous submission and "broke up" the downsized east elevation with several gables. As a result, the overall mass has been reduced and the "wall" comprising the eastern elevation has been "broken up" per the recommendation of the Commission. It should be noted that due to the significant setback of the garage and the second story addition, that the eastern elevation will not be visible to passersby except at a very acute angle. Further, a large oak tree to the east of the property blocks the view from the east of a majority of the second story addition. The canopy of the oak tree is shown on the site plan.

With regard to subordination to the original structure, not only is the addition behind the garage, the significant setback from the street has a real impact in the perceived size of the addition vs. the existing structure.

As shown below when viewed from the sidewalk, the addition appears much lower and narrower than the original structure.



A concern was raised at the last meeting that the Eastern Elevation would present a "wall" to passersby. As shown in picture below (the orange arrow identifies 227 East Spain Street), the

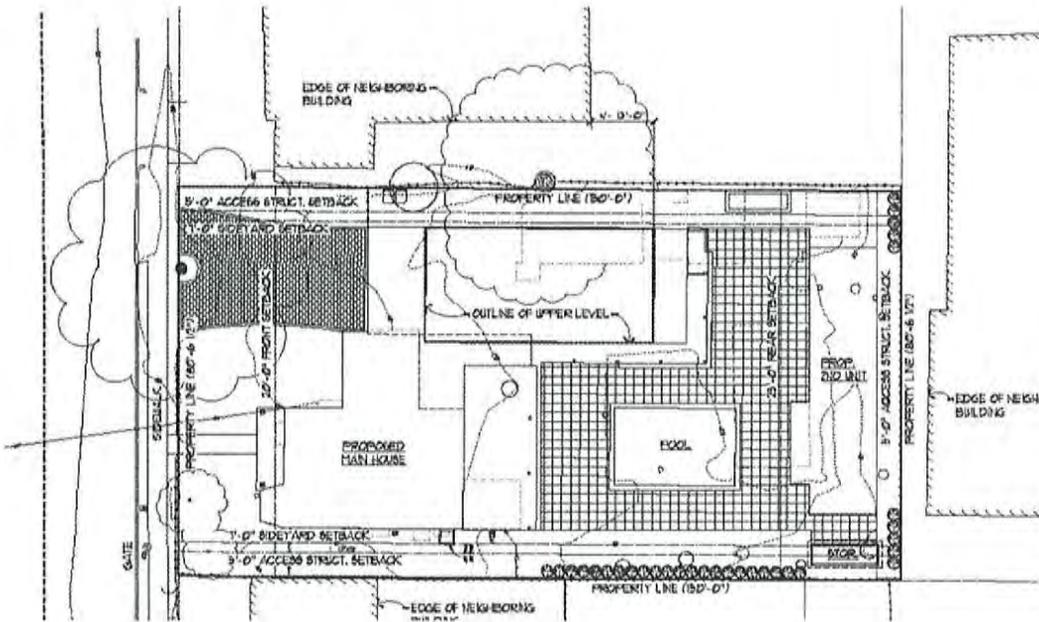


ridge of the Eastern façade of the addition (shown by dotted red line) will be barely visible to pedestrians and drivers as they approach from the East. The addition ridge would be set back more than 60 feet BACK from the street (the ridge of the addition is 14 feet behind the ridge of the existing structure). The redwoods at Trinity Episcopal and the house/garage/trees of the property immediately to the East would block the view of the addition from the East.

As passerby get closer to 227 East Spain Street, the position of the house to the east would continue to block the view of the virtually all of the addition as it is 3X as far from the street as is the face of the garage to the east (shown behind car in driveway). The canopy of the tree (highlighted on the left) blocks much of the Eastern elevation to the property to the East.



In addition, the following schematic illustrates that the addition starts at the rear of the garage to the east and the second story (set back an additional 12 feet) of the addition is blocked, in large part, by the canopy of the tree just to the east of the property line.



The elevation from the East is shown in the following rendering. The tree in question is 58 feet high and covers most of the second story addition.



With regard to several neighbors' (to West and South) concerns expressed at the January meeting regarding privacy, the current design does not utilize balconies on the second floor. In addition, we have shown the use of tall (initially 9-11 feet) Italian Blue cypress to create an immediate privacy screen which will be higher than the existing fences by 3+/- feet. We are open to alternative plant materials, but will work to accommodate any concerns the neighbors might have regarding privacy. The second unit is designed such that NO windows face the property to the South; instead, the focus is on the public outdoor space of the property.

The final result of the design is that the 1918 Goess structure is preserved and easily discernable by passersby. We have preserved the rear roof pitch as well, so that oblique views of the old house allow the viewer to "see" the 1918 structure constructed by Andrew Goess. The new addition accommodates the modern necessities garage, bedrooms and laundry in a style that is complementary to the original structure.

Our research has concluded that most, if not all of the existing windows are not original. The most likely stylistically original windows are on the west elevation. We're taking that as a cue to create a rationale between old and new fenestration. We utilize multiple-light windows at the old part on the front and side elevations, and more contemporary windows (2 over 1) at the connector and addition. We also decided to "dress-up" the front elevation a little more with border muntin patterns we found in many examples of Queen Ann windows.

We believe we have adequately addressed the concerns of the Commission. This project conforms to the guidelines for design within the Historic Overlay District as well as the Guidelines for In-Fill Development. The proposed forms, scale, fenestration and exterior materials for this project are very respectful of the surrounding structures and maintain this property's contribution to the fabric of Sonoma's historic plaza. We have gone a long way in reversing most of the changes made to the structure since 1918 while restoring the house and adding a visually separate structure to accommodate family bedrooms and requirements of modern living.

In anticipation of remodeling an existing home over 50 years old just 2 blocks from Sonoma's historic plaza, the Owner of this property hired Alice P. Duffee of APD Preservation, LLC, to conduct an evaluation of the historic character of the house. The results of her research have been compiled in the previously submitted Historic Resource Evaluation (HRE). Alice's research has determined that the structure *individually* is not historically significant due to loss of integrity; in other words, no single element or feature is an authentic, historically important component. However, according to the Historic Resource Evaluation, the building does still "*remain significant as a contributing resource to the streetscape and surrounding NRHP district*". Design features at the front of the house should be preserved, and the final character, scale and style should be compatible with neighboring structures.

The façade of the home shall be restored, and the outline of the 1918 renovation will be maintained. Existing foundations at the perimeter of the home shall be re-used where possible. Exterior materials, door styles and window styles shall all be preserved or replaced in like kind if they have deteriorated beyond re-use. The majority of exterior wall surfaces have horizontal wood siding with a cove-lapped joint and 8" exposure. Other types of siding that resulted from various renovations and additions over the years shall be replaced with siding to match existing cove-lapped siding.

The existing structure is located fairly close to the street, encroaching into the front yard setback approximately 3 feet. Unfortunately, the structure is less than acceptable in its existing condition and much of it needs to be rebuilt. The guidelines for Preservation and Adaptive Reuse recognize that additions to historically valuable structures may be necessary to ensure their continued use, and promote the preservation of essential architectural features. The original challenge posed the

question of what exactly needed to be preserved – our approach now is to preserve the entire original structure as seen from public view.

A number of diseased and poorly located small trees have been removed. A large oak tree in the front yard, characteristic of the older downtown parcels, shall be preserved. The existing fence in the front yard, non-conforming in its height, shall be replaced with a new fence conforming to height guidelines.

Exterior materials at the connection will relate to, but not be an exact duplication of, exterior materials on the existing historic home. New horizontal wood siding will not have the cove-lap joint, but coursing joints shall align with the coursing joints of the main house siding. Revised color specifications have been submitted and a material sample board were presented (and approved) at the December hearing.

The Owner is an advocate of sustainable building practices. In addition to the mandatory requirements of the CalGreen building code, the following measures and systems are being incorporated into this project:

1. Donation of deconstructed materials to Habitat for Humanity including stone pavers, plumbing fixtures and lighting fixtures.
2. Recycling of existing wood framing as interior accent features.
3. Re-use of existing concrete foundations and various building materials where possible.
4. Efforts to improve storm water management on site, including implementation of water retention swales, and permeable driveway and walkway surfaces.
5. Adoption of water efficiency measures, including specifying low-flow plumbing fixtures, and drought tolerant plants allowing low-volume landscape irrigation.
6. Implementation of photovoltaic panels as the primary source of electrical power; high-efficiency water heaters and furnaces, Energy Star rated appliances; and Dual pane, low-E clad wood windows shall be used throughout.
7. Maximizing indoor environmental quality through the use of products having zero to low Volatile Organic Compound (V.O.C.) emissions or off-gassing.

If you require additional information, or have any questions about the submitted material, please contact me at your earliest convenience.

Thank you,

A handwritten signature in green ink, appearing to read "Robert Baumann".

Robert Baumann, *Architect*

Historic Resource Evaluation and Determination of Effect
227 East Spain Street, Sonoma,
Sonoma County, California
(APN 018-222-019-000)



Prepared for:
Bill Wisialowski
bill@wiz3.com



Prepared by:
Alice P. Duffee, Historic Preservation Planner
APD Preservation LLC
July 2015, revised November 2015

DEC 07 2015

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Project Overview & Executive Summary

The owners of the property at 227 East Spain Street in Sonoma, California, are assessing the historic character of the house on this property and assessing the impact of a proposed renovation project on the resource. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. They have also hired Alice Duffee to assess the proposed project's potential impact on the resource. This report is the result of those evaluations.

Historic Resources

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does qualify as an historic resource under the California Environmental Quality Act (CEQA) because of its inclusion as a contributing element to the Sonoma Plaza National Register Historic.

A structure has occupied this lot since at least 1852, though that original house has since been engulfed in a 1918 renovation and exists only as a few structural members embedded within the current walls. The Goess Family purchased the house shortly before 1900 and embarked on a major renovation project in 1918, adding a Queen Anne façade, removing a wing, raising the building a half storey, and adding a back porch. The house stayed in the Goess family nearly 80 years, until it was sold in 1979. Subsequent owners embarked on a long series of renovations that have eroded away the buildings historic integrity:

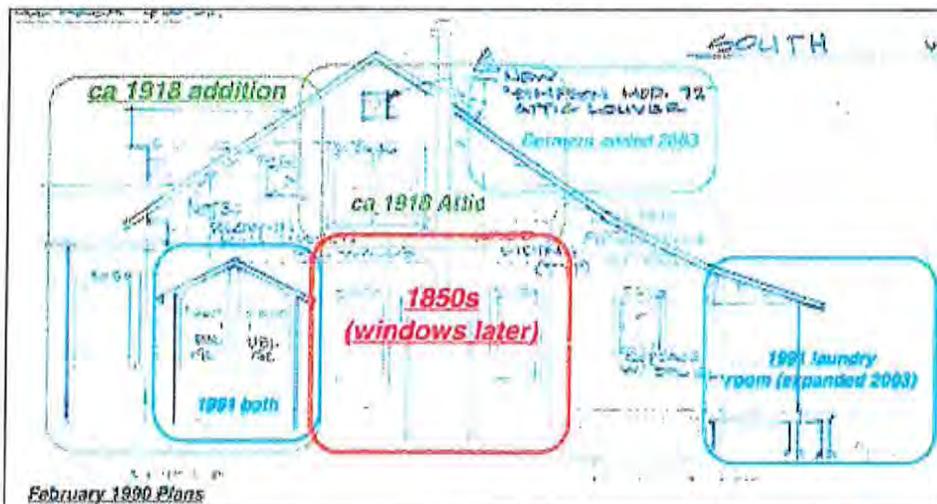
1918: Queen Anne façade, roof redesigned and raised ½ storey, wing removed, rear porch added

1982: rear porch (1918) partially infilled, wing added off of SW corner

1991: bathroom wing on west

2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

The severe loss of integrity of design, materials, feeling, and workmanship render the building not historically significant as an individual resource. However, the façade of this building and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district. Historically significant resources near the property include the Ray-Nash Adobe immediately to the west, the Adler House across the street, and a frame house immediately to the east (245 East Spain Street).



Proposed Project

The owners of 227 East Spain Street propose to raise the ridgeline of the oldest section of the house by 18" and replace the 2003 wing on the east with a new wing that extends towards the rear of the property. This new wing would also replace the existing garage/guest house, which would be demolished as part of this project. At the rear of the house, the owners propose to remove the 1982 wing off the kitchen, reconfigure the porch and rebuild the dormers.

Determination of Effect

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation" and the City's guidelines as outlined in the Municipal Code, the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) and CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.
- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

Methodology

On July 12, 2015, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Northwest Information Center (NWIC)
- Sonoma County Recorder's office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

Evaluator qualifications

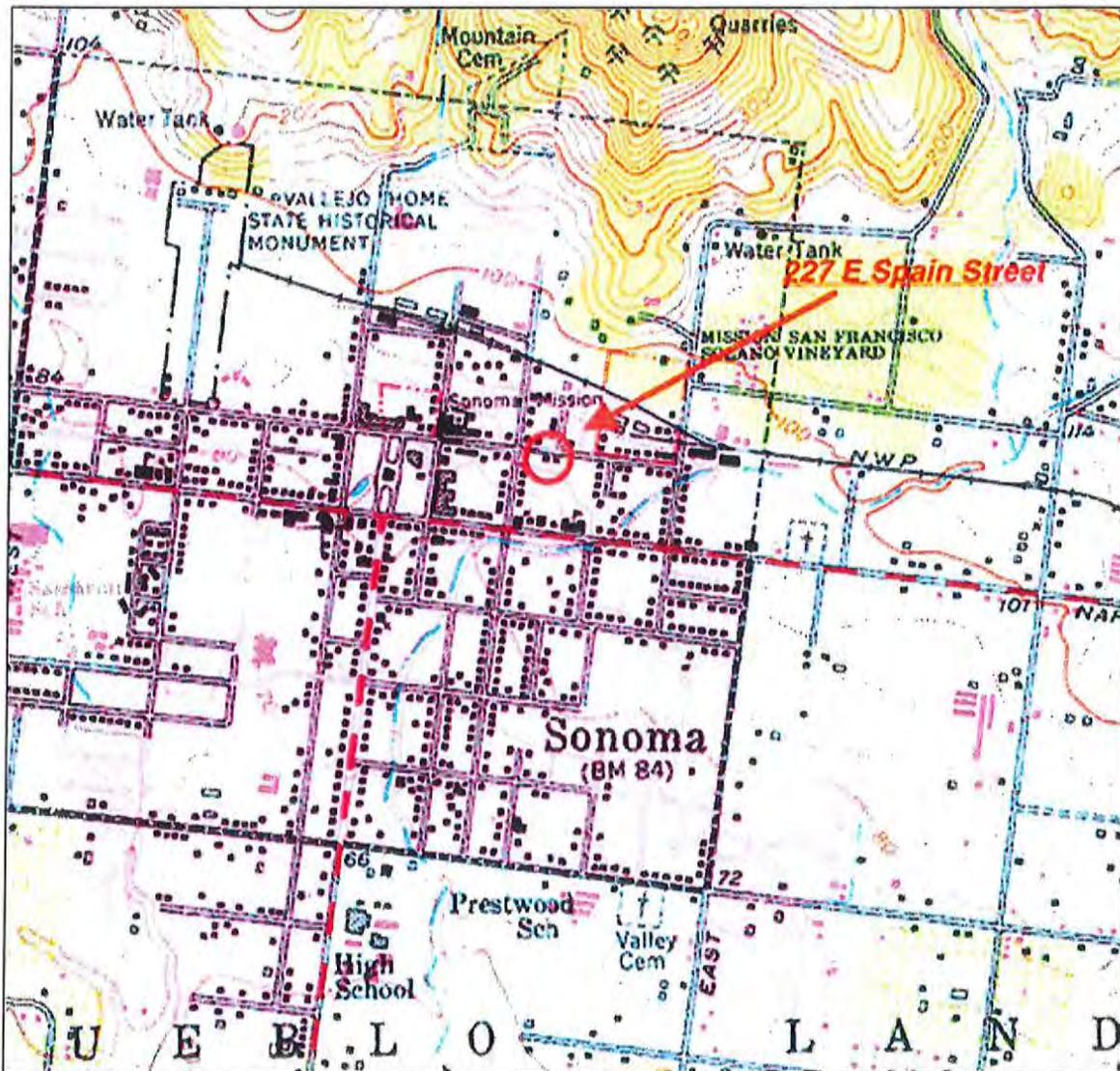
Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the house at 227 East Spain Street in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical



Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

Site Location

The house at 227 East Spain Street sits on the north side of East Spain Street, just east of the intersection of Second Street East in the City of Sonoma. A 6' wood board fence surrounds the entire property, shielding it from view from the street and its neighbors. The streetscape is established mature landscaping around modest single-family residences from the early to mid twentieth century. This section of East Spain Street has two lanes of traffic (two-way) with street parking on both sides.



Location of 227 East Spain Street (Sonoma Quadrangle, USGS Map, 2012)



Aerial view of Parcel

Description

The one-and-a-half-storey cottage at 227 East Spain Street consists of a central block with additions on the east, south and east sides and a projecting bay off of the front facade. The house is further set back from East Spain Street than either of its neighbors to the east or west. It is separated from the street by a sidewalk, mature trees, and a 6' wood board fence. All sections of the structure are clad in wood shiplap siding and rest on a modern concrete foundation. The roof was most recently replaced in 1999 with modern composition shingles.

The primary, gable-roofed block has a shed-roofed porch that spans the eastern two-thirds of the façade and terminates in the three-sided, gabled-roofed bay window off the northwest corner. The front door is centered on the primary (north) façade and consists of a pair of Queen Anne style, arched light, French doors with two raised and heavily moulded panels below the lights (see figure 3). A modern (2003) bay window projects from the wall east of the doors. The three windows of the bay are one-over-one, double-hung modern windows (see figure 6). The gables of the 2nd storey dormer and the projecting bay are filled with scale and diamond shape shingles. The dormer features three vertical windows of five lights each. Modern (post-1978) turned posts support the porch roof (see figure 4). The porch floor is painted wooden boards. The overhanging eaves of the porch, dormer and house all display scrolled rafter tails (see figures 2 and 4).

A modern (2003) gable-roofed addition dominates the east elevation. The decorative details of the original block have been repeated on this wing: shingled gable, scrolled rafter tails, shiplap siding, louvered ventilation opening (see figure 7). Two fixed pane windows occupy the east façade of the addition. On the principal block of the house, a pair of one-over-one, double-hung wood windows occupies the gable and is surmounted by a louvered ventilation opening into the attic (see figures 7 and 12). A modern (2003), shed-roofed bay window butts up against the addition where the north façade meets the older block of the house (see figure 14).

The rear of the house faces south and is an eclectic mix of renovations over the past century. A pair of gable-roofed dormers (2003) has been cut into the roof to provide more living space in the second storey attic. Another gable-roofed addition with a shingled gable end and scrolled rafter tails projects off the southwest corner of the main block. Shed roof porches, supported on square 4 x 4 posts, span the 2003 addition on the east as well as the east two-thirds of the main block of the house. A wood deck unites the

main block and the eastern addition. A pair of modern French doors accesses the deck from the addition, while a single door accesses the deck from the main block. One-over-one, double-hung, modern windows flank the back door. A single one-over-one, double hung window is centered on the south façade of the addition on the southwest corner. Modern solar panels occupy the south facing roof slopes (see figure 15).

The west façade features a pair of six-over-six, modern, double-hung replacement windows set in a simple wood frame in the gable. A smaller, one-over-one, double-hung window is positioned immediately north of the pair of windows. A louvered ventilation opening is at the top of the gable. Two six-over-six, double-hung windows flank a metal flue pipe that runs up the side of the building, venting the first floor fireplace. The hot water heater is enclosed in a shed roofed, clapboard cabinet south of the chimney flu (see figure 24). A hip-roofed, three sided bay projects from the kitchen. A modern (1991) addition projects from the northwest corner, towards the west property line, and contains a large bathtub (see figure 29). All of the original windows on this elevation have been replaced.

The other structure on the property is a combined garage/guest house. Like the main house, the building is wood frame with a gabled roof. A single garage door and a pedestrian door occupy the north end, while the west façade has two 6-paned windows. The board and batten addition on the back was constructed in 1990 and copies designs of local water towers. Exterior wood stairs lead to a room and porch on the second floor (see figures 35 and 37).

A modern pool (ca. 1980) occupies the rear section of the yard (see figure 38).

Permit records for this property include:

- 1958: electrical upgrades
- 1959: replacement of the garage
- 1979: a new foundation
- 1980: a pool
- 1983, 1989, 1999: roofing
- 1990: modifications to the garage/guest house
- 1991: bathroom expansion (west side)
- 2003: major renovation (addition on east, addition on southwest, dormers on rear)

Historical Context of Sonoma

The house at 227 East Spain Street is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

History of 227 East Spain Street

The lot that contains 227 East Spain Street was on the northeastern corner of what was originally known as Lot 37 on the early pueblo map of Sonoma. The earliest mention of a structure on the property appears July 14, 1851 when Joseph & Nancy Ann Neville sold the property for \$2,000 to Robert Hopkins who, according to the deed, was already living on the property.¹ John G. Ray had erected an adobe house next door (on the corner of East Spain and 1st Street East) in 1847 and sold off the land containing the project area to Neville in 1850.² Ray or Neville may have erected a small frame building on the current parcel sometime between 1847 and 1851, though there is no further record of it. Otto V. Geldern's 1875 map shows the Ray Adobe, but no building on the project area. Lewis Adler owned the property at this time, and the structure may have been too inconsequential to merit inclusion on Geldern's map.



Detail of Otto V. Geldern's 1875 Plan of Sonoma showing property location.

Robert Hopkins was born in Kentucky in 1822, and came to Sonoma from Vermont with his family before 1849. In 1849, he was chosen as the first District Judge for Sonoma. He served as the first mayor of Sonoma from 1853-1854. By 1860, however, he had relocated to Napa and his family had returned to Vermont.³

Lewis Adler had bought the property at 227 East Spain Street before 1865. The property changed hands several more times until George Andrew ("Andrew") Goess and his wife, Jennette Robinson Simmons Goess, purchased the property sometime before 1900.⁴ Andrew Goess was the son of a German immigrant (George Andreas Goess) who arrived in the United States from Bavaria in 1848. Andrew Goess was born in California in 1858 and was living in Sonoma at least by 1870.⁵ In 1882 he married

¹ Sonoma County Deed Book F, page 157.

² Sonoma County Deed Book A, page 32.

³ 1860 US Federal Census.

⁴ The 1900 US Federal Census shows the Goess family living in this house, though I have not located the deed for this property transfer in the records of the Sonoma County Recorder's Office.

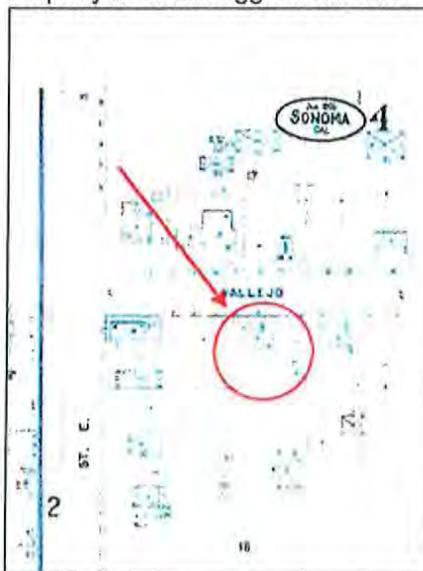
⁵ 1870 US Federal Census.

Jennette Robinson Simmons. Andrew Goess was a carpenter and had four children with Jennette.⁶ They owned the property until 1921 when the couple gifted it to their two married daughters, Jennette Goess Homer and Hazel Goess Fowler.⁷ Andrew Goess died August 15, 1926 in Sonoma, followed by Jennette Goess on November 13, 1926.⁸

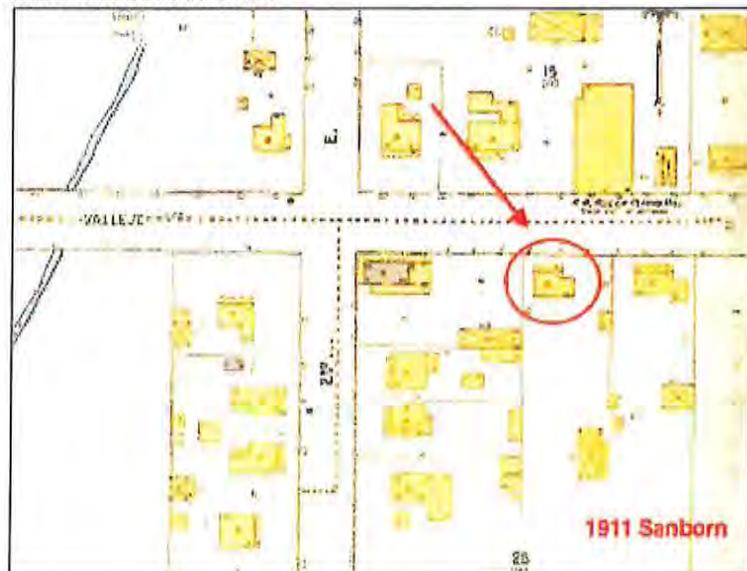
The Goess daughters retained the property until 1979, renting it out while the two sisters resided in San Francisco.⁹ Jennette Homer died in 1938 and willed her share of the property to Hazel Fowler, who later sold the property in 1979 to Peter Law.¹⁰ Hazel Fowler died August 18, 1981. Peter Law sold the property three years later to a widowed realtor from San Francisco, Elizabeth Evans. Penny McNaughton bought the property from Elizabeth Evans in 1986 and her estate sold it to the current owners, William and Karen Wisialowski in May 2015.¹¹

A dwelling appears on the site in the 1905, 1911 and 1923 Sanborn Fire Insurance maps (see maps below). In both 1905 and 1911 the house is represented as a one-storey frame structure with a shingled roof, tile chimney, and one-storey porch across the front. It was roughly "L" shaped, with an addition on the east side of the central block.

On the 1923 map, however, the footprint changes. The main block of the building appears the same, but the eastern addition is gone. The front section of the building is now 1½ storey, frame, shingle roof, tile chimney, with a three-sided bay window off the northwest corner and a porch across the front. A one-storey, frame section with a shingled roof on the rear of the house also had a porch across its length. Property records suggest that this renovation occurred in 1918.¹²



1905 Sanborn Fire Insurance Map



1911 Sanborn Fire Insurance Map

⁶ www.ancestry.com

⁷ Sonoma County Deed Book 110, page 499.

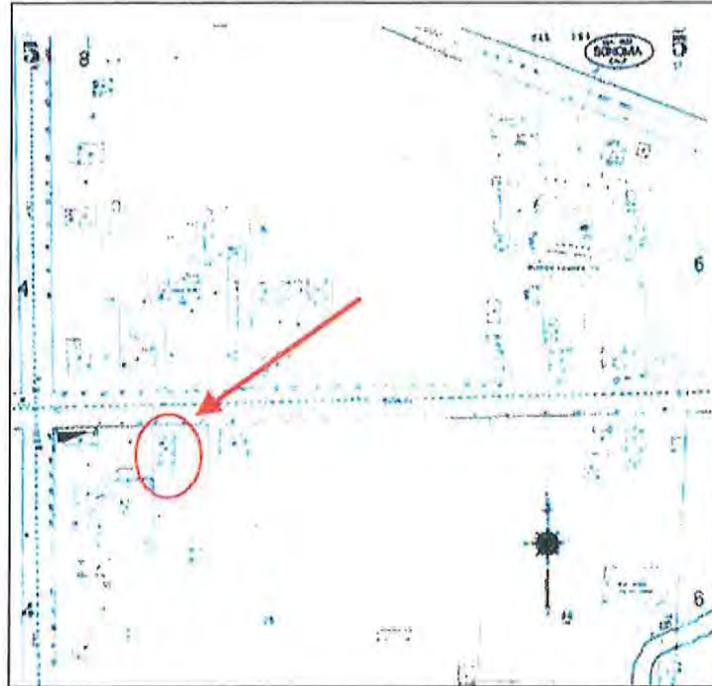
⁸ Both are buried in Mountain Cemetery in Sonoma. www.ancestry.com

⁹ Jennette moved to Los Angeles prior to her death in 1938. www.ancestry.com

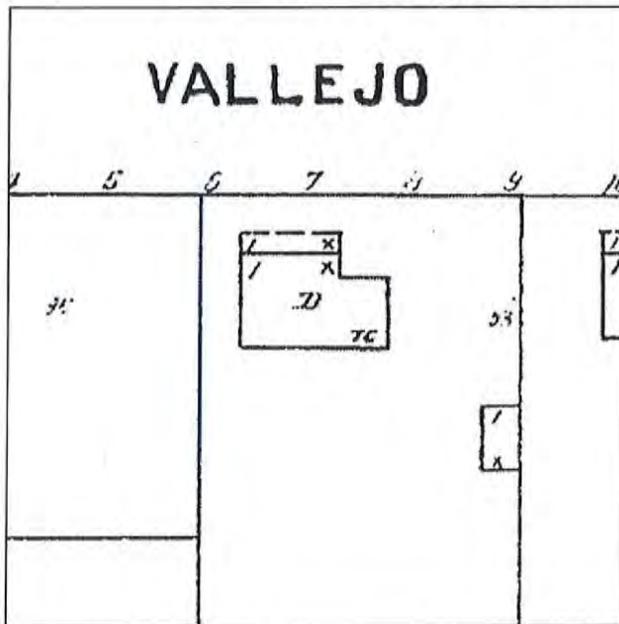
¹⁰ Sonoma County Deed Book 470, page 203 and Deed 1982058617. Decree of Distribution Book 2141, page 406.

¹¹ Property records do not support the Sonoma Index-Tribune article of 11/13/2003 that states that the O'Neals owned the property. The O'Neals may have rented the property, though. Similarly, Robert Hopkins was from Maryland, not Kentucky, and the house was not added onto until 1911-1923 (not the 1880s or 1890s). It may have resembled the house to the east, though we have no documentation to that effect. And neither one of them would be considered "salt box" in design.

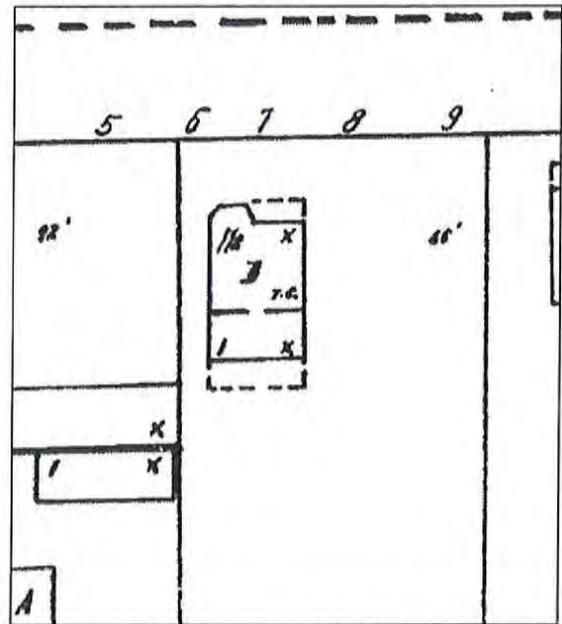
¹² I found no newspaper references or permit history to confirm this information, but it is within the timeframe of 1911-1923.



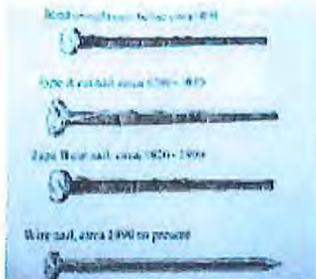
Sanborn Fire Insurance Map, October 1923.



1905 Sanborn Detail



1923 Sanborn Detail



An inspection of the interior of the house indicates that the main block of the 1850s building was incorporated into the larger c.1923 dwelling. Type B Machine cut nails (ca. 1820 – 1900) are present in the framing members of the walls of what is now the middle room, adjacent to the modern dining room. This section was built using braced frame construction, which was common through the mid-nineteenth century because of its strength and affordability (see figure 30). The beams in this section are also hand hewn and joined with half dovetail tenons (see figure 31). The ceiling in this section is about a foot lower than the ceiling in the north section of the

house, suggesting that they were built at different times, as well. The original house has no evidence of a chimney, though it probably had a wood or coal stove.

The physical and primary resource evidence suggest that the ca. 1850 house possibly built by Robert Hopkins was fully engulfed within a new house constructed by Andrew Goess between 1911 – 1923. Property records indicate that the exact date was 1918. Goess raised the roof another half storey, added an attic, added three rooms and a porch across the front of the house, demolished the east wing, and built a porch across the back. The 1850s front door became the entrance into the back room (see figure 33). He added a staircase in the old block of the house to access the attic (see figure 34). All that remained of the original house was the west wall, the east wall, and the south wall. The roof was gone and the north wall was fully enclosed.

The 1918 addition used popular details, such as the bay window, the shaped shingles and the scrolled rafter ends. There is no evidence that this 1918 addition had a fireplace either, though the Sanborn Maps indicate that it did have a tile chimney, which probably serviced a stove.

Peter Law and Bob Tait undertook the next major renovation in 1982. Besides replacing the foundation, Law and Tait built the pool and redesigned the rear of the house. They partially enclosed the rear porch and built a small addition off the southwest corner as part of a kitchen remodel.¹³ Tait and Law also added or enlarged the windows on the west façade, flanking the flue pipe, cutting into the 1850s brace at the northwest corner of the room (see figure 30). On the front porch, Law and Tait replaced the plain square posts with Victorian-inspired posts and replaced the front door with a pair of Queen Anne-style French doors. The replaced elements appear in the photograph of 227 East Spain included in the Historic Resource Inventory of 1978.



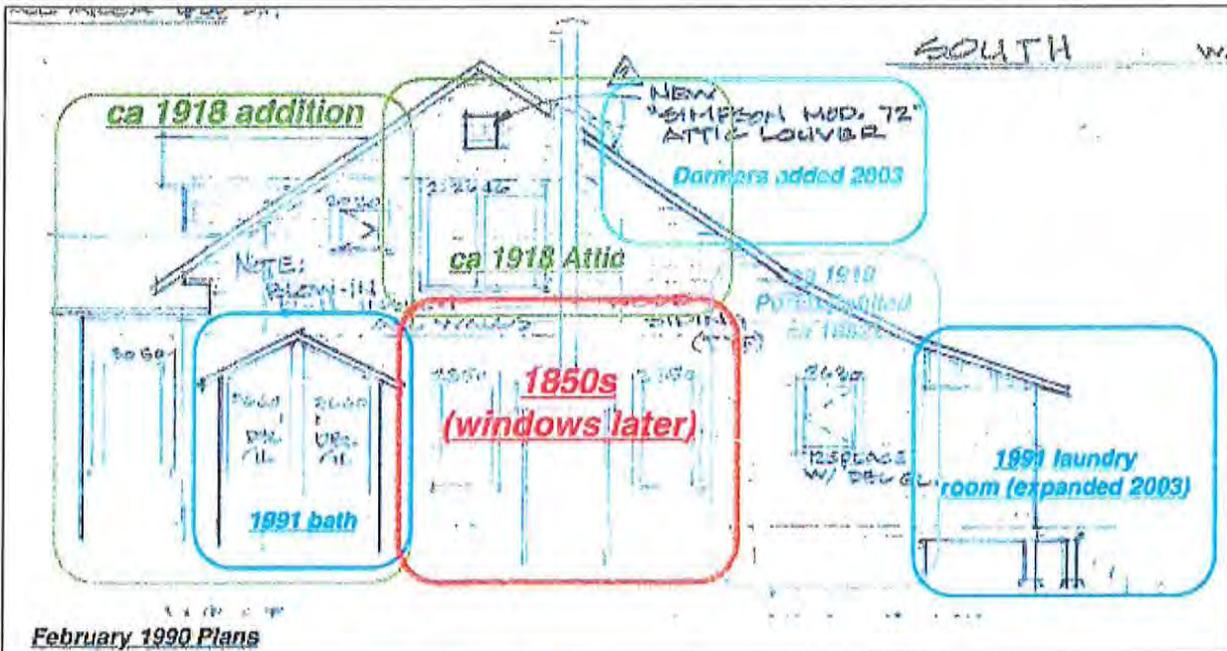
Historic Resource Inventory photo, 1978. Note the square posts and original front door

Penny McNaughton undertook the next three phases of renovation. In 1990 she built the "Water Tower" at the back of the 1959 garage, and in 1991 built the bathtub addition off the northwest corner of the house. She undertook the largest project in 2003:

- construction of a new wing on the east side
- replacement or enlargement of the small wing off the kitchen on the southwest corner
- addition of the two dormers on the rear of the house
- reconfiguring the attic space
- insertion of new bay windows on the north (the window east of the front door), the east (window at junction of new eastern addition), and west (kitchen).

Over the course of the numerous renovations, all of the windows and doors were replaced at least once.

¹³ Henley, "Honoring the Past, Sonoma Index-Tribune, 11/13/2003. And building permit records.



Determination of Historic Significance

In order for a resource to be historically significant it must meet pass three tests: 1) it must be over 45 years old;¹⁴ 2) it must meet one or more of the "criteria of eligibility" (outlined below); AND 3) it must retain enough integrity to convey its significance as it relates to the aforementioned criteria.

The core of the house at 227 East Spain Street is over 165 years old, and its 1918 addition is nearly 100 years old and potentially historic in its own right. The building lies in Sonoma's Historic Overlay District, is included in the Sonoma League for Historic Preservation's "Historic Resource Survey,"¹⁵ and is listed as a contributing element to the Sonoma Plaza National Register of Historic Places (NRHP) Historic District (1992).

However, its integrity has been severely compromised over time to the extent that it is not historically significant as an individual structure. It does, however, contribute to the historic feeling and setting of the NRHP district.

ARCHAEOLOGY

Even though the site has been severely disturbed during 150 years of human occupation, there remains a possibility that buried archaeological deposits could be present and that accidental discovery could occur. In keeping with the CEQA guidelines, if such archaeological remains are unearthed, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds.¹⁶

Prehistoric archaeological indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g. slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items, with the possible addition of bone and shell remains and fire-affected stones.

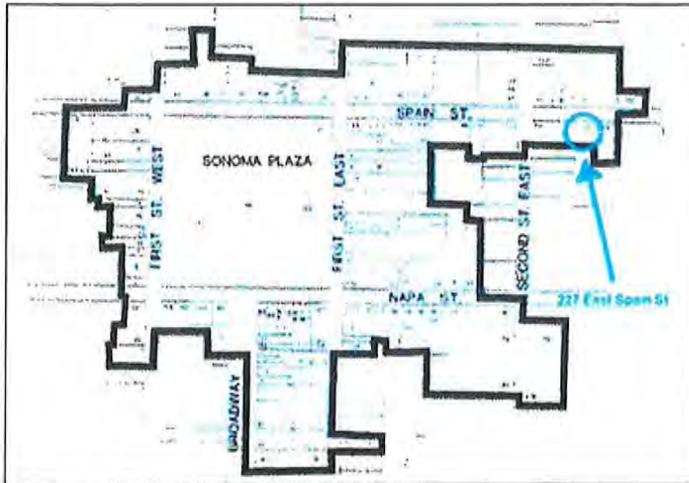
¹⁴ In certain situations, the age requirement may be waived.

¹⁵ Some of the "Survey" information is false, including the name of the property: "Gaese Residence." The construction date of 1900 is also unsupported, though the 1850 date may be correct. Robert Hopkins may or may not have built the house though he did live in a house on the property in 1851.

¹⁶ 14 CCR 15064.5 (f)

Historic period site indicates generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains, such as building foundations and discrete trash deposits (e.g. wells, privy pits, dumps).

SONOMA PLAZA NATIONAL REGISTER HISTORIC DISTRICT



The Sonoma Plaza National Register District was listed in the National Register of Historic Places in 1975 for its architectural significance and its contribution to the early establishment of the town of Sonoma. The original period of significance for this district was 1825-1849.

The boundaries of the District were expanded in 1992 and the period of significance was redefined as 1835-1944. The 1992 NRHP nomination form describes the district as a "small country town center" characterized by a mix of commercial and residential structures. The broad description in the nomination reads as follows:

USDI/NPS NRHP Sonoma Plaza (National Register Boundary Increase)

Page 3

7. Description

Architectural Classification:

Mid-19th Century: Other: California Monterey Colonial

Late Victorian: Queen Anne, Eastlake

Late 19th and 20th Century Revival: Beaux Arts, Mission, Spanish Colonial Revival

Late 19th and Early 20th Century American Movements: Bungalow

Materials:

foundations: brick, stone walls: frame, stone, brick, adobe

roof: mission tile, asphalt shingle, wood shake

Describe present and historic physical appearance.

See continuation sheets

This revised district includes 88 contributing resources, and 58 non-contributing resources. For a resource to be included as contributing, it had to "retain architectural integrity to [its] construction date, [retain] integrity of location, and [retain] the ability to convey a sense of history of the change and development of the district during the period of significance." Though not included in the original 1975 District, the house at 227 East Spain Street is included as a contributing resource in the revised district nomination based on the changed period of significance:

54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.

227 East Spain Street Entry from NRHP Nomination (1992)

Many of the "Queen Anne" details that may have been attributed to the significance of this house, including the ornate front doors and turned porch posts, are actually recycled architectural materials applied to the house after 1978 (see HRE for further information and pre-1978 photos).

The house, however, does "convey a sense of history of the change and development of the district" in that it represents the early-twentieth century residential development of the East Side of Sonoma.¹⁷ Specifically, the elements of 227 East Spain that retain enough integrity to contribute to the sense of time, place and historical development of the Sonoma Plaza are its location, setting, materials, and feeling.

CRITERIA OF ELIGIBILITY FOR THE CALIFORNIA REGISTER

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria:¹⁸

Criteria	227 East Spain Street
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	It was not directly associated with a major local or regional development trend or event.
2. Associated with the lives of persons important to local, California or national history.	The original block of the house is associated with Robert Hopkins, who is significant at the local level as the first mayor of Sonoma and the first District Judge of Sonoma. The Goess family owned the house for nearly 80 years, though they only occupied it for the first 25 years. They rented out the property from at least 1926-1979.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	The 1918 façade typifies early-twentieth century Queen Anne cottages, though its integrity has been severely compromised by the replacement of character defining original details: window, porch posts, and door. The replacement of the porch posts and front door lend a degree of false historicism to the building. Only hints of the structure of the ca. 1850 house remain buried in the walls of the 1918 structure. All of the windows on the building have been replaced, and the rear of the building has been totally redesigned several times.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	The area has been significantly disturbed by development on the lot, and is not known to contain any archeological resources. No surveys have been conducted on or immediately adjacent to the site.

¹⁷ See also, National Park Service, "Manual for State Historic Preservation Review Boards." (<http://www.nps.gov/nr/publications/bulletins/strevman/strevman10.htm>)

¹⁸ Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



INTEGRITY ANALYSIS OF THE INDIVIDUAL RESOURCE

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.¹⁹

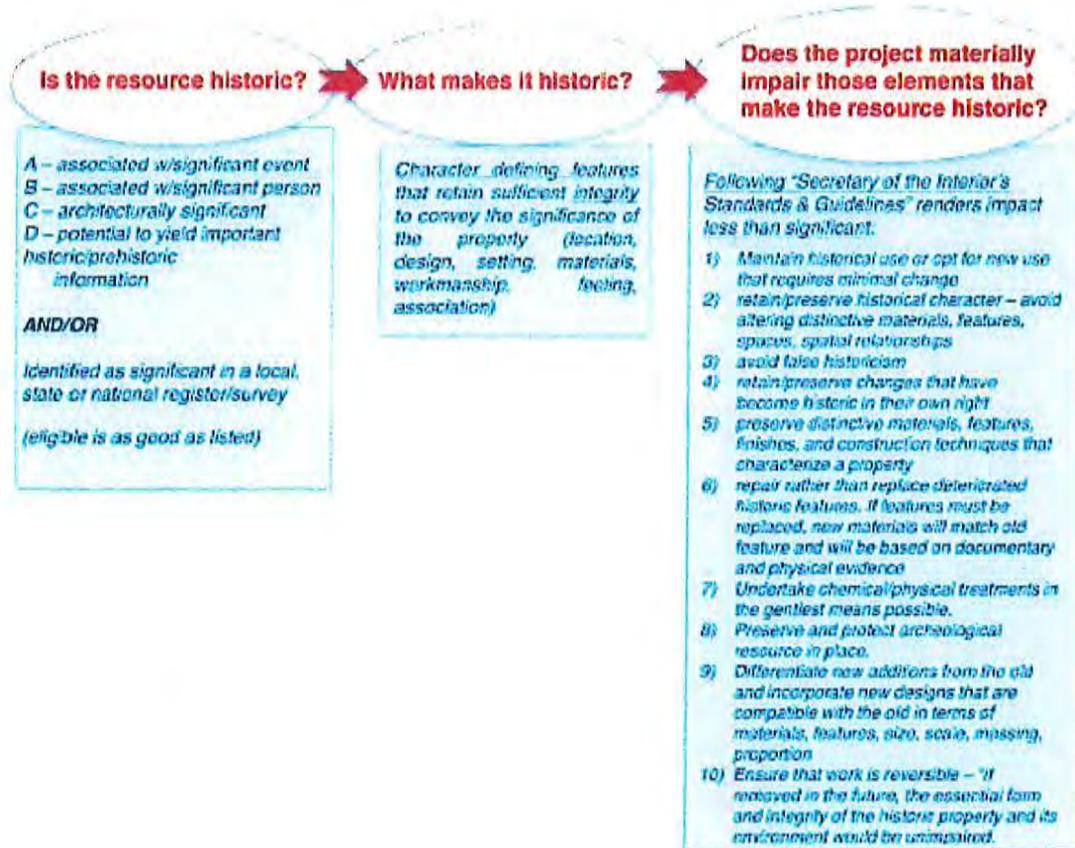
Integrity Element	227 East Spain Street	Conclusion
Location ("place where the property was built")	All sections of the building retain their integrity of location as they have not been moved or relocated.	INTACT
Design ("combination of elements that create the form, plan, space, structure, and style" (NPS))	The original ca. 1850 design was destroyed during the 1918 renovation with the removal of the east wing, application of a new front façade, and raising of the building by half a storey. The 1982 renovation further eroded the design by filling in part of the 1918 porch and adding another wing on the back. In 1991, yet another wing was added to the west. The <i>coups de grace</i> came in 2003 with the addition of a large wing on the east, the addition of two dormers on the rear, the addition of three bay windows, and the extension of the 1991 kitchen wing.	COMPROMISED
Setting ("physical environment")	Though the building itself has been altered, the overall residential setting of the project area remains unchanged from the late-nineteenth century: freestanding one and two-story residential structures set back from the street on modest sized lots.	INTACT
Materials	All of the original and 1918 windows and doors have been replaced. The original materials of the ca. 1850 dwelling are encased in the 1918 structure. The entire rear section of the building is new. Character-defining, original 1918 details, such as the porch posts and front door, have been replaced.	COMPROMISED
Workmanship ("evidence of labor and skill")	The ca. 1850 workmanship remains only in the structural elements encased in the 1918 walls. Some 1918 details remain, such as the scrolled rafter tails and the shaped shingles. Changes to the building over time have neither detracted from nor added to the character of workmanship.	COMPROMISED
Feeling ("expression of the aesthetic or historic sense of a particular period of time")	On its surface, the cottage retains its 1918 feeling as an early twentieth century, Queen Anne style dwelling. The window replacements, porch modifications, and addition have not diminished this overall "feeling." The embellishment of the porch posts and front door have added to this feeling, lending a degree of false historicism to the property.	COMPROMISED
Association ("direct")	The original house that was associated with	COMPROMISED

¹⁹ http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm



link between an important historic event or person")	Robert Hopkins is no longer recognizable due to the extensive renovations made to the property over the last 150 years.	
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California Environmental Quality Act (CEQA) Review



Even though the house at 227 East Spain Street is not individually eligible for listing in the California Register due to its lack of historic integrity, the **house qualifies as an historic resource under CEQA because of its inclusion as a contributing resource to the Sonoma Plaza NRHP District.**²⁰

The physical characteristics that retain enough integrity to render 227 East Spain Street a contributing element to the district (its character defining elements) are its **location, setting, material and overall feeling.**

The next step is to evaluate the impact of the proposed project on those elements that "convey [the house's] historical significance (i.e. its character-defining features)."²¹ In this situation those elements are: location, setting, material, feeling. Ultimately, the house is significant because of its contribution to overall historic streetscape.

²⁰ 14 CCR §15064.5(a)(2)

²¹ California OHP, "Technical Assistance Series #1: California Environmental Quality Act (CEQA) and Historical Resources."

According to CEQA, an adverse effect is defined as one that would "[alter]...the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."²² Typical examples of adverse effect include demolition, destruction, or relocation. Significant alterations, however, can constitute an adverse effect if they compromise the integrity of those elements that justify the resource's inclusion in (or eligibility for inclusion in) the California Register.

For alteration projects, CEQA allows that projects that are consistent with the Secretary of the Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings "shall be considered "less than a significant impact on the historical resource."²³

Secretary of the Interior (SOI) Standards for the Treatment of Historic Properties

In September 1977 the National Park Service published its final version of "The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings" to provide "guidance to historic building owners and building managers, preservation consultants, architects, contractors, and project reviewers prior to treatment."²⁴

The "Standards" consist of ten directives that provide generalized advice on how to address projects on to historic resources; they are codified in 36 CFR 67. The "Guidelines," on the other hand, are practical recommendations on how to treat specific design issues, such as mechanical systems, structural systems, windows, new additions, storefront, etc.²⁵

In this situation, the proposed project could impact two historic resources: the NRHP district and the house at 227 East Spain Street. The integrity of the house has been radically compromised in terms of design, workmanship feeling, and association; but its façade continues to contribute to the overall sense of the historic character of the surrounding streetscape.

Therefore, the following SOI analysis looks at both the potential impact of the proposed project on the surrounding NRHP district (as expanded in 1992), as well as its potential impact on those elements of the house that render it a contributing element to the NRHP district (location, setting, materials, and feeling).

Standard	Sonoma Plaza NRHP District (1992)	227 E Spain Street (House)
1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	The building has remained in continuous use as a residence since its construction. No change is proposed.	
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	The building would remain a single-family residence, consistent with the neighborhood around it. The relationship of the house to the streetscape would remain unchanged. Those qualities that render the building a contributing element to the NRHP (location, feeling, materials, setting) would not	The majority of the original distinctive materials, features and spaces have been compromised by a series of projects and are no longer historically significant.

²² 14 CCR §15064.5(b)(1)

²³ 14 CCR §15064.5(b)(3)

²⁴ <http://www.nps.gov/tps/standards.html>

²⁵ <http://www.nps.gov/tps/standards/rehabilitation/rehab/guide.htm>



	change.	
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.		The proposed addition would avoid the use of false historicism in its design, while still using materials, massings and architectural details that are compatible with its historic neighbors (gabled roof, shiplap siding, composition shingle roof).
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.	N/A	Changes to the house over the past 100 years that could have been considered historic in their own right have been compromised by the alteration of their details and application of new design elements. The proposed project, therefore, will have no effect on historically significant modifications.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	N/A	The proposed project preserves the 1918 dormer, bay window and porch on the primary facade. It replaces the front door and porch posts, which were replaced after 1978.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	N/A	N/A
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	N/A	N/A
8. Archeological resources will be protected and	N/A	The proposed addition on the east would occupy land disturbed by the

<p>preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>		<p>previous addition, the driveway and the garage/guest house. The new pool is roughly in the same location as the previous pool, and would not disturb previously undisturbed ground. No surveys have been conducted on or immediately adjacent to the site. See above section on archaeology for recommendations regarding accidental discovery.</p>
<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p>	<p>The scale of the renovated house remains consistent with the surrounding district and individually significant resources (see elevations of neighboring structures in Appendix G).</p>	<p>The proposed addition would be compatible with the older block of the house in its materials (wood siding, composite shingle roof, shingled gables) and design elements (gable roof, dormers, windows). At the same time, these features would be distinguishable from the older elements (e.g. shiplap siding instead of cove siding, shed dormers instead of gabled).</p> <p>The new addition will be set back from the older block of the house by 24", allowing for clear differentiation between the two sections. The roofline of the older section will be articulated, as well.</p>
<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>	<p>N/A</p>	<p>The proposed addition on the east side replaces the 2003 addition, which severely compromised the original materials of the east side of the main block of the house. The proposed addition would have no additional impacts to the house at the first storey, though it would affect the second storey. This secondary elevation is not historically significant either to the building or the streetscape.</p> <p>The reconfiguration of the rear of the house removes modern additions which are not historically significant, including two 2003 dormers and a 1982 addition.</p> <p>The proposal to raise the roof 18" impacts areas previously affected by the installation of dormer windows on the south side of the house.</p>

The "Guidelines for Rehabilitation Historic Buildings" are markedly more specific than the "Standards" and recommend practical treatments for a variety of common preservation design issues, including new



additions to historic resources. Specifically, the Guidelines offer the following recommendations for new additions:

Recommendation	227 East Spain Street
Placing functions and services required for the new use in non-character-defining interior spaces rather than installing a new addition.	N/A
Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.	In this situation, the character defining features are location, setting, material (general), and feeling. The proposed new addition would have no impact on the location or setting and would maintain the general feeling of a single-family residence that typifies this neighborhood.
Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.	The majority of the new addition extends to the rear of the building, though it does maintain a prominent position on the street-facing elevation of the house. It is, however, set back from the original block of the house. The garage is stepped back even further, for a total distance of approximately 39' to the street. Viewed from the east, the addition will mimic the "salt box" profile of the older structure, dipping down to a low point at the rear of the garage before popping up again at the master suite. The effect will add visual interest to the elevation, as well as provide for better light and air circulation for both this house and its neighbor to the east. The massing and scale would also be consistent with the surrounding historic resources.
Designing new additions in a manner that makes clear what is historic and what is new.	The addition on the east would be set back from the original block of the house by 24" and would be clad in shiplap siding instead of the cove siding that covers the older structure.
Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.	The attached exterior addition would be differentiated from the older block of the building by its setback and use of different siding techniques. Its design elements would not copy the older structure, though they would be compatible (e.g. shed roof dormer instead of gable roofed dormer).
Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building,	N/A
Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed	N/A



from the street.	
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City of Sonoma Design Guidelines

In April 2015, the City of Sonoma issued a "Request for Proposals" (RFP) for the preparation of Design Guidelines to address the modification of buildings in the Sonoma Plaza NRHP District. These guidelines will address modifications to contributing and non-contributing resources, as well as infill development.

The contract has been awarded to Page & Turnbull, though the product is still in its early stages of preparation. In the meantime, the City of Sonoma's Municipal Code provides basic guidelines for new construction within the Historic Overlay District.

The overarching principle of Sonoma's existing guidelines is that new construction in the historic overlay district must be compatible with its surrounding neighborhood in terms of "building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style." Similarly, the 2020 General Plan states that:

Sonoma should continue to be characterized by variety in terms of land uses, building types, and housing, and this diversity should be consistent with preserving the town's small-scale and historic character.

In the absence of the new Design Guidelines, I have summarized the Municipal Code, Chapter 19.412: "Historic Preservation and Infill in the Historic Zone."²⁶ As noted on the table, I have supplemented several areas with particularly applicable excerpts from Philadelphia's Design Guidelines.²⁷

<u>Consideration</u>	<u>Consistency</u>
Site Planning	
<p>"common patterns that should be continued are entries facing the public right-of-way, front porches, and garages/parking areas located at the rear of the parcel."</p>	<p>The overall feeling of the façade would remain unchanged, though the door would be relocated several feet to the east. The porch would remain in its current location, though extended across the new addition on the east. Siding would be shiplap siding, aligned with the older cove siding.</p> <p>The garage is currently on the east side of the property, screened from the street by a wooden fence. The proposed garage would be set back from the street approximately 39' though it would still be visible from the street. A landscaped arbor would partially screen it.</p>
<p>The height (and massing) of new structures should be considered within the context of their surroundings. Structures with greater height should consider providing greater setbacks at the second-story level, to reduce impacts (e.g., blocking or screening of air and light,</p>	<p>The ridge of the roof would be raised 18 inches, though this increase would be unnoticeable from pedestrians on the street. The house is currently taller than both of its neighbors. This minimal increase is still in keeping with the neighbors on the east, west, and north (see elevations in Appendix G).</p>

²⁶ <http://www.codepublishing.com/ca/Sonoma/html/Sonoma19/sonoma1942.html>

²⁷ Preservation Alliance for Greater Philadelphia, "Sense of Place: Design Guidelines for New Construction in Historic Districts" (2007) http://www.preservationalliance.com/publications/SenseofPlace_final.pdf.



<p>privacy, etc.) on adjoining single-story structures.</p>	
<p>Setbacks should maintain the relationship to the street or property line characteristic of the district or block (supplementing the muni code)</p>	<p>The set back of the house would remain unchanged.</p>
<p>Rhythm / Pedestrian experience: New buildings should incorporate architectural elements that divide the facade into intervals that maintain a pedestrian friendly scale. Windows and doors should be placed in a manner that is harmonious with the established rhythm of the district or block. (supplementing the muni code)</p>	<p>The house is currently screened from the street and sidewalk by a 6' wood plank fence. The pedestrian experience of this property would change in that the existing plank fence would be replaced with a low picket fence. Otherwise, the experience would remain similar with a shed-roofed porch delineating the first and second stories. The garage would be partially screened by a landscaped arbor.</p>
<p>Architectural Considerations</p>	
<p>support the distinctive architectural characteristics of development in the surrounding neighborhood, including building mass, scale, proportion, decoration/detail, door and window spacing/rhythm, exterior materials, finished-floor height, porches, and roof pitch and style</p>	<p>The proposed addition reiterates design elements of the existing house in terms of materials, decoration, scale, etc., which is consistent with the surrounding single-family dwellings.</p>
<p>incorporation of balconies and porches is encouraged for both practical and aesthetic reasons. These elements should be integrated to break up large front facades and add human scale to the structures.</p>	<p>The original porch would be retained and extended across the length of the new addition.</p>
<p>contemporary architectural treatments proposed for new residences should complement and not detract from the qualities of the historic overlay district and the neighborhood setting of the proposed development.</p>	<p>The new addition would incorporate materials and details similar to the original block of the house, though easily distinguishable. The siding, for example, would be wood, shiplap siding that would align with the cove-lap siding on the older block of the house.</p>
<p>should incorporate an appropriate mixture of the predominant materials in the surrounding neighborhood</p>	<p>The materials are consistent with the surrounding neighborhood, which is a mix of adobe and wood siding.</p>
<p>Materials should be used in a manner that creates details, incorporates textures or small-scale elements that give buildings a three-dimensional character and a "human scale" especially at the ground level. (supplement to muni code)</p>	<p>The continuation of the horizontal wood siding would provide texture and "human scale" to the single-family residence.</p>
<p>Color schemes for infill structures should consider the color schemes of</p>	<p>The muted pastels are consistent with the surrounding neighborhood.</p>



existing structures in the surrounding neighborhood in order to maintain compatibility and harmony	
<u>Accessory Structures</u>	
New accessory structures (e.g., garages, second units, sheds, etc.) that are visible from the public right-of-way should incorporate the distinctive architectural features (e.g., color, materials, roof pitch and style, etc.) of the main structure.	The accessory structure would not be visible from the public right-of-way.
Design features should be applied with less detail on the accessory structure so that it does not compete with the main structure and is clearly subordinate to it.	The proposed unit would reiterate the basic design elements of the original house and its new addition in terms of materials and design. Its position at the rear of the lot and its reduced scale would make it clearly subordinate to the main house.

Conclusion

The house at 227 East Spain Street, as it appears today, is nearly 100 years old, is within the City of Sonoma's Historic Overlay Zone, was included in the Sonoma League for Historic Preservation's 1978 Historic Resource Survey, and is identified as a contributing resource to the Sonoma Plaza NRHP District. While it does not appear to be historically significant as an individual resource because of loss of integrity, it does remain significant as a contributing resource to the streetscape and surrounding NRHP district.

Numerous building campaigns have eroded away the historic integrity of this house:

- 1918: Queen Anne façade applied, roof redesigned and raised ½ storey, wing removed, rear porch added
- 1982: rear porch (1918) partially infilled, wing added off of SW corner
- 1991: bathroom wing on west
- 2003: addition on east, 1982 wing enlarged, dormers on rear roof, bay windows inserted

However, the façade of this building (even with its false historicism) and its massing do contribute to the overall historic feeling and character of the surrounding NRHP district.

The proposed project includes replacing the addition on the east side with a larger addition that extends towards the rear of the lot, removing the garage/guest house, raising the roof 18", and configuring the rear of the building.

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation", the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards" in that:

- The new addition would be set back from the original block of the house by 24", thereby differentiating it from the previous structure.

- The new addition would be clad in shiplap siding, which would be compatible with and align with the existing cove-lap siding.
- The new dormer on the addition would be shed roof, instead of gable roofed like the dormer on the older section of the house (compatible yet differentiated).
- The minimal increase in height of the building would allow for more efficient use of the second storey without being obtrusive on the character of the surrounding neighborhood.
- Taken as a whole, the renovated house would still be consistent in mass and scale with the surrounding historic resources, including the Ray-Nash Adobe, 245 East Spain Street, and 220 East Spain Street.

At the same time, the proposed project would not adversely effect those elements of the house that render it a contributing resource to the surrounding NRHP district (location, setting, materials, feeling); and, thus, would not "materially impair" the house or its surroundings.

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www.accessible.com
www.ancestry.com

hld.huntington.org/cdm/
www.loc.gov

www.calisphere.universityofcalifornia.edu



www.archives.com
www.archives.org

www.cdnc.ucr.edu
www.genealogybank.com



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Figure 1: Front (north) facade..



Figure 2: Front (north) facade. Dormer.



Figure 3: Front (north) facade. Front Door.



Figure 4: Front (north) facade. Porch post.



Figure 5: Front (north) facade. Bathroom addition.



Figure 6: Front (north) elevation. Bay window.



Figure 7: East (side) elevation.



Figure 8: East (side) facade. Rear of building.

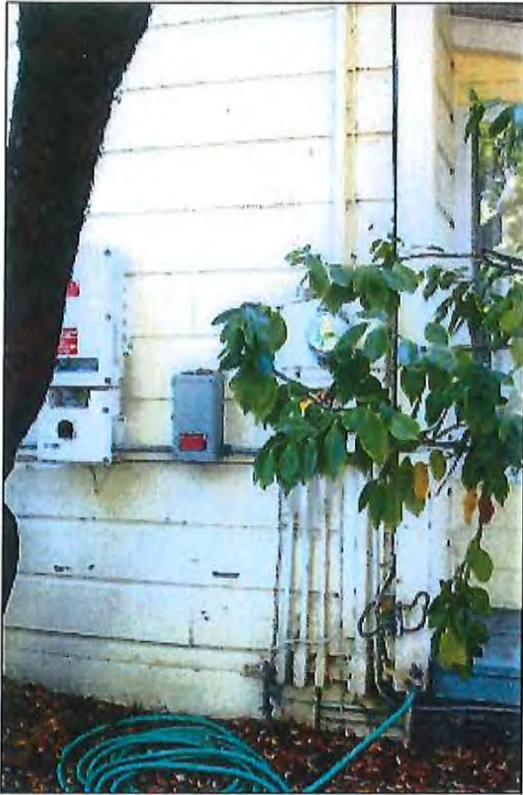


Figure 9: East (side) elevation. Cove lap siding.

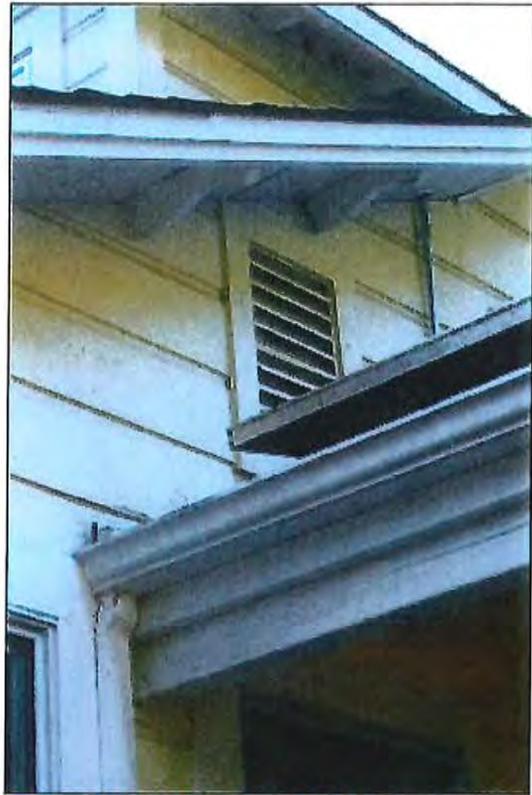


Figure 10: East (side) gable end. Ventilation opening.



Figure 11: East (side) elevation. SE corner.



Figure 12: East (side) elevation. Windows in gable.



Figure 13: East (side) elevation. Eaves at NE corner.



Figure 14: East (side) elevation. Bedroom bay window.



Figure 15: South (rear) elevation.



Figure 16: South (rear) elevation. Back door and dormers.

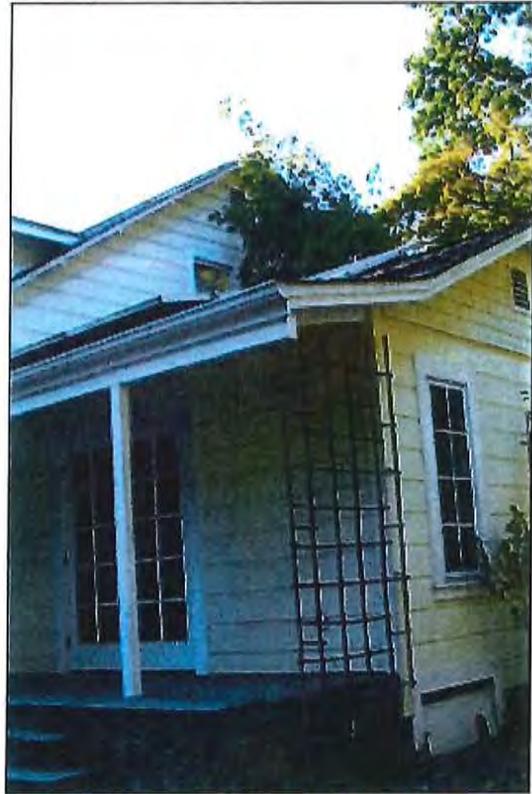


Figure 17: South (rear) elevation. SE corner.

Figure 18: South (rear) elevation. Back door and modern dormers.



Figure 19: South (rear) elevation. Back porch and kitchen wing.

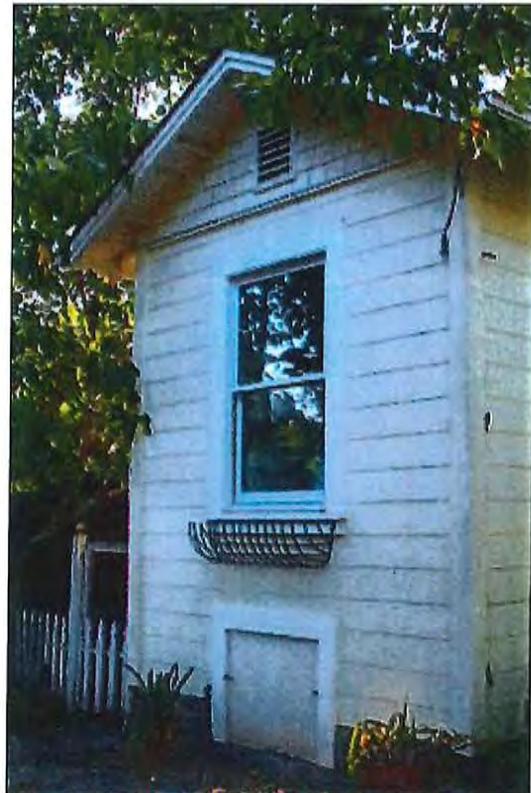
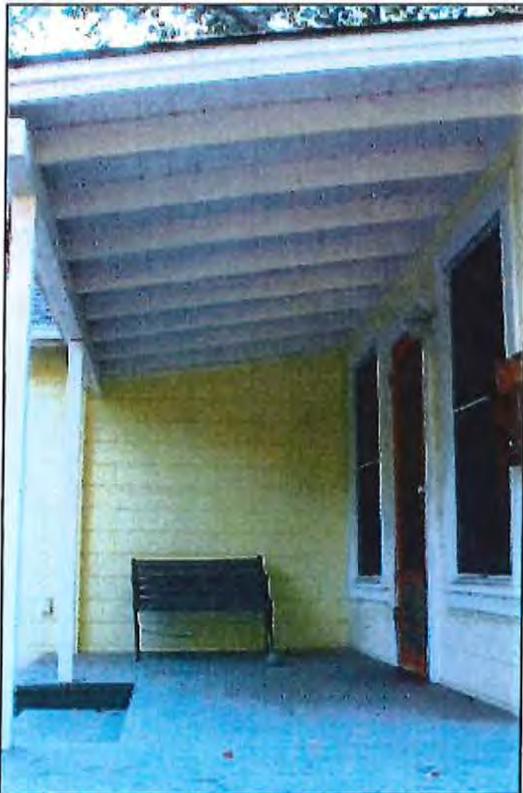


Figure 20: Back porch looking at east side of kitchen addition. Figure 21: South (rear) elevation. Kitchen wing.

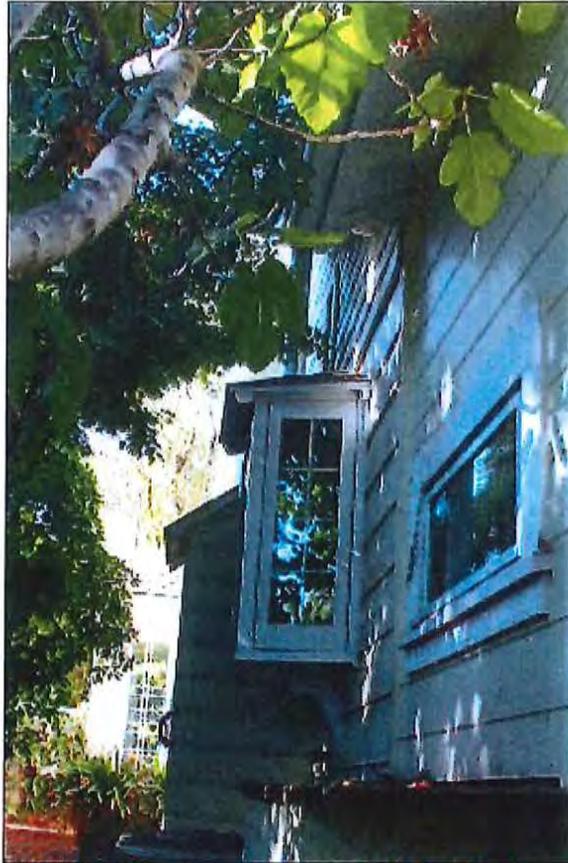


Figure 22: Neighbor to west (obscured behind landscaping).

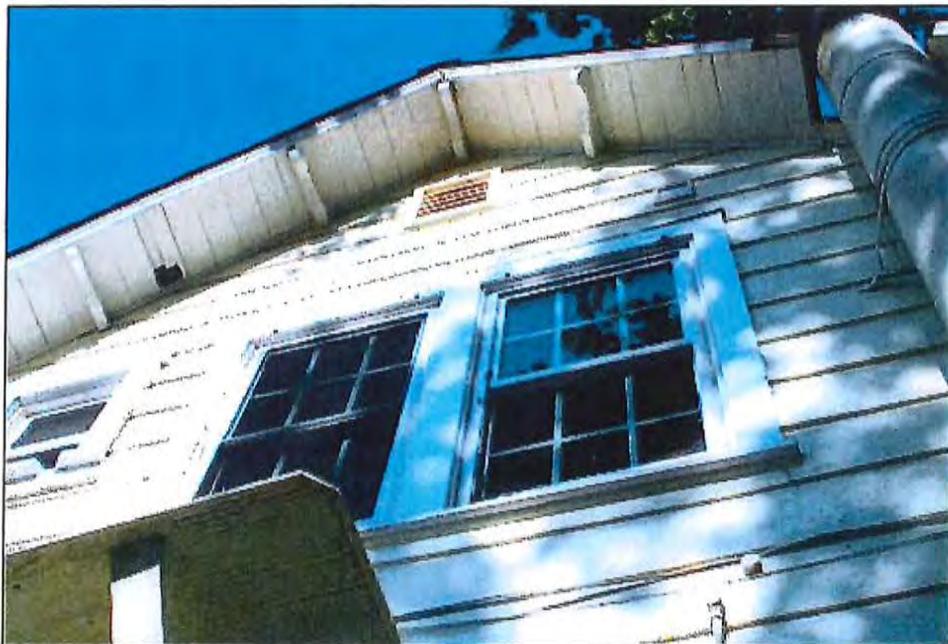


Figure 23: West (side) elevation. Windows in gable.



Figure 24: West (side) elevation. Seam of infilled porch.



Figure 25: West (side) elevation. Building seam.



Figure 26: West (side) elevation. Evidence of older window.

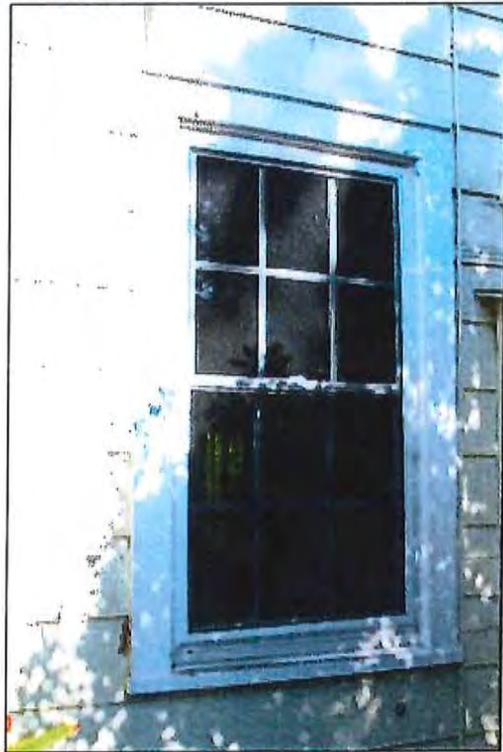


Figure 27: West (side) elevation. New window.



Figure 28: West (side) elevation. Gable.



Figure 29: (West (side) elevation. Bathroom addition (1991).



Figure 30: West wall viewed from inside. Showing braced frame construction, replacement windows cutting joists (right), and fireplace cut into wall.



Figure 31: Hand hewn joists, dovetailed.

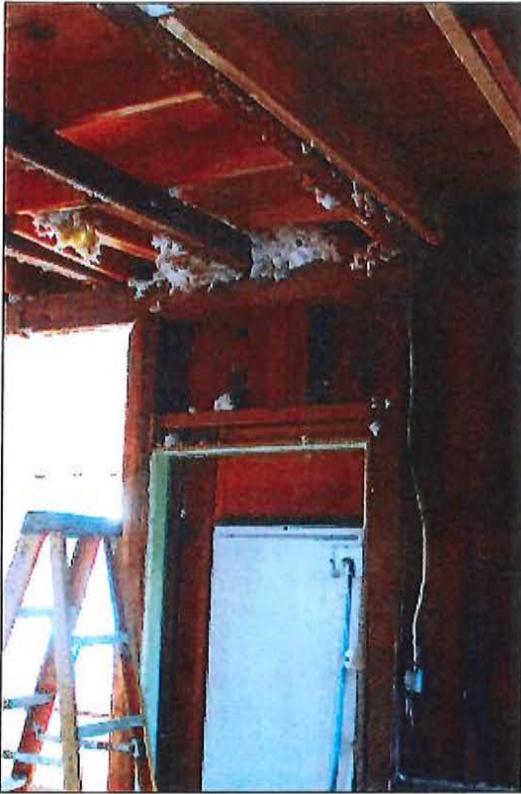


Figure 32: South wall, original back door.

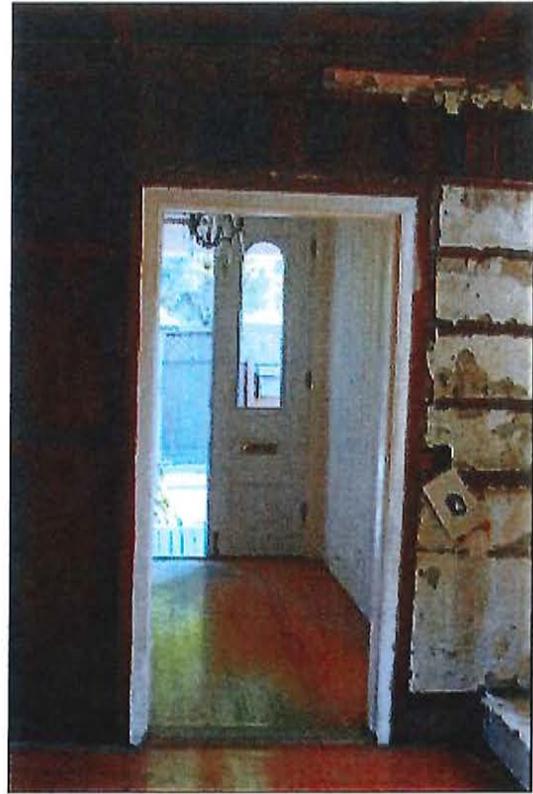


Figure 33: North wall. Original front door.



Figure 34: Stairs.

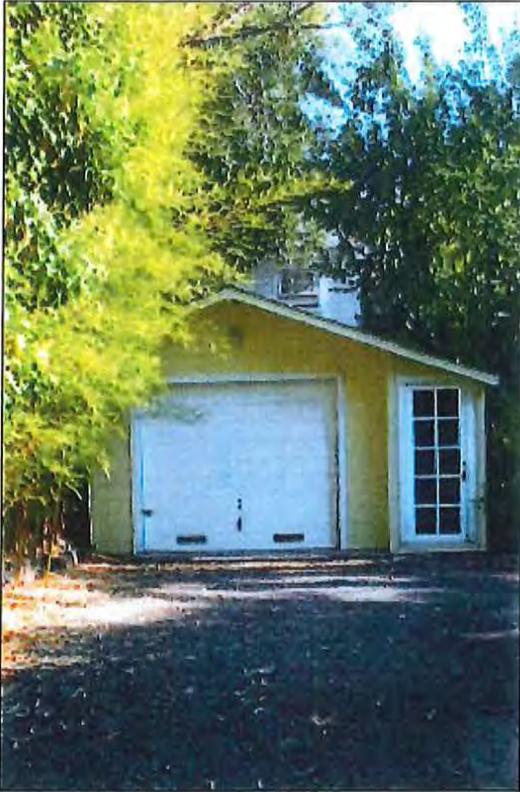


Figure 35: Garage (north side).



Figure 36: Greenhouse behind garage/guest house.



Figure 37: Garage/Guest House. West side.



Figure 38: Pool.



Figure 39: View of house from Spain Street.



Figure 40: View of house from Spain Street.



Figure 41: 245 E. Spain St. ("Dr. Taylor House, ca 1852-1857).



Figure 42: Existing driveway to 227 East Spain Street.



Figure 43: 205 East Spain Street (Ray-Adler Adobe, ca. 1848)



Figure 44: Fence separating 205 and 227 East Spain Street.



Figure 45: 220 East Spain Street (Adler House, ca 1911)



Figure 46: 256 East Spain Street (Castagnasso House, ca 1848 and 1871)



Figure 47: Looking east down Spain Street.

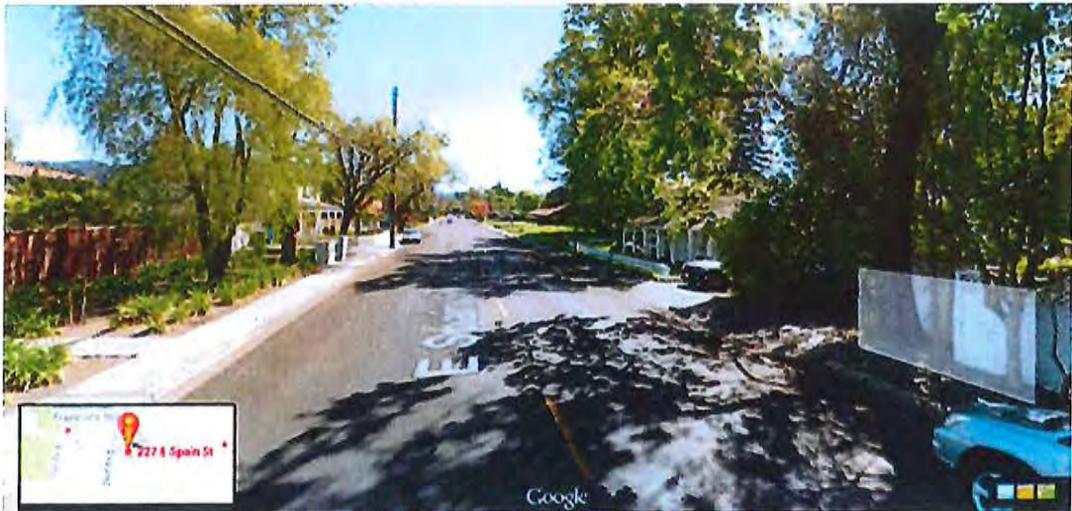


Figure 48: Looking west down Spain Street.

**Appendix B: 1978 League Survey Form for
227 East Spain Street²⁸**

²⁸ Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

Ser _____ Site _____ Mo. _____ Yr. _____
 UTM _____ D _____ NR 4 SHE _____
 Lat _____ Lon _____ Era _____ Sq _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABG _____ HAGB _____ Fed _____

IDENTIFICATION

1. Common name: Fowler Residence
2. Historic name, if known: Gaese Residence
3. Street or rural address: 227 E. Spain St.
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Hazel Fowler Address: c/o Shea 1212 Market St.
 City: San Francisco ZIP: 94102 Ownership: Public Private
5. Present Use: Residence Original Use: Residence
 Other past uses: _____

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Located on the south side of E. Spain Street, east of Second St. East, this small unique two-story gabled roof residence features a shed roof covered porch with two square wood posts, the original wood paneled front door with one light, a broad bay with overhanging gabled roof projecting out on the west corner. At the second story is a gabled roof dormer with 3 vertical windows of 5 lights each. Under the gables are tear-drop shingles. The exterior finish is ship lap siding. The back has a salt box type roof line.

Included on the side at the property line to the east is a very large oak tree.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



See City Map Area 10

UTM (SONOMA QUAD)
 10/549,300/4,238,740
 10/548,280/4,238,400
 10/548,210/4,238,070
 10/547,230/4,238,180

8. Approximate property size:

Lot size (in feet) Frontage 81
 Depth 151
 or approx. acreage _____

9. Condition: (check one)

- a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other _____

12. Threats to site:

- a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other _____

13. Date(s) of enclosed photographs: Nov. 1978



NOTE: The following items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
 f. Other
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction ¹⁸⁶⁰ @1900 This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): Robert Hopkins member of Town Council in 1857
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
 f. Windmill g. Watertower/tankhouse h. Other i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

The original owner is believed to have been Andrew Gaese. The Fowler Family has owned it prior to 1949. It has been a rental.

This unique residence, situated in a neighborhood of historic homes is unaltered and the only example of its style in Sonoma. The house, located on a large lot, is between an adobe dating back to 1848 and a wood home dating back to @1850's. The house is compatible with the surrounding historic residential neighborhood and if restored as a single family residence would be an asset to the street.

It was greatly altered at the turn of the century

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
 c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
 g. Religion

22. Sources: List
 Laure
 Reube

23. Date form prepared
 Address:
 Phone:



ZIP: 95476
 Historic Preservation

**Appendix C: Sonoma Plaza National Register
of Historic Places (NRHP) Registration form**²⁹

²⁹ Sonoma League for Historic Preservation Historic Resources Inventory, 1978.



United States Department of the Interior

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM: CONTINUATION SHEET**

Section No. 7 Description: Sonoma Plaza Boundary Increase

sidewalk and front lawn is a low rock-faced random laid stone retaining wall. This locally quarried stone is the same used for other stone buildings, trim, and sidewalks in other parts of the district.

53. 220 East Spain Street. At the rear of the lot, towards the northeast, is a large one-story garage with detailing matching the main house, including narrow wood siding, large shaped open brackets and original wood doors.
54. 227 East Spain Street, a house, built c. 1900, is two-stories with a gabled roof, shed roof porch, shiplap siding, and imbricated shingles in front facing gable.
55. 245 East Spain Street, the Cooke House, was built circa 1852-57. It is a one-story frame house with a gable roof with a break that extends to form a porch over the 5-light wood casement windows on the north elevation. It was enlarged in the 1940s during the period of significance.
56. 256 East Spain Street, the Castagnasso House, is a vernacular style frame house. The first floor was built in 1849; a second story was added in 1878. The entry door has a glazed transom and sidelights. The building was first moved in 1856 and then again to its present site in 1902.

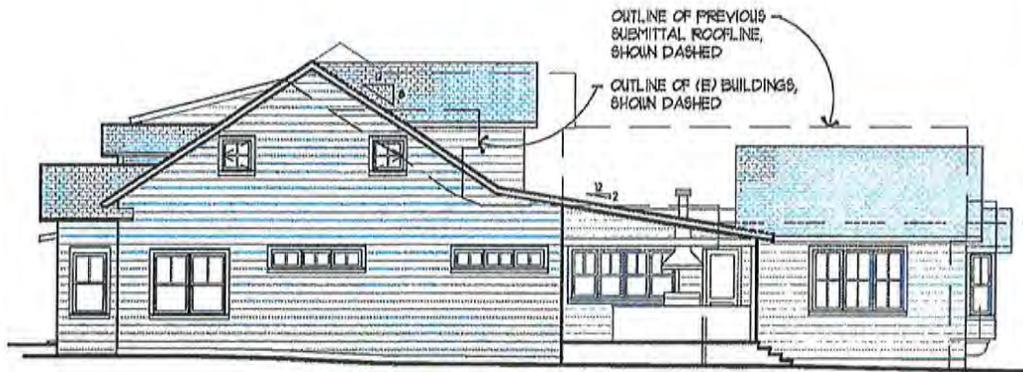
Appendix E: Existing Elevations
(* not to scale)



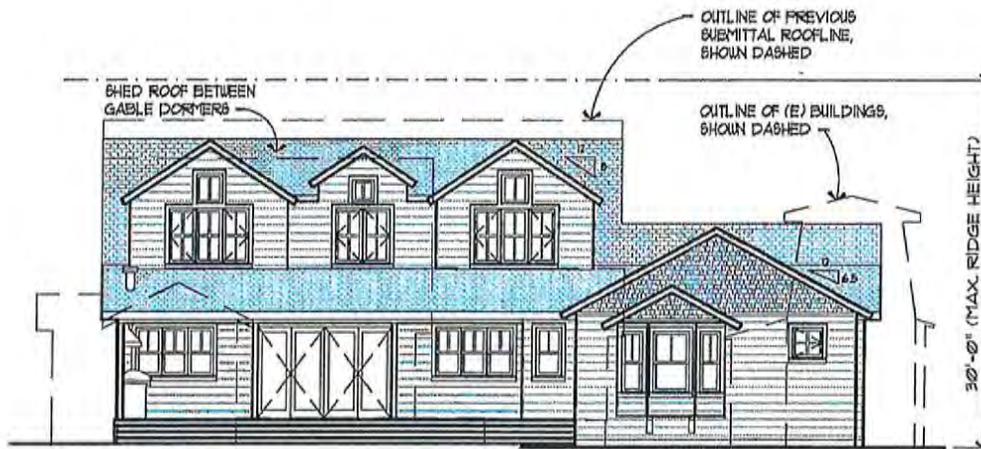
Appendix F: Proposed Elevations

(* not to scale)





B (PROP.) WEST ELEVATION
SCALE: 3/32"=1'-0"



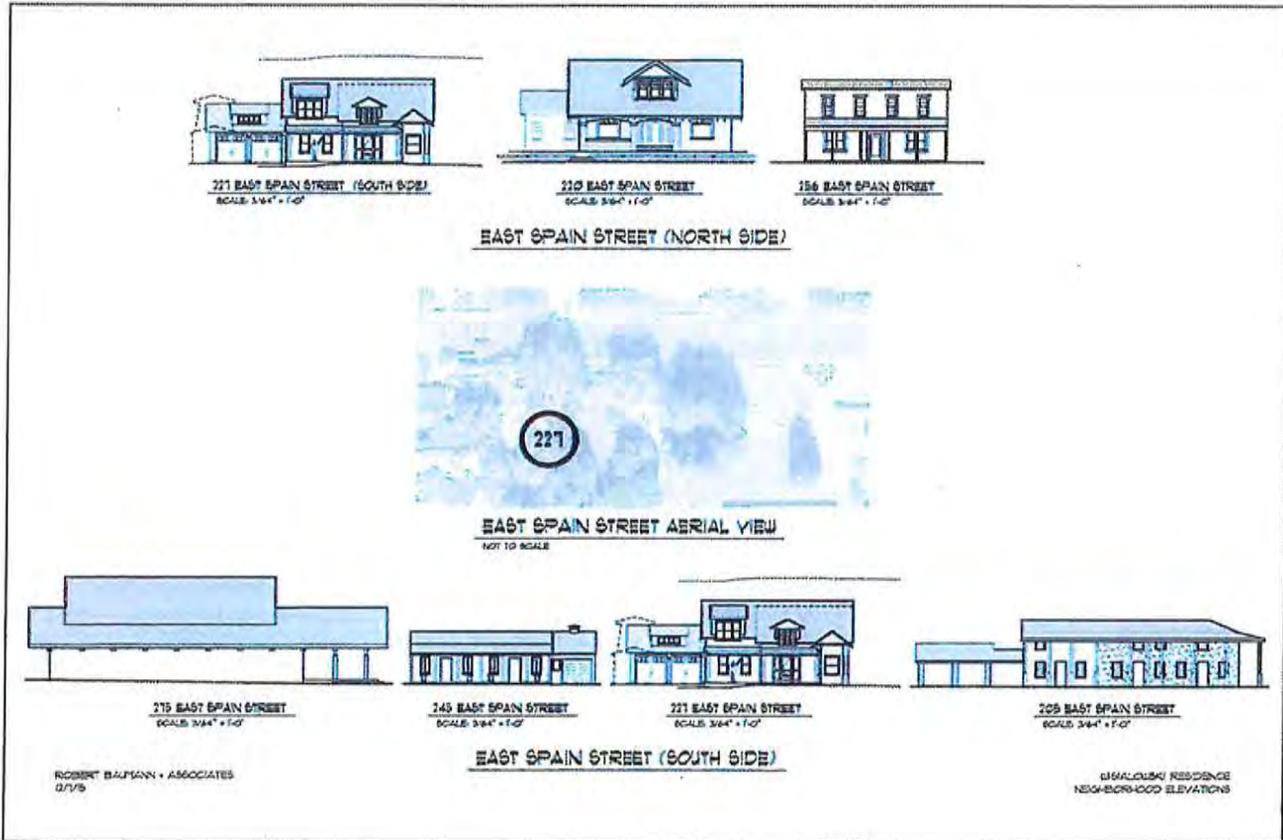
A (PROP.) SOUTH ELEVATION
SCALE: 3/32"=1'-0"

ROBERT BAUMANN + ASSOC.
12/3/15

WISIALOWSKI RESIDENCE
PROPOSED EXTERIOR ELEVATIONS

Appendix G: Neighborhood Elevations

(* not to scale)





APD Preservation LLC

8 February 2016

Bill Wisialowski
bill@wiz3.com

Subject: 227 East Spain Street

Dear Mr. Wisialowski:

Thank you for giving me the opportunity to review your revised project for 227 East Spain Street in Sonoma. The current design involves a "Farmhouse" style addition abutting the existing 2003 dining room wing and extending along a north-south axis along the eastern border of the parcel, towards the rear of the property. The second storey of this addition would be recessed an additional 12' from the streetside elevation. Per the following discussion, the project is consistent with both the letter and the spirit of the Secretary of the Interior's Standards for Rehabilitation.

As in the previous iteration, the exterior of the original block of the house (ca. 1918) would remain virtually unchanged. The front door would be relocated several feet to the east, centered under the existing second storey dormer. The modern (1991) bathroom addition on the west side would be removed, and the two dormers at the rear of the house would be reconfigured into a single shed dormer. On the east elevation, several windows would be reconfigured. Per Robert Baumann's project narrative of February 8, 2016, window sash would be replaced throughout the older section of the house.

The "Secretary of the Interior's Standards for Historic Preservation" (36 CFR 67) were established to "provide direction in making appropriate choices in planning the repairs, alterations, and additions that may be part of a rehabilitation project."¹ While not regulatory, they are specifically cited in the California Environmental Quality Act (CEQA) (CPRC § 21000 et seq.) as the vehicle for evaluating the impact of a project on the historic character of a resource.

This project is consistent with those standards. Standards 9 and 10 are most relevant to this project.

1. The house would remain in its historic, residential use.
2. The "Queen Anne" character of the original block of the house would remain unchanged. Those physical characteristics that render the structure a contributing element to the surrounding NRHP district (location, setting, material and feeling) would remain intact.
3. The project avoids conjecture and false historicism as applied to the original block of the house.
4. The 1918 "Queen Anne" feel of the original block of the house would be retained and restored by the removal of the 21st century bathroom addition on the west wing and the replacement of the modern vinyl windows with more historically accurate wood windows.
5. The proposed project retains the distinctive "Queen Anne" shingles, bay window, siding, and overall form.
6. Per the project narrative (page 4), exterior materials, door styles, and window styles of the older block of the house would be repaired wherever possible, or replaced in kind if they have deteriorated beyond repair.
7. **N/A** (Use gentlest chemical/physical treatment)
8. **N/A** (See my November 2015 comments archeological finds included in my "Historic Resource Evaluation and Determination of Effect," pages 12-13).
9. **"New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials,**

¹ <http://www.nps.gov/tps/standards/applying-rchabilitation.htm>



APD Preservation LLC

features, size, scale and proportion, and massing to protect the integrity of the property and its environment.² (*emphasis added*)

- The proposed project would not damage, destroy or obscure any “historic” materials, features or spatial relationships. The addition would abut a *modern* wing (2003); it would have no physical interface with the older section of the house. The dormers to be reconfigured at the rear of the house are modern additions (2003), as well. The front door to be replaced is also a late 20th century application.
- The “Farmhouse” style clearly differentiates the addition from the older “Queen Anne” structure, and is compatible with the both the older block of the house and the surrounding NRHP District.
- Similarly, the addition is clearly differentiated from the older section of the house by its 17’ setback from the primary (streetside) elevation of the older structure.
- The addition would be clad in horizontal wood clapboards, similar to but different from the existed cove-lap siding on the older block. The coursing joints would align to create a compatible transition.
- The garage would be visible from the street, though significantly recessed from the older portion of the structure (17’). Its second storey would be set back an additional 12’ from the face of the garage, making it significantly less visible from the public right of way and minimizing the appearance of its massing.
- The majority of the addition would be at the *rear* of the site, obscured from public view. Mature landscaping on adjacent and nearby parcels would further screen its eastern elevation.
- The ridge of the addition would be a mere 6” higher than older section of the house, separated from it by a “hyphen,” and set back 16’ south of the older block of the house.
- From the street, the older section of the structure clearly takes visual priority over the recessed, subordinate addition.

10. “New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”³

- The proposed project is fully “reversible.” The addition is its own separate entity, abutting a modern wing and could be easily removed in the future, with no impact to the older section of the house. Similarly, enough documentation exists to allow for the replacement of the east elevation windows should a future owner so desire.

Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,


Alice P. Duffee
APD Preservation LLC

cc: Robert Baumann, rb@robertbaumann.com
Robert Demler, President, Sonoma League for Historic Preservation, robertcdemler@gmail.com

² <http://www.nps.gov/tps/standards/rehabilitation.htm>

³ <http://www.nps.gov/tps/standards/rehabilitation.htm>



ADDITION & CONNECTOR:
WOOD SIDING COLOR
BENJAMIN MOORE 'WATERBURY CREAM' HC-31

ADDITION:
WOOD SHINGLE COLOR
BENJAMIN MOORE
'GLOUCESTER SAGE' HC-100

MAIN SECTION OF HOUSE:
WOOD SHINGLE COLOR
BENJAMIN MOORE 'POWDER SAND' OC-113

MAIN SECTION OF HOUSE:
WOOD SIDING COLOR
BENJAMIN MOORE
'MUSHROOM CAP' 1T1

TYPICAL PAINTED WOOD TRIM COLOR
BENJAMIN MOORE
'POWDER SAND' OC-113

FRONT DOOR COLOR
BENJAMIN MOORE
'COTTAGE RED' FM-15
OR
BENJAMIN MOORE
'BLACK TAR' 2126-10



NORTH ELEVATION

NOT TO SCALE

ROBERT BAUMANN + ASSOCIATES
2/8/16



WISIALOWSKI RESIDENCE
COLOR SAMPLE SHEET

11/8/2016

Linen 032

White 001

SIERRA PACIFIC (OR EQUAL)
ALUMINUM CLAD WINDOWS & EXTERIOR
DOORS IN WHITE OR LINEN





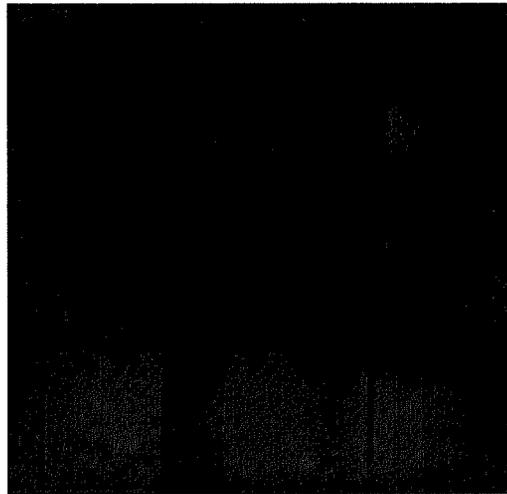
STRAIGHT EDGE WOOD SHINGLES
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



CUSTOM PLAIN HORIZONTAL SIDING (COURSING TO MATCH EXISTING)
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



CUSTOM COVERED LAP SIDING (TO MATCH EXISTING)
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



GAF 'CAMELOT II' ASPHALT SHINGLES IN CHARCOAL



ALTERNATE OPTION TO ASPHALT SHINGLES.
ZAPPONE ALUMINUM SHINGLES IN SLATE GRAY

PATRICIA CULLINAN
425 DENMARK ST
SONOMA CALIFORNIA 95476
707-938-5721

RECEIVED

FEB 11 2016

February 11.2016

CITY OF SONOMA

Dear David,

There has been several meetings of the Design Review and Historic Preservation Commission about the project at 227 East Spain Street and another is scheduled for next week.

I have not seen the current proposal that will be in the Staff Report for the February 16, 2016 meeting, so this letter is not a comment on the current proposal.

Because of the status of the building resource as a contributor to the Sonoma National Register District it is important that:

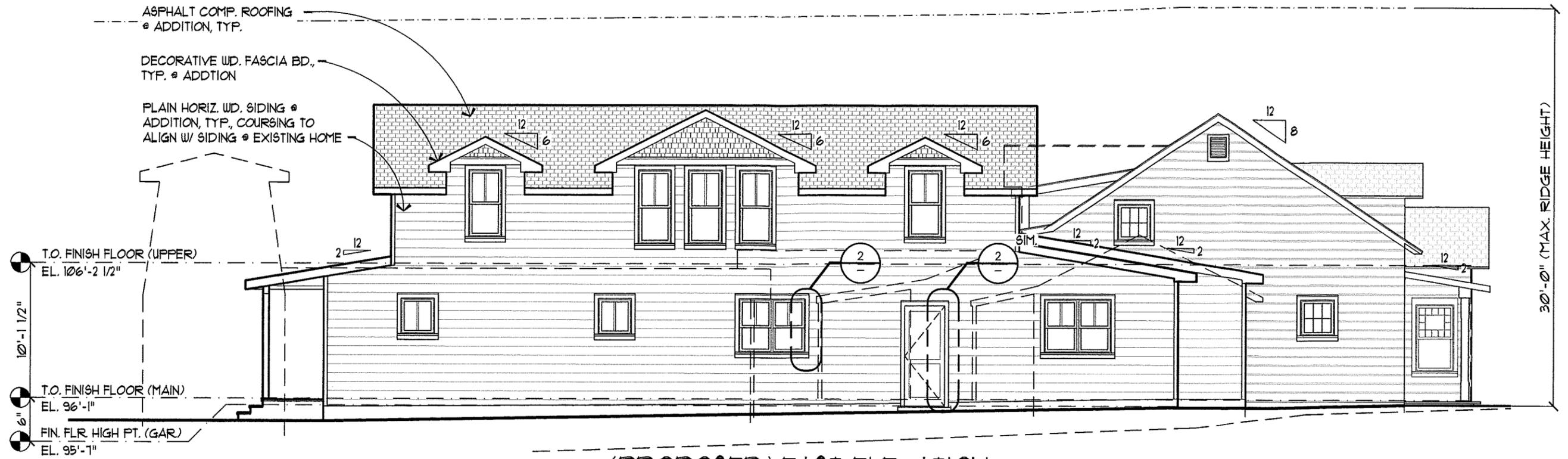
- The proposed changes meet the Secretary of Interior Standards and
- The house and property remain contributors to the District.

To assure that the house and property remain contributors I request that the city of Sonoma send the project for review to the State Office of Historic Preservation. Part of the mission of the State Office of Historic Preservation is:

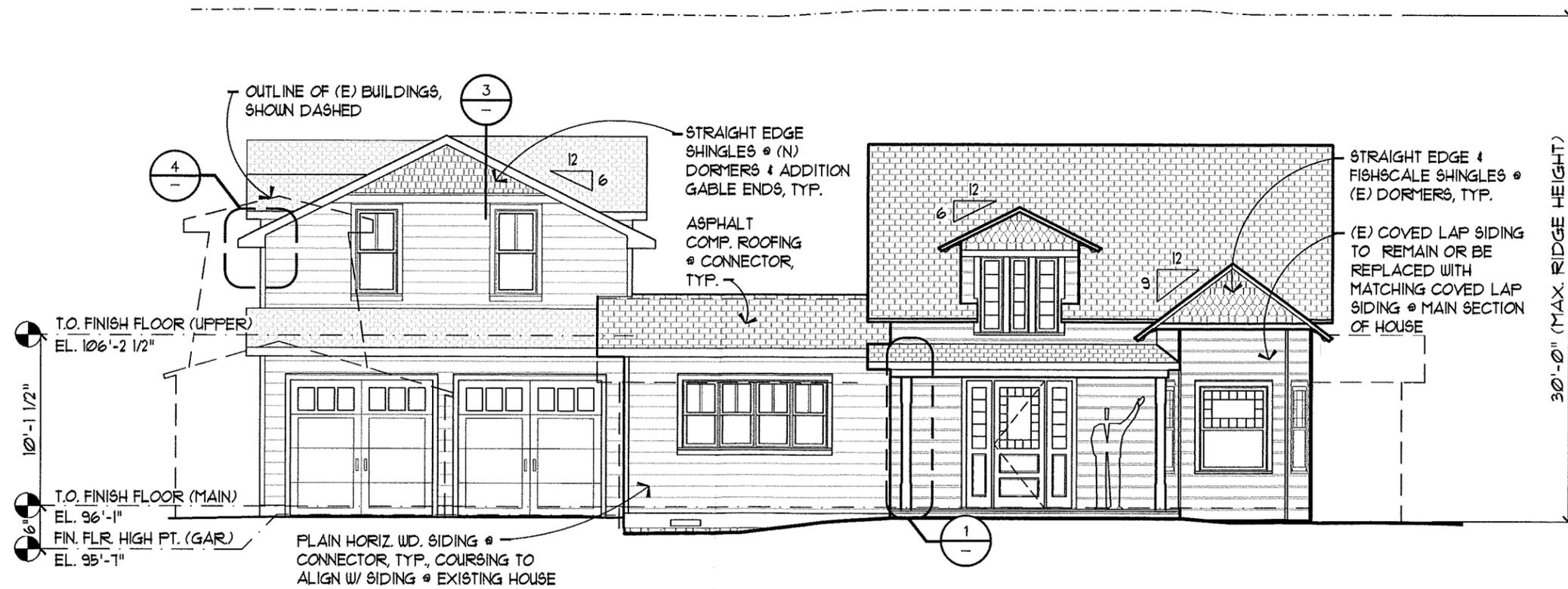
- Identifying, evaluating, and registering historic properties;
- Ensuring compliance with federal and state regulatory obligations;

Review by the SOHP would answer many questions and assure that the project complies with the standards. Review is an often requested from that agency and I feel appropriate in this case.

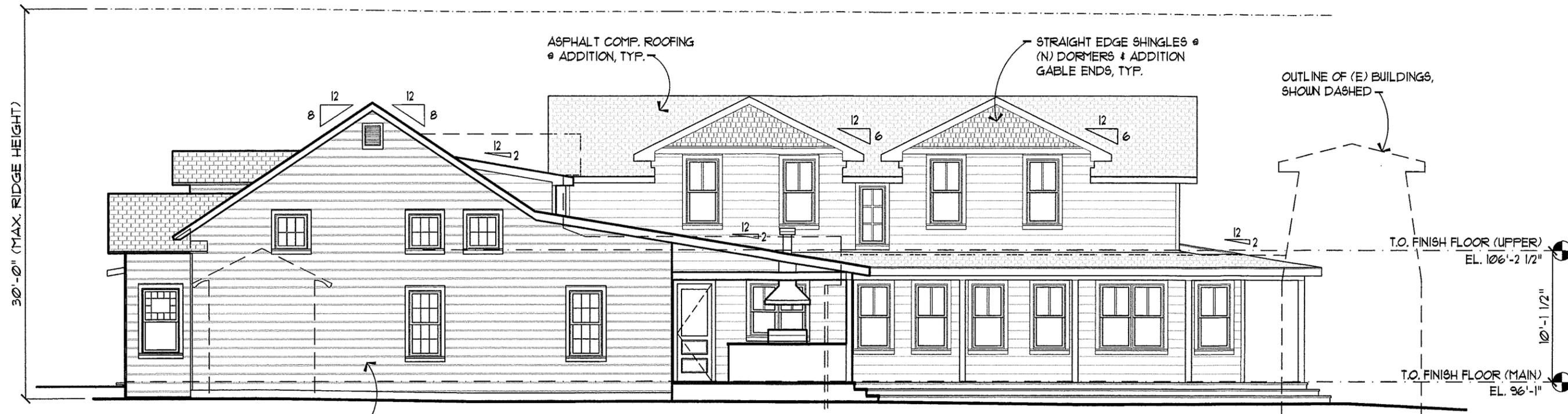
Thank you,
Patricia Cullinan



B (PROPOSED) EAST ELEVATION
SCALE: 1/8"=1'-0"

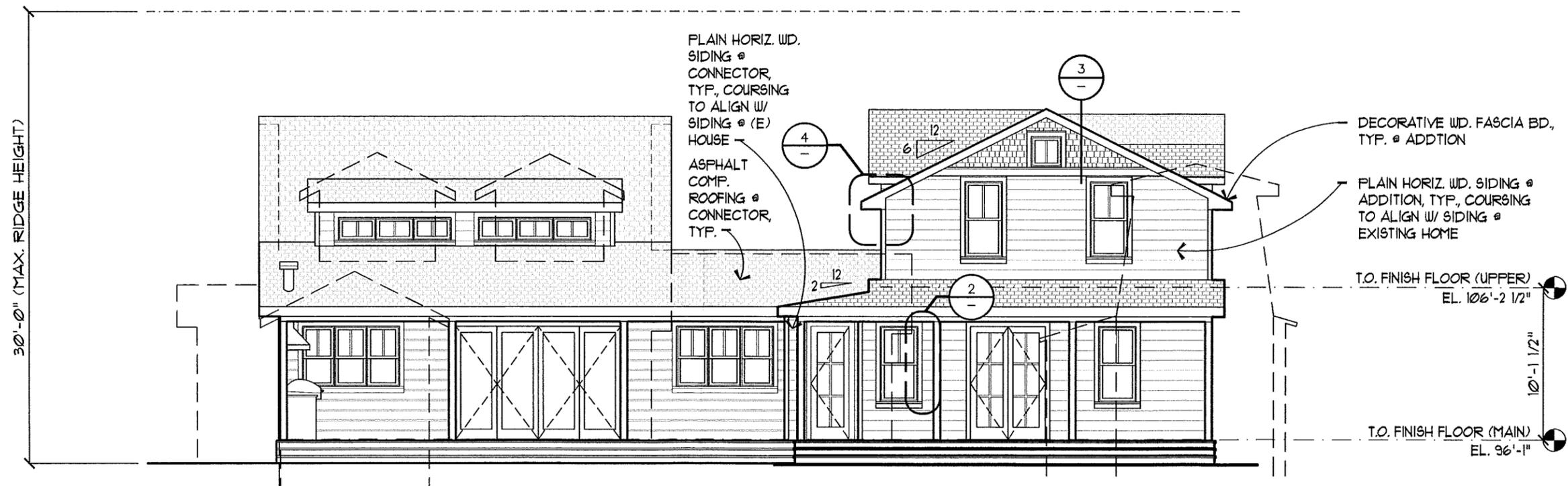


A (PROPOSED) NORTH ELEVATION
SCALE: 1/8"=1'-0"



(E) COVERED LAP SIDING TO REMAIN OR BE REPLACED WITH MATCHING COVERED LAP SIDING @ MAIN SECTION OF HOUSE

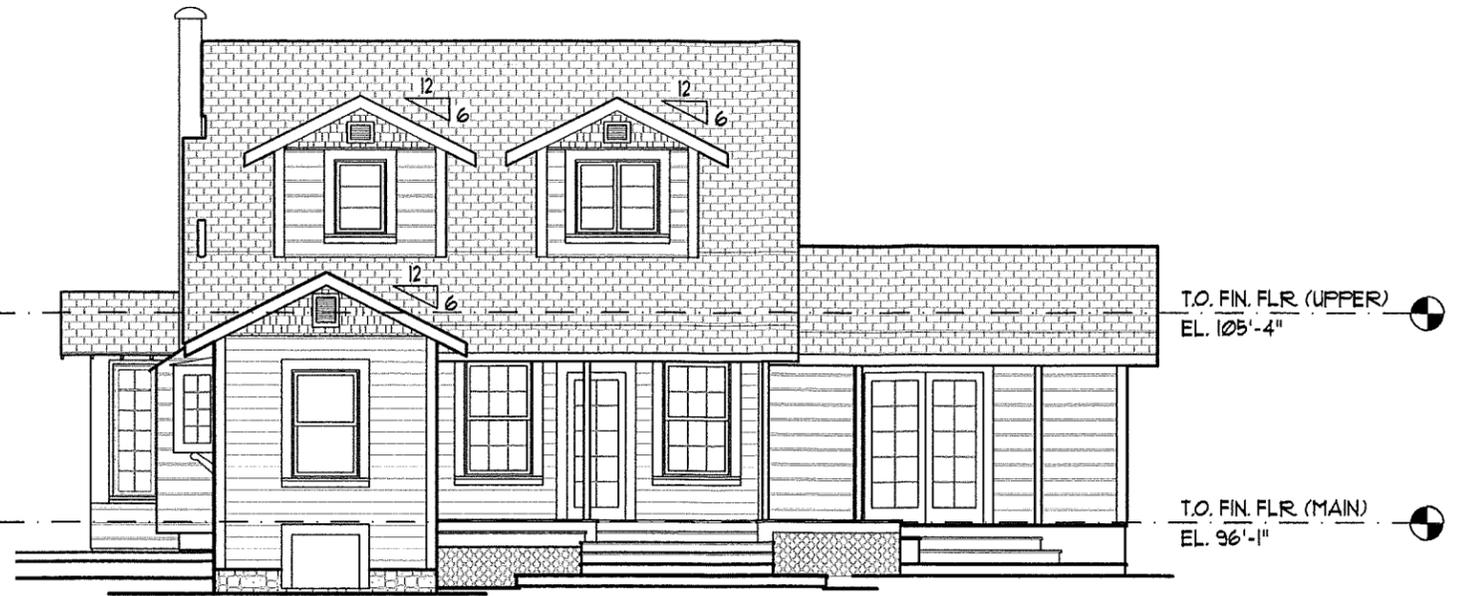
B (PROPOSED) WEST ELEVATION
SCALE: 1/8"=1'-0"



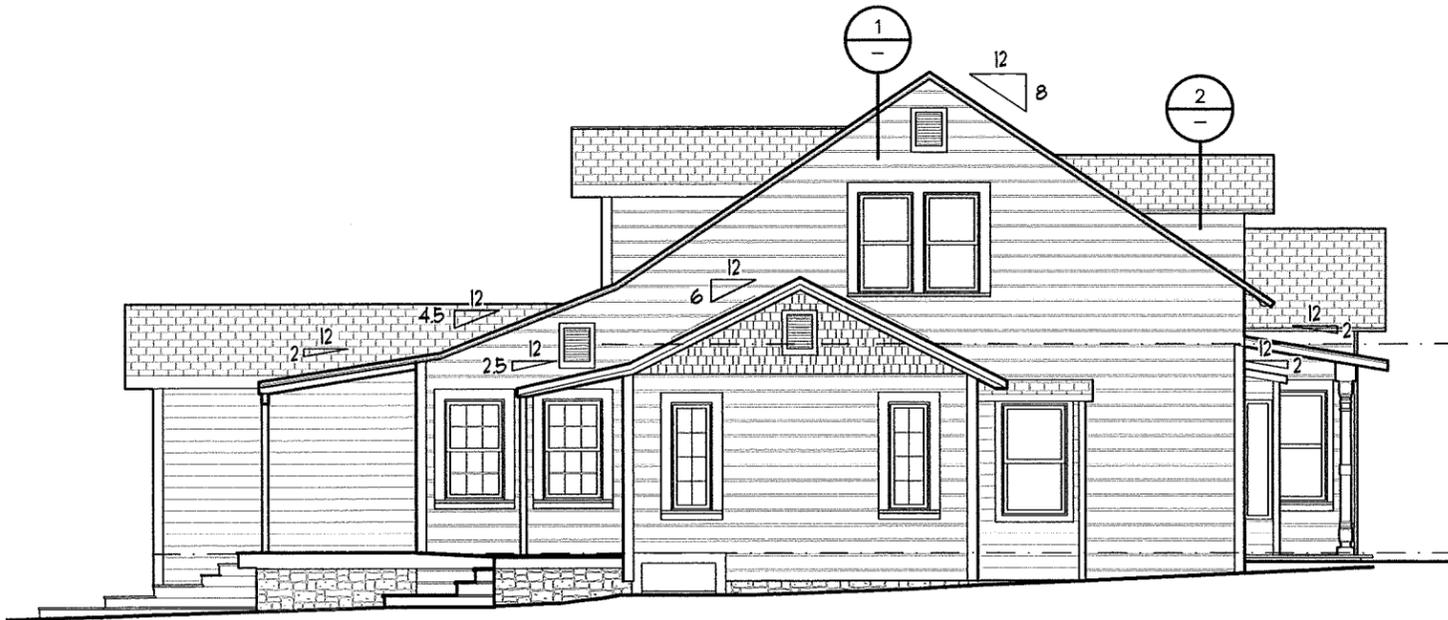
A (PROPOSED) SOUTH ELEVATION
SCALE: 1/8"=1'-0"



D EXIST. WEST ELEVATION
SCALE: 1/8"=1'-0"



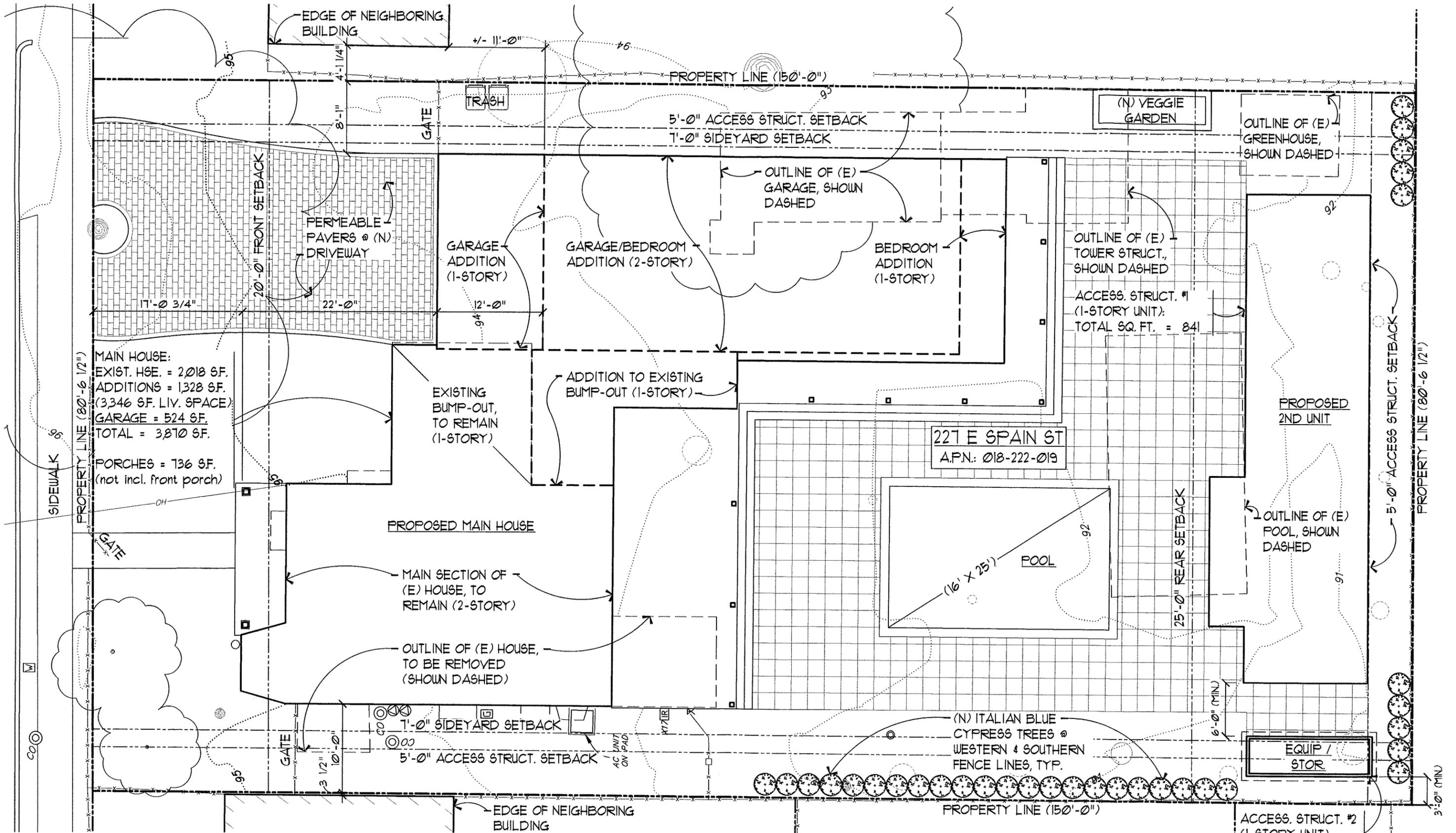
C EXIST. SOUTH ELEVATION
SCALE: 1/8"=1'-0"



B EXIST. EAST ELEVATION
SCALE: 1/8"=1'-0"



A EXIST. NORTH ELEVATION
SCALE: 1/8"=1'-0"

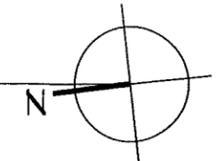


MAIN HOUSE:
 EXIST. HSE. = 2,018 SF.
 ADDITIONS = 1,328 SF.
 (3,346 SF. LIV. SPACE)
 GARAGE = 524 SF.
 TOTAL = 3,870 SF.
 PORCHES = 736 SF.
 (not incl. front porch)

ZON. REQ'S.	PROPOSED
MAX. FAR = 4,229 SF.	3,870 (HOUSE) = (OK)
MAX. COVER = 4,833 SF.	2,894 + 736 + 841 + 64 = 4,535 (OK)
MAX. R. YRD COVR. = 1,001 SF.	REAR YARD COVER = 905 (OK)

PROPOSED SITE PLAN

SCALE: 1/10" = 1'-0"

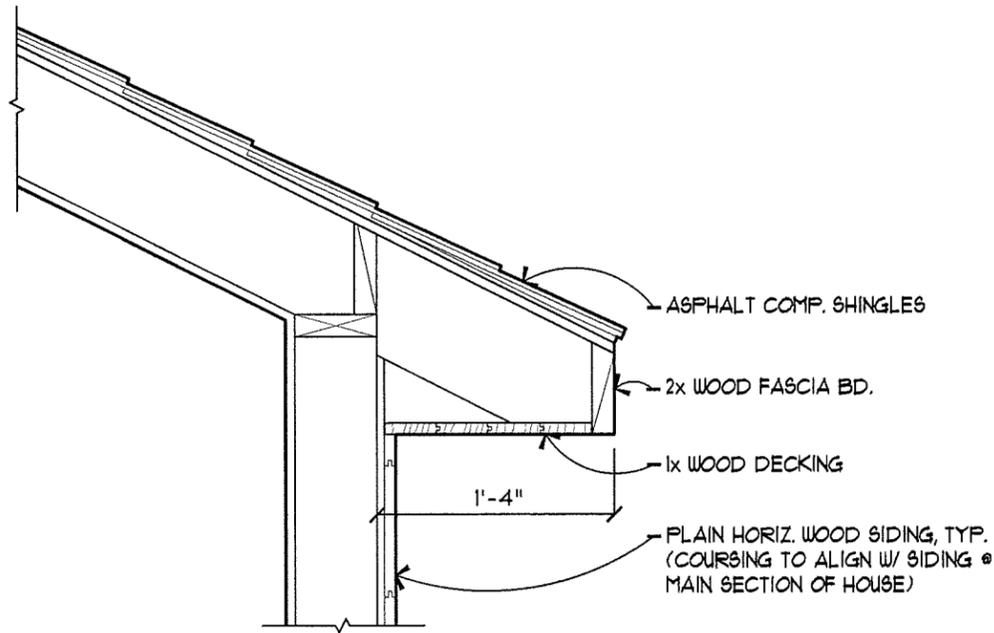


ACCESS. STRUCT. #2
 (1-STORY UNIT):
 TOTAL SQ. FT. = 64

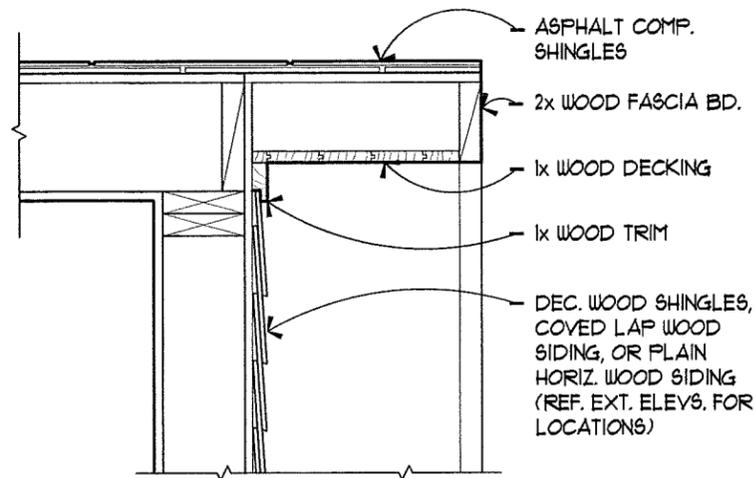
WISIALOWSKI RESIDENCE
 PROPOSED SITE PLAN

FEB 08 2016

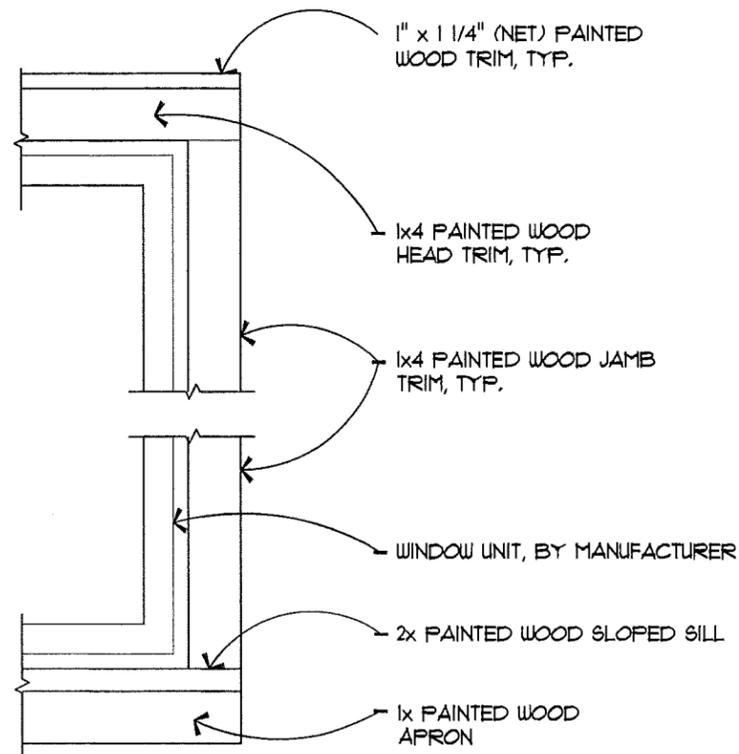
ROBERT BAUMANN + ASSOC.
 2/8/16



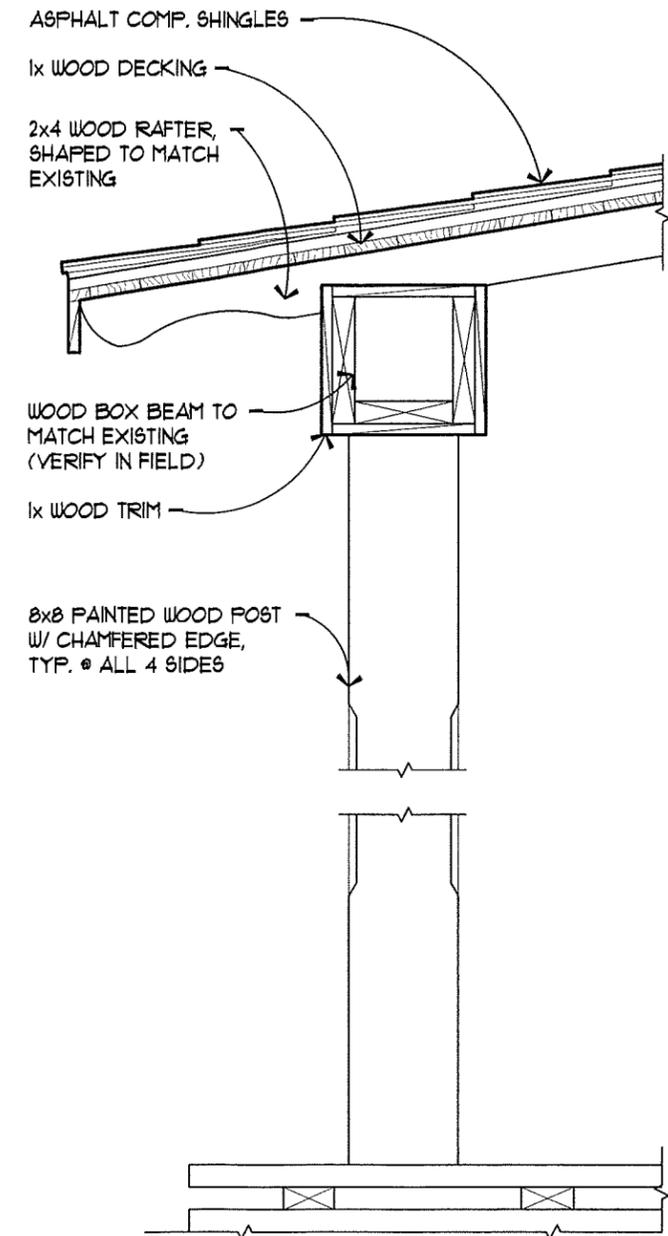
4 (PROP.) TYP. EAVE
SCALE: 1" = 1'-0"



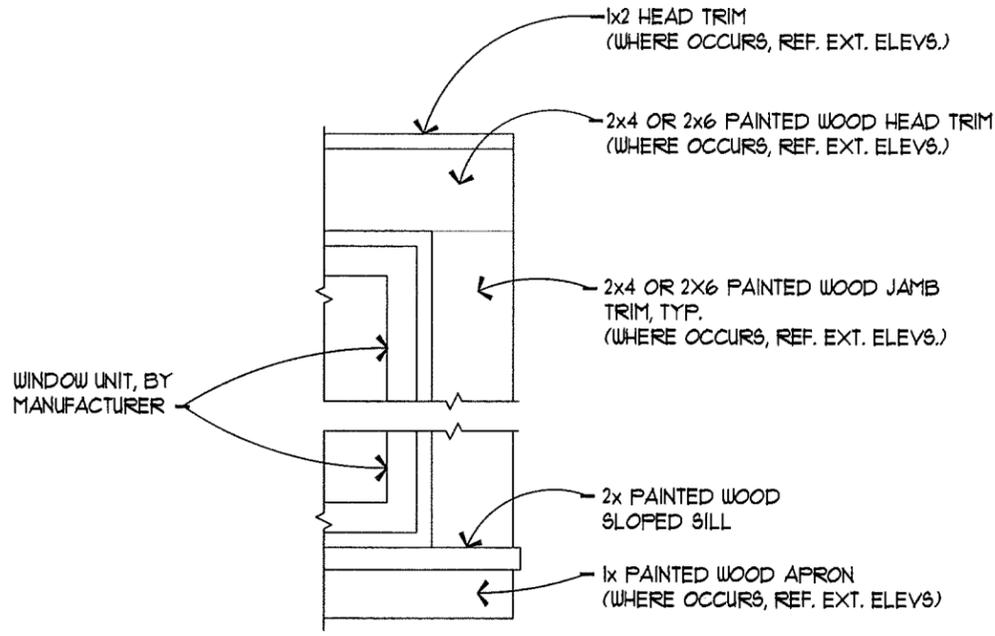
3 (PROP.) TYP. RAKE
SCALE: 1" = 1'-0"



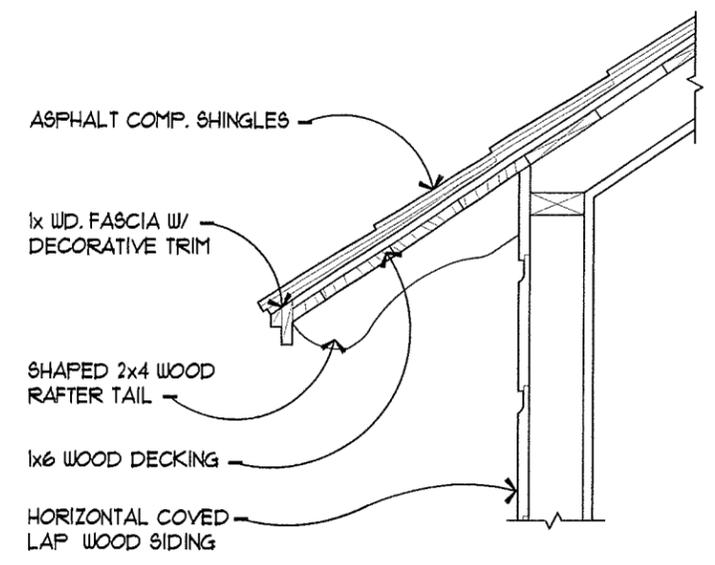
2 (PROP.) TYP. WNDW. TRIM (DOOR SIM.)
SCALE: 1" = 1'-0"



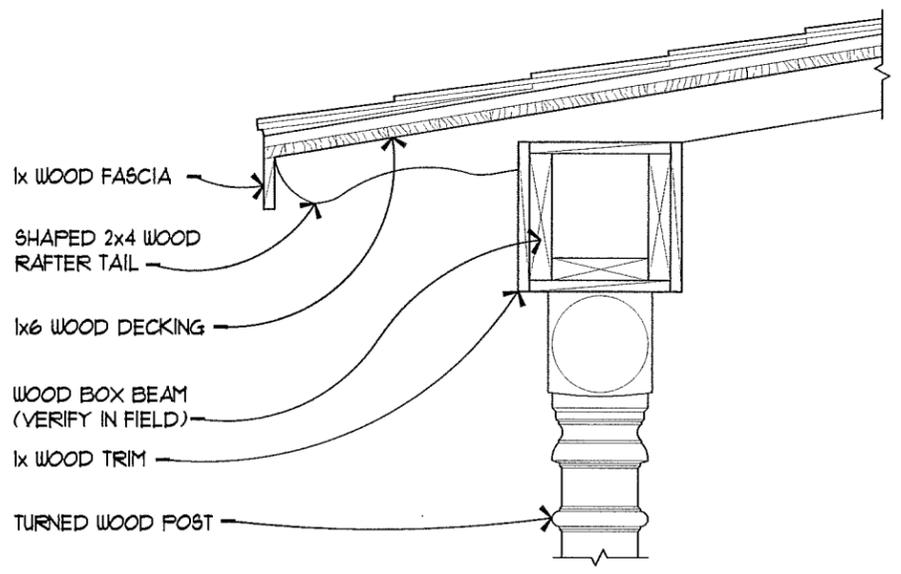
1 (PROP.) ENT. PORCH COLUMN
SCALE: 1" = 1'-0"



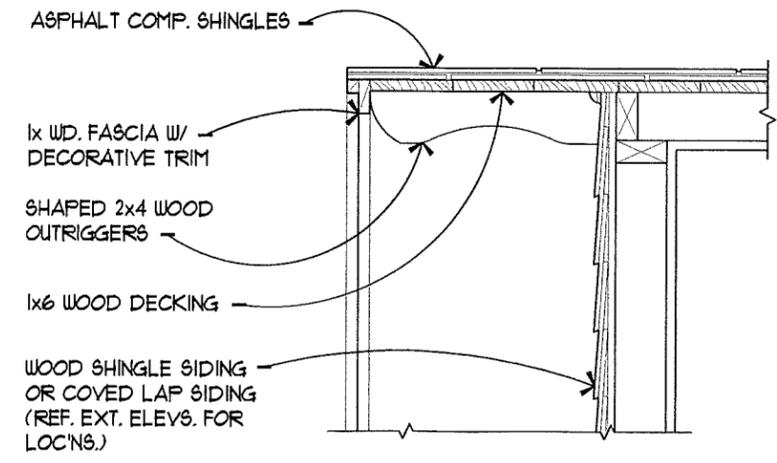
4 EXIST. TYP. WINDOW TRIM DETAIL
SCALE: 1" = 1'-0"



2 EXIST. TYP. EAVE DETAIL
SCALE: 1" = 1'-0"



3 EXIST. PORCH EAVE DETAIL
SCALE: 1" = 1'-0"



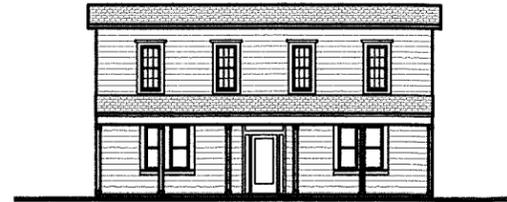
1 EXIST. RAKE DETAIL
SCALE: 1" = 1'-0"



227 EAST SPAIN STREET (SOUTH SIDE)
SCALE: 3/64" = 1'-0"



220 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"

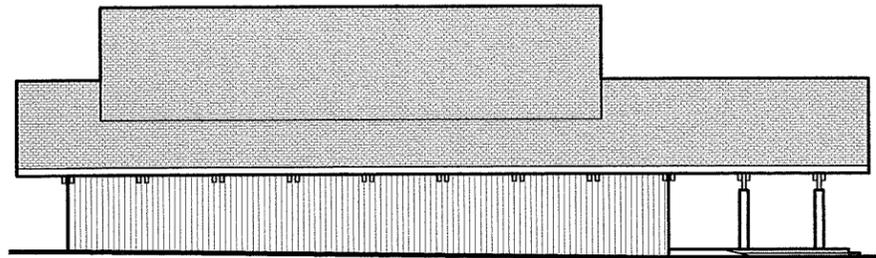


256 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"

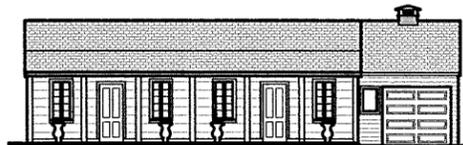
EAST SPAIN STREET (NORTH SIDE)



EAST SPAIN STREET AERIAL VIEW
NOT TO SCALE



275 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"



245 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"



227 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"



205 EAST SPAIN STREET
SCALE: 3/64" = 1'-0"

EAST SPAIN STREET (SOUTH SIDE)



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 3
Item:

Meeting Date: 02/16/16

Applicant

Tim Farfan and Craig Miller

Project Location

110 West Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
- Year Built: 1872
-

Request

Consideration of two new awnings and four new awning signs for a hotel (Sonoma Hotel) located at 110 West Spain Street.

Summary

Awning: The proposal involves the modification of the existing canvas fabric awnings on the building. The awnings would be installed on a welded aluminum frames above the First Street West and West Spain Street portions of the building. In terms of compatibility, the exterior color scheme of the building is a beige color. A picture of the proposed conditions and a sample of the awning material are attached for consideration. The proposed awnings are comprised of two individual awnings: 41 feet in length on First Street West; and, 65 feet in length on West Spain Street. The awnings and valance would be composed of a brown canvas. Both awnings would be installed on the existing silver colored aluminum frames. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 8.5 feet of clearance above the public walkway, and would extend only 4.5 feet from the face of the building resulting in 4.5 feet of clearance from the end of the awning to the face of the curb. The purpose of the awning is to provide business identification and weather protection for the hotel.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects involving historically significant resources, the Design Review and Historic Preservation Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Awning Signs:

Four lettering signs are proposed to be placed on the awnings along First Street West and West Napa Street as follows:

- Two each “the girl and the fig” signs are proposed 3 square feet in area (0.5 feet tall by 6 feet wide). One on the awing on West Spain Street and one on the awing on First Street West.
- Two each “Sonoma Hotel” signs are proposed facing First Street West, 9 square feet in area (1 foot tall by 9 feet wide). One on the awing on West Spain Street and one on the awing on First Street West.

Aggregate Sign Area: Based on the site’s primary frontage on West Spain Street (91 feet) and secondary frontage on First Street West (91 feet), the maximum allowable aggregate sign area is 60.5 square feet. The business would have an aggregate sign area of ±37 including the two existing projecting signs (9 square feet), existing window sign (4 square feet), and proposed awing signs (24 square feet). The proposal is consistent with this requirement.

Number of Signs: A maximum of two signs are permitted for any one business (§18.16.012 and §18.16.010). The proposed awnings signs do not comply with this requirement in that there would be four signs for the Girl and the Fig (including two awing signs and two projecting signs) and three signs for the Sonoma Hotel (two awing signs and one window sign). The applicant is requesting a variance from this requirement.

Basic Findings: In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC [18.04.010](#) and the applicable guidelines for signs set forth by SMC [18.60.010](#), Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Variances: As noted above, the proposal would exceed the number of allowable number of signs. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity.
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 938-3681 for information regarding City Encroachment Permits.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Picture of proposed sign*
4. *Awning sample*

cc: Tim Farfan and Craig Miller
110 West Spain Street
Sonoma, CA 95476

Alan Jones, Fire Marshall

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

HISTORIC RESOURCES INVENTORY

(State use only)
 Ser _____ Site _____ Mo. _____ Yr. _____
 UTM _____ Q _____ NR 3 SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

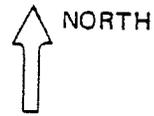
1. Common name: OLD SONOMA HOTEL
2. Historic name, if known: Plaza Hotel
3. Street or rural address 110 West Spain
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Dorene Musilli Address: P.O. Box 1118
 City: Boyes Hot Springs, CA ZIP: 95416 Ownership is: Public Private
5. Present Use: Hotel Original Use: Hotel
 Other past uses: Hotel - saloon - Restaurant

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:
 Three story adobe and stucco building with gable roof with broken pediment. Has seven dormer with gable roof and tall detailed windows. One time, had a balcony, torn down in 1969. Second floor had an awning. Has an elliptic vent on the side with several scattered windows. There is a trellis and patio in the back used as outside restaurant.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

See City Map Area 9.



UTM (SONOMA QUAD)
 10/546,020/4,239,320
 10/548,540/4,239,050
 10/548,420/4,238,220
 10/545,950/4,238,530

8. Approximate property size:
 Lot size (in feet) Frontage 50
 Depth 60
 or approx. acreage _____
9. Condition: (check one)
 a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence
10. Is the feature a. Altered? b. Unaltered?
11. Surroundings: (Check more than one if necessary)
 a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other
12. Threats to site:
 a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other
13. Date(s) of enclosed photograph(s): 4/12/78

NOTE: The following (Items 14-19) are for structures only.

- 14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood f. Other
- 15. Is the structure: a. On its original site? b. Moved? c. Unknown?
- 16. Year of initial construction 1872 This date is: a. Factual b. Estimated
- 17. Architect (if known): _____
- 18. Builder (if known): WEYL
- 19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s) f. Windmill g. Watertower/tankhouse h. Other Garden i. None

IGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This is one of the largest buildings on the Plaza. After Weyl, it belonged to Samuel Sebastiani. Now it is an hotel and has the original style in the interior and some rooms are furnished with antique furniture. One room has the bedroom set of General Vallejo donated to the Sonoma League for Historic Preservation and now on loan to the Hotel. Many people have been guests in it as a Country Inn. Maya Angelou wrote a book here; she is a contemporary writer of fame. Is one of the largest and original buildings on the Plaza. Weyl Hall. One of the important buildings on a corner facing the Plaza is the hall constructed by Henry Weyl, who came to Sonoma in 1866, and engaged in the wine business and other industries. He was in Petaluma in business for 3 years, from 1877, in the wholesale wine business. Since 1890, he has been in the market business. He owns the buildings on the corner and five acres adjoining. He owns a fruit and grape ranch just north of Healdsburg, and a stone quarry near Sonoma. Mr. Weyl was born in "Bingen on the Rhine", Germany, May 29, 1834, and came to California around the Horn in 1859. He was cooper on the vessel and necessarily became a sailor and familiar with the sea. He married in 1869, Miss Mary Knacksatet and they have six boys and two girls."

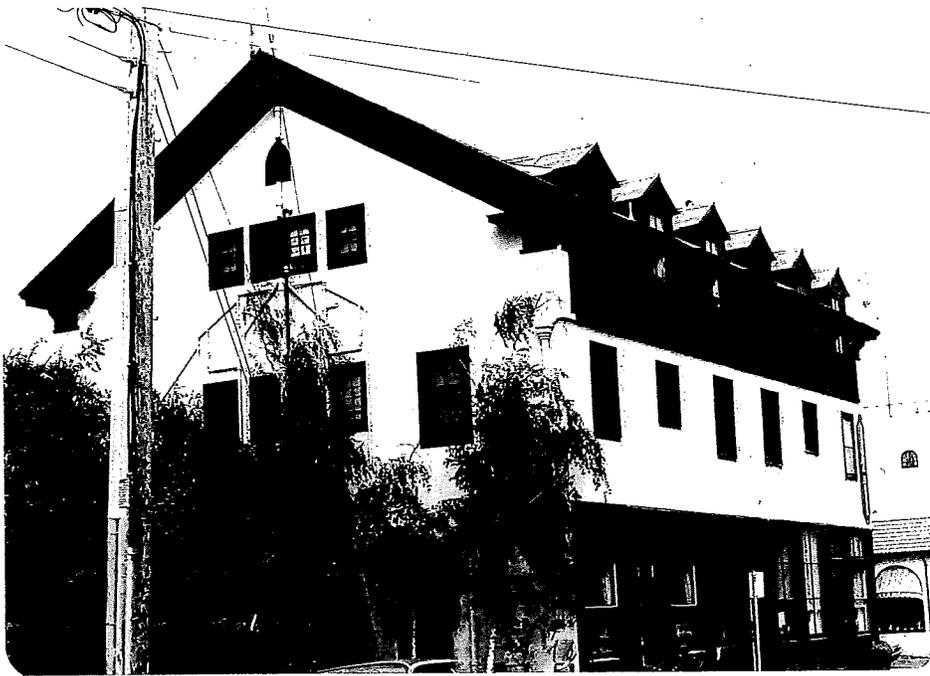
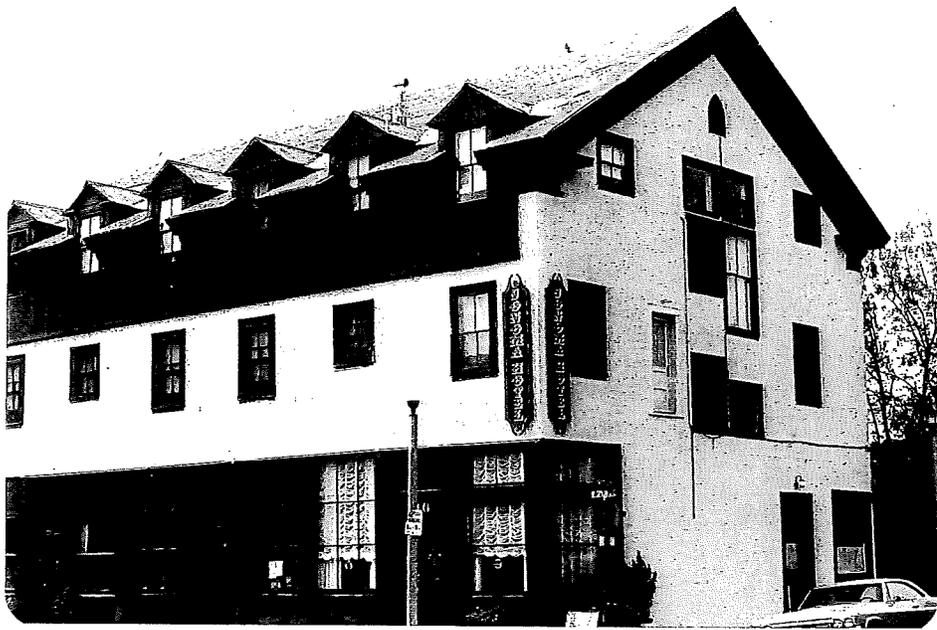
- 21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure c. Economic/Industrial d. Exploration/Settlement e. Government f. Military g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Dorene Musilli, owner.
 Classic Country Inn
 Atlas 1898 - Mr. Weyl

3. Date form prepared: 4/12/78 By (name): Allen Sweet/C. DePetris
 Address: 303 La Serena City Sonoma ZIP: 95476
 Phone: _____ Organization: 938-0510 Sonoma League for Historic Preservation

(State Use Only)



preservation, the (former) National Register status codes were revised to reflect the application of California Register and local criteria and the name was changed to "California Historical Resource Status Codes."

CALIFORNIA HISTORICAL RESOURCE STATUS CODES

(effective as of August 2003)

Available online in a single page format at http://www.ohp.parks.ca.gov/default.asp?page_id=1069

1 Properties listed in the National Register (NR) or the California Register (CR)

- 1D Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
- 1S Individual property listed in NR by the Keeper. Listed in the CR.

- 1CD Listed in the CR as a contributor to a district or multiple resource property by the SHRC
- 1CS Listed in the CR as individual property by the SHRC.
- 1CL Automatically listed in the California Register – Includes State Historical Landmarks 770 and above and Points of Historical Interest nominated after December 1997 and recommended for listing by the SHRC.

2 Properties determined eligible for listing in the National Register (NR) or the California Register (CR)

- 2B Determined eligible for NR as an individual property and as a contributor to an eligible district in a federal regulatory process. Listed in the CR.
- 2D Contributor to a district determined eligible for NR by the Keeper. Listed in CR.
- 2D2 Contributor to a district determined eligible for NR by consensus through Section 106 process. Listed in CR.
- 2D3 Contributor to a district determined eligible for NR by Part I Tax Certification. Listed in CR.
- 2D4 Contributor to a district determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in CR.
- 2S Individual property determined eligible for NR by the Keeper. Listed in CR.
- 2S2 Individual property determined eligible for NR by a consensus through Section 106 process. Listed in CR.
- 2S3 Individual property determined eligible for NR by Part I Tax Certification. Listed in CR.
- 2S4 Individual property determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in CR.

- 2CB Determined eligible for CR as an individual property and as a contributor to an eligible district by the SHRC.
- 2CD Contributor to a district determined eligible for listing in the CR by the SHRC.
- 2CS Individual property determined eligible for listing in the CR by the SHRC.

3 Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation

- 3B Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
- 3D Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
- 3S Appears eligible for NR as an individual property through survey evaluation.

- 3CB Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation.
- 3CD Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation.
- 3CS Appears eligible for CR as an individual property through survey evaluation.

4 Appears eligible for National Register (NR) or California Register (CR) through other evaluation

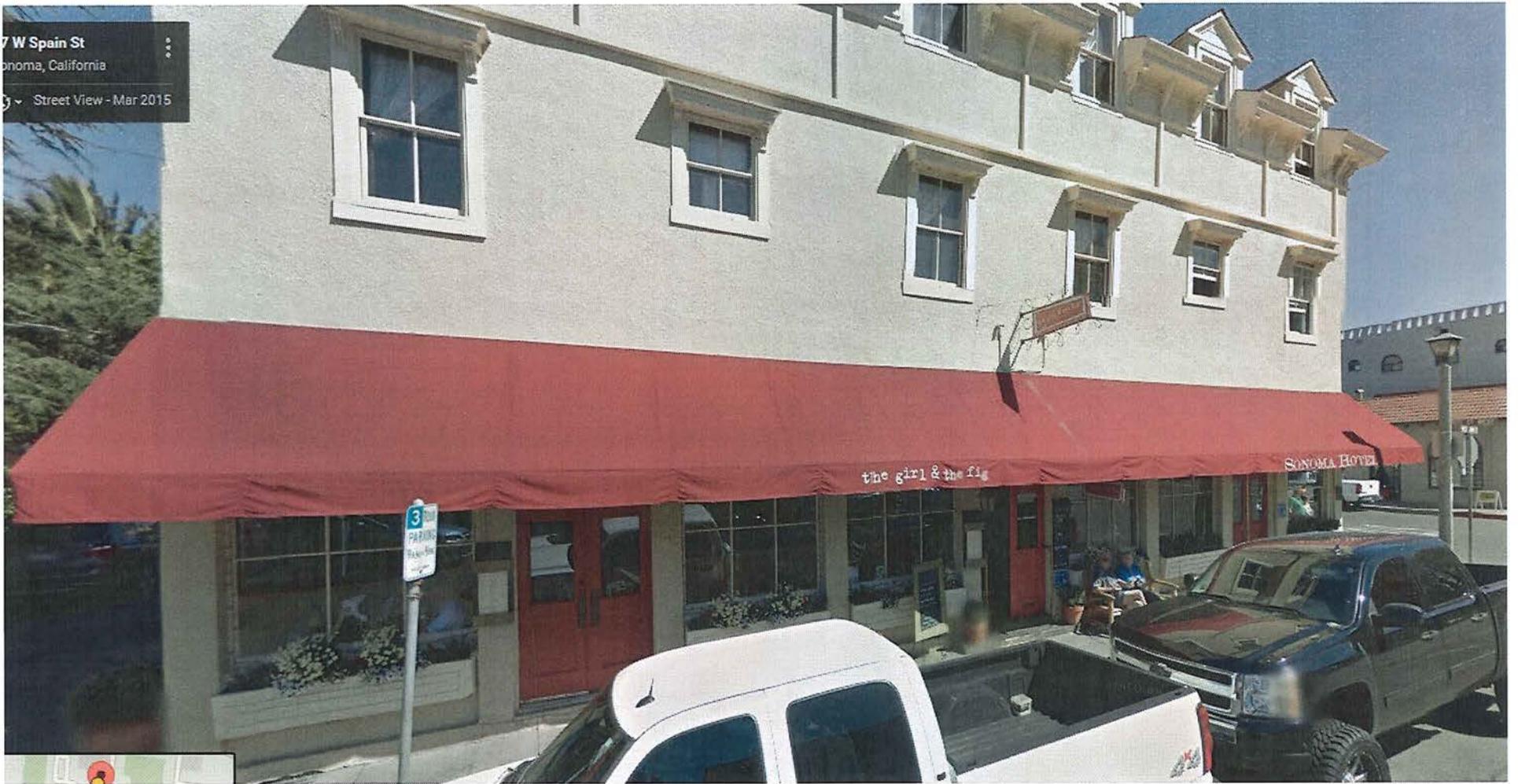
- 4CM Master List - State Owned Properties – PRC §5024.

Design Review Request to change the color of awning at
The Sonoma Hotel: 110 West Spain Street.

We would like to change the color for our awning from a burgundy (which is dated) to a color that complements our building color. We would also like to add back "Sonoma Hotel" on the East side of our building that faces 1st St west. See photo. This spot and lettering were previously approved and on the awning, but when the awning was last replaced in 2008 we did not put "SONOMA HOTEL" on that side.



7 W Spain St
Sonoma, California
Street View - Mar 2015





Sunbrella Fabric. Color: Silica Sesame

4860-0000



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 4
Item:

Meeting Date: 02/16/16

Applicant

Murphy's Irish Pub, LLC

Project Location

464 First Street East

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year Built: 1979

Request

Consideration of design review for a restaurant (Murphy's Irish Pub Expansion) located at 464 First Street East.

Summary

Background: A use permit was approved for the Place de Pyrenees in the 1970s, which allowed for a restaurant use at the subject location. The project is not subject to additional review by the Planning Commission.

Design Review: The following building modifications are proposed for the expansion:

- Replace the existing window on the west portion of the building with a new ADA compliant entrance door. The design of the new doors will match the existing doors. The door would be custom made by Sonoma Door.
- Replace the existing window (to the west of the existing door) with dual doors, which will be designed as Dutch doors allowing either just the top or both top and bottom to be opened. The design of the new door will match the existing doors. The door would be custom made by Sonoma Door.
- Install a new Dutch door on the existing door opening. The design of the new door will match the existing doors. The door would be custom made by Sonoma Door.
- Install a new overhead weather proof awning identical to the metal awning over the existing Murphy's patio. The awning is 12.5 feet wide and would extend 10 feet 3 inches from the face of the building.
- Install a new Paloform "Robata" 54-inch gas fire pit (see attached picture). The fire pit shall also require review by the Fire Marshal.
- Install new wood bench seating around the fire pit, black in color with gold trim.
- Install a new barrel vaulted awning above the new ADA compliant entrance door patio (see below for additional information).
- Install a new removable wood screen at the fire sprinkler stand pipes, which would be stained a dark color.
- Reslope the existing accessibility ramp in front of new ADA compliant entrance door.

Awning: The proposal involves the installation of a new canvas fabric awning on the building above the new ADA compliant entrance. The awnings would be installed on a painted metal frame. In terms of compatibility, the exterior color scheme of the building is a red, white, and blue. A picture of the proposed conditions and a picture of the awning material are attached for consideration (a sample of the awning material will be available at the DRHPC meeting). The proposed awning is 4 feet 10 inches wide. The awning would be composed of a black canvas with wheat colored stripes. With regard to Building Code requirements, the vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (Building Code §3202.2.3). In addition, awnings may extend over public property not more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support awnings, canopies, marquees and signs shall be located not less than 2 feet in from the curb line (Building Code §3202.3.1). The proposal complies with these standards in that the awning would provide 9.5 feet of clearance above the public walkway, and would extend 11 feet three inches from the face of the building. The purpose of the awning is to provide business identification and weather protection for restaurant customers.

Findings for Project Approval: For projects within the Historic Overlay zone or a Local Historic District and projects

involving historically significant resources, the Design Review and Historic Preservation Commission may approve an application for architectural review, provided that the following findings can be made (§19.54.080.G):

1. The project complies with applicable policies and regulations, as set forth in this Development Code, other City ordinances, and the General Plan.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in the Development Code.
3. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features.
4. The project will not impair the historic character of its surroundings.
5. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
6. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 (Historic preservation and infill in the Historic Zone).
7. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through section 19.42.020.
8. The project substantially complies with the applicable Secretary of Interior Standards and Guidelines for the Treatment of Historic Properties.

Signs: Signage for the business/property shall be subject to review and approval by City Staff or the Design Review and Historic Preservation Commission (DRHPC) as applicable.

Other permits required: In addition to the requirements of this title, the project shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation. In addition, Section 807.2 of the Fire Code requires testing by an approved agency meeting the NFPA 701 flame propagation standards or the materials shall be noncombustible. Reports of test results shall be submitted to the Fire Code Official prior to issuance of a building permit. An Encroachment Permit shall be required for all work performed in the public right-of-way. Please contact the Building Department at (707) 938-3681 for information regarding City Encroachment Permits. In addition, the fire pit shall require review by the Fire Marshal.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Picture of proposed sign*
4. *Awning sample*

cc: Murphy's Irish Pub, LLC
Attn: Bill Pollack
464 First Street East
Sonoma, CA 95476

Amelie and Gratién Guerra
P.O. Box 1308
Sonoma, CA 95476-1308

Alan Jones, Fire Marshall

Mary Martinez, via will call at City Hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

RECEIVED

FEB 10 2016

CITY OF SONOMA



Awning & Marine Outdoor Fabrics by Sunbrella

- Sunbrella outdoor fabrics are sold by cut lineal yardage (46-inch Wide x 36-inch Long).
- Limited 5-Year Manufacturer Warranty.
- 9.25 oz. Solution-Dyed Acrylic Woven Canvas.
- 50+ UV Protection Factor (UPF).
- Water-Repellent and Fade-Resistant.
- Mildew and Stain Resistant.
- Recommended by the Skin Cancer Foundation.
- Made in the United States.
- FREE Ground Shipping within the 48 contiguous United States.
- Easy cleaning and maintenance. View [Sunbrella Care Instructions](#)

Fabric Width : 46" Horizontal repeat : 3-3/4"

COOPER BLACK #4988

Murphy's Irish Pub Expansion

Murphy's Irish Pub has leased Suite H in the Place De Pyrenes property at 464 First Street East. Murphy's currently leases Suites C&D. The space of both existing and new is located down a private alley (Picture looking down the alley included).

Murphy's intended use is a classic cocktail space serving small bites. We have ABC approval to extend our permit across the alley as well as health department preliminary approval of our design. We will need to obtain fire marshal approval for the outdoor gas fire pit.

We intend to add two new doors, an overhead weather proof awning identical to the metal awning over the existing Murphy's patio, an outdoor gas fireplace with bench seating as well as a fabric awning to the new main entrance door. The service entrance for entry behind the new bar (existing non ADA compliant entrance to the space) as well as the dual doors on the patio will be designed as Dutch doors allowing either just the top or both top and bottom to be opened. This will allow maximum flexibility depending on weather and groups using the facility. A new ADA compliant ramp and door will replace the existing non-compliant ramp and by moving the main entry door the new entry will also be ADA compliant. All of the colors, window and door designs will be either exactly the same as existing or very similar. We have included the exterior elevations for you review and approval.

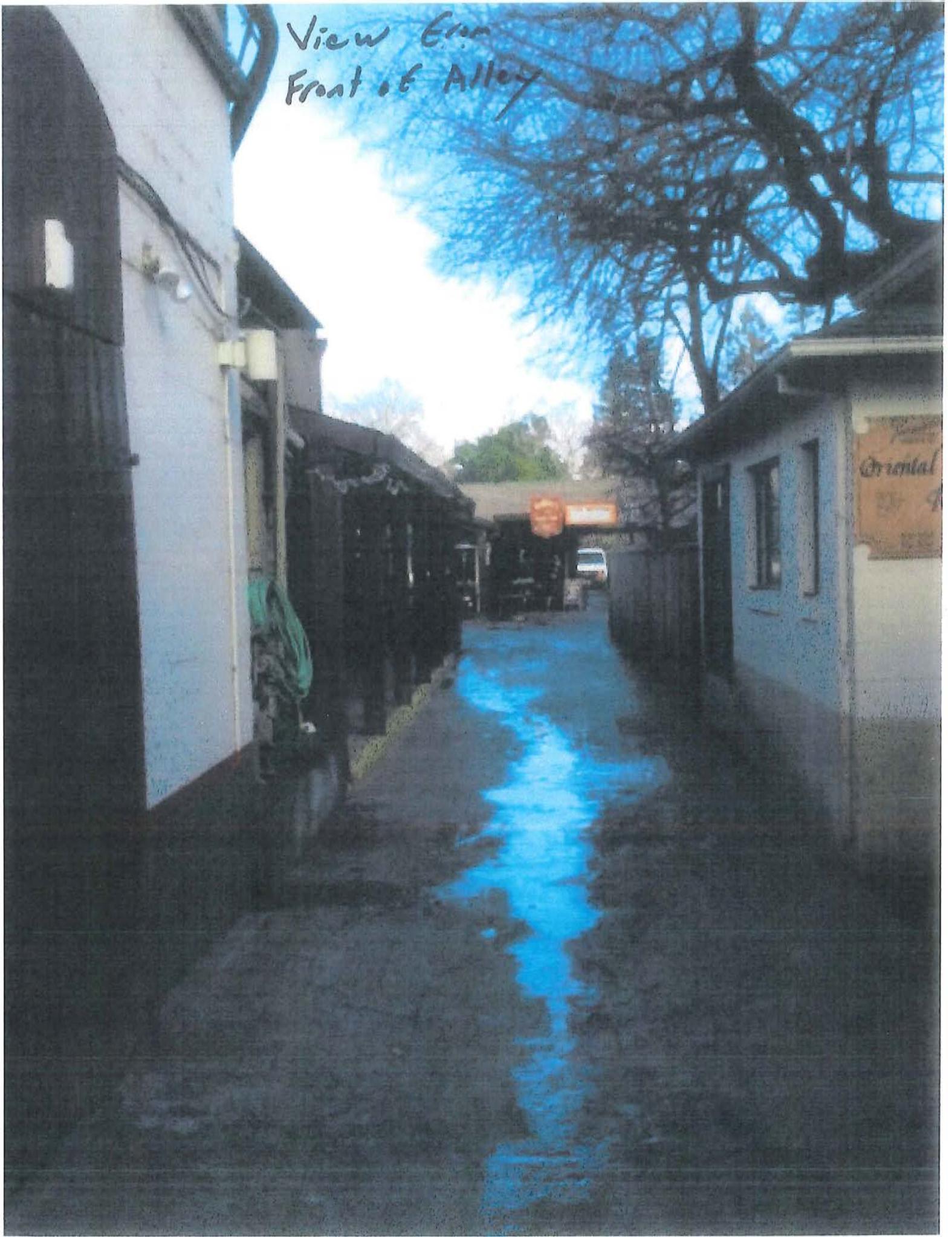
We believe this expansion will be an attractive addition to the alley and the city of Sonoma.

JAN 19 2016

Existing Exterior



View from
Front of Alley





ROBERT BAUMANN + ASSOCIATES
1/28/16

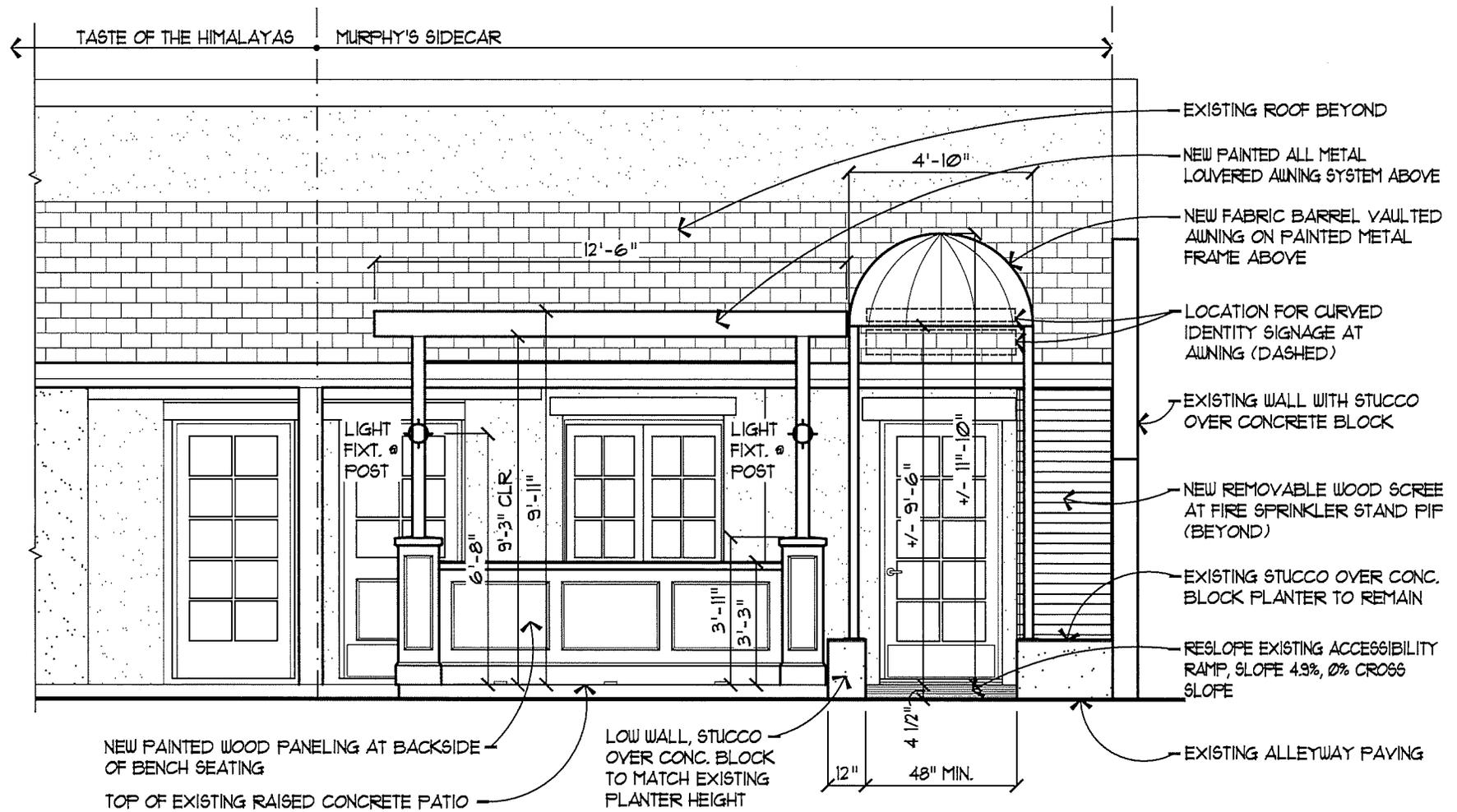


FRONT ELEVATION

SCALE: 1/4"=1'-0"

MURPHY'S SIDECAR
DRC ELEVATION

FEB 04 2016



TASTE OF THE HIMALAYAS

MURPHY'S SIDECAR

EXISTING ROOF BEYOND

NEW PAINTED ALL METAL LOUVERED AWNING ABOVE

NEW FABRIC BARREL VAULTED AWNING ON PAINTED METAL FRAME ABOVE

LOCATION FOR CURVED IDENTITY SIGNAGE AT AWNING (DASHED)

EXISTING WALL WITH STUCCO OVER CONCRETE BLOCK

NEW REMOVABLE WOOD SCREE AT FIRE SPRINKLER STAND PIP (BEYOND)

EXISTING STUCCO OVER CONC. BLOCK PLANTER TO REMAIN

RESLOPE EXISTING ACCESSIBILITY RAMP, SLOPE 4.9%, 0% CROSS SLOPE

EXISTING ALLEYWAY PAVING

NEW PAINTED WOOD PANELING AT BACKSIDE OF BENCH SEATING

TOP OF EXISTING RAISED CONCRETE PATIO

LOW WALL, STUCCO OVER CONC. BLOCK TO MATCH EXISTING PLANTER HEIGHT

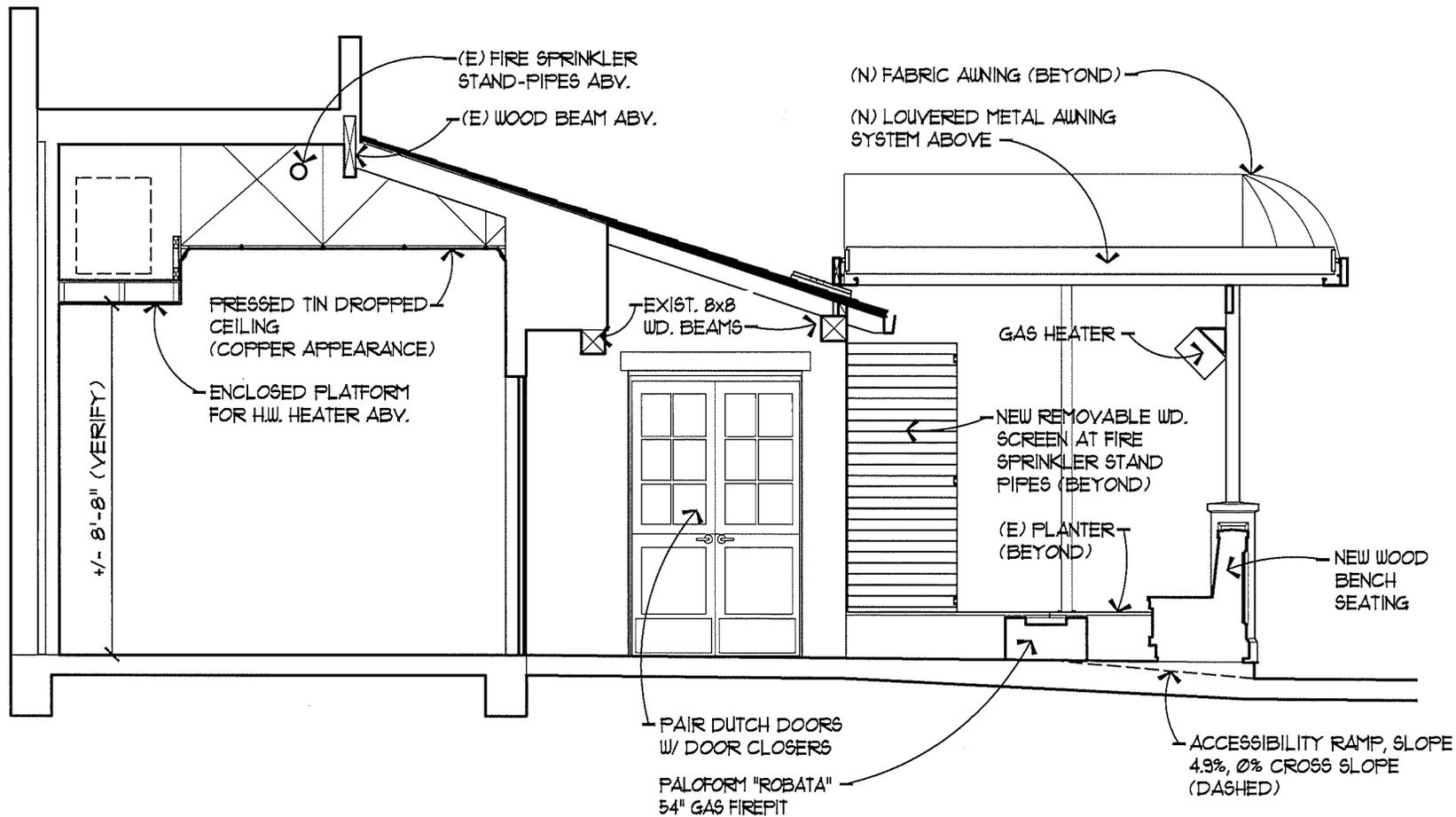
FRONT ELEVATION

SCALE: 1/4"=1'-0"

MURPHY'S SIDECAR
DRC ELEVATION

FEB 05 2016

ROBERT BAUMANN + ASSOCIATES
2/4/16



SECTION @ BACK BAR AREA

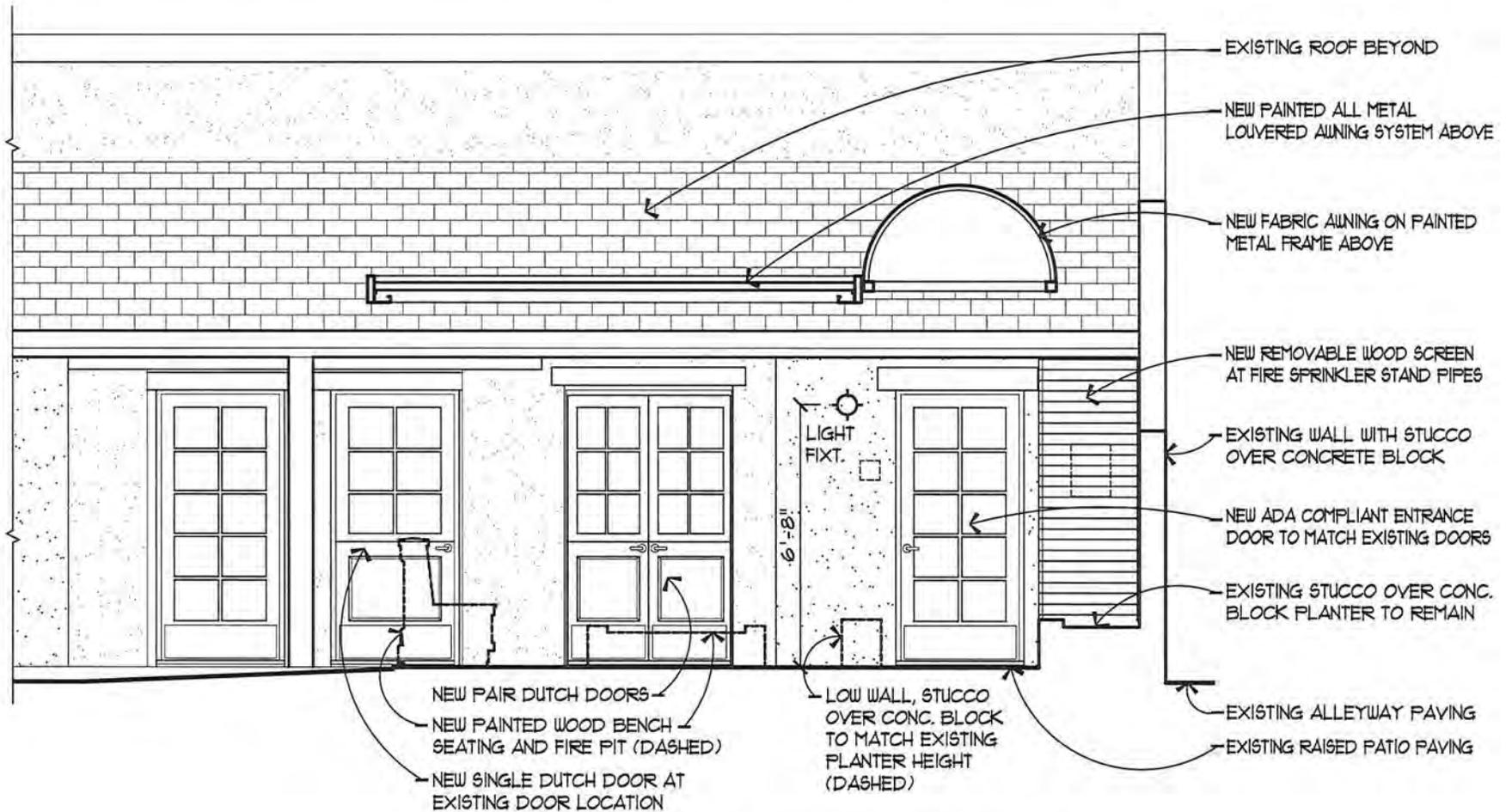


SCALE: 1/4"=1'-0"

ROBERT BAUMANN + ASSOCIATES
 1/28/16

MURPHY'S SIDECAR
 DRC ELEVATION

FEB 04 2016

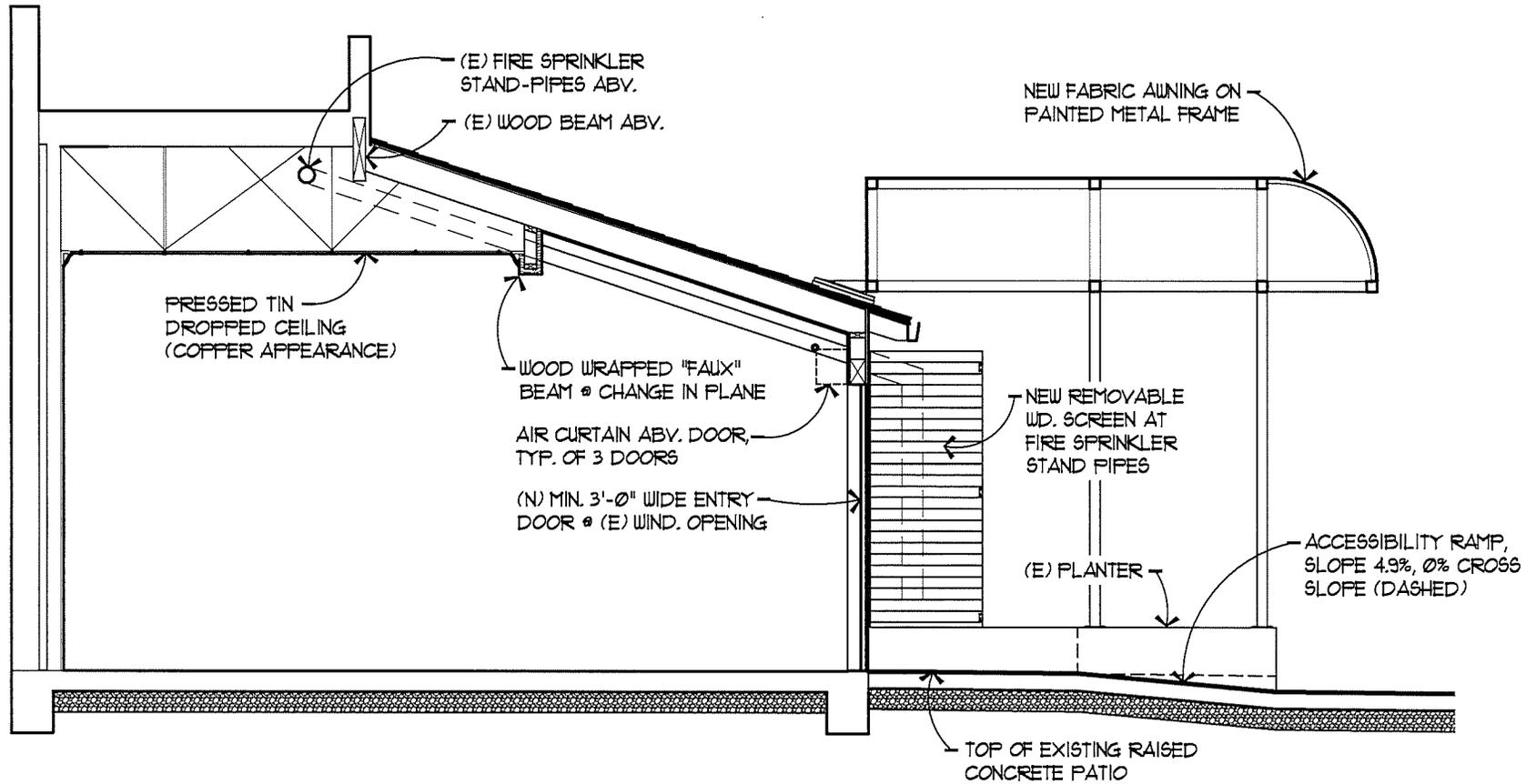


B SECTION - ELEVATION @ PATIO
 SCALE: 1/4"=1'-0"

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 2/4/16

MURPHY'S SIDECAR
 DRC ELEVATION

FEB 05 2016



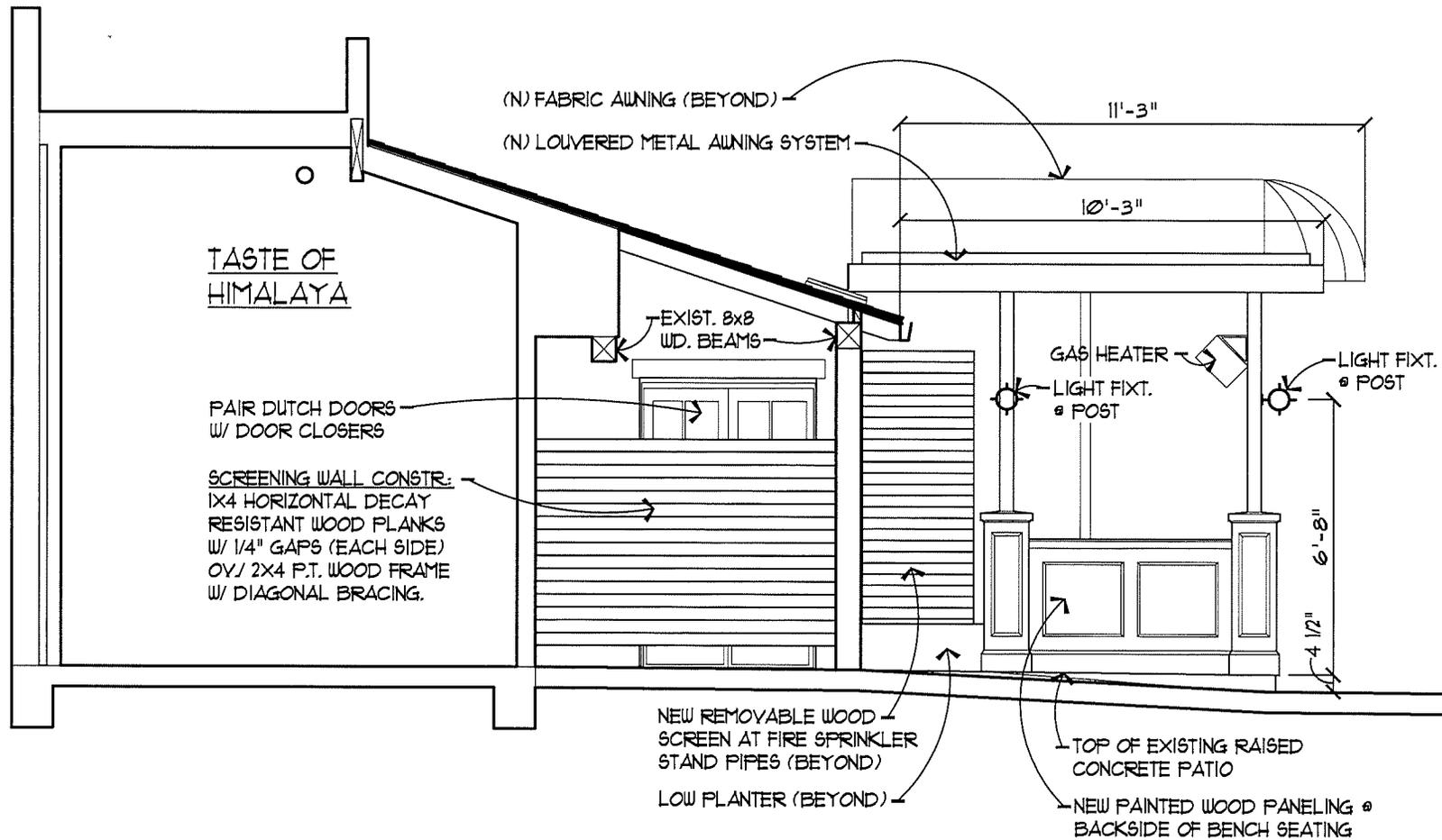
SECTION @ CUSTOMER ENTRY

SCALE: 1/4" = 1'-0"

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1/28/16

MURPHY'S SIDECAR
DRC ELEVATION

FEB 04 2016



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2/4/16

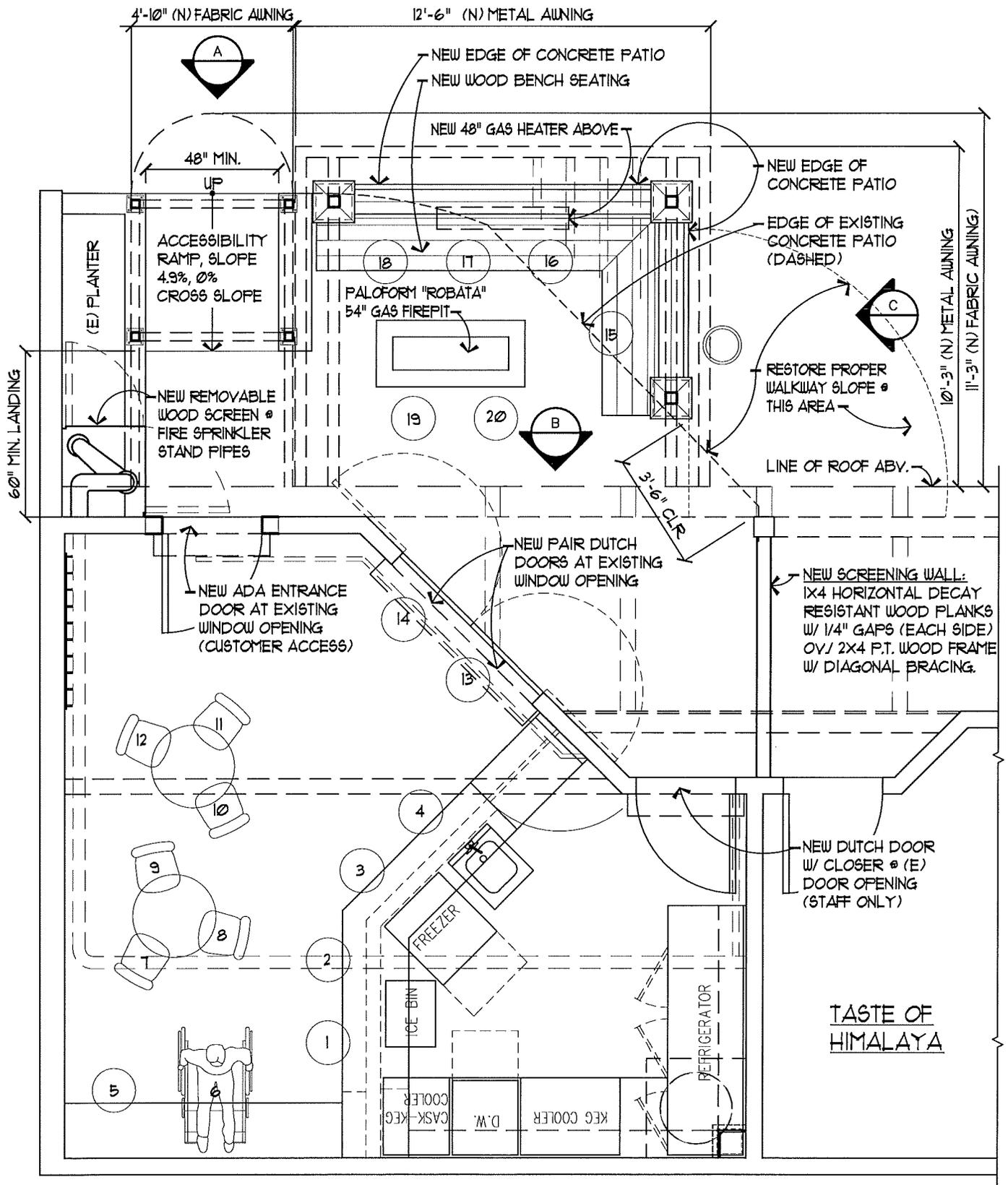


SECT/ELEV. (Looking West)

SCALE: 1/4"=1'-0"

MURPHY'S SIDECAR
DRC ELEVATION

FEB 05 2016



FLOOR PLAN

SCALE: 1/4"=1'-0"

ROBERT BAUMANN + ASSOC.
2/4/16

MURPHY'S SIDECAR
DRC FLOOR PLAN

FEB 05 2016

ROBATA 72 & 54 | LINEAR

Materials: concrete body,
stainless steel top with cover plate

Burner: natural gas or propane
80,000 or 60,000 BTU/h, ETL listed (US and Canada)
electronic ignition

Topping: crushed glass, pebble glass or lava rock

Dimensions: 72" x 24" x 12.5"h
54" x 24" x 12.5"h



February 16, 2016
Agenda Item #5

MEMO

To: Design Review and Historic Preservation Commission
From: Associate Planner Atkins
Subject: Commercial Sign Regulations

Background

At the November 17, 2015, DRHPC meeting, a commissioner expressed concerns with the proliferation of permanent commercial real estate signs located on buildings in the City of Sonoma. The concern was related to signs advertising available commercial space that are maintained indefinitely, whether or not the available space is ultimately filled. The intent of section 18.20.155.G Renewal of the Sign Regulations (attached) is to have a time limit on the display of all real estate signs. The following is the language as currently codified:

Renewal. Real estate signs (five or more units) may be displayed for up to 18 months as provided under SMC 18.12.090. After 18 months, DRHPC review is required and a sign permit application shall be submitted consistent with SMC 18.12.010. If the DRHPC determines that the sign has been maintained in a state of good repair and finish, then the DRHPC may allow the display of the sign to continue for a reasonable period of time as determined by the DRHPC

Staff recommends removing the statement in the parentheses (five or more units), which would apply the renewal requirements to all real estate signs.

Attachments:

1. Draft Correction to Real Estate Sign Commercial Sign Regulations

cc: Commercial Sign Interest List

18.20.155 Real estate signs.

A. Intent. Real estate signs for the purpose of advertising a property is for sale or lease shall be permitted provided such signs conform to the requirements of this section and are limited in duration to the time period established under SMC 18.12.090 or as may be extended under this section.

B. Real estate signs (commercial, corporate) shall conform to the following requirements:

1. Number, Display. One sign advertising that a property is for sale, lease or exchange is permitted on each building frontage to be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. Size. Real estate signs may be two-sided and shall be no larger than eight square feet per side. Real estate signs for large properties (over 25,000 square feet of building area) may be two-sided and shall be no larger than 32 square feet per side.

C. Real estate signs (commercial, noncorporate) shall require review by the DRHPC. Real estate signs shall be compatible with the architecture of the building they advertise. Generic design, prefabricated signs, and the use of plastic materials are discouraged.

D. Real estate signs (residential, one to four units) shall conform to the following requirements:

1. Number, Display. One real estate sign advertising that a property is for sale, lease or exchange may be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. Size. Real estate signs may be two-sided and shall be no larger than eight square feet per side (not including riders and toppers).

3. Freestanding Real Estate Signs. The sign shall be attached to a post (or posts), no larger than four inches square, driven into the ground so that the top of the sign shall not be over six feet above the ground surface. There are two types of additional signs that may be placed on a real estate sign: a rider and a topper. A maximum number of two riders may be placed on the freestanding sign. One topper sign shall be allowed. There are two sizes of allowable rider signs: standard (24 inches by 18 inches); and premium (24 inches by 30 inches). One type of topper is allowed: 24 inches by six inches.

4. Additional freestanding real estate riders or toppers may be allowed subject to the discretion of the planning director or his or her designee.

E. Temporary/Portable Open House Signs. A maximum of two temporary "Open House" signs shall be allowed for any property, with their display limited to the hours that the property is available for viewing. The size of each "Open House" sign shall be limited to 24 inches wide by 18 inches in height.

F. Real estate sign (five or more units) shall conform to the following requirements:

1. Number, Display. A maximum of one real estate sign advertising that properties are for sale, lease or exchange may be displayed on the subject property by the owner or his/her agent, and may include the owner's or agent's name, address, and telephone number.

2. The real estate sign may be two-sided and shall be no larger than 32 square feet per side.

G. Renewal. Real estate signs (~~five or more units~~) may be displayed for up to 18 months as provided under SMC 18.12.090. After 18 months, DRHPC review is required and a sign permit application shall be submitted consistent with SMC 18.12.010. If the DRHPC determines that the sign has been maintained in a state of good repair and finish, then the DRHPC may allow the display of the sign to continue for a reasonable period of time as determined by the DRHPC.

H. Vacant Lots. Freestanding signs shall be set back at least 10 feet from the property line. Signs may be two-sided and shall be no larger than eight square feet per side. On parcels in excess of one acre, a 16-square-foot real estate sign shall be permitted. The sign shall be attached to a post driven into the ground so that the top of the sign shall not be over six feet above the surface of the ground. (Ord. 01-2015 § 1, 2015; Ord. 06-2013 § 3, 2013; Ord. 03-2011 § 1, 2011; Ord. 2000-9 § 1, 2000. Formerly 18.20.025).