



**City of Sonoma  
Design Review and Historic  
Preservation Commission  
AGENDA**

**Regular Meeting of July 19, 2016 - 6:30 P.M.  
Community Meeting Room, 177 First Street West  
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

**CALL TO ORDER** – Micaelia Randolph Chair

Commissioners: Kelso Barnett  
Christopher Johnson  
Leslie Tippell  
Bill Essert  
Robert Cory (Alternate)

**COMMENTS FROM THE PUBLIC**

*Presentations by audience members on items not appearing on the agenda.*

**APPROVAL OF MINUTES**

Minutes from the meetings of September 15, 2015, May 31, 2016 and June 21, 2016.

**CORRESPONDENCE**

<b>ITEM #1 – Sign Review</b>	<b>Project Location:</b> 19240 Sonoma Highway	<b>RECOMMENDED ACTION:</b>  Commission discretion.
<b>REQUEST:</b> Consideration of two new wall signs and a new monument sign for a storage facility (Extra Space Storage).	<b>General Plan Designation:</b> Commercial (C)	<b>CEQA Status:</b> Categorically Exempt
<b>Applicant:</b> Johnson Sign Company	<b>Zoning:</b> <b>Planning Area:</b> West Napa/Sonoma Corridor	
Staff: Wendy Atkins	<b>Base:</b> Commercial (C) <b>Overlay:</b> None	
<b>ITEM #2 – Sign Review</b>	<b>Project Location:</b> 205 First Street West	<b>RECOMMENDED ACTION:</b>  Commission discretion.
<b>REQUEST:</b> Consideration of a new monument sign for an office building (Marcy House).	<b>General Plan Designation:</b> Park (Pk)	<b>CEQA Status:</b> Categorically Exempt
<b>Applicant:</b> Sonoma Valley Historical Society	<b>Zoning:</b> <b>Planning Area:</b> Vallejo District	
Staff: Wendy Atkins	<b>Base:</b> Park (Pk) <b>Overlay:</b> Historic (/H)	

<p><b>ITEM #3 – Demolition Review</b></p> <p><b>REQUEST:</b> Demolition of a single-family residence, well and pump house, and two sheds.</p> <p><b>Applicant:</b> Scott and Claudia Murray</p> <p>Staff: Wendy Atkins</p>	<p><b>Project Location:</b> 1181 Broadway</p> <p><b>General Plan Designation:</b> Mixed Use (MU)</p> <p><b>Zoning:</b> <b>Planning Area:</b> Broadway Corridor <b>Base:</b> Mixed Use (MX) <b>Overlay:</b> Historic (/H)</p>	<p><b>RECOMMENDED ACTION:</b> Commission discretion.</p> <p><b>CEQA Status:</b> Categorically Exempt</p>
<p><b>ITEM #4 – Design Review</b></p> <p><b>REQUEST:</b> Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 6-unit condominium project.</p> <p><b>Applicant:</b> Scott and Claudia Murray</p> <p>Staff: Wendy Atkins</p>	<p><b>Project Location:</b> 1181 Broadway</p> <p><b>General Plan Designation:</b> Mixed Use (MU)</p> <p><b>Zoning:</b> <b>Planning Area:</b> Broadway Corridor <b>Base:</b> Mixed Use (MX) <b>Overlay:</b> Historic (/H)</p>	<p><b>RECOMMENDED ACTION:</b> Commission discretion.</p> <p><b>CEQA Status:</b> Categorically Exempt</p>

**ISSUES UPDATE**

**COMMENTS FROM THE COMMISSION**

**COMMENTS FROM THE AUDIENCE**

**ADJOURNMENT**

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on July 15, 2016.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

***Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.***

***If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.***

***In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.***

**CITY OF SONOMA  
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION  
MEETING**

**September 15, 2015**

**Community Meeting Room, 177 First Street West, Sonoma, CA**

**Draft MINUTES**

Chair Barnett called the meeting to order at 6:33 p.m.

**Roll Call:**

Present: Chair Barnett, Comms. Anderson, Johnson, Randolph, Tippell, Essert  
(Alternate)  
Absent:  
Others Associate Planner Atkins, Administrative Assistant Morris  
Present:

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

**COMMENTS FROM THE PUBLIC:** None

**APPROVAL OF MINUTES:** Comm. Randolph made a motion to approve the minutes of August 18, 2015. Comm. Tippell seconded. The motion was unanimously adopted.

**CHANGES TO AGENDA ORDER:** None

**CORRESPONDENCE:** None.

**Item #1—Consideration of a new monument sign for a mixed use building at 430 West Napa Street.**

**Applicant: Sonoma Signs/ Extraordinary Ventures California**

Associate Planner Atkins presented staff's report.

Comm. Johnson confirmed with staff that a six foot setback is required.

**Chair Barnett opened the item to public comment.**

Rose Jager, Sonoma Signs, described the proposed modifications to the sign and said the square footage of the sign will be less than the previous sign.

**Chair Barnett closed the item to public comment.**

Comms. Johnson and Tippell are satisfied with the placement of the new monument sign.

Comm. Anderson viewed the shape and configuration of the new sign as an improvement.

Comm. Randolph and Chair Barnett agreed with Comms. Anderson, Tippell and Johnson's comments.

Comm. Tippell made a motion to approve the proposal as submitted subject to the conditions of approval. Comm. Randolph seconded. The motion was unanimously adopted (6-0).

**Item # 2- Consideration of a new monument sign for a mixed use building at 276 East Napa Street.**

**Applicant: Sonoma Community Center**

Associate Planner Atkins presented staff's report.

Chair Barnett confirmed with staff that the project is in the Historic Overlay District.

**Chair Barnett opened the item to public comment.**

Bob Sanders, Robert Sanders & Company/Sonoma Community Center representative, said the sign will be illuminated from dusk to 10 p.m.

Roger Heigel, resident, discussed the plan with neighbors concerned with alterations to the façade of the building. He felt the new marquis will help market the programs offered at the Sonoma Community Center.

Comm. Randolph confirmed with Mr. Heigel that the illumination is internal not external.

Chair Barnett asked how frequently the sign language will change.

Comm. Randolph valued having a large message board.

Comm. Tippell wondered if the new sign is similar to the existing sign.

Chair Barnett suggested reversing the colors on the reader board from black to white.

**Chair Barnett closed the item to public comment.**

Comm. Johnson welcomed the project team back and appreciated the positive outreach to the neighbors and the revisions made.

Comms. Tippell and Anderson appreciated preserving the brick and supported the new sign.

Comm. Randolph liked the new logo.

Chair Barnett did not favor an internal illuminated sign, especially in historic residential areas, but agreed with his fellow commissioners that the modified sign is an improvement.

Comms. McDonald and Chair Barnett were pleased with the colors selected.

Comm. Johnson made a motion to approve the proposal as submitted. Comm. Anderson seconded. The motion carried 5-1. Chair Barnett opposed.

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**Item # 3- Consideration of two freestanding signs for a commercial building at 156 East Napa Street.**

**Applicant: Sharna Haver**

Associate Planner Atkins presented staff's report.

Robert Sanders, Robert Sanders & Company, used the City's building façade program to preserve the integrity of the historical building.

Comm. Randolph confirmed with the applicant that there are two small lights under the sign.

**Chair Barnett opened the item to public comment.**

No public comment.

**Chair Barnett closed the item to public comment.**

Comms. Randolph and Anderson supported the sign program and envisioned some benefits for other tenants.

Comm. Tippell and Chair Barnett valued the simplicity of the signage and respect for design guidelines in the historic district in the proposal.

**Chair Barnett closed the item to public comment.**

Comm. Randolph made a motion to approve two freestanding signs for a commercial building located at 156 East Napa Street as submitted with the allowances for one additional projecting sign located at the rear of the building. Comm. Tippell seconded. The motion was unanimously adopted (6-0).

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**Item # 4- Consideration of a design review and new signs for a commercial building (Fletcher Rhodes) at 1177 Broadway.**

**Applicant: Emily Mughannam**

Associate Planner Atkins presented staff's report.

**Chair Barnett opened the item to public comment.**

Emily Mughannam, applicant, envisioned the replacement signs drawing more attention to her commercial business.

**Chair Barnett closed the item to public comment.**

Comm. Johnson viewed the fresh paint as an enhancement.

Comm. Tippell preferred the original design, blue color, and window detailing.

Comm. Anderson agreed with his fellow commissioners comments.

Comm. Randolph agreed with Comm. Tippell and preferred the original colors that were selected.

Comm. Tippell made a motion to approve the proposal as submitted for new signs with a recommendation for the first color choice for a mixed use building at 1177 Broadway. Comm. Randolph seconded. The motion was unanimously approved (6-0).

**Item #5- Consideration of a design review for an apartment building at 286 Perkins Street.**

**Applicant: Steve and Terri Holifield**

Associate Planner Atkins presented staff's report.

**Chair Barnett opened the item to public comment.**

Terri and Steve Holifield, applicants, said the tenants in the building agreed with the changes.

Comm. Randolph asked if the deck cover will be removed.

Chair Barnett confirmed with the applicant that the existing landscaping will be replaced.

**Chair Barnett closed the item to public comment.**

Comm. Johnson is satisfied with the project.

Comm. Tippell visited the site and agreed with Comm. Johnson about revamping the landscaping.

Comms. Anderson and Randolph agreed with making changes to the windows.

Comms. Randolph, McDonald, Anderson and Chair Barnett said the development is well integrated in the neighborhood and had an "inviting feel".

Comm. Tippell made a motion to approve the proposal as submitted with a suggestion to provide a different front door color and a lighter trim color. Comm. Randolph seconded. The motion was unanimously approved (6-0).

Terri Holifield confirmed with staff that the motion included only "suggestions to the applicant" not requirements.

**# 6- Landscape Review Consideration of a landscape plan for an office and storage building (3 Badge Beverage Company) at 32 Patten Street**

**Associate Planner Atkins presented staff's report.**

August Sebastiani, business owner, described the new use for the space.

June King landscape Architect/Principal, Landmark Landscape Company. said the stone work is similar to the Sebastiani Winery. She designed an interactive garden setting that will incorporate water features.

**Chair Barnett opened the item to public comment.**

No public comment.

**Chair Barnett closed the item to public comment.**

Comm. Randolph is pleased with the building renovations and felt the landscaped courtyard could be considered a quasi "public space".

Comms. Tippell, Johnson and Chair Barnett supported all the improvements made.

Comm. Anderson made a motion to approve the landscape plan for an office and storage building at 32 Patten Street as submitted. Comm. Johnson seconded. The motion was unanimously approved (6-0).

**Associate Planner Atkins reported the following:**

The City Council will review revisions to the sign ordinance on November 2, 2015.

**Adjournment: Chair Barnett** made a motion to adjourn the meeting at 8:09 p.m. The motion was unanimously carried. The next regular meeting scheduled is at 6:30 p.m. on Tuesday, January 20, 2015.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 20<sup>th</sup> day of January 2015.

Respectfully submitted

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Cristina Morris, Administrative Assistant

**CITY OF SONOMA  
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING  
May 31, 2016  
Community Meeting Room, 177 First Street West, Sonoma, CA  
Draft MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

**Present:** Chair Randolph, Comms. Johnson, Essert, Barnett, Cory (Alternate)

**Absent:** Comm. Tippell

**Others Present:** Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

**COMMENTS FROM THE PUBLIC:** No public comments.

**CORRESPONDENCE:** Late mail was received on Item #2 from Mary Martinez and Item #4 from Glenn Ikemoto, Ron Alpert, MacNair & Associates, and Horticulture Associates

**APPROVAL OF MINUTES:** Comm. Barnett made a motion to approve the minutes of June 16, 2015 as submitted and May 17, 2016 with changes noted. Comm. Essert seconded. The motion carried unanimously (5-0).

**Item 1- Consideration of design review for two commercial buildings at 19366 and 19370 Sonoma Highway.**

**Applicant: Studio 101 Designs**

Associate Planner Atkins presented the staff report.

Comm. Barnett confirmed with staff that the use permit is active since building permits had been issued for the residential units in the Planned Unit Development.

Steven Mosley, Studio 101 Designs, said the changes will modernize the building.

**Chair Randolph opened the item to public comment.**

Joan Jennings, resident Villa de Lunas, viewed the proposal for the mixed use parcel as not conforming with the Development Code and General Plan in regards to size and compatibility. She said the "transition between residential and commercial" is not cohesive with the neighboring uses. She urged the Commission to reevaluate the area and oppose the proposal.

Nick Dolata, neighbor, concurred with Joan Jennings' comments and considered it a "piece meal" development. He encouraged the Commission to deny the application.

Jack Ding, resident, is primarily concerned with parking. He supported the use of City funds to develop affordable housing.

Brian Rowlands, neighbor, is concerned with parking and the location for garbage bins. He requested that the developer fix the gate.

Steve Jennings, neighbor, wants the landscape plan revised to ensure an adequate buffer between the homes and commercial buildings since the Planning Commission had requested harmonizing uses. The neighbors are disappointed that there has been no contact with Kibbey Road, LLC. He felt the townhome residents are absent of consideration.

**Chair Randolph closed the item to public comment.**

Comm. Barnett questioned if the design fits into the area along Highway 12. He evaluated the proposal within the context of the approved master plan.

Comm. Essert preferred a wood guard rail welded with wire mesh that conformed with the regional architecture in the wine country.

The applicant has not developed a landscape plan but the bio swale retention will be included in the landscape plan.

Comm. Essert asked the applicant if underground parking was considered.

The applicant responded that it was an option but cost prohibited.

Comm. Johnson asked about proposed changes from the original plan.

Chair Randolph confirmed with staff the parameters under review.

Associate Planner Atkins said the DRHPC is limited to elevation details, colors and materials, landscaping, lighting, and site details.

Comm. Essert confirmed with staff that the DRHPC approved a landscape plan on April 18, 2006.

**Chair Randolph reopened the item to public comment.**

Joan Jennings said it is problematic to approve a “piece meal” development and she is not satisfied with the communications with the developer and felt they should be more flexible.

Jack Ding, neighbor, is disappointed that more consideration is not made for the residents.

Christine Rowlands, resident, is very concerned with traffic flow (i.e. ingress/egress into the project).

**Chair Randolph closed the item to public comment.**

Comm. Johnson struggled with the overall design.

Comm. Barnett noted two primary concerns; 1) project aesthetics 2) unable to make the finding that the project responds appropriately to the context of the adjacent development, as well as existing site conditions and environmental features.

Comm. Essert agreed with Comm. Barnett and recommended more collaboration with the neighbors regarding parking concerns.

Comm. Cory visited the project site and recognized the views expressed by the residents.

Chair Randolph appreciated the public comments and noted that it is customary for commissioners to read the entire packets before considering the merits of a project.

Comm. Essert viewed parking as a tradeoff between underground or between the residential and commercial buildings.

Comm. Barnet made a motion to consider the meeting a study session and encouraged the developer to attend the next meeting, make a good faith effort to work with the neighborhood to come up with a revised development solution, return with a full landscape plan that addresses buffering with the existing development, highway frontage, and Lyon Street frontage, and strongly encourage repairs be made to the gate. The motion carried unanimously (5-0).

**Item 2- Demolition review demolition of a single family residence well and pump house and two sheds at 1181 Broadway.**

**Applicant: Scott and Claudia Murray**

Associate Planner Atkins presented the staff report.

Comm. Essert questioned why the narrative stated it was not historically significant.

**Chair Randolph opened the item to public comment.**

Scott Murray, Valley resident/property owner, said the existing structure had no redeeming value and he was granted a demolition permit 10 years ago. He is meeting a City goal of building more affordable housing units.

Mary Martinez, resident, is concerned with infill projects located on the Broadway corridor.

**Chair Randolph closed the item to public comment.**

Comm. Barnett suggested that the applicant submit a historical evaluation.

Comms Essert and Johnson agreed that a report would be helpful.

Comm. Cory stated he had discussed the plan with Mr. Murray and is satisfied.

**Chair Randolph reopened the item to public comment.**

Scott Murray said the plans are the same and did not hire a consultant to prepare a historic report because of the cost.

**Chair Randolph closed the item to public comment**

Comm. Essert made a motion to request the applicant return with a Historic Resource Evaluation. Comm. Johnson seconded. The motion carried unanimously (5-0).

**Item 3- Demolition Review of a single family residence at 324 Second Street East.**

**Applicant: Glenn Ikemoto**

Comm. Johnson recused and left the room.

Associate Planner Atkins presented the staff report.

Glenn Ikemoto, applicant, was available to answer questions.

**Chair Randolph opened the item to public comment.**

No public comment.

**Chair Randolph closed the item to public comment.**

Comm. Barnett complimented the applicant on submitting a Historic Resource Evaluation.

Comms. Essert, Cory and Chair Randolph agreed with Comm. Barnett's comments and supported the demolition.

Comm. Barnett made a motion to approve the Demolition Permit as project as submitted. Comm. Essert seconded. The motion carried unanimously (4-0) (Comm. Johnson recused).

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**Item # 4 Design Review- Consideration of site design and architectural review of a new single-family residence, and accessory structures at 314-324 Second Street East.**

**Applicant: Glenn Ikemoto**

Associate Planner Atkins presented the staff report. Comm. Barnett confirmed with staff that the setbacks conformed with City standards and it was staff's opinion that the findings could be made.

Comm. Essert questioned the exterior lighting plan. He confirmed with staff that the proposal is contingent upon merging the two lots together.

**Chair Randolph opened the item to public comment.**

Glenn Ikemeto, applicant, introduced the project team Ira Kurlander, Architect, Penny McGrain, project designer and thanked staff. His goal is to accommodate his extended family and preserve the "rural setting" as much as possible. He felt he addressed the neighbors' concerns by providing a shade study and arborist report.

Claudia Ranniker, neighbor, valued her gardening and outdoor living space. She requested that five trees be removed.

Ira Kurlander, project architect, presented the sample board to illustrate the building and design materials. He said the "T" shape of the parcel was an anomaly. He said the top of the residence will peek over the garage and olive trees will be situated in the center of the property.

Penny McGrain, project designer, held the parcel in the highest regard and envisioned a non-evasive integration into the neighborhood. She said the olive grove will be an enhancement to the streetscape.

Comm. Barnett clarified that the olive trees planted will be over 150 year old.

Mr. Ikemeto claimed that shade will not negatively impact the neighbor's along the northern property line.

Ron Albert, adjoining property owner/landlord, did not oppose the uses proposed but his main concern is with the guest house, which is a two-story building at the rear of his property. He applauded the applicant's efforts (i.e., preserving the view to the north and the plantings of olive trees). He said that Claudia and Roger Ranniker are good neighbors. He said he received an email sent by Rob Gjestland where the roof height is 26 feet. He is concerned with privacy, the health of the tree on his property, and the environment for the tenants. He felt the shade study did not validate the applicant's contention that both arborists' report were the same. He is of the opinion that the proposal is not harmonious with the adjoining neighbors

Claudia Ranniker, neighbor, felt encroached upon by the intensification of uses proposed especially the landscaping, which would limit her freedom. She felt constrained by the proposal and suggested a sense of "entitlement" by the applicant.

Comm. Essert asked Claudia Ranniker if she had a solution/remedy to improve the situation and she replied in the negative.

Comm. Barnett appreciated her comments and confirmed that by cutting down trees it provided more sunlight for her fruits and vegetables. He stated that the property owner is well below the development potential for the site which is 11 units per acre.

Comm. Cory is of the opinion that it would be ideal to remove the Italian cypress tree.

Molly Rolig, tenant, downstairs unit (310 Second St. East) is concerned with the solid front wall of the structure compromising her privacy and sunlight.

Penny McGain, project designer, believed the shade line is improved with the proposal.

**Chair Randolph closed the item to public comment.**

Comm. Cory felt the shade issue is not enough of a reason to deny the application.

Comm. Essert appreciated the team building, neighbor dialogue, positioning of the guest house and overall site design.

Comm. Barnett appreciated the complete submittal. He thought that the applicant made "good faith efforts" with the adjoining property owners. He acknowledged the conflicting arborist reports and is satisfied with the shade studies. His main concern was the positioning of the guest house.

Chair Randolph was impressed with the project and level of creativity for the space. She understands the concerns over the location of the guest house and is confident that the tree will be protected. She is not convinced that relocating the guest house will be a vast improvement for the shading issues raised.

Comm. Essert made a motion to approve the project as submitted. Comm. Barnett seconded. The motion carried unanimously. (4-0) (Comm. Johnson recused) (The approval is contingent upon merging the two lots together prior to the submittal of any building permits).

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**Issues Update:** Associate Planner Atkins reported the following

A draft of the Downtown Design Guidelines will be reviewed at the June 21<sup>st</sup> meeting.

**Comments from the Commission:** Comm. Essert asked that the use of story poles be placed as a future agenda item. He said the microphone volume at the dais had improved.

**Adjournment:** Chair Randolph made a motion to adjourn at 10:50 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, June 21, 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of

Approved:

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Cristina Morris, Administrative Assistant

**CITY OF SONOMA  
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING  
June 21, 2016  
Community Meeting Room, 177 First Street West, Sonoma, CA  
Draft MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

**Present:** Chair Randolph, Comms. Tippell, Essert, Barnett, Johnson,

**Absent:** Comm. Cory (Alternate)

**Others Present:** Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

**COMMENTS FROM THE PUBLIC:** None

**APPROVAL OF MINUTES:** None

**Item 1- Sign Review consideration of a portable freestanding sign, two interchangeable wall signs, and illumination for a previously approved wall sign for a wine tasting room (Lake Sonoma) at 134 Church Street.**

**Applicant: Tyler Galts**

Associate Planner Atkins presented the staff report.

Tyler Galts, applicant, said the new tasting room location is somewhat problematic since it is setback from the street 30 yards so a larger sign for more visibility is proposed.

Comm. Barnett questioned the reasoning behind the sandwich board request.

Comm. Essert confirmed with the applicant that the proposed lighting complied with standards.

**Chair Randolph opened the item to public comment.**

No public comment.

**Chair Randolph closed the item to public comment.**

Comm. Johnson questioned the value of having a sandwich board.

Comm. Tippell is satisfied with the design package and preferred one sign.

Comm. Barnett is not opposed to the A board sign but only questioned why it is being proposed. He preferred installing two smaller signs.

Comm. Essert agreed with the applicants reasoning for having one sign as opposed to three signs.

Chair Randolph agreed with her fellow commissioners and is comfortable with three signs. She supported an A frame sign on the site.

Comm. Johnson made a motion to approve the proposal as submitted. Comm. Tippell seconded. The motion carried unanimously (5-0).

**Item 2- Issue: Review of Draft Downtown Sonoma Preservation Design Guidelines.**

Associate Planner Atkins presented the staff report.

Christina Dikas, project manager, Page and Turnbull, presented an overview of the draft Downtown Sonoma Preservation Design Guidelines that is based on the Secretary of the Interior's Standards for Rehabilitation. She outlined the process and stated the objective is to have a clear focus. There was an advisory group meeting that elicited questions/feedback. The general consensus is that the Plaza is the "heart and soul" of Sonoma, that includes a variety of architectural styles (character defining features) that must be preserved, while changes are being proposed, along with having building height and massing to scale.

**Chair Randolph opened the item to public comment.**

Jim Bohar, historic district resident, questioned the relationship between this document and the existing historic overlay guidelines. He is primarily concerned with adaptive reuse and neighborhood compatibility.

Associate Planner Atkins clarified that the scope of the design guidelines focused on aesthetics rather than adaptive reuse.

Mary Martinez, resident/business owner, requested a longer period of time to comment on the draft guidelines. Her initial impression was that the document is too general and more substance is needed including consideration for a building's footprint. She questioned the standard to be used for comparing renovated historic buildings to the original buildings with no alterations in regard to color schemes.

Patricia Cullinan, resident, is concerned with demands made on the community and she questioned if solar panel installations will be addressed in the design guidelines.

Victor Conforti, local architect, agreed with Mary Martinez that specific terms related to the size and massing of the project should be included. In general, he felt the document was well written but adding more substance is necessary to be an effective planning tool. He recommended that the DRHPC review projects prior to Planning Commission review.

Robert Demler, resident/League of Historic Preservation, concurred that the draft is a good starting point. He suggested providing clarity on what could be approved according to City standards.

Gina Cuclis, valley resident/ former City planning commissioner, sees value in clarifying what can be approved according to City standards to gain a better perspective that in her view the new document will provide. She noted a difference between zoning requirements and design review guidelines.

Prema Behan, resident, recommended that the guidelines be reviewed in the initial stages of project review prior to any planning approvals.

Amy Alper, resident, recommended having active links included in the document and successful examples.

Victor Conforti, resident/ local architect, recommended that the commission use the document when evaluating development proposals.

Robert Demler, resident, recommended having a document check list as an initial review.

**Chair Randolph closed the item to public comment.**

Comm. Barnett thanked City staff for initiating the process and engaging the consultant. He felt the document will be valuable to identify restrictions in the preliminary stages of project design. He suggested reexamining some portions of the development code in context of the downtown design guidelines. He wants a more aligned approach between the Planning Commission and DRHPC.

Comm. Essert is of the opinion that something is missing/disconnect with some of the subjective language used. For example, "necessary" as referenced in the Windows and Doors section 5.1.4.

Comm. Johnson applauded the public for their insightful input and he agreed with his fellow commissioners that it is a good start.

Comm. Tippell agreed with Robert Demler that a checklist as a benchmark will benefit applicants.

Chair Randolph is pleased with the discussion and she recommended having more examples of successful projects for reference. She reminded everyone that the draft report is available at <http://www.sonomacity.org/News/Alcalde-Reception.aspx>. She asked for an explanation about why color options were not included and recommended incorporating the Cochran binders from the League of Historic Preservation as an additional resource.

Associate Planner Atkins clarified that the guidelines should be relevant to the Downtown District rather than outside the district that will use the development code.

**Chair Randolph reopened the item for public comment.**

Mary Martinez, resident, is of the opinion that the floor area ratio (FAR) should be considered by the DRHPC so the massing is appropriate in the Historic District.

Victor Conforti, suggested that the design guidelines should override FAR that is under the Planning Commission purview. He suggested reducing the FAR in the development code specific for the Historic Overlay District.

**Chair Randolph closed the item for public comment.**

Comm. Essert confirmed with Associate Planner Atkins that the Planning Commission will refer to the document.

Associate Planner Atkins confirmed that the scope of the project is for the Downtown District and said the goal is to expand/apply the guidelines to the entire City in the future.

Comm. Barnett suggested there should be a sense of urgency in implementing the document.

Comm. Barnett made a motion to forward to the City Council, with recommendation to approve the Downtown Sonoma Preservation Guidelines after Page and Turnbull has incorporated all the public feedback from this meeting and the Planning Commission meeting in addition, the DRHPC strongly encourages the City Council to allocate resources for additional preservation guidelines for the remaining planning districts starting with filing in the districts located in the Historic Overlay Zone. Comm. Essert seconded. The motion was unanimously approved. (5-0).

**Next Steps:**

July 14, 2016 Review by the Planning Commission,  
August 15, 2016 City Council adoption of final Downtown Sonoma Preservation Design Guidelines.

**Item 3- Review future items/projects priority list.**

Associate Planner Atkins presented the staff report.

Comm. Johnson recommended demolition by neglect as a priority then commercial real estate signs.

Comm. Barnett agreed with working on water efficiency first then commercial real estate signs.

Comm. Essert is interested in discussing story poles

All the commissioners recommended the following priority list:

1. MWEL0
2. Demolition by Neglect
3. Story Pole Requirement
4. Commercial Real Estate Signs (how attached to buildings)
5. Threshold of Significance (1945 vs. 50 years old)

Chair Randolph appreciated Associate Planner Atkin's quick responses.

**Issues Update:** None

**Comments from the Commission:** Patricia Cullinan, resident, said demolition by neglect is not always obvious and is very important in the Downtown District.

**Adjournment:** Chair Randolph made a motion to adjourn at 8:45 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, July 19 , 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of 2016.

Approved:

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Cristina Morris, Administrative Assistant



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda Item: 1**

**Meeting Date: 07/19/16**

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**Applicant**

Johnson Sign Company

**Project Location**

19240 Sonoma Highway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: 1984
- 

**Request**

Consideration of two new wall signs and a refaced monument sign for a storage facility (Extra Space Storage) located at 19240 Sonoma Highway.

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**Summary**

*Wall signs:* Two wall signs are proposed: an Extra Space Storage sign; and an Office sign. The Extra Space Storage sign is one-sided and proposed to be installed on the face of an existing building adjacent to Sonoma Highway (on the north side of the driveway). The proposed sign is 23.75 square feet in area (1.5 feet tall by 15 feet 10 inches wide). The sign would consist of illuminated channel letters. Copy on the sign would consist of black and green lettering. The Office sign is one-sided and proposed to be installed on the face of an existing building adjacent to Sonoma Highway (on the south side of the driveway). The proposed sign is 2.08 square feet in area (10 inches tall by 2.5 feet wide). The sign would consist of an aluminum face with Plex push thru illuminated letters. Copy on the sign would consist of a brown painted background with white letters. The applicant has stated that the sign will be illuminated from dusk to 2 a.m. and normal business hours are 6 a.m. to 10:00 p.m.

*Wall Sign Regulations (§18.20.180):* Wall signs projecting over the property line, including a light box or other part thereof, shall not exceed a thickness of 12 inches. The proposal is consistent with this requirement.

*Illuminated Monument Sign:* A refaced, two-sided monument sign 19.7 square feet in area per side (5 feet 4.5 inches tall by 3 feet 8 inches wide) is proposed in a landscaped area just north of the driveway. The sign would be refaced with a Lexan sign face and vinyl graphics. Copy on the sign would consist of white lettering, on a green and black background. The sign is proposed to be mounted on the existing sign base, which is a stone material. Illumination is proposed in the form of the existing LEDs. The applicant has stated that the sign will be illuminated from dusk to 2 a.m. and normal business hours are 6 a.m. to 10:00 p.m.

*Monument Sign Regulations (18.20.120):* Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of the nearest roadway or public pedestrian sidewalk or walkway, whichever is closer. The proposal is not consistent with this requirement in that the freestanding sign would be located only three feet from the sidewalk and the maximum height of the sign would be 7 feet 2 inches. The applicant is requesting a variance from this requirement. Note: the Public Works Director has reviewed the proposed location of the sign and has indicated that the sign should not be an obstruction to traffic sight lines under the premise that the existing sign is not changing dimensionally and not making the existing situation any worse.

*Aggregate Sign Area:* Based on the property's frontage on Sonoma Highway (100 feet), the maximum aggregate sign area allowed for the parcel is 46 square feet. The total aggregate sign area for the property would be ±55.38 square feet, including the proposed wall sign (25.83 square feet) and monument sign (29.55 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021.G). The proposal is not consistent with this requirement; the applicant is requesting a variance from this requirement.

*Size Limitations:* No sign shall exceed 48 square feet in total area (§18.16.022). The proposal is consistent with this requirement as the wall signs would have an area of 23.75 and 2.08 square feet and the freestanding sign would have an area of 19.7 square feet per side.

*Number of Signs:* Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal is not consistent with these requirements in that there would be three signs for the business including the two wall signs and freestanding sign; the applicant is requesting a variance from this requirement.

*Existing Signs:* During the site visit, staff observed two illegal signs displayed on the property consisting of feather flag type signs. These types of signs are prohibited in the Sign Ordinance and shall be removed immediately.

*Basic Findings:* In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

*Variances:* As noted above, the proposed signs would, exceed the aggregate sign area allowed for the parcel and exceed the number of allowable signs. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

In addition to the variance findings, in order to approve the location of the freestanding sign closer than six feet to the sidewalk an addition finding is required that the sign will not limit, restrict, impede, or impair sight distance or visibility.

***Other permits required:*** In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

***Tree removal:*** Any trees proposed to be removed on the property having a single trunk circumference greater than one and one-half feet at a height of four and one-half feet will require the submittal of a Tree Removal Application.

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## **Commission Discussion**

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**Design Review and Historic Preservation Commission Action**

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

**DRHPC Conditions or Modifications**

Attachments

1. *Project narrative*
2. *Sign drawings*

cc:    Johnson Sign Company  
      Attn: Todd Johnson  
      3595 Gravenstein Highway  
      Sebastopol, CA 95472

Jordon Manwaring  
2795 E. Cottonwood Parkway, Suite #400  
Salt Lake City, UT 84121

Blunt Trauma, LLC  
1000 4<sup>th</sup> St #375  
San Rafael, CA 94901-3148

RECEIVED

JUL 06 2016

CITY OF SONOMA

Project Narrative

Extra Space Storage: 19240 CA-12 Sonoma, CA 95476

Jurisdiction: City of Sonoma

Zoning: C- Commercial

The proposed signage for this location includes the following:

- One set of face-lit channel letters mounted on a raceway (see "example A" below for materials.)
- Two Lexan face replacements for the existing monument sign (see "example B" below for materials)
- LED retro-kit for the existing monument sign (see "example C" below for materials)
- One face-lit office sign as a directional for the clientele during the day and night. (see "example D" below for materials)

These signs are to stay illuminated from dusk until 2am and will be powered by astronomical timeclocks. The proposed signage changeover is within the code allowances and enhances visibility with an energy efficient thought in mind. The monument sign will be getting a revamp with new faces for the new tenant logo and the existing fluorescent lamps and ballasts will be replaced with LED's.

The signage proposed at this site are on balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and the proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Example A:

18" EXTRA SPACE STORAGE FACE LIT LED CHANNEL LETTERS MOUNTED TO A STANDARD EXTRUDED ALUMINUM RACEWAY. 5"X.040" PRE-PAINTED GLOSS BLACK ALUMINUM RETURNS, .050" ALUMINUM BACKS, 7328 WHITE ACRYLIC FACES. "EXTRA SPACE" FACES HAVE TRANSLUCENT BRILLIANT GREEN VINYL APPLIED 1ST SURFACE, AND "STORAGE" WILL HAVE BLACK PERFORATED VINYL TO BE BLACK AT DAY AND ILLUMINATE WHITE AT NIGHT, LETTERS HAVE 1" DOVE GREY JEWELITE TRIM CAP, ILLUMINATION IS USLED 3 POINT WHITE LED AND JS 60W POWER SUPPLIES, LETTERS ARE MOUNTED TO A STANDARD EXTRUDED ALUMINUM RACEWAY, RACEWAY IS PAINTED THE COLOR OF THE EXISTING WALL IT IS BEING MOUNTED TO, EXTERNAL DISCONNECT SWITCH PER CODE, DRAIN HOLES, AND UL LISTED.

Example B:

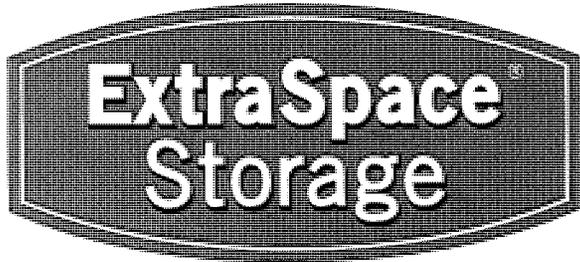
5' 10-1/2" x 3'-8" WHITE POLYCARBONATE FACE REPLACEMENTS W/ VINYL COPY FOR AN EXISTING DOUBLE FACE MONUMENT SIGN, FACES ARE .150" WHITE POLYCARBONATE. FACES HAVE ARLON BRILLIANT GREEN 2500-106 VINYL APPLIED 1ST SURFACE AND REVERSE WEEDED TO SHOW WHITE COPY EXTRA SPACE STORAGE HAS BLACK VINYL DROP SHADOW. BOTTOM SECTION IS BLACK VINYL REVERSE WEEDED TO SHOW WHITE COPY. VINYL IS APPLIED 1ST SURFACE.

Example C:

LED RETRO KIT FOR AN EXISTING 5' 10-1/2"x 3'-8" DOUBLE FACE PYLON SIGN, 44' OF SLOAN SIGNBOX II SINGLE FACE WHITE LED AND 3 JS 60W POWER SUPPLIES. SIGNBOX II MOUNTING BRACKETS,WIRE, CONNECTORS, ACRYLIC PADS, ZIP TIES. SILICONE....

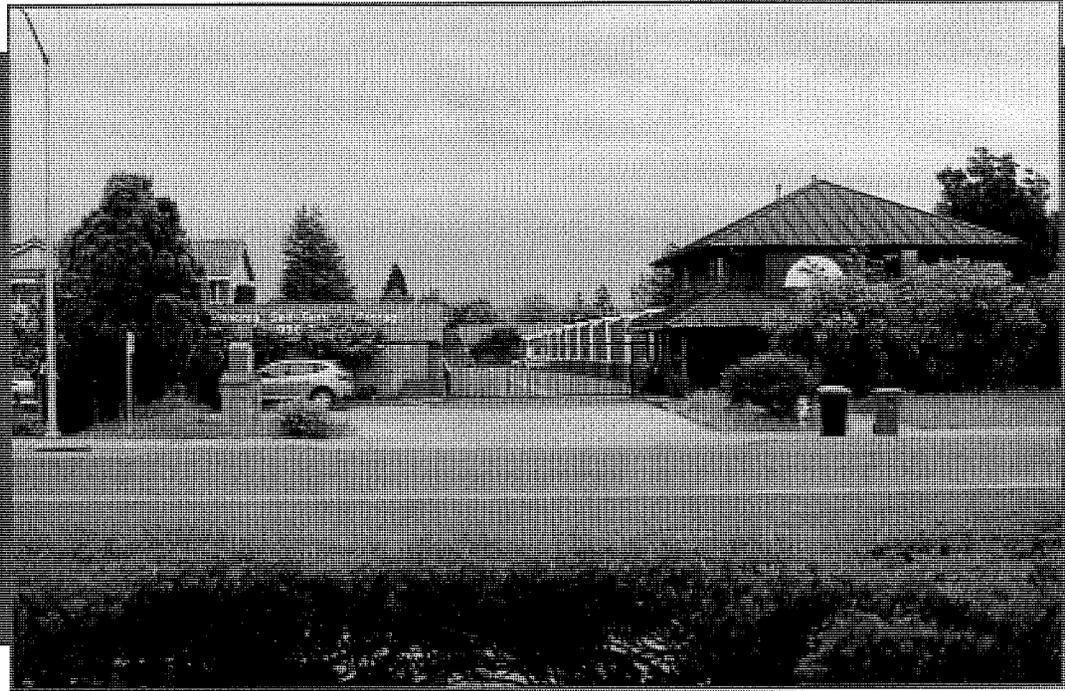
Example D:

10"x2'-6"x3" SINGLE FACE INTERNALLY ILLUMINATED ROUTED SINGLE FACE OFFICE CABINET. CABINET IS .080" ALUMINUM BRAKE METAL CABINET W/ GLUED INSIDE CORNERS, OUTSIDE CORNERS ARE CAULKED W/ PAINTABLE CAULK. BACK IS .080" ALUMINUM WITH 1" BRAKE ON FOUR SIDES FOR A SHOE BOX FIT. COPY IS 1" PLEX PUSHED-THRU 3/4". LETTERS HAVE 3M DUO FILM BLACK PERF'D VINYL APPLIED 1ST SURFACE AND WHITE DIFFUSER VINYL APPLIED 2ND SURFACE, CABINET IS PAINTED TO MATCH THE COLOR OF THE WALL THAT IT IS MOUNTED TO. ILLUMINATION IS US LED POINT 2 LED #PT2-3-12-W AND JS 20W POWER SUPPLIES. DRAIN HOLES. EXTERNAL DISCONNECT SWITCH PER CODE. UL LISTED.



Store # 2698  
19240 CA-12  
Sonoma, CA 95476

05.19.16



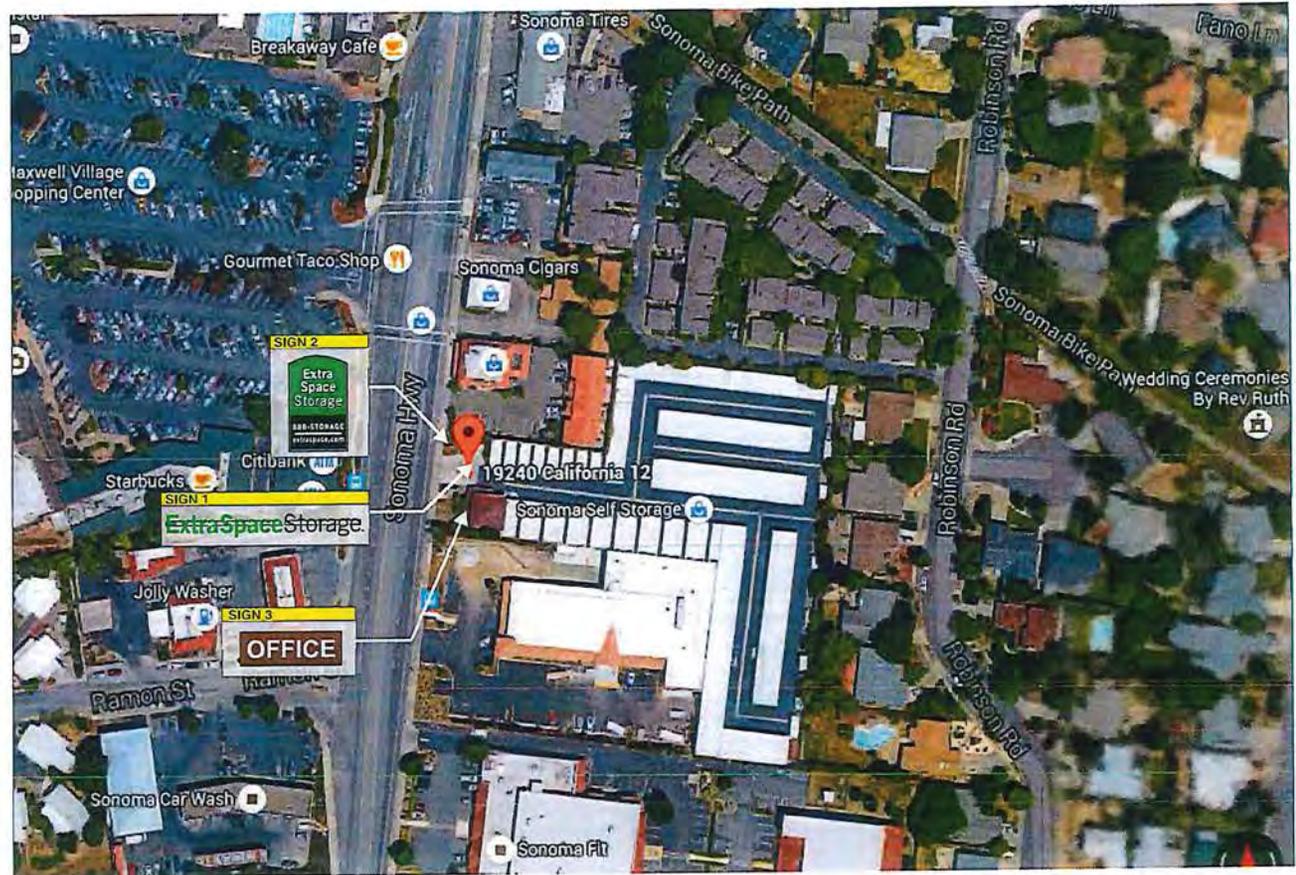
SIGN 1: LED FACE-LIT CHANNEL LETTERSET ON RACEWAY	
Existing:	18" x 15'- 10" channel letterset
Proposed:	18" x 15'- 10" channel letterset

SIGN 2: LEXAN FACE REPLACEMENTS FOR EXISTING D/F MONUMENT	
Existing:	64 1/2" x 3'-8" D/F monument sign
Proposed:	64 1/2" x 3'-8" face replacements

SIGN 3: S/F "OFFICE" CABINET	
Existing:	
Proposed:	10' x 2'-6" S/F cabinet



SCALE: NTS

NOV 21 2016



SIGN 1: LED FACE-LIT CHANNEL LETTERS ON RACEWAY	
Existing:	FCO letterset
Proposed:	18" x 15'- 10" channel letterset
Allowable SF:	
Notes:	Existing sign to be removed, fascia to be repaired to like new condition, new sign to be installed.

*NOTE: NAS NOT RESPONSIBLE FOR TREE REMOVAL*

SIGN 3: S/F "OFFICE" CABINET	
Existing:	FCO's on backer
Proposed:	10" x 2'- 6" S/F cabinet
Allowable SF:	
Notes:	Install sign to the right of entrance door as depicted in rendering



JUN 21 2016



EXISTING

SCALE: NTS



PROPOSED

SCALE: NTS

SIGN 2: LEXAN FACE REPLACEMENTS FOR EXISTING D/F MONUMENT	
Existing:	64 1/2" x 3'-8" D/F monument sign
Proposed:	64 1/2" x 3'-8" face replacements
Allowable SF:	
Notes:	Retrofit existing sign w/ Sloan SignBox II LEDs. Replace existing faces & paint existing cabinet to match SW 7067 Cityscape.



SCALE: NTS



SIGN DETAILS  
SIGN 2: LEXAN FACE REPLACEMENTS FOR EXISTING D/F PYLON



Scale: 1/2" = 1'-0"

COLOR SCHEDULE	
	#2500-106 ARLON
	PMS BLACK #2500-022 CALON
	SW 7067

FACE SPECIFICATIONS
New face to be white lexan with vinyl graphics

**NOTE:**  
Retrofit existing sign w/ Sloan SignBox II LEDs.  
Paint existing cabinets, poles and/or pole covers  
to match SW 7067 Cityscape.

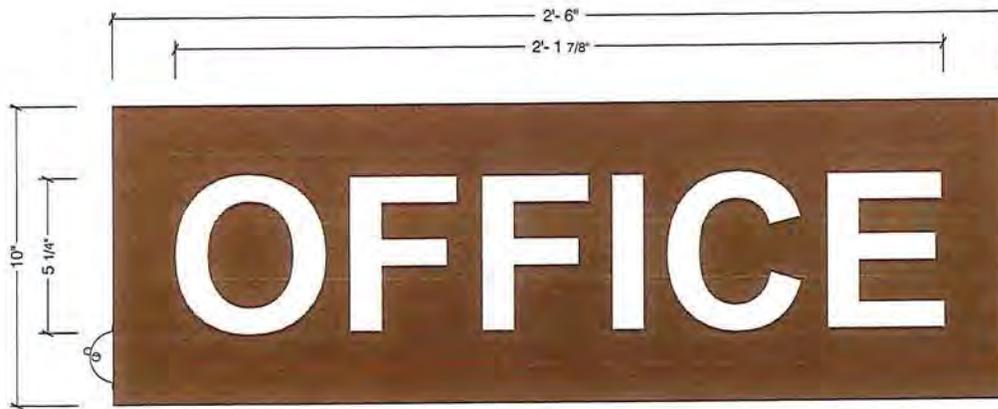
\*ALL COPY TO BE CENTERED WITHIN VISUAL  
OPENING OF BACKGROUND COLOR.

\* VERIFY DIMENSIONS BEFORE PRODUCTION

1605065-00



(800) 348-5000



**S/F ILLUMINATED CABINET w/ PUSH-THRU LETTERS**  
SCALE: 3" = 1'- 0"

QTY: 1

SQ FT: 2.08

**ILLUMINATION**

UL LED POINT 2 LED #PT2-3-12-W.  
SELF CONTAINED US 12V POWER  
SUPPLIES #PSA-12-12.

**CABINET**

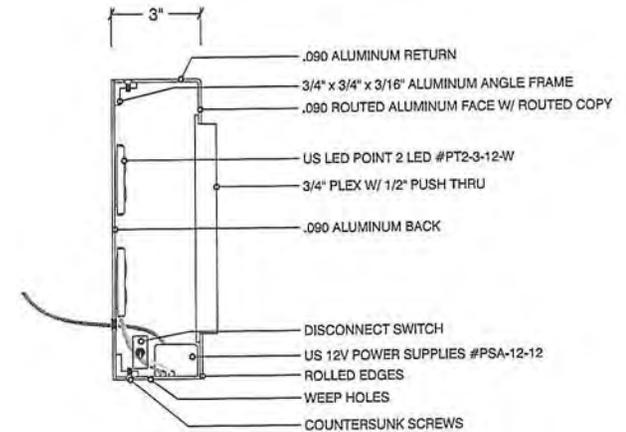
3" DEEP.  
.090 ALUMINUM RETURNS WELDED TO  
BACK OF .090 ROUTED ALUMINUM FACE.  
FACE TO HAVE ROLLED EDGES.  
.090 ALUMINUM BACK TO HAVE 3/4" x 3/4" x 3/16"  
ALUMINUM ANGLE FRAME INSET 1/8" FOR SHOE  
BOX FIT INTO CABINET.  
CABINET PAINTED TO MATCH FACADE. (COLOR TBD)  
WEEP HOLES.

**LETTERS**

3/4" THICK ACRYLIC PUSHED THRU 1/2".  
WHITE VINYL APPLIED FIRST SURFACE.  
WHITE DIFFUSER VINYL APPLIED SECOND  
SURFACE.

**ELECTRIC**

ELECTRIC TO EXIT BACK.  
UL LISTED / EXTERIOR.



**CROSS SECTION**  
NTS



**City of Sonoma**  
**Design Review and Historic**  
**Preservation Commission**  
**Agenda Item Summary**

**DRHPC Agenda** 2  
**Item:**

**Meeting Date:** 07/19/16

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**Applicant**

Sonoma Valley Historical Society

**Project Location**

205 First Street West

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)  
Year built: Circa 1800, moved 1989
- 

**Request**

Consideration of a new monument sign for an office building (Marcy House) located at 205 First Street West.

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**Summary**

**Monument Sign:** A new, two-sided monument sign 9.8 square feet in area per side (2.5 feet tall by 3 feet 11 inches wide) is proposed in the front yard area of the property, north of the walkway, and perpendicular to the sidewalk. The sign is proposed to be constructed of a composite material. Copy on the sign would consist of red and black lettering, on a grey background. The sign is proposed to be mounted on two 4 inch by 4 inch posts. Illumination is not proposed.

**Monument Sign Regulations (18.20.120):** Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of the nearest roadway or public pedestrian sidewalk or walkway, whichever is closer. The proposal is consistent with this requirement in that the freestanding sign would be located six feet from the sidewalk and the maximum height of the sign would be 55 inches.

**Aggregate Sign Area:** Based on the property's frontage on First Street West (81 feet), the maximum aggregate sign area allowed for the parcel is 38.4 square feet. The total aggregate sign area for the property would be ±14.7 square feet, including the proposed monument sign (14.7square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face in multiplied by 0.75 (§18.16.021.G). The proposal is consistent with this requirement.

**Size Limitations:** No sign shall exceed 48 square feet in total area (§18.16.022). The proposal is consistent with this requirement in the freestanding sign would have an area of 9.8 square feet per side.

**Number of Signs:** Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal is consistent with these requirements in that there would be one sign for the business including the freestanding sign.

**Basic Findings:** In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

**Other permits required:** In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

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## Commission Discussion

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## Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

## DRHPC Conditions or Modifications

### Attachments

1. *Project narrative*
2. *Site plan*
3. *Sign drawings*

cc: Sonoma Valley Historical Society  
P.O. Box 861  
Sonoma, CA 95476

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall



PO Box 861, Sonoma, CA 95476 • 707 938 1762  
email [info@sonomavalleyhistoricalsociety.org](mailto:info@sonomavalleyhistoricalsociety.org) • web [www.depotparkmuseum.org](http://www.depotparkmuseum.org)

### MARCY HOUSE SIGN APPLICATION NARRATIVE

The Sonoma Valley Historical Society is ready to use the Marcy House for the Sonoma Valley Archive and Research Center. We are proposing the signs illustrated in the application as we propose that the signs proposed meet the findings required by city codes. We are not asking for a variance.

- A. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance(except for approved variances), all other city ordinances, and the general plan.
- B. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and
- C. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

The request for signs at the Marcy House by the Sonoma Valley Historical Society meets the Number of allowable signs:

There are 2 sides proposed for the single sign at the Marcy House.

The signs proposed meet the allowable aggregate square foot threshold for the front of the property. The front is 50 linear feet. Primary Street Frontage: for the first thirty feet of primary street frontage, the allowable sign area is three square feet for every five lineal feet of frontage. For primary frontage in excess of thirty feet, and additional two square feet of sign area for every five feet of frontage may be permitted.

Calculations: 30 linear feet divided by 5 = 6 times 3 = 18 allowable square feet, plus 20 divided by 5 feet times 2 square feet = 8 additional allowable square feet: 18 +8= total of 26 square feet allowable. The proposed signs are 9.5 square feet on each side for a total of 19 square feet total sign area. 7 square feet less than the allowable square feet for signs at the property.

The sign is not illuminated.

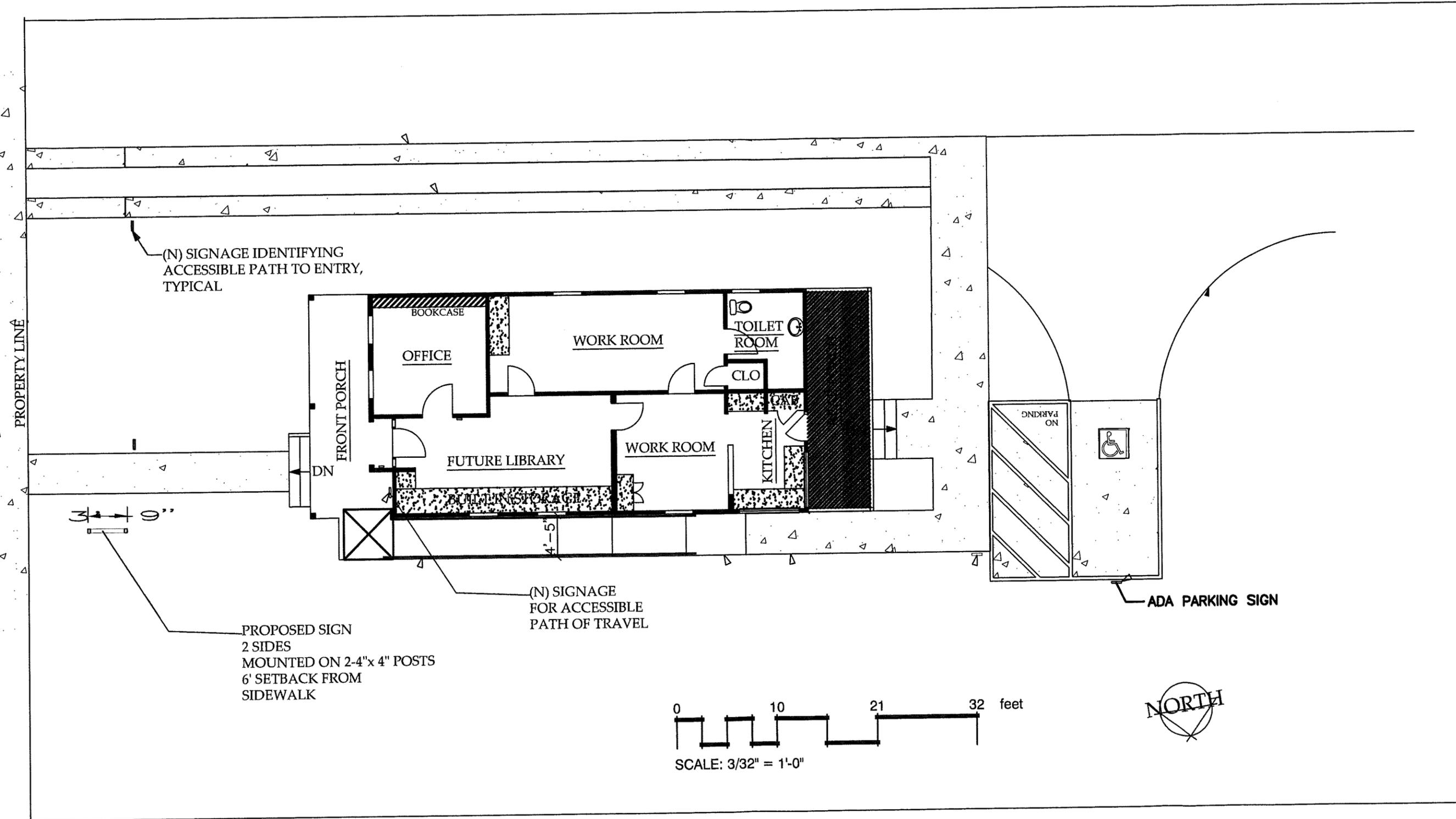
The lettering is 2 inches in height.

The lettering is red and black and the trim color is grey. The logo of the Sonoma Valley Historical Society is orange. The material is a composite.

As per the application to top of the sign is 55 inches and the bottom of the sign is 33 inches above grade.

JUN 29 2016

# FIRST STREET WEST



**Sonoma Valley  
Historical Society**  
P.O. Box 861  
Sonoma CA 95476

**SHEET TITLE**  
Sign Application

**OWNER:**  
City of Sonoma  
No. 1  
Sonoma CA 95476

**PROJECT:**  
Marcy House  
**ADDRESS:**  
205 First Street West  
Sonoma CA 95476

SCALE: (AS NOTE)

DATE: 00-00-0000

REVISIONS

#	DATE

SHEET

JUN 28 2016

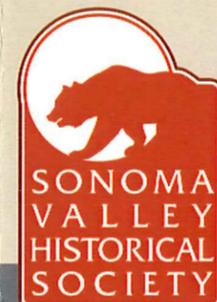
CITY LANDMARK NO. 6

# THE MARCY HOUSE

## SONOMA VALLEY ARCHIVES AND RESEARCH CENTER

Built in the 1800s on a property near Clay Street and Broadway, the Marcy House was purchased by its namesake, French immigrant Jules Gustav Marcy, in 1891. A subsequent owner gifted the house to the City Of Sonoma, and In 1989 this little farmhouse was picked up from 20245 Broadway and moved to its current location.

SONOMA VALLEY HISTORICAL SOCIETY



2' - 5"

3' - 1 1"

JUN 23 2016



*City of Sonoma*  
***Design Review and Historic  
Preservation Commission***  
**Agenda Item Summary**

**DRHPC Agenda  
Item: 3**

**Meeting Date: 07/19/16**

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**Applicant**

Scott and Claudia Murray

**Project Location**

1181 Broadway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)  
Year Built: 1951

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**Request**

Demolition of a single-family residence, well and pump house, and two sheds located on the property at 1181 Broadway.

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**Summary**

**Background:** On May 12, 2016, the Planning Commission approved a Use Permit and Tentative Map to construct a 6-unit condominium development (see attached Conditions of Approval). On May 31, 2016, the DRHPC considered the demolition and requested that the applicant return to the DRHPC at a later date with a Historic Resource Evaluation.

At this time the applicant is proposing to demolish a single-family residence, well and pump house, and two sheds located on the property.

The subject property is a narrow 14,850-square foot parcel located on the west side of Broadway, opposite Adele Harrison Middle School. The site is currently developed with a single-family residence, a well and pump house, and two sheds.

The property is located within the City's Historic Overlay Zone; however, it is not listed on the local Historic Resources Survey, the State Register, or the National Register. However, under the Development Code, demolition of any structure over 50 years old is subject to review and approval by the DRHPC. A copy of the existing site plan is attached.

**Historical Significance:** According to the State Office of Historic Preservation, structures over 50 years old *may* be historically significant, even if not listed on a local or State/National register. Pursuant to §15064.5 of the California Environmental Quality Act (CEQA), a resource is considered "historically significant" if the resource meets any one of the following criteria for listing on the California Register of Historical Resources (as set forth under Public Resource Code §5024.1):

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
2. Is associated with the lives of persons important in our past.
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Given the age of the building, in June 2016, the applicant commissioned ADP Preservation LLC to prepare a historical review of the property to determine if the residence is historically significant. The historical review found that the property does not meet the criteria for listing on the California Register of Historical Resources and therefore is not a historical resource as defined under CEQA (see attached Historic Resource Evaluation 1181 Broadway, Sonoma, Sonoma County, California). Because the structure is not an historical resource, demolishing it would not have a significant effect on the

environment and the project qualifies for a Class 1 Categorical Exemption under CEQA (§15301. Existing Facilities).

**City Regulations for Demolition Permits:** The City’s regulations for demolition permits rely heavily on the criteria for listing on the California Register of Historical Resources in determining whether a property is historically significant and can be demolished. This is reflected in both §19.54.090.F.2 (Determination of Significance) and §19.54.090.G.1 (Findings, Decision) of the Development Code. If the DRHPC determines that the residence does not qualify as a historic resource under CEQA and can make the findings listed below, then the demolition may be approved. If the DRHPC chooses to approve the demolition of the residence, the DRHPC may require that the single-family residence not be demolished until building permits for the replacement structure have been issued and that the inside and outside of the residence be photo documented and submitted to the Sonoma League for Historic Preservation and the City of Sonoma.

**Required Findings:** As set forth in §19.54.090 of the Development Code, the DRHPC must make the following findings to approve a Demolition Permit:

1. The structure is not historically significant, based upon the criteria established by the State Office of Historic Preservation (listed above); or
2. The structure does not represent a unique and irreplaceable historic or architectural resource;
3. The community benefit of preserving the structure is outweighed by the cost of preservation and rehabilitation;
4. The adaptive re-use of the structure is infeasible or inappropriate, due to economic considerations, structural conditions or land use incompatibility; and
5. The relocation of the structure is infeasible due to cost, structural conditions or lack of an interested taker.

All demolition projects require a demolition permit from the City of Sonoma Building Department prior to performing any demolition work. Additional clearances from the Bay Area Air Quality Management District (hazardous materials ‘J’ number), Sonoma County PRMD (sewer disconnect permit), Sonoma County Health Department (well abandonment permit), Sonoma Planning Department (tree protection and storm water management best practices), and other agencies or departments may be required prior to issuance of a demolition permit. For further information, please contact the Building Department at (707) 938-3681.

If commissioners wish to arrange a site visit to inspect the home independently, please contact the applicant, Scott and Claudia Murray at (707) 939-9001.

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## Commission Discussion

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### Design Review and Historic Preservation Commission Action

Approved     Disapproved     Referred to: \_\_\_\_\_     Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye    \_\_\_\_\_ Nay    \_\_\_\_\_ Abstain    \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Historic Resource Evaluation 1181 Broadway, Sonoma, Sonoma County, California
3. Planning Commission Conditions of Approval, dated May 12, 2016.
4. Pictures of existing residence.
5. Site plan.

cc: Scott and Claudia Murray, via email

Mary Martinez, via will call at City hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

March 18, 2016

City of Sonoma  
Design Review & Historic Preservation Commission  
1 The Plaza  
Sonoma, CA

Re: Demolition Permit Request  
1181 Broadway  
Sonoma, CA  
APN 128-15-05

Dear Members of the Commission,

This letter is to request permission to demolish and remove the several wood frame buildings at the subject address. Please refer to the enclosed Demolition Site Plan By William L. Dimick AIA Architect, Job #1505 of 3-14-2016.

A demolition permit to partially demolish and remodel the subject existing residence was granted by Design Review Commission in September of 2004 as part of a previously considered apartment complex. Although not mentioned, the several out building were to be removed to make room for the new apartment building. The project did go forward and the demolition did not take place.

Gola Properties LLC now proposes to develop a six unit condo project on the subject property. The project was originally proposed in 2008 and received both City of Sonoma Use Permit and Design Review approval. Construction documents were complete and ready for building permit plan check.

The project was subsequently set aside due the economic and residential construction slow down of the time.

We now intend to rehabilitate the project and resubmit for Use Permit and Design Review consideration, procure required building permits and build out ASAP.

To accelerate the approval process this application is to request the approval to demolition the existing wood frame residence and the several out buildings on the front portion of the property.

All were constructed prior to 1950 and are therefore subject to preservation per Section 15064.5 of the California Environmental Quality Act (CEQA). A resource is considered "historically significant" if at least 50 years old, has integrity, and meets any one of the following criteria:

1. Is associated with events that have made a significant contribution to the broad patters of California's history and cultural heritage:
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

4. Has yielded, or may be likely to yield, information important in prehistory or history,

Although the residential building, as shown in the accompanying photos, has been somewhat remodeled, cleaned up and currently in use as Gola Properties & Murray Building, Inc's offices, the structures meet none of the required criteria for preservation. The very apparent lack "historically significant" status would further preclude the time and expense of a consultant to generate a formal Historic Resource Evaluation.

Gola Properties therefore requests the demolition permit be granted and looks forward to presenting the project for Architectural Review consideration in the very near future.

Sincerely,



Scott Murray  
Member  
Gola Properties LLC

Enclosures: As-built photos from 2002 and current.

Cc: Rob Gjestland, City Planner  
William L. Dimick AIA Architect

Historic Resource Evaluation  
1181 Broadway, Sonoma,  
Sonoma County, California  
(APN 128-181-005-000)



**Prepared for:**

Scott Murray

1181 Broadway

Sonoma, CA 95476

scott@murraybuildinginc.com



**Prepared by:**

Alice P. Duffee, Historic Preservation Planner

APD Preservation LLC

June 2016

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## **Project Overview & Executive Summary**

The owner of 1181 Broadway in Sonoma, California, is assessing the historic character of the structures on this property in anticipation of clearing the site for a new housing development. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. This report is the result of that evaluation.

The house is on what was originally Lot #182 of the Pueblo Map of Sonoma. Early owners included William Copeland, Arthur Barber, Mary Cabral, Frank Leal, and Angelo Traverso. The property remained undeveloped until Angelo Traverso built the current house on the lot in 1950. Minor changes were made to the property over time.

The house at 1181 Broadway is 66 years old and is within the City of Sonoma's Historic Overlay Zone. The house, however, is not included in any surveys of historic resources and does not meet any of the four criteria of historic significance (association with a significant event, association with a significant person, architecturally distinctive, or potential to yield archeological information). Therefore, it is not eligible for listing in either the California Register or the National Register of Historic Places.

## **Methodology**

On June 1, 2016, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

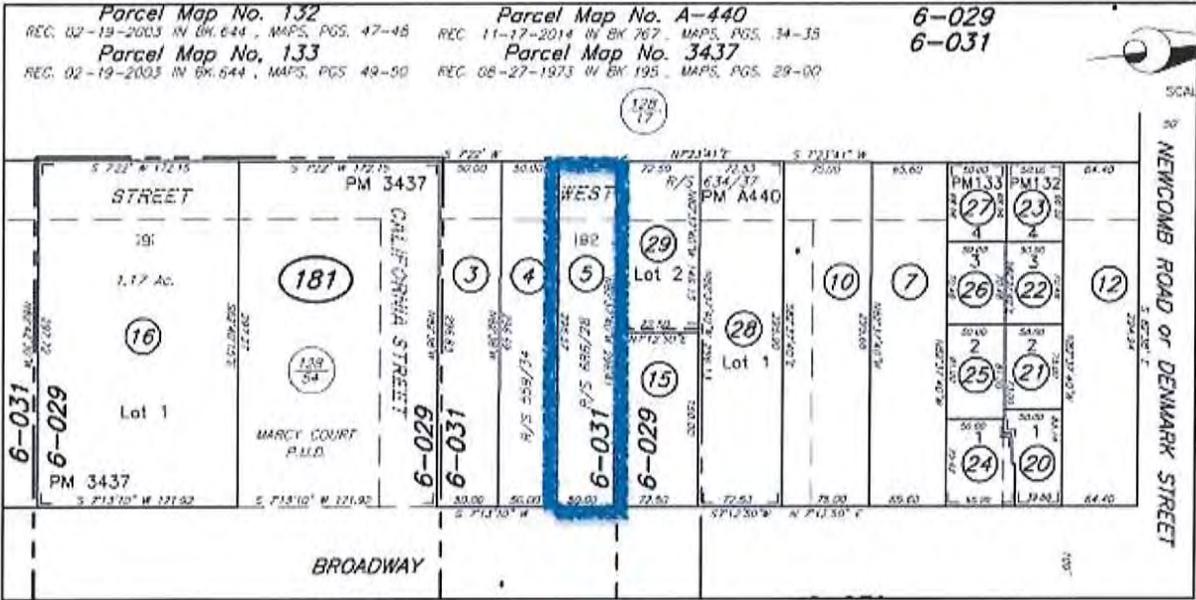
- Sonoma County Recorder's office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

## **Evaluator qualifications**

Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the house at 1181 Broadway in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

## **Site Location**

The house at 1181 Broadway sits on the west side of Broadway, south of Newcomb Road, in the City of Sonoma. A variety of fences (wood, chain link, etc.) enclose the rear of the property. The streetscape is minimal landscaping around modest single-family residences from the mid-twentieth century and multi-family housing complexes from the late-twentieth and early-twenty first centuries. This section of Broadway has two lanes of traffic (two-way), a center turn lane and street parking on both sides.



Location of 1181 Broadway (Sonoma County parcel map 128-181)



Aerial view of Parcel (Google Earth)

## Description

The one-storey house at 1181 Broadway is roughly square, with two adjoining wings made into a square by two infill additions at the northeast and southwest corners. The house is set back from Broadway in line with its neighbors. It is separated from the street by a sidewalk, parking pad, and landscaped patch of yard. All sections of the structure are faced in V-Groove wood siding and rest on a modern concrete foundation. Modern composition singles cover all parts of the roof (see figure 1).

The gable-roofed wing to the south runs north-south and abuts a lower gable-roofed wing to the north that runs east-west. The northeast corner of the junction of these two wings has been infilled twice to bring the two blocks flush with each other. A hipped roof porch crosses the width of the north wing, in line with the south wing. Exposed rafters are visible in the eaves, behind a modern gutter.

The south wing has a pair of vinyl, double-hung, 1-over-1 windows framed as a single unit (see figure 3). The north wing has a modern 4-panel door with lunette light. A pair of vinyl, double-hung, 1-over-1 windows framed as a single unit sits to the right of the front door. The modern (2011), hipped-roof porch is supported on plain posts with no rail on top of a Trex floor. A wooden, louvered vent occupies the shallow peak of the gable front of this wing (see figure 2). The original roofline of the north wing is visible behind the infill addition at this northeast corner.



The south elevation has two modern, vinyl, double-hung, 1-over-1 windows of varying sizes. A wooden louvered vent sits in the peak of the gable, and mesh-covered foundation vents are evenly spaced above the foundation (see figures 6, 7 and 8). At the southeast corner, a shed-roof addition extends towards the rear of the property. This addition has a modern 6-panel door and an older wooden, double-hung, 1-over-1 window. A single piece of vertical molding covers the seam of the junction of the two sections (see figures 9 and 10).

At the rear of the house, the infill addition contains a large infilled window and a half-glass, modern door leading out to a concrete pad (see figure 11). On this elevation, the rear of the north wing contains two evenly spaced sliding-sash, vinyl windows and a louvered vent in the gable eave.

The house sits close to its property line on the north. This elevation has a variety of double-hung, 1-over-1 windows in both the older north wing and the newer infill addition at the northeast corner. The middle window is the only wooden window on this elevation; the others are vinyl (see figures 12 and 13). A vertical piece of molding covers the junction on the north wing and the infill. The clapboards of the two sections, however, do not align (see figure 15).

Three outbuildings occupy the rear of the property: a well house, a shed and a barn. The well house is board-and-batten with a corrugated metal roof (see figure 16). The gable-roofed barn contains two sections. The front section, with a shallower pitched roof, is a modern addition constructed of T-111. The rear section is a combination of horizontal wood siding and vertical T-111 (see figure 18). The gable-roofed shed beyond the barn is clad in horizontal wood siding (see figure 17).

The rear of the lot is roughly planted with a variety of young and old trees and shrubs (see figure 19).

Permit records for this property include:

- 2009: replace above-ground electrical service with underground service
- 2011: replace two windows and two doors and build a porch across the front

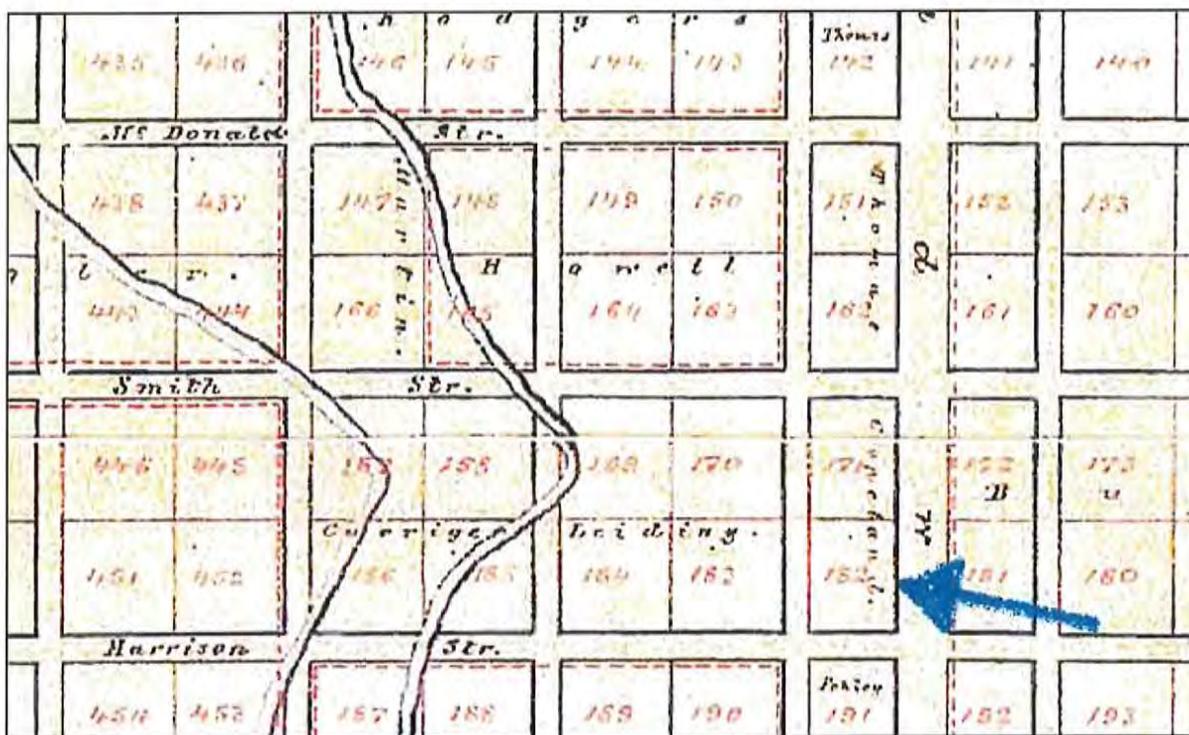
### **Historical Context of Sonoma**

The house at 1181 Broadway is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

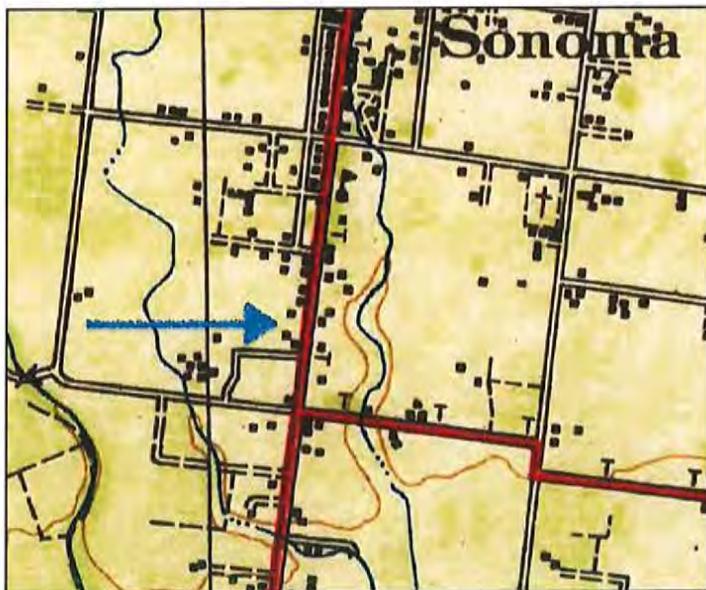
For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

### **History of 1181 Broadway**

The lot that contains 1181 Broadway (aka 20201 Broadway) is on the east side of what was originally known as Lot 182 on the early pueblo map of Sonoma. This area remained an active agricultural area with orchards and small farms through the mid-twentieth century.



1875 Geldern Map of Sonoma



1942 USGS Map

William Copeland, a farmer from Petaluma, owned the property in the 1870s, and transferred it to his daughter Octavia in 1893.<sup>1</sup> Octavia Copeland sold the lot in 1904 to Arthur and Elizabeth Barber.<sup>2</sup> The lot remained devoid of any houses through several more owners, including John and Mary Cabral and Frank Leal. Leal raised dairy cows on the property. In 1946, Josephine Leal (nee Silveria), sold the 50' x 300' lot to Angelo Traverso.

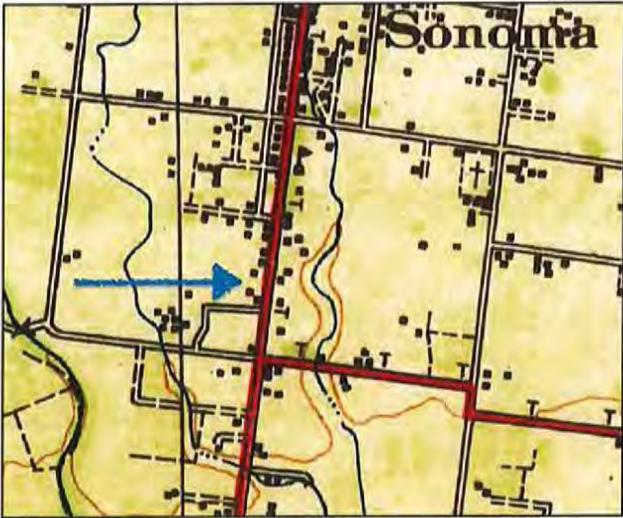
Angelo Traverso was a first generation Californian, born to Italian parents who immigrated to the United States at the turn of the century. On August 31, 1942, he enlisted in the military and served in the army. After the war, he returned to California and purchased the lot at 1181 Broadway on June 15, 1946.<sup>3</sup>

<sup>1</sup> Sonoma County Deed Book 202, page 36.  
<sup>2</sup> Sonoma County Deed Book 214, page 361.  
<sup>3</sup> Sonoma County Deed Book 689, page 280.

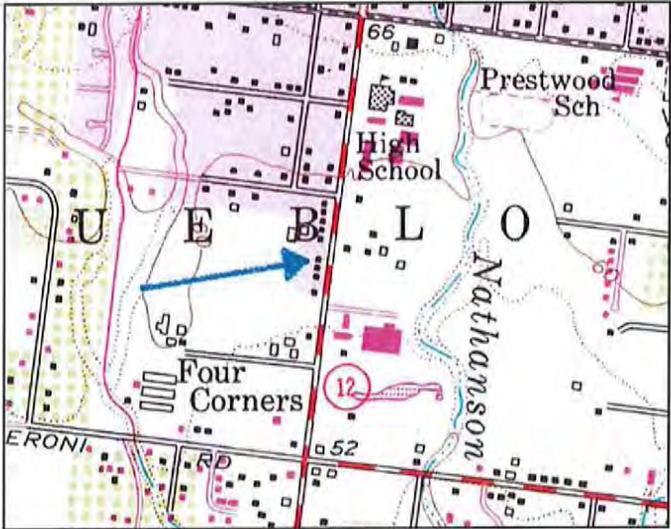
Another Ordinance, amending an existing one that established a fee of \$150 for outside-the-city sewer connections, was introduced. This new Ordinance would call for a charge of \$275 per outside connection to the city's sewer system. The action was taken following a request by Mr. A. Traverso, owner of property south of McArthur Street, for information on connection to the city line.

December 16, 1949, Sonoma Index-Tribune

A short blurb in the Sonoma Index-Tribune on December 16, 1949 indicates that Traverso was building a house on the property and wanted to connect it to the city's sewer system. The property is outside the bounds of the Sanborn Fire Insurance survey, but the 1942 USGS map shows the land as vacant. The 1951 USGS map shows a house on the site for the first time.



1942 USGS Map



1951 USGS Map

Angelo Traverso owned the property until his death in 1988, though he may not have occupied the house the entire time. The Sonoma Index-Tribune mentions a Mrs. Rose Sullivan living at the address as of May 21, 1959.

Edward Sullivan (Rose Sullivan's son) settled Angelo Traverso's estate in 1990 and inherited the house at 20201 Broadway (aka 1181 Broadway).<sup>4</sup> The current owners purchased the property from the Sullivans in 2004. The physical evidence suggests that the house has evolved and enlarged over time, though it remains a modest structure.

### **Determination of Eligibility**

In order for a resource to be historically significant it must meet pass three tests: 1) it must be over 45 years old;<sup>5</sup> 2) it must meet one or more of the "criteria of eligibility" (outlined below); and 3) it must retain enough integrity to convey its significance as it relates to the aforementioned criteria.

The house at 1181 Broadway is 65 years old and lies within the Sonoma Historic Overlay District, but is not included in any historic resource surveys, including the Sonoma League for Historic Preservation's "Historic Resource Survey."

### **CRITERIA**

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria.<sup>6</sup>

<b>Criteria</b>	<b>1181 Broadway</b>
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	It was not directly associated with a major local or regional development trend or event.
2. Associated with the lives of persons important to local, California or national history.	It was not directly associated with any people of local, regional, or national significance.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	None of the structures is architecturally distinctive.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	The area has been significantly disturbed by development on the lot, and is not known to contain any archeological resources.

### **Conclusion**

The house at 1181 Broadway is 65 years old and is not included in any survey of historic resources, though it is within the city's Historic Overlay zone. The house does not meet any of the four criteria of historic significance (association with a significant event, association with a significant person, architecturally distinctive, or potential to yield archeological information). Therefore, it is not eligible for listing in either the California Register or the National Register of Historic Places.

<sup>4</sup> Sonoma County Record 199025929

<sup>5</sup> In certain situations, the age requirement may be waived.

<sup>6</sup> Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



## **Resources Consulted**

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### Online resources:

[www.accessible.com](http://www.accessible.com)  
[www.ancestry.com](http://www.ancestry.com)  
[www.archives.com](http://www.archives.com)  
[www.archives.org](http://www.archives.org)

[hld.huntington.org/cdm/](http://hld.huntington.org/cdm/)  
[www.loc.gov](http://www.loc.gov)  
[www.cdnc.ucr.edu](http://www.cdnc.ucr.edu)  
[www.genealogybank.com](http://www.genealogybank.com)

[www.calisphere.universityofcalifornia.edu](http://www.calisphere.universityofcalifornia.edu)



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Figure 1: East Facade (facing Broadway)



Figure 2: East Facade, North Wing



*Figure 3: East facade, South Wing*



*Figure 4: East facade, rooflines*



Figure 5: East facade, North Wing, rafters in eave



Figure 6: South elevation



*Figure 7: South elevation, foundation vents*



*Figure 8: South elevation, louvered vent in gable*



*Figure 9: South elevation, junction of south wing and infill/addition at southwest corner*



*Figure 10: South elevation, wooden window in infill/addition*



*Figure 11: West elevation, infill/addition*



*Figure 12: North elevation*



*Figure 13: North elevation, wood window in north wing*



*Figure 14: North elevation, eave with rafters (new porch on left)*



Figure 15: North elevation, junction north wing and infill/addition



Figure 16: Well house behind the house

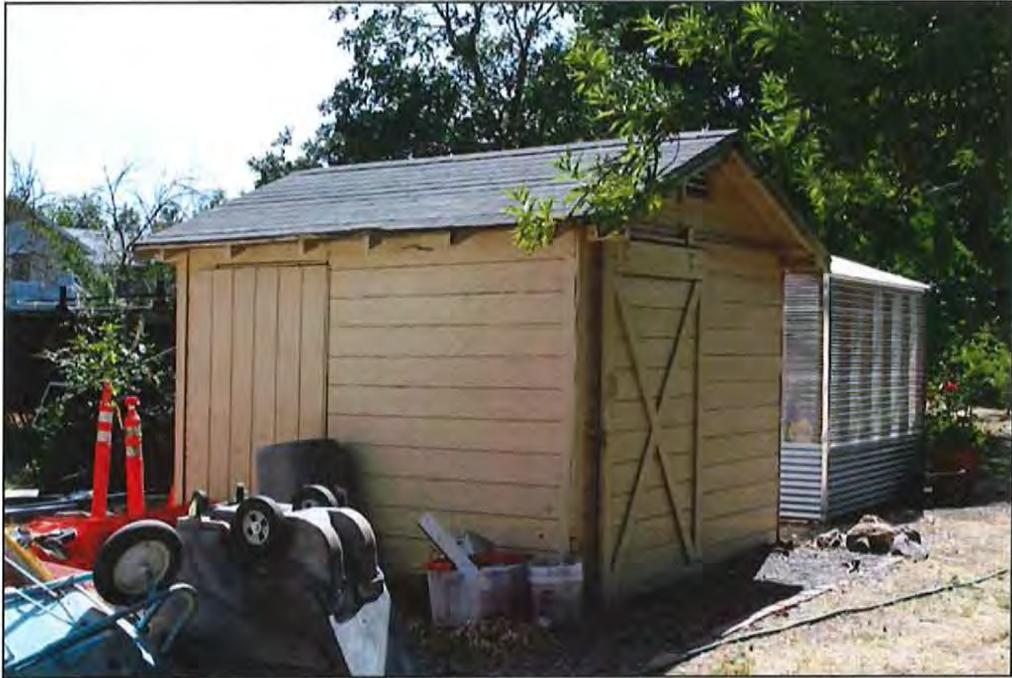


Figure 17: Shed behind the house



Figure 18: Barn behind the house



*Figure 19: Rear of lot*



*Figure 20: House in context of neighbors*



*Figure 21: Neighbor to the south*



*Figure 22: Neighbor to the north*



*Figure 23: School across the street*



City of Sonoma Planning Commission  
**CONDITIONS OF APPROVAL**  
Murray Condominium Project – 20201 Broadway

May 12, 2016

1. The Use Permit and Tentative Map approval shall be contingent upon approval of a Demolition Permit by the Design Review & Historic Preservation Commission (DRHPC) allowing for demolition of the existing residence located on the property.

*Enforcement Responsibility:* Planning Department; DRHPC  
*Timing:* Prior to issuance a building permit

2. The development shall be constructed in conformance with the project narrative, approved site plan and building elevations dated 4/15/2016, and the Tentative Map dated 4/13/2016, except as modified by these conditions and the following:
  - a. The fence required along the southern property line shall be four feet in height within the front setback and a minimum of six feet in height thereafter.
  - b. The planter strip on the south side of the parking lot may be increased to a maximum width of 6 feet.

*Enforcement Responsibility:* Planning Department, Building Department; Public Works Department  
*Timing:* Prior to the issuance of any occupancy permit

3. A Final Map shall be prepared and submitted to the City Engineer for review and approval. Upon approval and acceptance by the City of all required dedications, the map shall be filed at the office of the Sonoma County Recorder.

*Enforcement Responsibility:* City Engineer; Planning Department; Building Department  
*Timing:* Prior to issuance of building permits

4. Storm drainage and utility improvements shown on the Tentative Map are not necessarily approved in that configuration and shall be revised as directed by the City and other reviewing agencies.

*Enforcement Responsibility:* City Engineer; Building Department; Affected Agencies  
*Timing:* Prior to issuance of building permits

5. The applicant shall submit CC&Rs for the subdivision and a Condominium Owners Association shall be established to maintain all common areas and interests. Review of the CC&R's and Condominium Owners Association agreement shall be subject to review and approval by the City Engineer, Planning Director, and City Attorney. In addition, the City Engineer may require the applicant to submit the agreements to applicable State agencies for review and approval.

*Enforcement Responsibility:* City Engineer; Planning Department; City Attorney  
*Timing:* Prior to issuance of building permits for residential building construction

6. The following public improvements shall be required as deemed necessary by the Public Works Division, City Engineer, Caltrans or other applicable department or agency. All improvement plans shall be prepared by a registered civil engineer and shall be submitted to and approved by the City Engineer and Caltrans prior to issuance of a grading permit. Plans for sanitary sewer facilities shall also be submitted to Sonoma County PRMD Sanitation Division for review and approval. All public improvements shall be completed prior to recordation of the Final Map or appropriately bonded for.

- a. Construction and/or repair of curb, gutter, sidewalk, and street structural section along the Broadway/State Hwy 12 frontage of the property as required by the City Engineer and Caltrans. Repair or reconstruction of any street structural section as required by the City Engineer or Caltrans.
- b. Provision of a residential driveway apron at the Broadway frontage with a minimum apron width of 20 feet consistent with City of Sonoma Standard Plan 111.
- c. Parking and drives shall be surfaced with an approved surface material as approved by the City Engineer and the Building Official. In all cases, driveways shall be paved a minimum of 20 feet from the edge of the sidewalk.
- d. The structural section of the driveway shall be designed to support the weight of a fire engine (45,000 lbs.) in all weather conditions.
- e. Sewer mains and separate laterals to the development as required by Sonoma County PRMD Engineering Division; water conservation measures installed and/or applicable mitigation fees paid as determined by the Sonoma County Water Agency.
- f. Extension and/or upgrade of water mains along the frontage of the property as may be required to link existing portions of the city's water system. Water service to each lot/unit. A dedicated irrigation meter/water service shall be provided for all site landscaping.
- g. Construction of on-site storm drains and related facilities as deemed necessary by the City Engineer to connect to the City's existing storm drain infrastructure on the west side of the property.
- h. Fire hydrants in the number and at the locations specified by the Fire Marshall and the City Engineer. An on-site fire hydrant shall be required Fire hydrants shall be installed and in working condition prior to beginning combustible construction.
- i. Private underground utility services, including gas, electricity, cable TV and telephone, to each lot/unit in the development.
- j. Address numbers shall be posted on each structure within the development. Individual address numbers, or an address range, shall be clearly posted on Broadway.
- k. Street lighting as required by the City Engineer.
- l. Street trees as required by the Planning Division and the City Engineer. All street trees shall be consistent with the City's Tree Planting Program, including the District Tree List. The ultimate number and location of the street trees shall be subject to the discretion of the City Engineer and Caltrans.
- m. All required sidewalk, street, storm drainage, water, sewer and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
- n. All major grading, including all swales, etc., shall be completed by October 15<sup>th</sup>, unless otherwise approved by the City Engineer.

*Enforcement Responsibility:* City Engineer; Public Works Department; Fire Department; Caltrans  
*Timing:* Prior to approval of the grading plan, building permit, or issuance of any occupancy permit, as applicable

7. A grading and drainage plan and an erosion and sediment control plan shall be prepared by a registered civil engineer and submitted to the City Engineer and the Sonoma County Water Agency for review and approval. A Stormwater Mitigation Plan (SMP) for the project shall also be prepared and submitted in conjunction with the grading plans for approval, and the measures identified in the SMP shall be incorporated into the grading and drainage plans consistent with applicable standards. The required plan shall be approved prior to the

issuance of a grading permit and commencement of grading/construction activities. The erosion control measures specified in the approved plan shall be implemented throughout the construction phase of the project. Applicable erosion control measures shall be identified on the erosion control plan and shall be implemented throughout the construction phase of the project: soil stabilization techniques such as hydroseeding and short-term biodegradable erosion control blankets or wattles, silt fences and/or some kind of inlet protection at downstream storm drain inlets, post-construction inspection of all facilities for accumulated sediment, and post-construction clearing of all drainage structures of debris and sediment. The plans shall conform to the City of Sonoma Grading Ordinance (Chapter 14.20 of the Municipal Code). The improvement plans will not be accepted by the City Engineer for review without first reviewing and approving the SMP.

*Enforcement Responsibility: City Engineer; Building Department; Stormwater Coordinator; SCWA*  
*Timing: Prior to issuance of grading permit*

8. All Building Division requirements shall be met, including compliance with CALGreen standards. Building permits shall be required.

*Enforcement Responsibility: Building Department*  
*Timing: Prior to construction*

9. All Fire Department shall be satisfied, including any code modifications effective prior to the date of issuance of any building permit. In addition, the following shall be required:
  - a. An on-site fire hydrant shall be required, the location subject to review and approval of the Fire Marshall.
  - b. All structures shall be protected by approved automatic fire sprinkler systems.
  - c. Parking shall be allowed only in designated parking places as approved on the site plan. All other areas, including the driveway and drive aisle shall be posted clearly as a fire lane with "No Parking" signs and/or markings (red curbs).
  - d. Additional requirements and/or recommendations from the Fire Department may result from a review of detailed project plans and specifications.

*Enforcement Responsibility: Fire Department; Building Department;*  
*Timing: Prior to the issuance of any building permit*

10. An encroachment permit shall be required from the City of Sonoma for work within the Broadway right of way. In addition, an encroachment permit from the Department of Transportation (Caltrans) shall be required for all work within the Highway 12 (Broadway) right-of-way. The applicant shall provide proof of the Caltrans encroachment permit prior to City Engineer approval of improvement plans for frontage improvements

*Enforcement Responsibility: Caltrans; City Engineer; Public Works Department; Building Department*  
*Timing: Prior to occupancy*

11. The project shall comply with the applicable stormwater requirements. A Stormwater Mitigation Plan (SWP) shall be submitted for review and approval by the City Engineer and Stormwater Coordinator. Said SMP shall identify specific BMPs and include the BMPs in the project drainage and improvement plans.

*Enforcement Responsibility: Caltrans; City Engineer; Public Works Department; Building Department*  
*Timing: Prior to occupancy*

12. The condominium unit identified as "Unit 2" on the site plan shall be designated as an affordable housing unit, affordable to low or moderate-income households. The developer shall enter into a contract with the City assuring the continued affordability of the designated unit for a minimum period of 55 years and establishing maximum rents, maximum sale prices, and resale restrictions. The requirement to provide an affordable unit

shall be recorded against the deed of the lot, with a standard City agreement subject to review and approval by the City Attorney and the Planning Director.

*Enforcement Responsibility: Planning Department, City Attorney*  
*Timing: Prior to occupancy*

13. The project shall be subject to architectural review by the Design Review & Historic Preservation Commission (DRHPC), encompassing elevation details, exterior colors and materials, and site details, including the carports, refuse enclosure, and bicycle parking.

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to the issuance of any building permit*

14. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). The plan shall address site landscaping (including private rear yard areas), fencing/walls, hardscape improvements, and required tree plantings, including street trees. In addition, tree plantings shall be required along the western edge of the project site for screening purposes. A solid, privacy fence of adequate height shall be provided along the southern project boundary to minimize impacts associated with vehicle headlights. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.40.100 (Screening and Buffering), 19.46 (Fences, Hedges, and Walls), 19.40.070 (Open Space for Multi-Family Residential Projects), 19.48.090 (Landscaping of Parking Facilities), and 19.40.060 (Landscape Standards). Street trees proposed along the Broadway frontage shall be consistent with the City's Tree Planting Program, including the District Tree List

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to issuance of any occupancy permit*

15. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). All proposed exterior lighting for the buildings and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines set forth in Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Light standards shall not exceed a maximum height of 15 feet.

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to issuance of an occupancy permit*

16. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation and replacement:
- a. Trees removed from the project site shall be replaced on-site at a ratio of 2:1, with a minimum box size of 24 inches.
  - b. The valley oaks identified as Tree #11 and Tree #15 in the arborist report shall be preserved if feasible depending on fill and/or grading impacts.
  - c. The developer shall adhere to the recommendations and tree preservation guidelines presented in the arborist report.

*Enforcement Responsibility: Planning Department, Design Review Commission*  
*Timing: Throughout construction; Prior to the issuance of any occupancy permit*

17. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:
- Caltrans [For encroachment permits and frontage improvements on State Highway 12/Broadway]
  - Sonoma County PRMD Sanitation Division [For sewer connections and modifications and interceptor requirements]
  - Sonoma Valley Unified School District [For school impact fees]
  - Sonoma County Department of Public Health [For closure/removal of septic tank or wells]
  - Sonoma County Department of Public Health [For closure and removal of septic tanks]

*Enforcement Responsibility:* Building Department; Public Works Department City Engineer; Caltrans  
*Timing:* Prior to the issuance of any grading/building permit

18. The applicant shall comply with all requirements of Sonoma County PRMD Engineering Division with respect to sanitary sewer requirements and facilities. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County PRMD Sanitation Division immediately to determine whether such fees apply.**

*Enforcement Responsibility:* Building Department;  
*Timing:* Prior to the issuance of any building permit

19. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required if deemed necessary by the Building Department or the City Engineer prior to the issuance of a grading permit. Recommendations identified in the report shall be incorporated into the construction plans for the project and into the building permit(s).

*Enforcement Responsibility:* Building Department; City Engineer  
*Timing:* Prior to issuance of a grading permit

20. Prior to the issuance of any building permit, a water demand analysis shall be prepared by a licensed civil engineer and submitted by the applicant and shall be subject to the review and approval of the City Engineer. Said analysis shall be in compliance with the City's current policy on water demand and capacity analysis as outlined in Resolution 46-2010. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

*Enforcement Responsibility:* City Engineer; Public Works Department  
*Timing:* Prior to issuance of any building permit

21. Dust control measures, subject to approval by the Building Official and the City Engineer, shall be implemented during the construction of the project. All exposed soil areas shall be watered twice daily or as required by the City's construction inspector.

*Enforcement Responsibility:* Public Works; Building Department  
*Timing:* Throughout construction

22. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, Caltrans, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempt from.

*Enforcement Responsibility:* Public Works Department; Building Department; Affected Agencies  
*Timing:* Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above

23. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended. No trees shall be planted within easements dedicated for public use except as expressly authorized by the City Engineer.

*Enforcement Responsibility:* Planning Department; City Engineer  
*Timing:* Prior to the issuance of any building permit and ongoing

24. Any septic systems on the site shall be removed or closed in place, consistent with the permit requirements of the Sonoma County Department of Environmental Health.

*Enforcement Responsibility:* Sonoma County Department of Environmental Health; City Engineer  
*Timing:* Prior to construction

25. Any wells on the site shall be closed in place or equipped with a back-flow prevention device as approved by the City Engineer.

*Enforcement Responsibility:* City Engineer  
*Timing:* Prior to construction

26. The property owner(s) shall plant one 36-inch box size replacement tree on the Broadway frontage or pay a penalty fee to the City of \$1,000 for the unauthorized removal of the English walnut tree. This amount shall be deposited into a fund carried upon the financial records of the City which shall be exclusively for the planting of trees in public places in the City and for tree related educational projects or programs.

*Enforcement Responsibility:* City Prosecutor; City Attorney; Public Works Administrator; City Planner  
*Timing:* Prior to issuance of any building permit

**Photos of House At Time Of Purchase in 2002**

**Front of Residence**



Rear of Residence



**Photos of House During 2011 Remodel**

**Front of Residence**



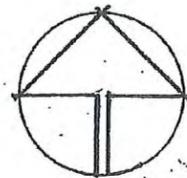
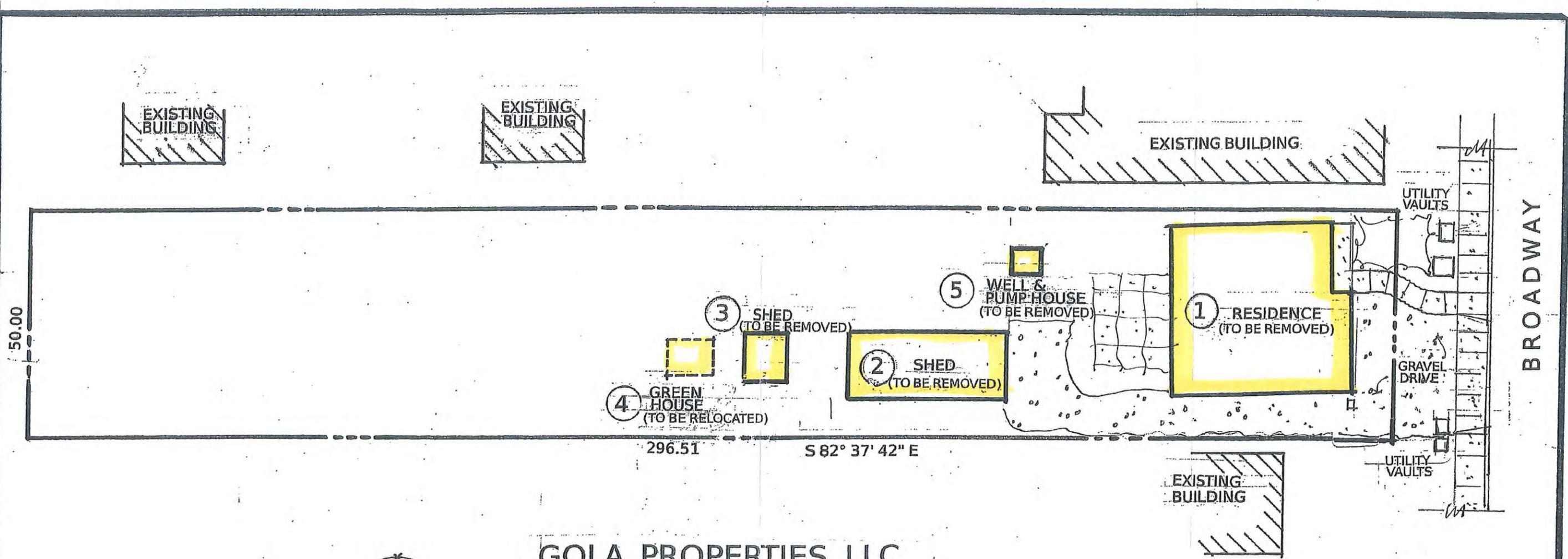
**Current Photos of House in 2016**

**Front of Residence**









**GOLA PROPERTIES, LLC  
DEMOLITION SITE PLAN**

1181 BROADWAY  
SONOMA, CA

1" = 20'

**LEGEND:**

- ① Existing 1400 sq. ft. wood frame residence to be demolished and removed.
- ② Existing 490 sq. ft. wood frame shed to be demolished and removed.
- ③ Existing 90 sq. ft. wood frame shed to be demolished and removed.
- ④ Existing 80 sq. ft. prefab. wood and fiberglass greenhouse to be dismantled and removed.
- ⑤ Existing wood frame well house to be demolished and removed. Well to be rehabilitated for on-site irrigation.

**WILLIAM L. DIMICK AIA**  
ARCHITECT  
292 FRANCE ST. SONOMA CALIF. 95476 TELEPHONE 707-938-8728

JOB #1505

3-14-2016



*City of Sonoma*  
*Design Review and Historic*  
*Preservation Commission*  
Agenda Item Summary

DRHPC Agenda Item: 4

Meeting Date: 07/19/16

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**Applicant**

Scott and Claudia Murray

**Project Location**

1181 Broadway

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**Historical Significance**

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
  - Listed on California Register of Historic Resources (Significant)
  - Listed within Local Historic Resources Survey (Potentially Significant)
  - Over 50 years old (Potentially Significant)
- 

**Request**

Consideration of building elevations, exterior colors, materials, lighting, and landscaping for a 6-unit Condominium project located at 1181 Broadway.

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**Summary**

**Site Characteristics:** The site is a single parcel having an area of ±14,850 square feet located on the west side of Broadway, opposite Adele Harrison Middle School. The parcel has a depth of 296 feet and a width of 50 feet.

**Background:** On May 12, 2016, the Planning Commission approved a use permit allowing development of a six-unit condominium complex on the subject property. The project includes three townhome condominiums in a building at the back of the site (Building #1), two townhome condominiums in a building to the east of Building #1 (Building #2), along with one detached condominium unit toward Broadway (Building #3). All three buildings are two-story. Eleven parking spaces (some under carports) are provided within an interior drive court located between Buildings #2 and #3. The project is now before the DRHPC for consideration of building elevations, exterior colors and materials, outdoor lighting, bicycling parking, trash enclosure, and landscaping.

**Discretionary Projects:** For projects subject to discretionary review by the Planning Commission, the Planning Commission shall be responsible for reviewing and acting upon the project site plan, building massing and elevation concepts to the extent it deems necessary. Subsequent review by the DRHPC shall be limited to elevation details, colors and materials, landscaping (including fences and walls), lighting, site details (such as the placement of bike racks and trash enclosures), and any issues specifically referred to the DRHPC by the Planning Commission.

**Building Elevations & Exterior Colors/Materials:** The buildings have been designed to draw from the Sonoma vernacular. Architectural details on the rear buildings include dormers, shed roof porches, and a tower element. The smaller detached unit at the front of the site includes a covered front porch with the second floor element stepping back from the first floor. Staff would note that the carports have been designed with gabled roofs rather than typical flat or shed roofs to provide more architectural interest. Buildings on the site would utilize similar exterior materials and treatments, including horizontal lap siding, board and batten siding, composition roof shingles, and wooden columns, porch rails, and trim. Tuscan Series vinyl double hung windows (white in color) are proposed along with Jeldwen architectural fiberglass glass panel exterior doors (see attached manufacturer specification sheets). The proposed building elevations are consistent with the concepts approved by the Planning Commission in May.

**Exterior Colors:** The proposed exterior color palette is illustrated on the attached color samples and color and material samples will be presented at the DRHPC meeting for consideration. The paint palette consists of the following:

- Buildings #1 and #2: Kelly Moore wise owl color (42) for the board and batten siding, a Kelly Moor stonegate color (304) on the horizontal lap siding, and Dunn Edwards cream color (EVSH50) on the trim.
- Building #3 north, south, and west elevations: Dunn Edwards shaggy barked color (DEC771) on the board and batten siding and Dunn Edwards cream color (EVSH50) on the horizontal lap siding.
- Building #3 east elevation: Dunn Edwards center ridge color (DE6230) on the board and batten siding and on the horizontal lap siding and Dunn Edwards cream color (EVSH50) on the trim.

**Exterior Lighting:** Light fixtures (see drawing DR-1 for specifications/details) proposed for the complex are as follows:

- Pavilion LED Post Mount: six 11.5-tall post mount lights are proposed throughout the complex.
- LED Energy Efficient Black 5” Outdoor Wall Lights: six wall lights are proposed (one located on the front and one on the rear of each building).
- Carport Soffit Mount Fixture: two soffits are proposed (one in each carport structure).

**Landscape Plan:** Landscape plans have been provided (Sheet L1.0), including a comprehensive plant list identifying trees, shrubs, and groundcover.

**Tree Plantings:** The landscape plan indicates that 19 trees would be planted on the site (6 each 24 inch box Coast Live Oak, 4 each 24 inch box Autumn Blaze Maple, 1 each 36 inch box October Glory Maple, and 8 each 15 gallon Crepe Myrtle). The Planning Commission Condition of Approval #16 (see attached) states that the project shall be constructed in accordance with the following requirements related to tree preservation, mitigation and replacement:

- Trees removed from the project site shall be replaced on-site at a ratio of 2:1, with a minimum box size of 24 inches.
- The valley oaks identified as Tree #11 and Tree # 15 in the arborist report shall be preserved if feasible depending on fill and/or grading impacts.
- The developer shall adhere to the recommendations and tree preservation guidelines presented in the arborist report.

The applicant has stated that 9 trees will be removed; therefore, 18 trees are required for replacement. Since 19 trees will be replaced, including one 36 inch box size tree, it is staff’s opinion that the tree replacement ratio required in the Conditions of Approval has been met.

**Water Budget Calculations:** In compliance with the Water Efficient Landscape Ordinance, Hydrozone and Maximum Applied Water Allowance (MAWA) forms have been provided. Calculations on the MAWA form indicate that the project would use 42,501 gallons or 70% of the annual water allowance of 60,851 gallons.

**Bicycle Parking:** Bicycle parking is proposed in the form of one double loop bike rack located to the west of Building #2.

**Fencing:** Sheet DR-4 indicates that six-foot tall wooden fencing would be installed on the south property line, with the exception of a four foot tall fence in a 20-foot setback area along Broadway. The existing fences on the north property line shall remain.

**Refuse Enclosure:** A six-foot tall wooden fence and metal gate will be constructed around the refuse enclosure.

## Commission Discussion

### Design Review and Historic Preservation Commission Action

Approved       Disapproved       Referred to: \_\_\_\_\_       Continued to: \_\_\_\_\_

Roll Call Vote: \_\_\_\_\_ Aye      \_\_\_\_\_ Nay      \_\_\_\_\_ Abstain      \_\_\_\_\_ Absent

### DRHPC Conditions or Modifications

Attachments:

1. Project Narrative
2. Planning Commission Conditions of Approval, dated May 12, 2016.
3. Siding and Roofing Product Submittal.
4. Window and door specification sheets.
5. Water Efficient Landscape Worksheet.
6. Site Plan.
7. Development Plan.
8. Site lighting, carport, fences, and bike rack details.
9. Exterior Elevations.
10. Landscape Plan.
11. Proposed colors.

cc: Scott & Claudia Murray, via email

William Dimick, via email

Gola Properties  
Attn: Scott Murray  
P.O. Box 2201  
Sonoma, CA 95476-2201

Mary Martinez, via will call at City hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

# PROPOSAL STATEMENT

Date: 5-31-2016

Project: A Six Unit Condominium Development.  
1181 Broadway  
Sonoma, CA.

Owner: Gola Properties L.L.C.  
Scott Murray  
P.O.Box 2201  
Sonoma, CA. 95476  
Phone: 707-939-9001

Architect: William L. Dimick AIA Architect  
292 France Street  
Sonoma, CA 95476  
Phone: 707-938-5726

Civil Engineer: Doble Thomas & Associates, Inc.  
134 South Cloverdale Blvd.  
Cloverdale, CA 95425  
Phone: 707-894-3182

Landscape Architect: tangram  
Landscape Architecture  
944 Ripley Street  
Santa Rosa, CA 95401  
Phone: 707- 527-7920

Gola Properties L.L.C. proposes to build a six unit condominium project at 1181 Broadway as shown on the enclosed drawings, Sheets UP-1 thru UP-3 by William L. Dimick AIA Architect, dated 4-15-2016 and the Tentative Map by Doble Thomas & Associates, Civil Engineers, dated 4-13-2016 and the Landscape Drawing by tangram, Landscape Architecture, dated 5-5-2016.

MAY 31 2016

This project had been previously submitted and received a Conditional Use Permit and Design Review approval in 2006. Construction Drawings were complete and ready for Building Permit submission, but were set aside due the financial concerns and downturn of the housing market of that time.

The project has now been resurrected and refined to address current market demands and code issues and hereby presented for Use Permit consideration

**SITE:**

The site is a 50' x 297' parcel on the west side of Broadway across from Adele Harrison Middle School. It is bounded on the north by an office building at street frontage and an office / apartment complex toward the rear of the property.

There is small residence to the south and a large single family sub-division to the west. Existing improvements include a small sub-standard single family wood frame house, currently used by the applicant as a construction office, and several small wood frame out buildings, all to be demolished for this project.

**SITE PLAN:**

The project consists of a duplex and a three-plex building on the rear portion of the site and an intervening parking court with covered and guest parking as prescribed by code. The front building is a free standing two story single unit to reflect the residential scale of the Broadway corridor.

As befits its size and location the proposal is an ideal infill project that will address the need for more modest and affordable housing in the community.

**LIVING UNITS:**

The condos are shown in a conventional townhouse configuration with living, dining, kitchen and half bath on the first floor and two bedrooms and a full bath on the second, with living areas in the 1000 to 1200 sq. ft. range. There is a required affordable unit in Building #1.

**BUILDING CONSTRUCTION & MATERIALS:**

The buildings are to be conventional wood frame construction on concrete slab foundations and floors. Horizontal and board & batten siding and composition shingle roofing are shown with detailing to reflect the local traditional residential scale and appearance. Exterior material and color samples are included in this submission.

**WATER, SEWER & UTILITIES:**

Services for the project are all public and readily available at the Broadway street frontage. An existing on-site well is within a carport footprint and will be abandoned.

**SITE GRADING & DRAINAGE:**

There will be extensive on-site grading to construct engineered fill building pads and the parking area, provide site drainage, and to construct underground utilities. Storm water run off will be piped to code required bio-swales and then to an existing drainage system across the westerly boundary of the property.

**LIGHTING:**

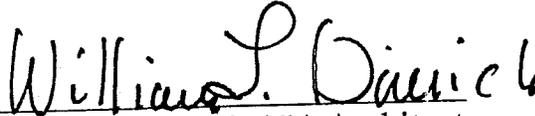
Lighting will be considered as an integral element of the project and used to enhance both building and landscape design. Parking areas will be illuminated as required for security and all lighting will be low-level and directed away from neighboring buildings.

**LANDSCAPING:**

The landscape planting and irrigation system will be designed to compliment the new buildings and relate to adjoining structures. Street trees and plant material will adhere to current guidelines and prescribed plant lists. Irrigation will be specified to meet low water use guidelines.

In conclusion, the project as designed, fits comfortably along the Broadway Corridor entrance to Sonoma. The General Plan and zoning designation is Mixed Use which provides for multiple housing of this coverage and density. The proposed project responds to infill concerns and provides much needed modest income housing. The facility is compatible with surrounding land uses and the external impact on traffic and public utilities is well within those anticipated for the area.

Gola Properties therefore request Design Review approval for the project as provided for in the City of Sonoma Zoning Ordinance.

  
William L. Dimick AIA Architect

5.31.2016  
Date

City of Sonoma Planning Commission  
**CONDITIONS OF APPROVAL**  
Murray Condominium Project – 20201 Broadway

May 12, 2016

1. The Use Permit and Tentative Map approval shall be contingent upon approval of a Demolition Permit by the Design Review & Historic Preservation Commission (DRHPC) allowing for demolition of the existing residence located on the property.

*Enforcement Responsibility:* Planning Department; DRHPC  
*Timing:* Prior to issuance a building permit

2. The development shall be constructed in conformance with the project narrative, approved site plan and building elevations dated 4/15/2016, and the Tentative Map dated 4/13/2016, except as modified by these conditions and the following:
  - a. The fence required along the southern property line shall be four feet in height within the front setback and a minimum of six feet in height thereafter.
  - b. The planter strip on the south side of the parking lot may be increased to a maximum width of 6 feet.

*Enforcement Responsibility:* Planning Department, Building Department; Public Works Department  
*Timing:* Prior to the issuance of any occupancy permit

3. A Final Map shall be prepared and submitted to the City Engineer for review and approval. Upon approval and acceptance by the City of all required dedications, the map shall be filed at the office of the Sonoma County Recorder.

*Enforcement Responsibility:* City Engineer; Planning Department; Building Department  
*Timing:* Prior to issuance of building permits

4. Storm drainage and utility improvements shown on the Tentative Map are not necessarily approved in that configuration and shall be revised as directed by the City and other reviewing agencies.

*Enforcement Responsibility:* City Engineer; Building Department; Affected Agencies  
*Timing:* Prior to issuance of building permits

5. The applicant shall submit CC&Rs for the subdivision and a Condominium Owners Association shall be established to maintain all common areas and interests. Review of the CC&R's and Condominium Owners Association agreement shall be subject to review and approval by the City Engineer, Planning Director, and City Attorney. In addition, the City Engineer may require the applicant to submit the agreements to applicable State agencies for review and approval.

*Enforcement Responsibility:* City Engineer; Planning Department; City Attorney  
*Timing:* Prior to issuance of building permits for residential building construction

6. The following public improvements shall be required as deemed necessary by the Public Works Division, City Engineer, Caltrans or other applicable department or agency. All improvement plans shall be prepared by a registered civil engineer and shall be submitted to and approved by the City Engineer and Caltrans prior to issuance of a grading permit. Plans for sanitary sewer facilities shall also be submitted to Sonoma County PRMD Sanitation Division for review and approval. All public improvements shall be completed prior to recordation of the Final Map or appropriately bonded for.

- a. Construction and/or repair of curb, gutter, sidewalk, and street structural section along the Broadway/State Hwy 12 frontage of the property as required by the City Engineer and Caltrans. Repair or reconstruction of any street structural section as required by the City Engineer or Caltrans.
- b. Provision of a residential driveway apron at the Broadway frontage with a minimum apron width of 20 feet consistent with City of Sonoma Standard Plan 111.
- c. Parking and drives shall be surfaced with an approved surface material as approved by the City Engineer and the Building Official. In all cases, driveways shall be paved a minimum of 20 feet from the edge of the sidewalk.
- d. The structural section of the driveway shall be designed to support the weight of a fire engine (45,000 lbs.) in all weather conditions.
- e. Sewer mains and separate laterals to the development as required by Sonoma County PRMD Engineering Division; water conservation measures installed and/or applicable mitigation fees paid as determined by the Sonoma County Water Agency.
- f. Extension and/or upgrade of water mains along the frontage of the property as may be required to link existing portions of the city's water system. Water service to each lot/unit. A dedicated irrigation meter/water service shall be provided for all site landscaping.
- g. Construction of on-site storm drains and related facilities as deemed necessary by the City Engineer to connect to the City's existing storm drain infrastructure on the west side of the property.
- h. Fire hydrants in the number and at the locations specified by the Fire Marshall and the City Engineer. An on-site fire hydrant shall be required. Fire hydrants shall be installed and in working condition prior to beginning combustible construction.
- i. Private underground utility services, including gas, electricity, cable TV and telephone, to each lot/unit in the development.
- j. Address numbers shall be posted on each structure within the development. Individual address numbers, or an address range, shall be clearly posted on Broadway.
- k. Street lighting as required by the City Engineer.
- l. Street trees as required by the Planning Division and the City Engineer. All street trees shall be consistent with the City's Tree Planting Program, including the District Tree List. The ultimate number and location of the street trees shall be subject to the discretion of the City Engineer and Caltrans.
- m. All required sidewalk, street, storm drainage, water, sewer and public utility easements shall be dedicated to the City of Sonoma or to other affected agencies of jurisdiction, as required.
- n. All major grading, including all swales, etc., shall be completed by October 15<sup>th</sup>, unless otherwise approved by the City Engineer.

*Enforcement Responsibility:* City Engineer; Public Works Department; Fire Department; Caltrans  
*Timing:* Prior to approval of the grading plan, building permit, or issuance of any occupancy permit, as applicable

7. A grading and drainage plan and an erosion and sediment control plan shall be prepared by a registered civil engineer and submitted to the City Engineer and the Sonoma County Water Agency for review and approval. A Stormwater Mitigation Plan (SMP) for the project shall also be prepared and submitted in conjunction with the grading plans for approval, and the measures identified in the SMP shall be incorporated into the grading and drainage plans consistent with applicable standards. The required plan shall be approved prior to the

issuance of a grading permit and commencement of grading/construction activities. The erosion control measures specified in the approved plan shall be implemented throughout the construction phase of the project. Applicable erosion control measures shall be identified on the erosion control plan and shall be implemented throughout the construction phase of the project: soil stabilization techniques such as hydroseeding and short-term biodegradable erosion control blankets or wattles, silt fences and/or some kind of inlet protection at downstream storm drain inlets, post-construction inspection of all facilities for accumulated sediment, and post-construction clearing of all drainage structures of debris and sediment. The plans shall conform to the City of Sonoma Grading Ordinance (Chapter 14.20 of the Municipal Code). The improvement plans will not be accepted by the City Engineer for review without first reviewing and approving the SMP.

*Enforcement Responsibility:* City Engineer; Building Department; Stormwater Coordinator; SCWA  
*Timing:* Prior to issuance of grading permit

8. All Building Division requirements shall be met, including compliance with CALGreen standards. Building permits shall be required.

*Enforcement Responsibility:* Building Department  
*Timing:* Prior to construction

9. All Fire Department shall be satisfied, including any code modifications effective prior to the date of issuance of any building permit. In addition, the following shall be required:
  - a. An on-site fire hydrant shall be required, the location subject to review and approval of the Fire Marshall.
  - b. All structures shall be protected by approved automatic fire sprinkler systems.
  - c. Parking shall be allowed only in designated parking places as approved on the site plan. All other areas, including the driveway and drive aisle shall be posted clearly as a fire lane with "No Parking" signs and/or markings (red curbs).
  - d. Additional requirements and/or recommendations from the Fire Department may result from a review of detailed project plans and specifications.

*Enforcement Responsibility:* Fire Department; Building Department;  
*Timing:* Prior to the issuance of any building permit

10. An encroachment permit shall be required from the City of Sonoma for work within the Broadway right of way. In addition, an encroachment permit from the Department of Transportation (Caltrans) shall be required for all work within the Highway 12 (Broadway) right-of-way. The applicant shall provide proof of the Caltrans encroachment permit prior to City Engineer approval of improvement plans for frontage improvements

*Enforcement Responsibility:* Caltrans; City Engineer; Public Works Department; Building Department  
*Timing:* Prior to occupancy

11. The project shall comply with the applicable stormwater requirements. A Stormwater Mitigation Plan (SWP) shall be submitted for review and approval by the City Engineer and Stormwater Coordinator. Said SMP shall identify specific BMPs and include the BMPs in the project drainage and improvement plans.

*Enforcement Responsibility:* Caltrans; City Engineer; Public Works Department; Building Department  
*Timing:* Prior to occupancy

12. The condominium unit identified as "Unit 2" on the site plan shall be designated as an affordable housing unit, affordable to low or moderate-income households. The developer shall enter into a contract with the City assuring the continued affordability of the designated unit for a minimum period of 55 years and establishing maximum rents, maximum sale prices, and resale restrictions. The requirement to provide an affordable unit

shall be recorded against the deed of the lot, with a standard City agreement subject to review and approval by the City Attorney and the Planning Director.

*Enforcement Responsibility: Planning Department, City Attorney*  
*Timing: Prior to occupancy*

13. The project shall be subject to architectural review by the Design Review & Historic Preservation Commission (DRHPC), encompassing elevation details, exterior colors and materials, and site details, including the carports, refuse enclosure, and bicycle parking.

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to the issuance of any building permit*

14. A landscape plan shall be prepared by a licensed landscape architect. The plan shall be subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). The plan shall address site landscaping (including private rear yard areas), fencing/walls, hardscape improvements, and required tree plantings, including street trees. In addition, tree plantings shall be required along the western edge of the project site for screening purposes. A solid, privacy fence of adequate height shall be provided along the southern project boundary to minimize impacts associated with vehicle headlights. The landscape plan shall comply with City of Sonoma's Water Efficient Landscaping Ordinance (Municipal Code §14.32) and Development Code Sections 19.40.100 (Screening and Buffering), 19.46 (Fences, Hedges, and Walls), 19.40.070 (Open Space for Multi-Family Residential Projects), 19.48.090 (Landscaping of Parking Facilities), and 19.40.060 (Landscape Standards). Street trees proposed along the Broadway frontage shall be consistent with the City's Tree Planting Program, including the District Tree List

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to issuance of any occupancy permit*

15. Onsite lighting shall be addressed through a lighting plan, subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). All proposed exterior lighting for the buildings and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines set forth in Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Light standards shall not exceed a maximum height of 15 feet.

*Enforcement Responsibility: Planning Department; DRHPC*  
*Timing: Prior to issuance of an occupancy permit*

16. The project shall be constructed in accordance with the following requirements related to tree preservation, mitigation and replacement:

- a. Trees removed from the project site shall be replaced on-site at a ratio of 2:1, with a minimum box size of 24 inches.
- b. The valley oaks identified as Tree #11 and Tree #15 in the arborist report shall be preserved if feasible depending on fill and/or grading impacts.
- c. The developer shall adhere to the recommendations and tree preservation guidelines presented in the arborist report.

*Enforcement Responsibility: Planning Department, Design Review Commission*  
*Timing: Throughout construction; Prior to the issuance of any occupancy permit*

17. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:
  - a. Caltrans [For encroachment permits and frontage improvements on State Highway 12/Broadway]
  - b. Sonoma County PRMD Sanitation Division [For sewer connections and modifications and interceptor requirements]
  - c. Sonoma Valley Unified School District [For school impact fees]
  - d. Sonoma County Department of Public Health [For closure/removal of septic tank or wells]
  - e. Sonoma County Department of Public Health [For closure and removal of septic tanks]

*Enforcement Responsibility:* Building Department; Public Works Department City Engineer; Caltrans  
*Timing:* Prior to the issuance of any grading/building permit

18. The applicant shall comply with all requirements of Sonoma County PRMD Engineering Division with respect to sanitary sewer requirements and facilities. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County PRMD Sanitation Division immediately to determine whether such fees apply.**

*Enforcement Responsibility:* Building Department;  
*Timing:* Prior to the issuance of any building permit

19. A soils and geotechnical investigation and report, prepared by a licensed civil engineer, shall be required if deemed necessary by the Building Department or the City Engineer prior to the issuance of a grading permit. Recommendations identified in the report shall be incorporated into the construction plans for the project and into the building permit(s).

*Enforcement Responsibility:* Building Department; City Engineer  
*Timing:* Prior to issuance of a grading permit

20. Prior to the issuance of any building permit, a water demand analysis shall be prepared by a licensed civil engineer and submitted by the applicant and shall be subject to the review and approval of the City Engineer. Said analysis shall be in compliance with the City's current policy on water demand and capacity analysis as outlined in Resolution 46-2010. Building permits for the project shall only be issued if the City Engineer finds, based on the water demand analysis in relation to the available water supply, that sufficient capacity is available to serve the proposed development, which finding shall be documented in the form of a will-serve letter, prepared by the City Engineer. Any will-serve letter shall remain valid only so long as the use permit for the project remains valid.

*Enforcement Responsibility:* City Engineer; Public Works Department  
*Timing:* Prior to issuance of any building permit

21. Dust control measures, subject to approval by the Building Official and the City Engineer, shall be implemented during the construction of the project. All exposed soil areas shall be watered twice daily or as required by the City's construction inspector.

*Enforcement Responsibility:* Public Works; Building Department  
*Timing:* Throughout construction

22. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, Caltrans, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempt from.

*Enforcement Responsibility: Public Works Department; Building Department; Affected Agencies*  
*Timing: Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above*

23. No structures of any kind shall be constructed within the public easements dedicated for public use, except for structures for which the easements are intended. No trees shall be planted within easements dedicated for public use except as expressly authorized by the City Engineer.

*Enforcement Responsibility: Planning Department; City Engineer*  
*Timing: Prior to the issuance of any building permit and ongoing*

24. Any septic systems on the site shall be removed or closed in place, consistent with the permit requirements of the Sonoma County Department of Environmental Health.

*Enforcement Responsibility: Sonoma County Department of Environmental Health; City Engineer*  
*Timing: Prior to construction*

25. Any wells on the site shall be closed in place or equipped with a back-flow prevention device as approved by the City Engineer.

*Enforcement Responsibility: City Engineer*  
*Timing: Prior to construction*

26. The property owner(s) shall plant one 36-inch box size replacement tree on the Broadway frontage or pay a penalty fee to the City of \$1,000 for the unauthorized removal of the English walnut tree. This amount shall be deposited into a fund carried upon the financial records of the City which shall be exclusively for the planting of trees in public places in the City and for tree related educational projects or programs.

*Enforcement Responsibility: City Prosecutor; City Attorney; Public Works Administrator; City Planner*  
*Timing: Prior to issuance of any building permit*



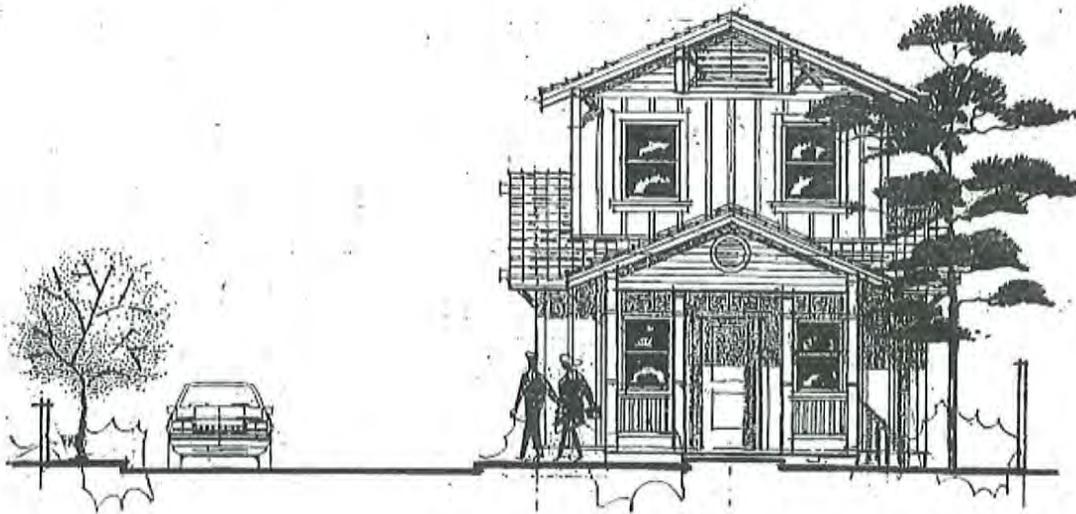
**MURRAY BUILDING, INC.**

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# Gola Properties Condominiums

Siding and Roofing Product Submittal



1181 Broadway  
Sonoma, Ca 95476

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P.O. BOX 2201  
SONOMA, CA 95476 (707) 939-9001 Ph. (707) 939-9048 Fax  
CONTRACTOR'S LIC. #646709

SECTION 074646

FIBER CEMENT SIDING

**(James Hardie HZ10 Engineered for Climate Siding)**

Display hidden notes to specifier. (Don't know how? [Click Here](#))  
*Copyright 2015 James Hardie Building Products Inc. - All rights reserved*

- GENERAL
- SECTION INCLUDES
  - Fiber cement lap siding, panels, shingle, trim, fascia, moulding and accessories; James Hardie HZ10 Engineered for Climate Siding.
  - Factory-finished fiber cement lap siding, panels, shingle, trim, fascia, moulding and accessories; James Hardie HZ10 Engineered for Climate Siding.
- RELATED SECTIONS
  - Section 054000 - Light Gage Metal Framing: Wall framing and bracing.
  - Section 061000 - Rough Carpentry: Wood framing and bracing.
  - Section 061000 - Rough Carpentry: Sheathing.
  - Section 072400 - Insulation: Exterior wall insulation.
- REFERENCES
  - ASTM D3359 - Standard Test Method for Measuring Adhesion by Tape Test, Tool and Tape.
  - ASTM E136 - Standard Test Method for Behavior of Materials in a Vertical Tube Furnace at 750 degrees C.
- SUBMITTALS
  - Submit under provisions of Section 013000.
  - Product Data: Manufacturer's data sheets on each product to be used, including:
    - Preparation instructions and recommendations.
    - Storage and handling requirements and recommendations.
    - Installation methods.
  - Shop Drawings: Provide detailed drawings of atypical non-standard applications of cementitious siding materials which are outside the scope of the standard details and specifications provided by the manufacturer.

- Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns.
- Verification Samples: For each finish product specified, two samples, minimum size 4 by 6 inches (100 by 150 mm), representing actual product, color, and patterns.
- QUALITY ASSURANCE
  - Installer Qualifications: Minimum of 2 years experience with installation of similar products.
  - Mock-Up: Provide a mock-up for evaluation of surface preparation techniques and application workmanship.
    - Finish areas designated by Architect.
    - Do not proceed with remaining work until workmanship, color, and sheen are approved by Architect.
    - Refinish mock-up area as required to produce acceptable work.
- DELIVERY, STORAGE, AND HANDLING
  - Store products in manufacturer's unopened packaging until ready for installation.
  - Store siding on edge or lay flat on a smooth level surface. Protect edges and corners from chipping. Store sheets under cover and keep dry prior to installing.
  - Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction.
- PROJECT CONDITIONS
  - Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.
- WARRANTY
  - Product Warranty: Limited, non-pro-rated product warranty.
    - HardiePlank HZ10 lap siding for 30 years.
    - HardiPanel HZ10 vertical siding for 30 years.
    - HardieSoffit HZ10 panels for 30 years.
    - HardieShingle HZ10 siding for 30 years.
    - HardieTrim HZ10 boards for 15 years.
    - Artisan HZ10 lap siding for 30 years.
    - Artisan HZ10 Lock Joint System siding for 30 years
  - Finish Warranty: Limited product warranty against manufacturing finish defects.
    - When used for its intended purpose, properly installed and maintained according to Hardie's published installation instructions, James Hardie's ColorPlus finish with ColorPlus Technology, for a period of 15 years from the date of purchase: will not peel; will not crack; and will not chip. Finish warranty includes the coverage for labor and material.
  - Workmanship Warranty: Application limited warranty for 2 years.

- PRODUCTS

- MANUFACTURERS

- Acceptable Manufacturer: James Hardie Building Products, Inc., which is located at: 26300 La Alameda Suite 400 ; Mission Viejo, CA 92691; Toll Free Tel: 866-274-3464; Tel: 949-367-4980; Fax: 949-367-4981; Email: [request info \(info@jameshardie.com\)](mailto:request info (info@jameshardie.com)); Web: [www.jameshardiecommercial.com](http://www.jameshardiecommercial.com)
- Substitutions: Not permitted.
- Requests for approval of equal substitutions will be considered in accordance with provisions of Section 016000.

- SIDING

- HardiePlank HZ10 lap siding, HardiePanel HZ10 vertical siding, HardieSoffit HZ10 panels and HardieShingle HZ10 siding requirement for Materials:
  - Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A.
  - Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - Fiber-cement Siding - have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - CAL-FIRE, Fire Engineering Division Building Materials Listing - Wildland Urban Interface (WUI) Listed Product. [[Ask Ben about this one.]]
  - ICC-ES Evaluation Report No. ESR-2290 (HardiePlank and HardieShingle), ESR-1844 (HardiePanel), and NER-405 (HardieSoffit)
  - City of Los Angeles, Research Report No. 24862.
  - Miami Dade County, Florida Notice of Acceptance-13-0311.07.
  - US Department of Housing and Urban Development Materials Release 1263e.
  - California DSA PA-019.
  - City of New York M EA 223-93-M.
  - Florida State Product Approval FL13192 (HardiePlank and HardieShingle), FL13223 (HardiePanel), and FL13265 (HardieSoffit).
  - Texas Department of Insurance Product Evaluation EC-23.
- Artisan HZ10 lap siding requirement for Materials:
  - Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A.
  - Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - Fiber-cement Siding- have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - Warnock Hersey Product Listing.
  - CAL-FIRE, Fire Engineering Division Building Materials Listing - Wildland Urban Interface (WUI) Listed Product.
  - Florida State Product Approval FL10477.
  - Miami Dade County, Florida Notice of Acceptance 12-0517.05.
  - Texas Department of Insurance Product Evaluation EC-55.
  - Manufacturer's Technical Data Sheet.
- Artisan HZ10 Lock Joint System requirement for Materials:

- Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A
  - Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - Fiber-cement Siding - have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - Warnock Hersey Product Listing..
  - Manufacturer's Technical Data Sheet.
- Lap Siding: Artisan HZ10 Lap Siding as manufactured by James Hardie Building Products, Inc.
    - Type: Smooth 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
    - Type: Smooth 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
    - Type: Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
    - Type: Texture 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
    - Type: Texture 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
    - Type: Texture 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  - Lap Siding: Artisan HZ10 Joint Lock System Siding as manufactured by James Hardie Building Products, Inc.
    - Type: Texture 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  - Lap Siding: HardiePlank HZ10 Lap as manufactured by James Hardie Building Products, Inc.
    - Type: Smooth 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
    - Type: Smooth 6-1/4 inches (159 mm) with 5 inches (127 mm) exposure.
    - Type: Smooth 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
    - Type: Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
    - Type: Smooth 9-1/4 inches (235 mm) with 8 inches (203 mm) exposure.
    - Type: Smooth 12 inches (305 mm) with 10-3/4 inches (273 mm) exposure.
    - Type: Select Cedarmill 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
    - Type: Select Cedarmill 6-1/4 inches (159 mm) with 5 inches (127 mm) exposure.
    - Type: Select Cedarmill 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
    - Type: Select Cedarmill 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
    - Type: Select Cedarmill 9-1/4 inches (235 mm) with 8 inches (203 mm) exposure.
    - Type: Select Cedarmill 12 inches (305 mm) with 10-3/4 inches (273 mm) exposure.
    - Type: Beaded Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
    - Type: Beaded Cedarmill 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  - Vertical Siding: HardiePanel HZ10 siding as manufactured by James Hardie Building Products, Inc.
    - Type: Smooth Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
    - Type: Smooth Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
    - Type: Smooth Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
    - Type: Cedarmill Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
    - Type: Cedarmill Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
    - Type: Cedarmill Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
    - Type: Stucco Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
    - Type: Stucco Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
    - Type: Stucco Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
    - Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 8 feet (1219 mm by

- 2438 mm).
  - Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
  - Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
- Shingle Siding: HardieShingle HZ10 siding as manufactured by James Hardie Building Products, Inc.
  - Type: HardiShingle Individual Shingles 6 inches (152 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  - Type: HardiShingle Individual Shingles 8 inches (203 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  - Type: HardiShingle Individual Shingles 12 inches (305 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  - Type: HardieShingle Straight-Edge Notched Panel 48 inches (1219 mm) wide by 16 inches (406mm) high with 7 inches (178 mm) exposure.
  - Type: HardieShingle Staggered-Edge Notched Panel 48 inches (1219 mm) wide by 16 inches (406mm) high with 7 inches (178 mm) exposure.
  - Type: HardieShingle Half Round Notched Panel 48 inches (1219 mm) wide by 19 inches (483mm) high with 7 inches (178 mm) exposure.
  - Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
- Soffit Panels: HardieSoffit HZ10 soffit panel, factory sealed on 5 sides as manufactured by James Hardie Building Products, Inc.
  - Type: Smooth non-vented, 12 inches (305 mm) by 12 feet (3658 mm).
  - Type: Smooth non-vented, 16 inches (406 mm) by 12 feet (3658 mm).
  - Type: Smooth non-vented, 24 inches (610 mm) by 8 feet (2438 mm).
  - Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 12 inches (305 mm) by 12 feet (3658 mm).
  - Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 16 inches (406 mm) by 12 feet (3658 mm),
  - Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 24 inches (610 mm) by 8 feet (2438 mm).
  - Type: Textured Cedarmill non-vented, 12 inches (305 mm) by 12 feet (3658 mm).
  - Type: Textured Cedarmill non-vented, 16 inches (406 mm) by 12 feet (3658 mm).
  - Type: Textured Cedarmill non-vented, 24 inches (610 mm) by 8 feet (2438 mm).
  - Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 12 inches (305 mm) by 12 feet (3658 mm).
  - Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 16 inches (406 mm) by 12 feet (3658 mm).
  - Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 24 inches (610 mm) by 8 feet (2438 mm).
  - Thickness: 1/4 inch (6 mm).
- Trim:
  - HardieTrim HZ10 boards as manufactured by James Hardie Building Products, Inc.
    - Product: Batten Boards, 2-1/2 inch (63 mm) width.
    - Product: 4/4 Boards, 3-1/2 inch (89 mm) width.
    - Product: 4/4 Boards, 5-1/2 inch (140 mm) width.
    - Product: 4/4 Boards, 7-1/4 inch (184 mm) width.

- Product: 4/4 Boards, 9-1/4 inch (235 mm) width.
- Product: 4/4 Boards, 11-1/4 inch (286 mm) width.
- Product: 4/4 NT3 Boards, 3-1/2 inch (89 mm) width.
- Product: 4/4 NT3 Boards, 5-1/2 inch (140 mm) width.
- Product: 4/4 NT3 Boards, 7-1/4 inch (184 mm) width.
- Product: 4/4 NT3 Boards, 9-1/4 inch (235 mm) width.
- Product: 4/4 NT3 Boards, 11-1/4 inch (286 mm) width.
- Product: 5/4 Boards, 3-1/2 inch (89 mm) width.
- Product: 5/4 Boards, 5-1/2 inch (140 mm) width.
- Product: 5/4 Boards, 7-1/4 inch (184 mm) width.
- Product: 5/4 Boards, 9-1/4 inch (235 mm) width.
- Product: 5/4 Boards, 11-1/4 inch (286 mm) width.
- Product: 5/4 NT3 Boards, 3-1/2 inch (89 mm) width.
- Product: 5/4 NT3 Boards, 4-1/2 inch (114 mm) width.
- Product: 5/4 NT3 Boards, 5-1/2 inch (140 mm) width.
- Product: 5/4 NT3 Boards, 7-1/4 inch (184 mm) width.
- Product: 5/4 NT3 Boards, 11-1/4 inch (286 mm) width.
- Texture: Smooth.
- Texture: Rustic.
- Texture: Wood Grained.
- Length: 12 feet (3658 mm).
- Thickness: 3/4 inch (19 mm).
- Thickness: 1 inch (24 mm).
- HardieTrim HZ10 Fascia boards as manufactured by James Hardie Building Products, Inc.
- Artisan HZ10 Accent trim as manufactured by James Hardie Building Products, Inc.
- Crown Mouldings:
  - HardieTrim HZ10 Crown moulding manufactured by James Hardie Building Products, Inc.
- FASTENERS
  - Wood Framing Fasteners:
    - Wood Framing: 4d common corrosion resistant nails.
    - Wood Framing: 6d common corrosion resistant nails.
    - Wood Framing: 8d common corrosion resistant nails.
    - Wood Framing: 8d box ring common corrosion resistant nails.
    - Wood Framing: 0.083 inch (2.1 mm) shank by 0.187 inch (4.7 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
    - Wood Framing: 0.089 inch (2.2 mm) shank by 0.221 inch (5.6 mm) head by 2 inches (51 mm) corrosion resistant siding nails.
    - Wood Framing: 0.090 inch (2.3 mm) shank by 0.215 inch (5.5 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
    - Wood Framing: 0.093 inch (2.4 mm) shank by 0.222 inch (5.6 mm) head by 2 inches (51 mm) corrosion resistant siding nails.
    - Wood Framing: 0.093 inch (2.4 mm) shank by 0.222 inch (5.6 mm) head by 2-1/2 inches (64 mm) corrosion resistant siding nails.
    - Wood Framing: 0.092 inch (2.3 mm) shank by 0.222 inch (5.6 mm) head by 2 inches

- (51 mm) corrosion resistant galvanized nails.
  - Wood Framing: 0.092 inch (2.3 mm) shank by 0.225 inch (5.7 mm) head by 2-1/4 inches (57 mm) corrosion resistant galvanized nails.
  - Wood Framing: 0.092 inch (2.3 mm) shank by 0.222 inch (5.6 mm) head by 2-1/2 inches (64 mm) corrosion resistant galvanized nails.
  - Wood Framing: 0.091 inch (2.3 mm) shank by 0.221 inch (5.6 mm) head by 1-1/2 inches (38 mm) corrosion resistant siding nails.
  - Wood Framing: 0.091 inch (2.3 mm) shank by 0.225 inch (5.7 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
  - Wood Framing into WSP: 0.121 inch (3 mm) shank by 0.371 inch (9.4 mm) head by 1-1/4 inches (32 mm) corrosion resistant roofing nails.
  - Wood Framing: No. 11 gauge 1-1/4 inches (32 mm) corrosion resistant roofing nails.
  - Wood Framing: No. 11 gauge 1-3/4 inches (44 mm) corrosion resistant roofing nails.
  - Wood Framing into WSP: No. 8 1-5/8 inches (41 mm) by 0.375 inch (9.5 mm) head corrosion resistant ribbed wafer head screws.
- Metal Framing:
  - Metal Framing: 1-1/4 inches (32 mm) No. 8-18 by 0.375 inch (9.5 mm) head self-drilling, corrosion resistant S-12 ribbed buglehead screws.
  - Metal Framing: 1-5/8 inches (41 mm) No. 8-18 by 0.323 inch (8.2 mm) head self-drilling, corrosion resistant S-12 ribbed buglehead screws.
  - Metal Framing: 1 inch (25 mm) No. 8-18 by 0.323 inch (8.2 mm) head self-drilling, corrosion resistant ribbed buglehead screws.
  - Metal Framing: 1.5 inch (38mm) [AGS-100] 0.100 inches by 0.25 inches (2.54 mm by 6.35 mm) ET&F Pin or equivalent pneumatic fastener.
  - Metal Framing: 1.5 inch (38mm) 0.100 inches by 0.313 inches (2.54 mm by 7.95 mm) ET&F Pin or equivalent pneumatic fastener.
- Masonry Walls (CMU):
  - Masonry Walls: ET&F No. ASM-144-125, 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  - Masonry Walls: ET&F No. ASM-144-150, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  - Masonry Walls: Max System CP-C 832 W7-ICC, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1.3 inches (33 mm) long corrosion resistant nails
  - Masonry Walls: Max System CP-C 838 W7-ICC, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  - Masonry Walls: Aerosmith SurePin 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  - Masonry Walls: Aerosmith SurePin 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  - Jaaco Nail Pro NP145S 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  - Jaaco Nail Pro NP145S 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
- **\*\* NOTE TO SPECIFIER \*\*** Certain geographic areas allow a minimum single coat of 100% acrylic or exterior grade latex, high quality alkali resistant paint on unprimed product, James Hardie recommends, minimum one coat primer plus on or two topcoats.

- FINISHES

- Factory Primer: Provide factory applied universal primer.
  - Primer: Factory primed by James Hardie.
  - Topcoat: Refer to Section 099000 and Exterior Finish Schedule.
- Factory Finish: Refer to Exterior Finish Schedule.
  - Product: ColorPlus Technology by James Hardie.
  - Definition: Factory applied finish; defined as a finish applied in the same facility and company that manufactures the siding substrate.
  - Process:
    - Factory applied finish by fiber cement manufacturer in a controlled environment within the fiber cement manufacturer's own facility utilizing a multi-coat, heat cured finish within one manufacturing process.
    - Each finish color must have documented color match to delta E of 0.5 or better between product lines, manufacturing lots or production runs as measured by photo spectrometer and verified by third party.
  - Protection: Factory applied finish protection such as plastic laminate that is removed once siding is installed
  - Accessories: Complete finishing system includes pre-packaged touch-up kit provided by fiber cement manufacturer. Provide quantities as recommended by manufacturer.
- Factory Finish Color for Trim, Soffit and Siding Colors:
  - Alpine Frost JH50-10.
  - Arctic White JH10-20.
  - Autumn Tan JH20-20.
  - Boothbay Blue JH70-20.
  - Chestnut Brown JH80-30.
  - Cobble Stone JH40-10.
  - Countrylane Red JH90-20.
  - Evening Blue JH70-30.
  - Frosted Green JH60-20.
  - Harris Cream JH80-10.
  - Heathered Moss JH50-20.
  - Iron Gray JH90-30.
  - Khaki Brown JH20-30.
  - Light Mist JH70-10.
  - Monterey Taupe JH40-20.
  - Mountain Sage JH50-30.
  - Navajo Beige JH30-10.
  - Parkside Pine JH60-30.
  - Sail Cloth JH20-10.
  - Sandstone Beige JH30-20.
  - Soft Green JH60-10.
  - Timber Bark JH40-30.
  - Traditional Red JH90-10.
  - Tuscan Gold JH80-20.
  - Woodland Cream JH10-30.

- Woodstock Brown JH30-30.
  - Terra Cotta JH15-20.
  - Coral Coast JH25-20.
  - Aqua Marine JH35-20.
  - Cool Breeze JH45-20.
  - Pink Sand JH55-20.
- EXECUTION
- EXAMINATION
    - Do not begin installation until substrates have been properly prepared.
    - If framing preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.
    - Nominal 2 inch by 4 inch (51 mm by 102 mm) wood framing selected for minimal shrinkage and complying with local building codes, including the use of water-resistive barriers or vapor barriers where required. Minimum 1-1/2 inches (38 mm) face and straight, true, of uniform dimensions and properly aligned.
      - Install water-resistive barriers and claddings to dry surfaces.
      - Repair any punctures or tears in the water-resistive barrier prior to the installation of the siding.
      - Protect siding from other trades.
    - Minimum 20 gauge 3-5/8 inch (92 mm) C-Stud 16 inches maximum on center or 16 gauge 3-5/8 inches (92 mm) C-Stud 24 inches (610 mm) maximum on center metal framing complying with local building codes, including the use of water-resistive barriers and/or vapor barriers where required. Minimum 1-1/2 inches (38 mm) face and straight, true, of uniform dimensions and properly aligned.
      - Install water-resistive barriers and claddings to dry surfaces.
      - Repair any punctures or tears in the water-resistive barrier prior to the installation of the siding.
      - Protect siding from other trades.
- PREPARATION
    - Clean surfaces thoroughly prior to installation.
    - Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
    - Install a water-resistive barrier is required in accordance with local building code requirements.
    - The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements.
    - Install Engineered for Climate™ HardieWrap™ weather barrier in accordance with local building code requirements.
    - Use HardieWrap™ Seam Tape and joint and laps.

- Install and HardieWrap™ flashing, HardieWrap™ Flex Flashing.
- INSTALLATION - HARDIEPLANK HZ10 LAP SIDING AND ARTISAN HZ10 LAP SIDING
  - Install materials in strict accordance with manufacturer's installation instructions.
  - Starting: Install a minimum 1/4 inch (6 mm) thick lath starter strip at the bottom course of the wall. Apply planks horizontally with minimum 1-1/4 inches (32 mm) wide laps at the top. The bottom edge of the first plank overlaps the starter strip.
  - Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
  - Align vertical joints of the planks over framing members.
  - Maintain clearance between siding and adjacent finished grade.
  - Locate splices at least one stud cavity away from window and door openings.
  - Use off-stud metal joiner in strict accordance with manufacturer's installation instructions.
  - Wind Resistance: Where a specified level of wind resistance is required Artisan lap siding is installed to framing members and secured with fasteners described in ICC-ES Evaluation Report No. ESR-2290
  - Face nail to sheathing.
  - Locate splices at least 12 inches (305 mm) away from window and door openings.
- INSTALLATION - ARTISAN HZ10 LOCK JOINT SYSTEM SIDING
  - Install materials in strict accordance with manufacturer's installation instructions.
  - Starting: Install bottom course at bottom of the wall. Apply consecutive courses horizontally in a stacking affect as the Lock Joint system connecting into the course below.
  - Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
  - Align vertical joints of the siding minimum 4 inches from framing members.
  - Maintain clearance between siding and adjacent finished grade.
  - Locate splices at least 12 inches (305 mm) away from window and door openings.
  - Wind Resistance: Where a specified level of wind resistance is required Artisan HZ10 Lock Joint System siding is installed to framing members and secured with fasteners described in Artisan V Rustic code compliance sheet
  - Face nail to sheathing.
- INSTALLATION - HARDIEPANEL HZ10 VERTICAL SIDING

- Install materials in strict accordance with manufacturer's installation instructions.
- Block framing between studs where HardiePanel siding horizontal joints occur.
- Install metal Z flashing and provide a 1/4 inch (6 mm) gap at horizontal panel joints.
- Place fasteners no closer than 3/8 inch (9.5 mm) from panel edges and 2 inches (51 mm) from panel corners.
- Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- Maintain clearance between siding and adjacent finished grade.
- Specific framing and fastener requirements refer to ICC-ES Evaluation Report No. ESR-1844
- Factory Finish Touch Up: Apply touch up paint to cut edges in accordance with manufacturer's printed instructions.
  - Touch-up nicks, scrapes, and nail heads in pre-finished siding using the manufacturer's touch-up kit pen.
  - Touch-up of nails shall be performed after application, but before plastic protection wrap is removed to prevent spotting of touch-up finish.
  - Use touch-up paint sparingly. If large areas require touch-up, replace the damaged area with new pre-finished siding. Match touch up color to siding color through use of manufacturer's branded touch-up kits.
- **INSTALLATION - HARDIE HZ10 SHINGLESIDE CLADDING**
  - Install materials in strict accordance with manufacturer's installation instructions.
  - Substrate: Install a minimum 7/16 inch (11 mm) thick OSB wall sheathing or equivalent braced walls complying with applicable building codes.
  - Starting: Install a minimum 1/4 inch (6 mm) thick lath starter strip at the bottom course of the wall.
  - Maintain clearance between siding and adjacent finished grade.
  - Apply starter course of 10 inches (254 mm) shingles or 9-1/2 inches (241 mm) lap siding overlapping the starter strip.
  - Apply subsequent courses horizontally with a minimum 10 inch overlap at the top and a minimum 2 inch (51 mm) side lap. The bottom edge of the first two courses overlaps the starter strip.
  - Fasten between 1/2 inch (13 mm) and 1 inch (25 mm) in from the side edge and between 8-1/2 inches (216 mm) and 9 inches (229 mm) up from the shingle bottom edge.
  - Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
  - Ensure vertical joints of overlapping shingle course do not align.

- Wind Resistance: Where a specified level of wind resistance is required, Hardie Shingle siding is installed to substrate and secured with a minimum two fasteners described in ICC-ES Evaluation Report No. ESR-2290.
- **INSTALLATION - HARDIETRIM HZ10 BOARDS**
  - Install materials in strict accordance with manufacturer's installation instructions. Install flashing around all wall openings.
  - Fasten through trim into structural framing or code complying sheathing. Fasteners must penetrate minimum 3/4 inch (19 mm) or full thickness of sheathing. Additional fasteners may be required to ensure adequate security.
  - Place fasteners no closer than 3/4 inch (19 mm) and no further than 2 inches (51 mm) from side edge of trim board and no closer than 1 inch (25 mm) from end. Fasten maximum 16 inches (406 mm) on center.
  - Maintain clearance between trim and adjacent finished grade.
  - Trim inside corner with a single board trim both side of corner.
  - Outside Corner Board Attach Trim on both sides of corner with 16 gage corrosion resistant finish nail 1/2 inch (13 mm) from edge spaced 16 inches (406 mm) apart, weather cut each end spaced minimum 12 inches (305 mm) apart.
  - Allow 1/8 inch gap between trim and siding.
  - Seal gap with high quality, paint-able caulk.
  - Shim frieze board as required to align with corner trim..
  - Fasten through overlapping boards. Do not nail between lap joints.
  - Overlay siding with single board of outside corner board then align second corner board to outside edge of first corner board. Do not fasten HardieTrim boards to HardieTrim boards.
  - Shim frieze board as required to align with corner trim.
  - Install HardieTrim Fascia boards to rafter tails or to sub fascia.
- **FINISHING**
  - Finish unprimed siding with a minimum one coat high quality, alkali resistant primer and one coat of either, 100 percent acrylic or latex or oil based, exterior grade topcoats or two coats high quality alkali resistant 100 percent acrylic or latex, exterior grade topcoat within 90 days of installation. Follow paint manufacturer's written product recommendation and written application instructions.
  - Finish factory primed siding with a minimum of one coat of high quality 100 percent acrylic or latex or oil based exterior grade paint within 180 days of installation. Follow paint manufacturer's written product recommendation and written application instructions.
- **PROTECTION**

- Protect installed products until completion of project.
- Touch-up, repair or replace damaged products before Substantial Completion.

END OF SECTION

# HardiePlank® **HZ10** Lap Siding



EFFECTIVE SEPTEMBER 2013

Visit [www.jameshardie.com](http://www.jameshardie.com) for the most recent version.

INSTALLATION REQUIREMENTS - PRIMED & COLORPLUS® PRODUCTS

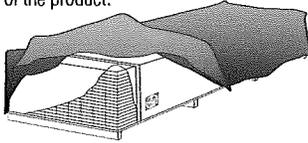
**SELECT CEDARMILL® • SMOOTH • CUSTOM COLONIAL™ SMOOTH • CUSTOM COLONIAL™ ROUGHSAWN  
CUSTOM BEADED CEDARMILL® • CUSTOM BEADED SMOOTH • STRAIGHT-EDGE SHINGLE PLANK**

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE™ PRODUCT INSTRUCTIONS.**

**INSTALLATION OF HZ10® PRODUCTS OUTSIDE AN HZ10® LOCATION WILL VOID YOUR WARRANTY. TO DETERMINE WHICH HARDIEZONE™ APPLIES TO YOUR LOCATION, VISIT [WWW.HARDIEZONE.COM](http://WWW.HARDIEZONE.COM) OR CALL 1-866-942-7343 (866 9HARDIE)**

## STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



## ⚠ CUTTING INSTRUCTIONS

### OUTDOORS

- Position cutting station so that wind will blow dust away from user and others in working area.
- Use one of the following methods:
  - Best:
    - Score and snap
    - Shears (manual, electric or pneumatic)
  - Better:
    - Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
  - Good:
    - Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

### INDOORS

- Cut only using score and snap, or shears (manual, electric or pneumatic).
- Position cutting station in well-ventilated area

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark
- NEVER dry sweep – Use wet suppression or HEPA Vacuum

Important Note: For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best"-level cutting methods where feasible.

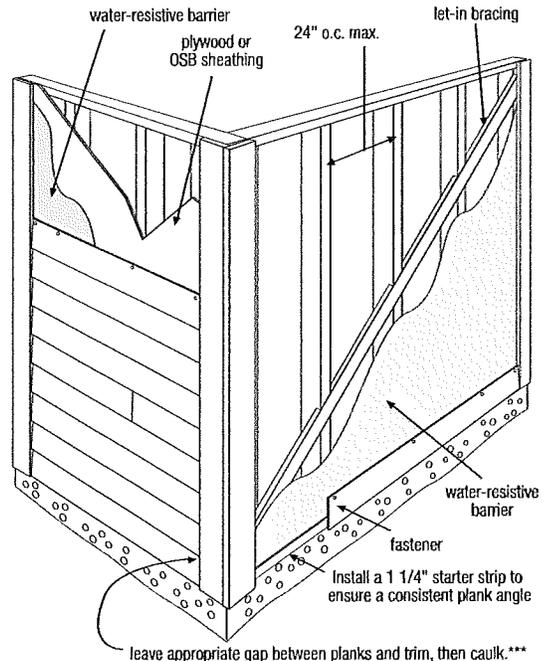
NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

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## GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs spaced a maximum of 24" o.c. or directly to minimum 7/16" thick OSB sheathing. See general fastening requirements. Irregularities in framing and sheathing can mirror through the finished application.
- Information on installing James Hardie products over foam can be located in **JH Tech Bulletin 19** at [www.jameshardie.com](http://www.jameshardie.com)
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap<sup>1</sup>, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3-14 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6" in the first 10'.
- Do not use HardiePlank lap siding in fascia or trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at [www.JamesHardie.com](http://www.JamesHardie.com).
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.

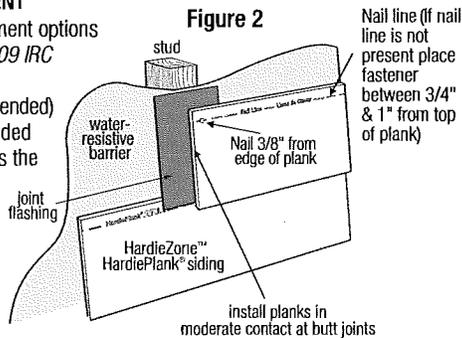
**Figure 1 Double Wall Construction Single Wall Construction**



## INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.3.2)

- Joint Flashing (James Hardie recommended)
- Caulking\* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- "H" jointer cover



Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. \*Refer to Caulking section in these instructions.

<sup>1</sup>For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or [www.hardiewrap.com](http://www.hardiewrap.com)

### WARNING: AVOID BREATHING SILICA DUST

James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade® saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at [www.jameshardie.com](http://www.jameshardie.com) or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

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## CLEARANCE AND FLASHING REQUIREMENTS

Figure 3  
Roof to Wall

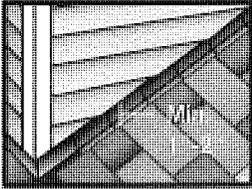


Figure 4  
Horizontal Flashing

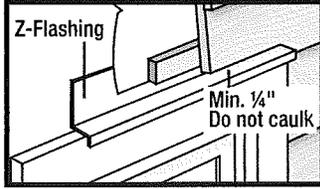


Figure 5  
Kickout Flashing

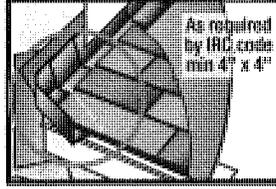


Figure 6  
Slabs, Path, Steps to Siding

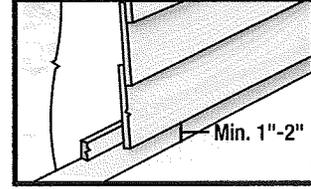


Figure 7  
Deck to Wall

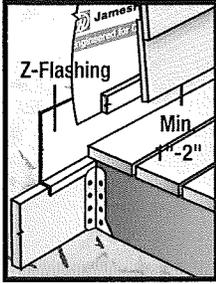


Figure 8  
Ground to Siding

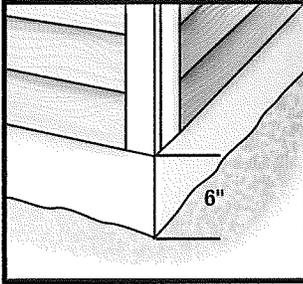


Figure 9  
Gutter to Siding

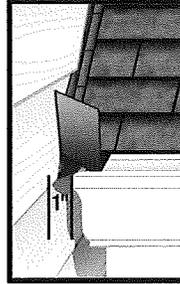


Figure 10  
Sheltered Areas

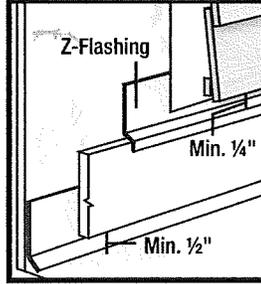


Figure 11  
Mortar/Masonry

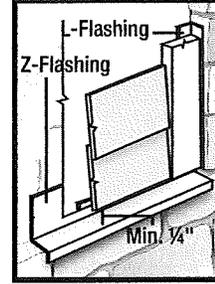


Figure 12  
Drip Edge

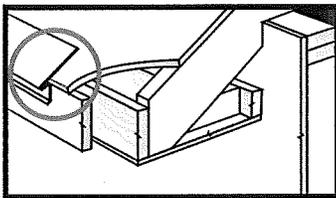


Figure 13  
Block Penetration  
(Recommended in HZ10)

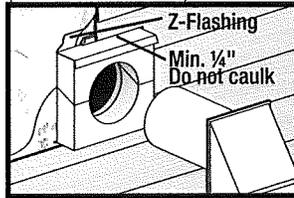
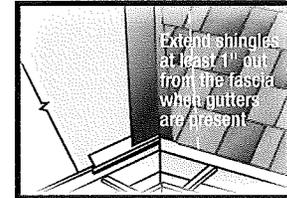


Figure 14  
Valley/Shingle Extension



## FASTENER REQUIREMENTS \*\*

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair). **Pin-backed corners may be done for aesthetic purposes Only. Pin-backs shall be done with finish nails only, and are not a substitute for blind or face nailing.**

### BLIND NAILING

#### Nails - Wood Framing

- Siding nail (0.09" shank x 0.221" HD x 2" long)
- 11ga. roofing nail (0.121" shank x 0.371" HD x 1.25" long)

#### Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4" long x 0.375" HD) Screws must penetrate 3 threads into metal framing.

#### Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10" shank x 0.313" HD x 1-1/2" long)
- Nails must penetrate minimum 1/4" into metal framing.

#### OSB minimum 7/16"

- 11ga. roofing nail (0.121" shank x 0.371" HD x 1.75" long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8" long x 0.375" HD).

### FACE NAILING

#### Nails - Wood Framing

- 6d (0.113" shank x 0.267" HD x 2" long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

#### Screws - Steel Framing

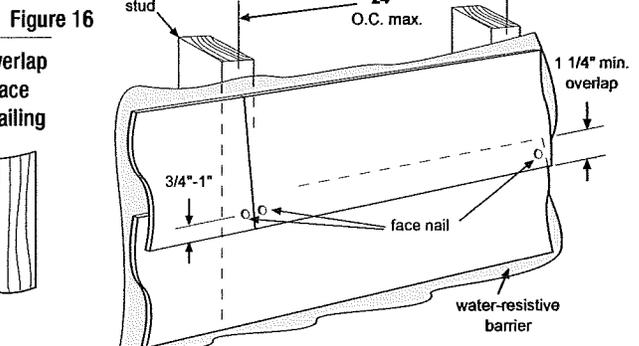
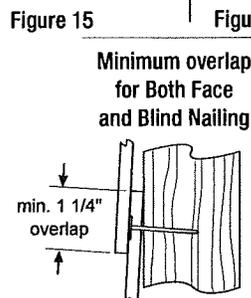
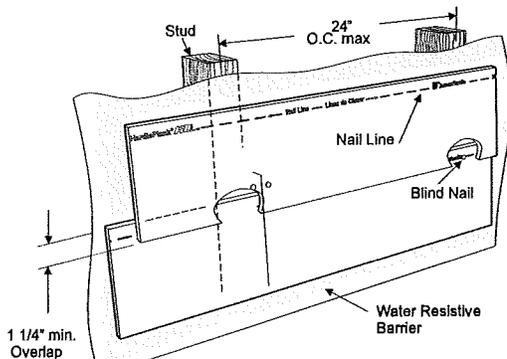
- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8" long x 0.323" HD) Screws must penetrate 3 threads into metal framing.

#### Nails - Steel Framing

- ET & F pin or equivalent (0.10" shank x 0.25" HD x 1-1/2" long)
- Nails must penetrate minimum 1/4" into metal framing.

#### OSB minimum 7/16"

- Siding nail (0.09" shank x 0.221" HD x 1-1/2" long)\*



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

\* When face nailing to OSB, planks must be no greater than 9 1/4" wide and fasteners must be 12" o.c. or less.

\*\* Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 17 - Fastening Tips for HardiePlank® Lap Siding.

## GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5.

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush to the plank with a hammer (For steel framing, remove and replace nail).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.
- Do not use aluminum fasteners, staples, or clipped head nails.

## PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



## PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

## CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

## CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: OSI Quad as well as some other caulking manufacturers do not allow tooling.**

## COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie® ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coaters, available from your ColorPlus product dealer.

**Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

## PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

## COVERAGE CHART/ESTIMATING GUIDE

Number of 12' planks, does not include waste

COVERAGE AREA LESS OPENINGS	HARDIEPLANK® LAP SIDING WIDTH										
	SQ (1 SQ = 100 sq.ft.)	(exposure)	5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4
1			25	20	17	16	15	14	13	13	9
2			50	40	33	32	30	29	25	25	19
3			75	60	50	48	44	43	38	38	28
4			100	80	67	64	59	57	50	50	37
5			125	100	83	80	74	71	63	63	47
6			150	120	100	96	89	86	75	75	56
7			175	140	117	112	104	100	88	88	65
8			200	160	133	128	119	114	100	100	74
9			225	180	150	144	133	129	113	113	84
10			250	200	167	160	148	143	125	125	93
11			275	220	183	176	163	157	138	138	102
12			300	240	200	192	178	171	150	150	112
13			325	260	217	208	193	186	163	163	121
14			350	280	233	224	207	200	175	175	130
15			375	300	250	240	222	214	188	188	140
16			400	320	267	256	237	229	200	200	149
17			425	340	283	272	252	243	213	213	158
18			450	360	300	288	267	257	225	225	167
19			475	380	317	304	281	271	238	238	177
20			500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in: the 2006, 2009, & 2012 International Residential Code for One- and Two-Family Dwellings, and the 2006, 2009, & 2012 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#889, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

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Panelfast is a registered trademark of ET&F Fastening Systems, Inc.

Additional Installation Information,  
Warranties, and Warnings are available at  
[www.jameshardie.com](http://www.jameshardie.com)



**JamesHardie**

# HardiePanel® **HT10** Vertical Siding



DECEMBER 2015



MULTI-FAMILY / COMMERCIAL INSTALLATION REQUIREMENTS - PRIMED & COLORPLUS® PRODUCTS Visit [www.JamesHardieCommercial.com](http://www.JamesHardieCommercial.com) for the most recent version.

## SMOOTH • CEDARMILL® • SELECT SIERRA 8 • STUCCO

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE® INSTRUCTIONS. TO DETERMINE WHICH HARDIEZONE PRODUCT APPLIES TO YOUR LOCATION, VISIT [WWW.HARDIEZONE.COM](http://WWW.HARDIEZONE.COM) OR CALL 1-866-942-7343 (866 9HARDIE)**

### STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing product wet or saturated may result in shrinkage at butt joints. Carry product on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



### CUTTING INSTRUCTIONS\*

#### OUTDOORS

- Position cutting station so that wind will blow dust away from user and others in working area.
- Use one of the following methods:
  - Best: i. Score and snap ii. Shears (manual, electric or pneumatic)\*
  - Better: Dust reducing circular saw

equipped with a HardieBlade® saw blade and vacuum dust extraction  
 c. Good: Circular saw with a HardieBlade saw blade (for low to moderate cutting volume)

\* Shears and score/snap methods may not be suitable for products thicker than 1/2 in.

#### INDOORS

- NEVER cut with power saws indoors
- Cut only using score and snap, or shears (manual, electric or pneumatic).
- Position cutting station in well-ventilated area

– NEVER dry sweep – Use wet suppression or vacuum

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact the manufacturer for further information.

### GENERAL REQUIREMENTS:

- Refer to table 1 for James Hardie's multifamily/commercial drainage requirements.
- HardiePanel® vertical siding can be installed over braced wood or steel studs spaced a maximum of 2 ft. (610mm) o.c. Irregularities in framing and sheathing can mirror through the finished application.
- Consult ESR1844 for fastener schedule as well as additional technical information at [www.jameshardiecommercial.com](http://www.jameshardiecommercial.com).
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does market HardieWrap® Weather Barrier, a non-woven non-perforated housewrap<sup>1</sup>, which complies with building code requirements.
- Information on installing James Hardie® products over foam can be located in JH Tech Bulletin 19 at [www.jameshardie.com](http://www.jameshardie.com).
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePanel vertical siding may be installed on vertical wall applications only.
- DO NOT use HardiePanel vertical siding in Fascia or Trim applications.
- The designer and/or architect shall take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin #8 "Expansion Characteristics of James Hardie® Siding Products" at [www.jameshardiecommercial.com](http://www.jameshardiecommercial.com).

**Table 1 HardiePanel® Siding – Wall Drainage Requirements**

		Exterior Wall Drainage Requirements			
		With a Minimum 12-Inch Eave Overhang		Without a Minimum 12-Inch Eave Overhang	
Building Height (Stories)		Vertical Joints formed by: Board and Batten; Moderate Contact; Caulk	Vertical Joints formed by Exposed Seam Joints	Vertical Joints formed by: Board and Batten; Moderate Contact; Caulk	Vertical Joints formed by Exposed Seam Joints
James Hardie® Panel Products - 30% of Building's Total Exterior Wall Covering	7 story building	WRB <sup>1</sup>	Rainscreen (min. 3/8 in. air gap) <sup>3</sup>		
	6 story building				
	5 story building				
	4 story building				
	3 story building				
	2 story building				
James Hardie® Panel Products - 30% of Building's Total Exterior Wall Covering	7 story building	WRB <sup>1</sup>	Rainscreen (min. 3/8 in. air gap) <sup>3</sup>		
	6 story building				
	5 story building		Drainage Plane (e.g. drainable WRB) with 90% drainage efficiency <sup>2</sup>		
	4 story building				
	3 story building				
	2 story building				
1 story building					

<sup>1</sup> Water-resistive Barrier and drainage requirements as defined by building code.

<sup>2</sup> Water-resistive Barrier as defined by local building code that is manufactured in a manner to enhance drainage, must meet minimum 90% drainage efficiency when tested in accordance with ASTM E2273 or other recognized national standards.

<sup>3</sup> Water-resistive Barrier (WRB) as defined by building code and a minimum 3/8 in. (10mm) air space between the WRB and the panel siding (formed by minimum 3/8 in. furring).

**DANGER: Do not breathe dust from this product.** Respirable Crystalline Silica Dust causes damage to lungs and respiratory system through prolonged or repeated inhalation.

Fiber cement is not a health hazard when handled or stored in its original, unopened condition. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, rebaring, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when clearing up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust: (1) follow James Hardie instructions and best practices to reduce or limit the release of dust; (2) wear others in this area to avoid the dust; (3) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment; and (4) if no other dust controls are available, wear a NIOSH-approved dust mask or respirator (e.g., the N 95 dust mask).

Refer to the product Safety Data Sheet before use. Do not handle product until all safety precautions have been read and understood. Wash hands and face thoroughly after handling. If exposed to dust or concerned, get medical advice. If shortness of breath or other health concerns develop after exposure to dust from this product, seek medical attention. Dispose of product in accordance with local, state and national regulations. If there are no applicable regulations, dispose of in a secure landfill, or in a way that will not expose others to dust.

WARNING: This product contains a chemical known to the State of California to cause cancer. For more information go to [www.P65Warnings.ca.gov/product](http://www.P65Warnings.ca.gov/product).

For more information contact: James Hardie Building Products, Inc., 231 S. LaSalle St., Suite 2000, Chicago, IL 60604 USA 1-888 JHARDIE [www.jameshardie.com](http://www.jameshardie.com) [www.jhsafesite.com](http://www.jhsafesite.com)

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**INSTALLATION:**

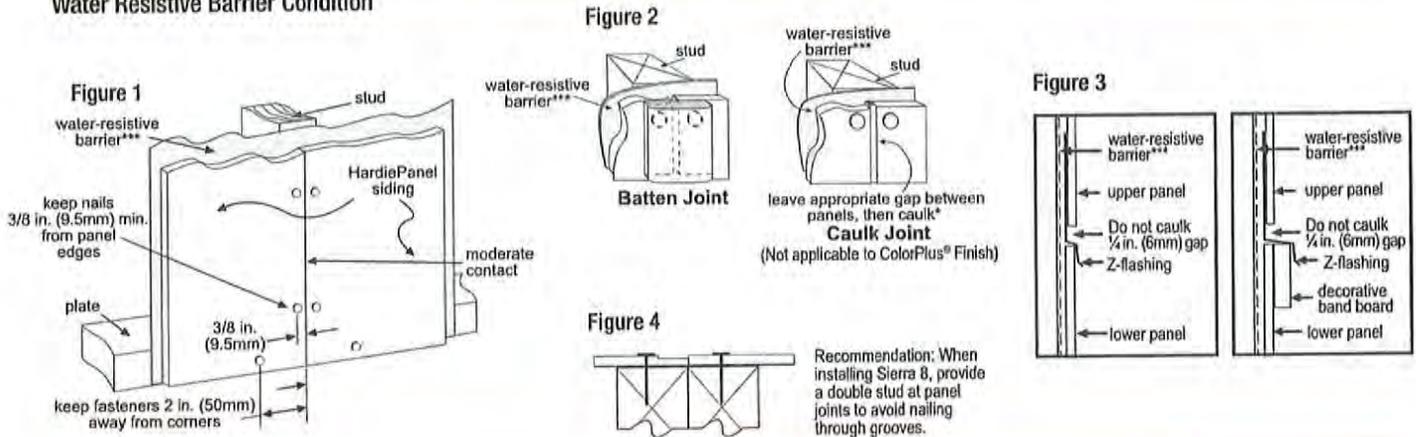
- HardiePanel vertical siding must be joined on stud.
- Position fasteners 3/8 in. (9.5mm) from panel edges and no closer than 2 in. (50mm) away from corners.

**JOINT TREATMENT**

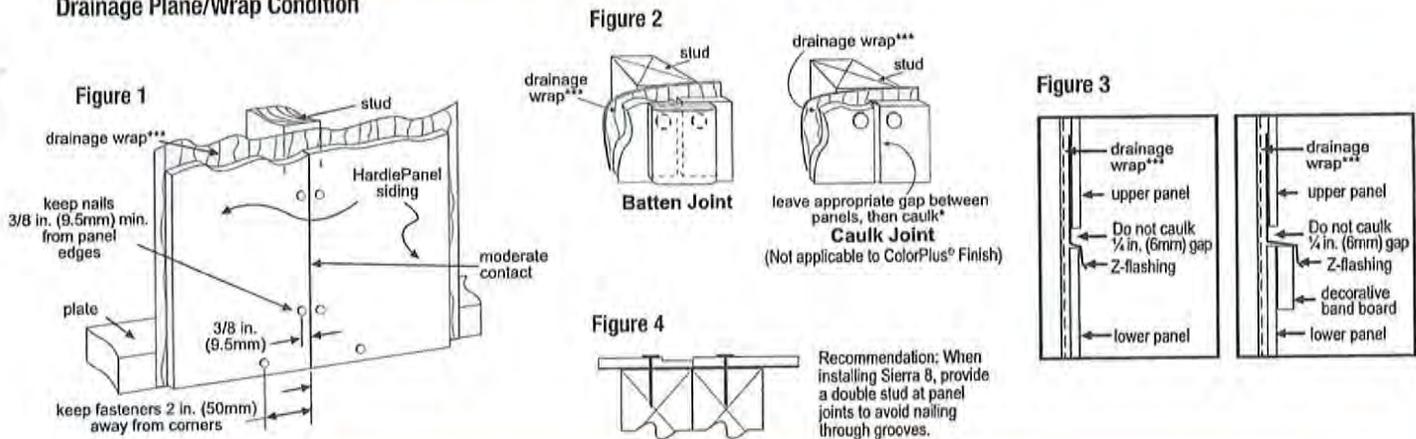
- Vertical Joints - Install panels in moderate contact (fig. 1); alternatively joints may also be covered with battens or caulked (Not applicable to ColorPlus® Finish) (fig. 2).
- Horizontal Joints - Provide positive slope Z-flashing at all horizontal joints (fig. 3).

Refer to Table 1 for correct installation condition

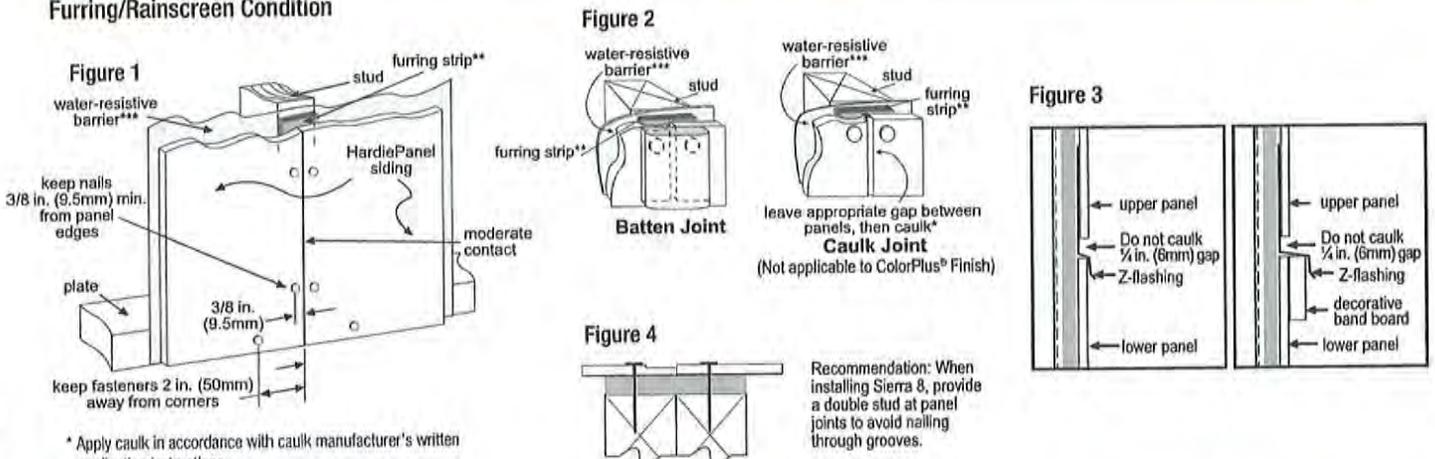
**Water Resistive Barrier Condition**



**Drainage Plane/Wrap Condition**



**Furring/Rainscreen Condition**

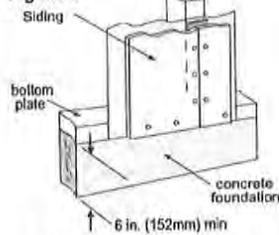


\* Apply caulk in accordance with caulk manufacturer's written application instructions.  
\*\* Furring as prescribed in Table 1.  
\*\*\* WRB or Drainage Plane as prescribed in Table 1.

### CLEARANCES

Install siding and trim products in compliance with local building code requirements for clearance between the bottom edge of the siding and the adjacent finished grade.

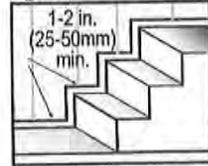
Figure 5



Do not bridge floors with HardiePanel siding. Horizontal joints should always be created between floors (fig. 10).

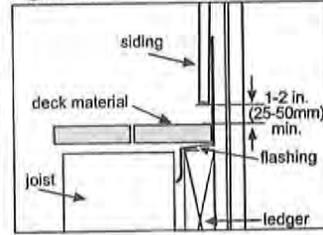
Maintain a minimum 1-2 in. (25-50mm) clearance between James Hardie® products and paths, steps and driveways.

Figure 6



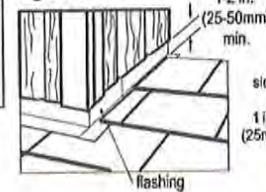
Maintain a minimum 1-2 in. (25-50mm) clearance between James Hardie products and decking material.

Figure 7



At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be installed per the roofing manufacturer's instructions. A minimum 1-2 in. (25-50mm) clearance between the roofing and the bottom edge of the siding and trim.

Figure 8



Maintain a 1/4 in. (6mm) clearance between the bottom of James Hardie products and horizontal flashing. Do not caulk gap. (refer to figure 3 on page 1)

Maintain a minimum 1 in. (25mm) gap between gutter end caps and siding & trim.

Figure 9

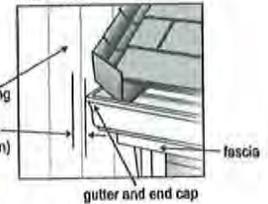
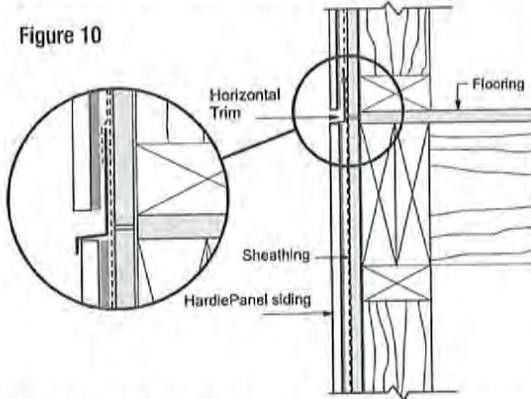


Figure 10



### KICKOUT FLASHING

Because of the volume of water that can pour down a sloped roof, one of the most critical flashing details occurs where a roof intersects a sidewall. The roof must be flashed with step flashing. Where the roof terminates, install a kickout to deflect water away from the siding. It is best to install a self-adhering membrane on the wall before the subfascia and trim boards are nailed in place, and then come back to install the kickout. **Figure 11, Kickout Flashing\*** To prevent water from dumping behind the siding and the end of the roof intersection, install a "kickout" as required by IRC code R905.2.8.3 : "...flashing shall be a min. of 4 in. high and 4 in. wide." James Hardie recommends the kickout be angled between 100° - 110° to maximize water deflection

Note: Furring shown is as a best practice or as prescribed per Table 1.

### GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie products near the ocean, large bodies of water, or in very humid climates.

Note: When utilizing express seam joints ensure adequate nailable substrate width is available.

- Consult applicable code compliance report for correct fastener type and placement to achieve specific design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush to the plank with a hammer (for steel framing, remove and replace nail).
- NOTE: Whenever a structural member is present, HardiePanel siding should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.
- Do not use aluminum fasteners, staples, or clipped head nails.

Snug



Figure A

Flush



Countersunk, Fill & add nail

Figure B



do not under drive nails



DO NOT STAPLE

### PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer; does not apply for installation to steel framing).

### CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

### CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher, such as Quad Max® or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section.**

### PAINTING

DO NOT use stain on James Hardie products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if a paint sprayer is used.

### COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie ColorPlus products.
- Laminate sheet must be removed immediately after installation of each course. Gently wipe any residue or construction dust left on the product using a soft cloth.
- Touch up nicks, scrapes and nail heads using the ColorPlus Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePanel siding with ColorPlus Technology.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coaters, available from your ColorPlus product dealer.

**Note: Use of touch-up on fasteners on the face of ColorPlus panels should be avoided. Do not caulk joint between ColorPlus panels.**

**Note: James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.**

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up, will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

Not all designs will be suitable for every application.

### PAINTING JAMES HARDIE SIDING AND TRIM PRODUCTS WITH COLORPLUS TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain or oil/alkyd base paints on James Hardie products
- Apply finish coat in accordance with paint manufacturer's written instructions regarding coverage, application methods, and application temperature

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-1844, HardiePanel vertical siding is recognized as a suitable alternate to that specified in: the 2006, 2009, & 2012 International Residential Code for One-and-Two-Family Dwellings and the 2006, 2009, & 2012 International Building Code. HardiePanel vertical siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#889, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

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Additional Installation and  
Warranty information available at  
[www.jameshardie.com](http://www.jameshardie.com)



# Hardie Trim **HT10** Batten Boards

INSTALLATION REQUIREMENTS - PRIMED & COLORPLUS® PRODUCTS



EFFECTIVE SEPTEMBER 2013

Visit [www.jameshardie.com](http://www.jameshardie.com) for the most recent version.

These instructions are to be used for HardieTrim® HZ10® Boards **ONLY** and are **NOT VALID** in the following states: AK, UT, ID, CO, WY, MT. These instructions are also NOT valid in portions of WA, OR, CA, NV, AZ, NM. Enter your zip code at [www.hardiezone.com](http://www.hardiezone.com) to find out what zone applies to your location.

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE INSTRUCTIONS. INSTALLATION OF HZ10® PRODUCTS OUTSIDE AN HZ10® LOCATION WILL VOID YOUR WARRANTY. TO DETERMINE WHICH HARDIEZONE APPLIES TO YOUR LOCATION, VISIT WWW.HARDIEZONE.COM OR CALL 1-866-942-7343 (866 9HARDIE)**

## STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry product on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



## CUTTING INSTRUCTIONS

### OUTDOORS

1. Position cutting station so that wind will blow dust away from user and others in working area.
2. Use one of the following methods:
  - b. Better:
    - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
  - c. Good:
    - i. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

### INDOORS

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark
- NEVER dry sweep – Use wet suppression or HEPA Vacuum

Important Note: For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best"-level cutting methods where feasible.

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information. S2083105

## GENERAL REQUIREMENTS:

- Wood or steel backing must be provided for attaching HardieTrim® Battens.
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements.
- James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap<sup>1</sup>, which complies with building code requirements.
- Flashing is required over horizontal protruding and exposed trim.
- When installing James Hardie products all clearance details in figs. 2,3,4,5,6,7&8 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6" in the first 10'.
- DO NOT install HardieTrim Battens, such that they may remain in contact with standing water.
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.

Figure 1

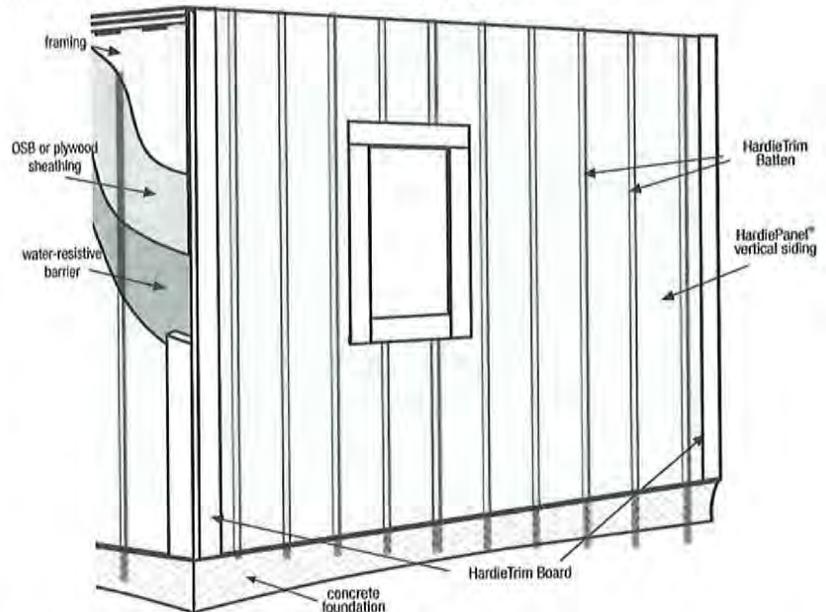
## INSTALLATION

### Fastener Requirements

A finish nail is required for installing HardieTrim Battens with ColorPlus® Technology. 2" minimum 16 ga. finish nails or smooth shank siding nails may be used to attach HardieTrim Battens to wood frame construction. ET&F or equivalent fasteners or screws may be used to attach HardieTrim Battens to steel frame construction.

James Hardie recommends using stainless steel finish nails when installing HardieTrim (boards, battens, fascia, etc.) products.

Fastening instructions are similar for all applications. Position nails no closer than 3/4" from the edges of the HardieTrim Battens. Fasteners must be no closer than 1" from ends of HardieTrim Battens and spaced a maximum of 16" o.c. (fig 1). Ensure HardieTrim Batten is adequately fastened.



<sup>1</sup> For additional information on HardieWrap™ Weather Barrier, consult James Hardie at 1-866-4Hardie or [www.hardiewrap.com](http://www.hardiewrap.com)

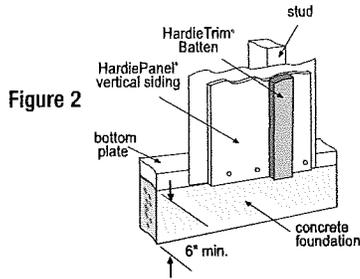
### WARNING: AVOID BREATHING SILICA DUST

James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade® saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at [www.jameshardie.com](http://www.jameshardie.com) or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

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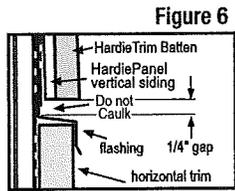
**CLEARANCES**

Install siding and trim products in compliance with local building code requirements for clearance between the bottom edge of the siding and the adjacent finished grade.



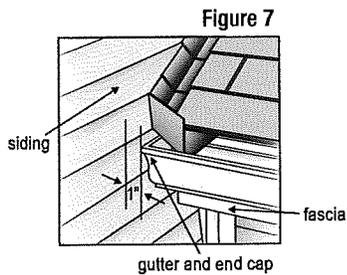
**Figure 2**

Maintain a 1/4" clearance between the bottom of James Hardie products and horizontal flashing. Do not caulk gap.



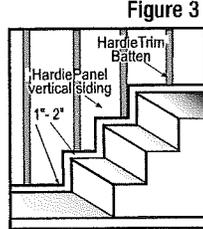
**Figure 6**

Maintain a minimum 1" gap between gutter end caps and siding & trim.



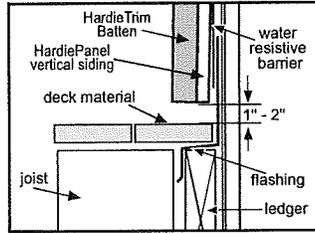
**Figure 7**

Maintain a 1" - 2" clearance between James Hardie® products and paths, steps and driveways.



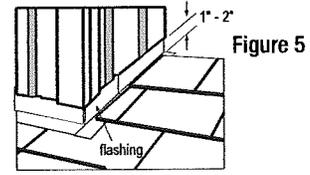
**Figure 3**

Maintain a 1" - 2" clearance between James Hardie products and decking material.



**Figure 4**

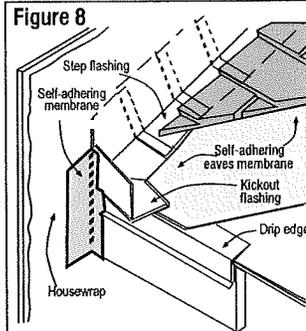
At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be installed per the roofing manufacturer's instructions. Provide a 1" - 2" clearance between the roofing and the bottom edge of the siding and trim.



**Figure 5**

**KICKOUT FLASHING**

Because of the volume of water that can pour down a sloped roof, one of the most critical flashing details occurs where a roof intersects a sidewall. The roof must be flashed with step flashing. Where the roof terminates, install a kickout to deflect water away from the siding.



**Figure 8**

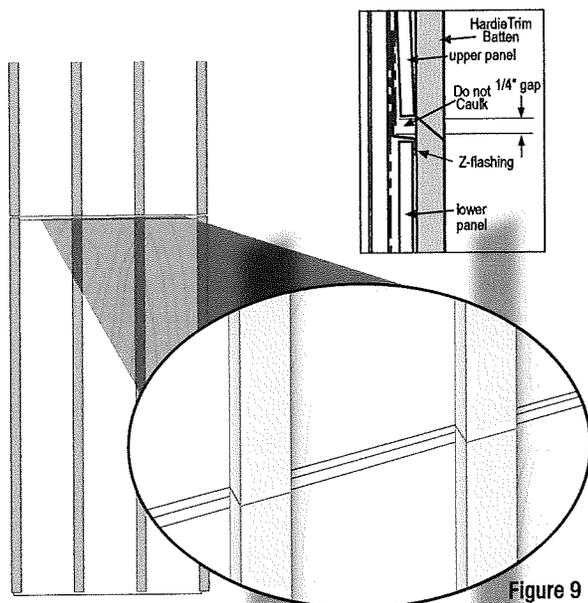
It is best to install a self-adhering membrane on the wall before the subfascia and trim boards are nailed in place, and then come back to install the kickout.

**Figure 8, Kickout Flashing\*** To prevent water from dumping behind the siding and the end of the roof intersection, install a "kickout" of sufficient length and angle to direct the water running down the roof away from the siding.

**Horizontal Panel Joints** - At horizontal panel joints HardieTrim® battens must be installed according to option 1 or 2 below. When installing HardieTrim Battens horizontally, they must be installed as a panel joint according to option 2.

**Option 1**

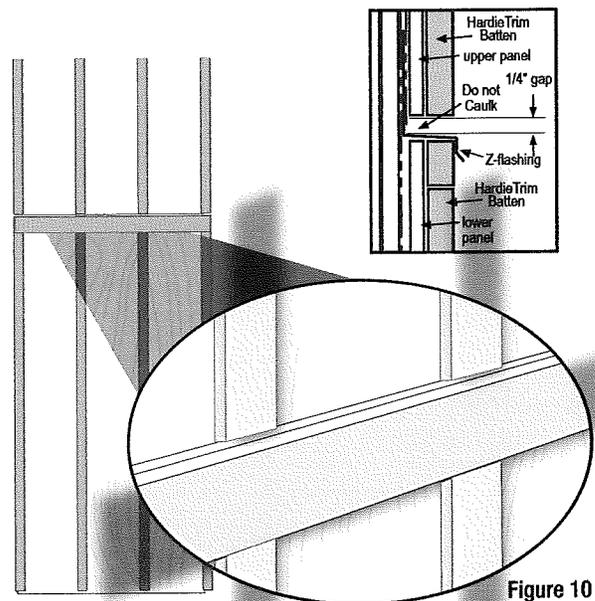
Figure 9 - No horizontal band board - Make a 22.5- 45 degree weather cut, in the HardieTrim batten, just above the 1/4" clearance between panels.



**Figure 9**

**Option 2**

Figure 10 - Horizontal Band Board - Install a horizontal band board at the top of the bottom panel. Butt the lower batten to the band board and start the top batten at the bottom edge of the top panel. Maintain a 1/4" clearance above horizontal flashing.



**Figure 10**

\* The illustration (figure 8) was reprinted with permission of THE JOURNAL OF LIGHT CONSTRUCTION. For subscription information, visit [www.jlconline.com](http://www.jlconline.com).

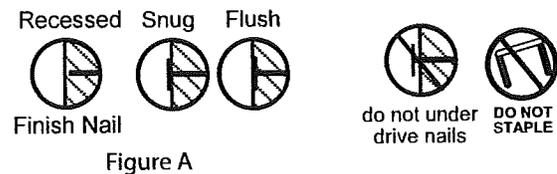
## GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail.
- For wood framing, under driven nails should be hit flush to the trim with a hammer (For steel framing, remove and replace nail).
- **Do not use aluminum fasteners, staples, or clipped head nails.**

## PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



## CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

## CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: OSI Quad as well as some other caulking manufacturers do not allow tooling.**

## PAINTING

DO NOT stain James Hardie® products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

## COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie ColorPlus products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardieTrim® batten boards with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

**Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up, will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

## PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain or oil/alkyd base paints on James Hardie® products
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

RECOGNITION: HardieTrim boards may be installed as an equal alternative to conventional trim permitted for use in; 2006, 2009, & 2012 International Building Code, Section 1402.1, and the 2006, 2009, & 2012 International Residence Code for One - and Two - Family - Dwellings, Section R703.1.

© 2013 James Hardie Building Products. All rights reserved. TM, SM, and ® denote trademarks or registered trademarks of James Hardie Technology Limited. The  and HardieTrim logo are registered trademarks of James Hardie Technology Limited.

Additional Installation Information, Warranties, and Warnings are available at [www.jameshardie.com](http://www.jameshardie.com)



**JamesHardie**



# HardieTrim® **HZ10** Boards

INSTALLATION REQUIREMENTS - 4/4, 5/4, BATTENS, PRIMED & COLORPLUS® PRODUCTS

These instructions are to be used for HardieTrim® HZ10® Boards **ONLY** and are **NOT VALID** in the following states: AK, UT, ID, CO, WY, MT. These instructions are also **NOT** valid in portions of WA, OR, CA, NV, AZ, NM. Enter your zip code at [www.hardiezone.com](http://www.hardiezone.com) to find out what zone applies to your location.

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE INSTRUCTIONS. INSTALLATION OF HZ10 PRODUCTS OUTSIDE AN HZ10 LOCATION WILL VOID YOUR WARRANTY. TO DETERMINE WHICH HARDIEZONE APPLIES TO YOUR LOCATION, VISIT [WWW.HARDIEZONE.COM](http://WWW.HARDIEZONE.COM) OR CALL 1-866-942-7343 (866 9HARDIE)**

## STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing James Hardie siding product wet or saturated may result in shrinkage at butt joints. Carry product on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



## CUTTING INSTRUCTIONS

### OUTDOORS

1. Position cutting station so that wind will blow dust away from user and others in working area.
2. Use one of the following methods:
  - a. Better:
    - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
  - b. Good:
    - i. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

### INDOORS

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark
- NEVER dry sweep – Use wet suppression or HEPA Vacuum

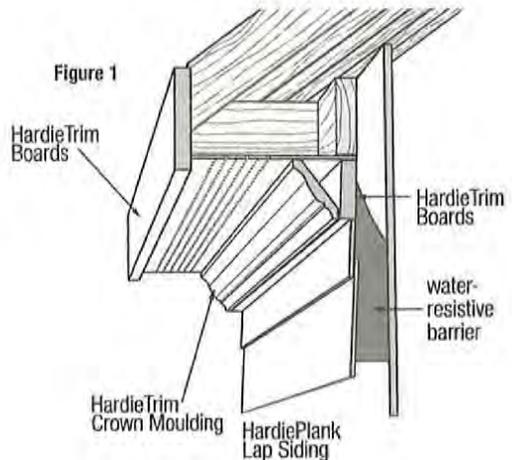
NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information. 50033105

## HardieTrim® boards are decorative non-load bearing trim products.

Do not use HardieTrim boards to replace any structural component.

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## ■ GENERAL REQUIREMENTS

- Wood or steel must be provided for attaching HardieTrim boards.
- Follow all applicable codes when installing HardieTrim boards.
- **DO NOT** install HardieTrim boards, such that they may remain in contact with standing water.
- **DO NOT** use stain, oil/alkyd base paint, or powder coating on James Hardie Products.

### WARNING: AVOID BREATHING SILICA DUST

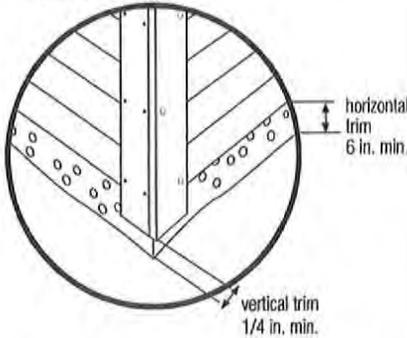
James Hardie products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at [www.jameshardie.com](http://www.jameshardie.com) or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH. 50033105

# FLASHING/CLEARANCE REQUIREMENTS NO-COVER



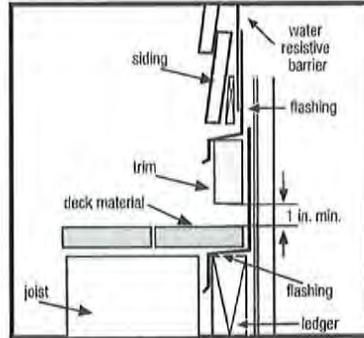
HardieTrim may be installed with a minimum 1/4 in. clearance when installed vertically to grade, decks, paths, steps, and driveways

Figure 2



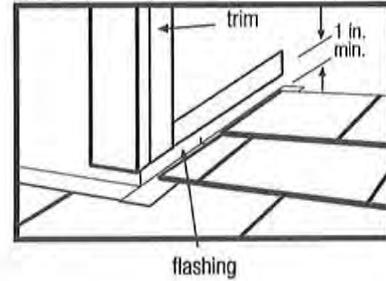
Maintain a minimum 1 in. horizontal clearance between James Hardie trim products and decks, paths, steps and driveways.

Figure 3



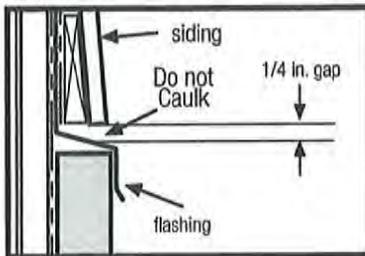
At the juncture of the roof and vertical surfaces, flashing and counter flashing shall be installed per the roofing manufacturer's instructions. Provide a 1 in. clearance between the roofing and the bottom edge of the trim.

Figure 4



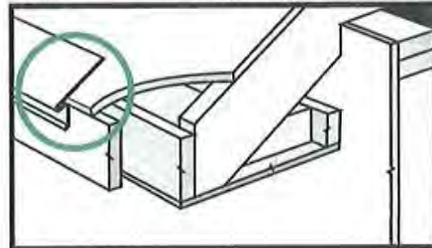
Maintain a 1/4 in. clearance between the bottom of James Hardie products and horizontal flashing. Do not caulk gap.

Figure 5



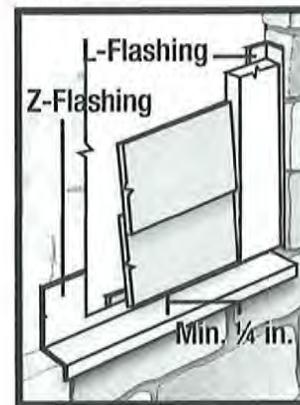
## Drip Edge

Figure 6 for fascia installation see page 6



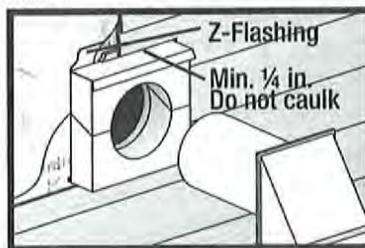
## Mortar/Masonry

Figure 7



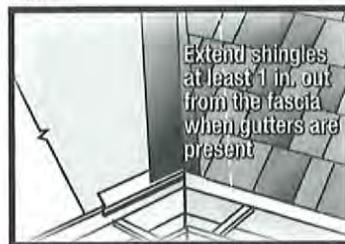
## Block Penetration

Figure 8



## Valley/Shingle Extension

Figure 9

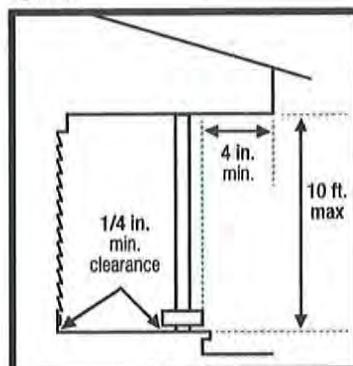


# CLEARANCE REQUIREMENTS UNDER-COVER

Maintain a 1/4 in. clearance for HardieTrim boards installed under cover. Under cover is defined as:

- Not more than 10 feet below a roof overhang, and
- Not less than 4 inches horizontally from the edge of the roof overhang

Figure 10



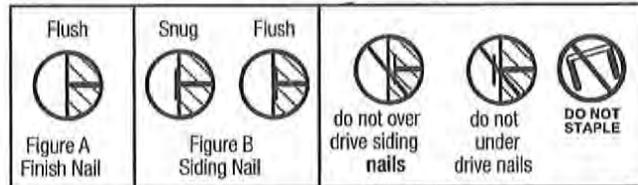
### General Fastening Requirements

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5."

### Pneumatic Fastening

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the trim. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



### Face Nailing Requirements

Use 2 in. minimum 16 ga. finish nails to attach HardieTrim boards to wood frame construction. ET&F or equivalent fasteners or screws may be used to attach HardieTrim boards to steel frame construction.

Fastening instructions are similar for all applications. When using finish nails, position nails no closer than 1/2 in. from the edges of the trim and for all other fasteners no closer than 3/4 in. Fasteners must be no closer than 1 in. from ends of trim and spaced a maximum of 16 in. O.C. Ensure trim is adequately fastened.

James Hardie recommends using stainless steel finish nails when installing HardieTrim products.

#### Minimum fastener guide for finish nailing:

	Pre-built corner	Site Built Corners	Other areas (e.g. window trim, and band boards)
4 in.	1 nail every 16 in. to attach boards together + 1 nail every 16 in. each board	2 nails every 16 in.	2 nails every 16 in.
6 in.	1 nail every 16 in. to attach boards together + 2 nails every 16 in. each board		
8 in.	-	3 nails every 16 in.	3 nails every 16 in.
12 in.	-	4 nails every 16 in.	3 nails every 16 in.

Use a 2 in. finish nail to fasten trim together. Longer finish nails may bend.

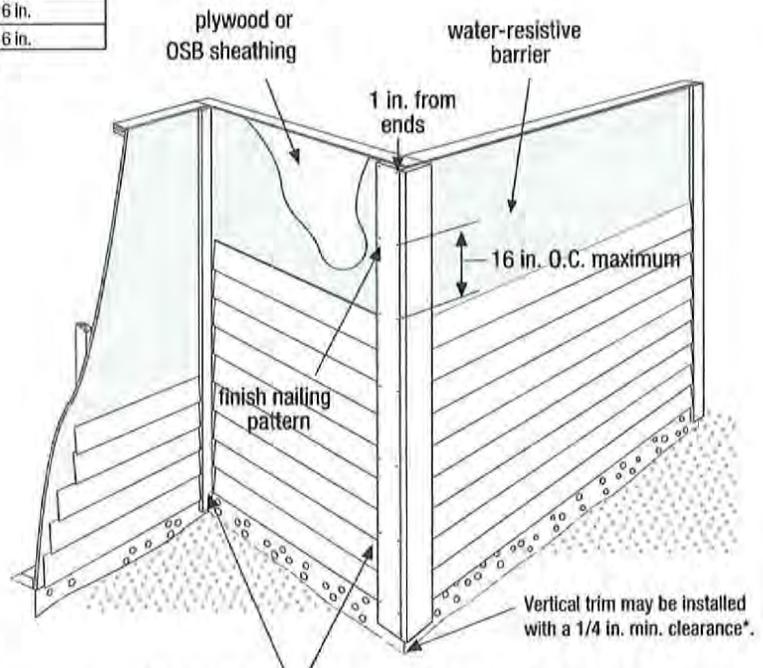


Figure 11

Leave a minimum 1/8 in. gap between the siding and trim, then caulk.

\*Follow all applicable codes when installing HardieTrim boards

## Trimming Corners

When installing corners or other vertical trim, position boards on the wall and attach (figure 12).

### Pre-Built Corners

Alternatively, corners can be pre-built off the wall using 2 in. finishing nails. Each side of the pre-built corner must be secured to the wall (figure 13).

Figure 12

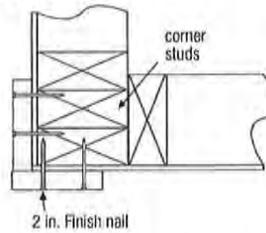
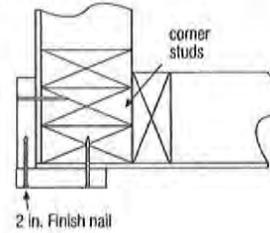
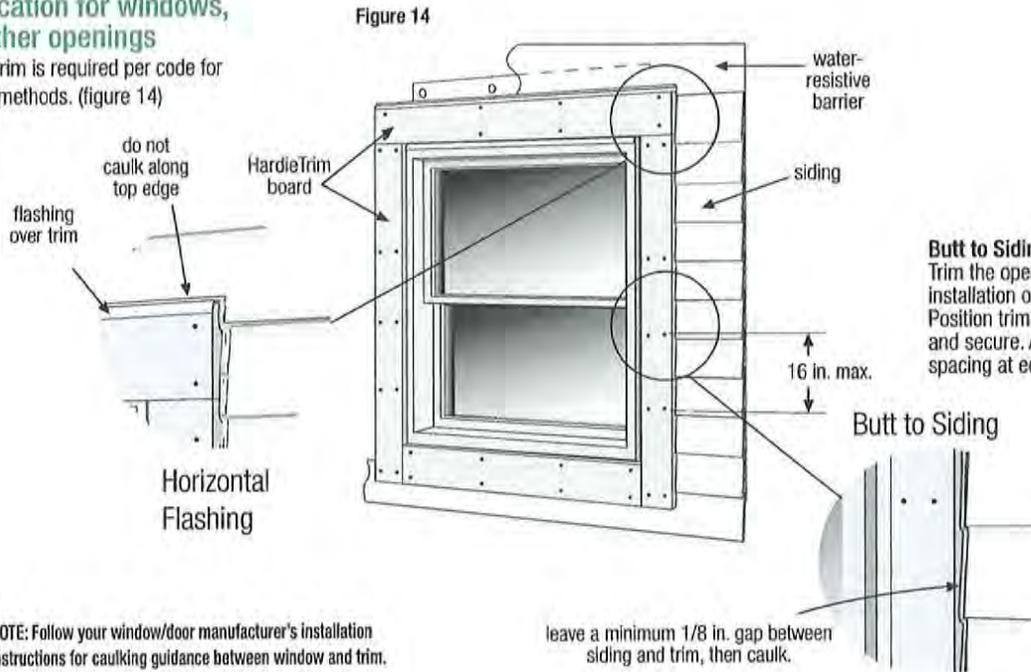


Figure 13



## Trim application for windows, doors & other openings

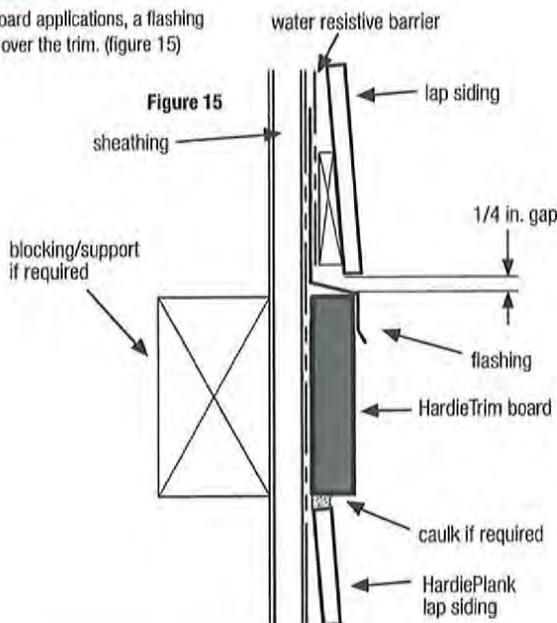
Flashing over trim is required per code for all installation methods. (figure 14)



NOTE: Follow your window/door manufacturer's installation instructions for caulking guidance between window and trim.

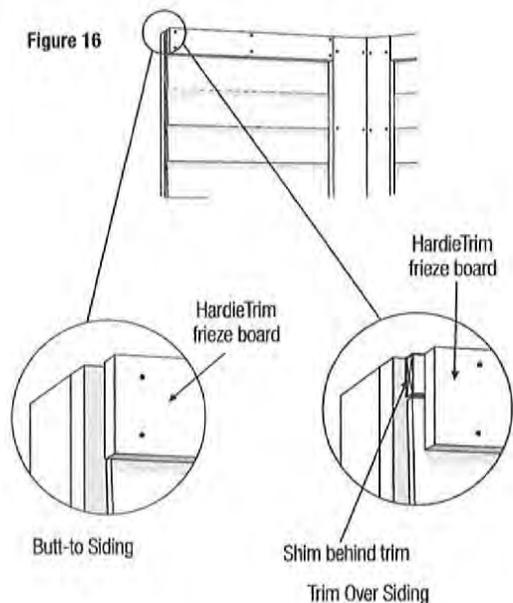
## Band Board

For band board applications, a flashing is required over the trim. (figure 15)



## Frieze Boards

HardieTrim boards can be used as frieze board. (figure 16)



■ Batten Boards

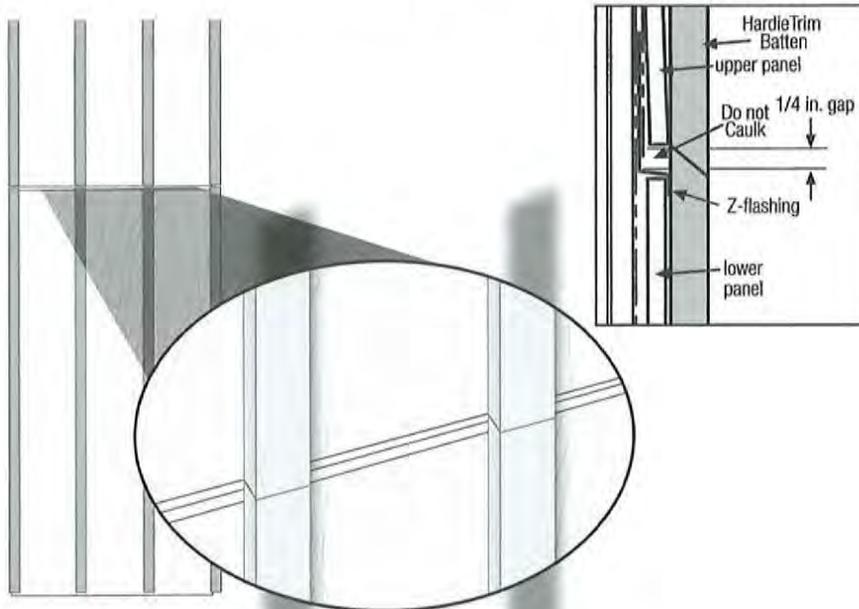
**Horizontal Panel Joints**

At horizontal panel joints HardieTrim battens must be installed according to option 1 or 2 below.  
When installing HardieTrim Battens horizontally, they must be installed as a panel joint according to option 2.

**Option 1**

Figure 17 - No horizontal band board - Make a 22.5- 45 degree weather cut, in the HardieTrim batten, just above the 1/4 in. clearance between panels.

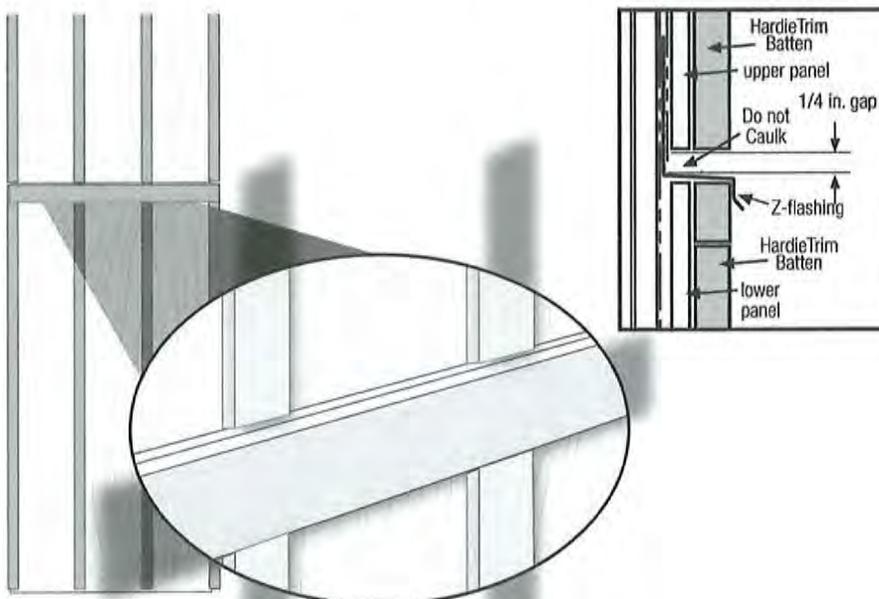
Figure 17



**Option 2**

Figure 18 - Horizontal Band Board - Install a horizontal band board at the top of the bottom panel. Butt the lower batten to the band board and start the top batten at the bottom edge of the top panel. Maintain a 1/4 in. clearance above horizontal flashing.

Figure 18



**Fascia**

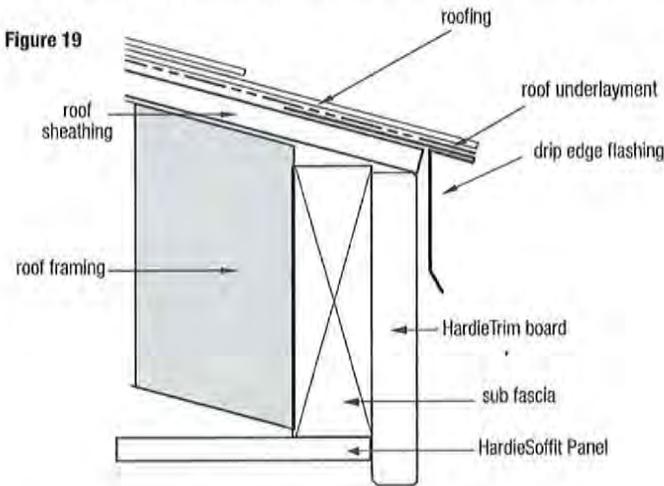
HardieTrim board is a decorative non-load bearing trim product.  
Do not use HardieTrim to replace any structural component

HardieTrim boards can be fastened directly over a 2x sub-fascia or directly to rafter tails. Check local building code for relevant codes.

**Option 1**

**Over sub-fascia:** (figure 19)

When installing HardieTrim boards over solid 2x sub-fascia use minimum 2 in., 16 gauge corrosion resistant finish nails. (see fastener guide below)



**Gutters:**

James Hardie recommends the use of rain gutters whenever possible.

**Do not** attach gutters directly to HardieTrim

Use gutter hangers that attach through the roof sheathing into a rafter tail or other structural member.

**Soffit**

When installing HardieSoffit additional framing/blocking may be needed depending on application. Refer to HardieSoffit installation instructions for guidance.

**Option 2**

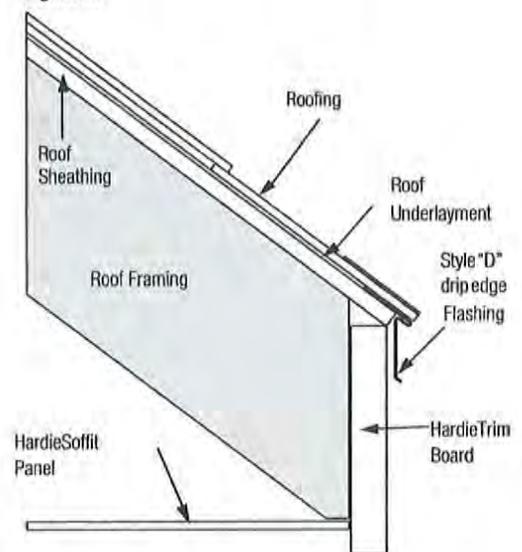
**Direct to rafter tails:** (figure 20)

When installing HardieTrim boards without the presence of a 2x sub-fascia, a minimum 8d siding corrosion resistant nails must be used to attach HardieTrim boards DO NOT use finish nails. (refer to fastener guide below).

**Fascia Fastener Guide**

HardieTrim Board	FASTENER SPACING	
	Direct to Rafter (min 8d siding)	Over 2x Sub-fascia (Minimum 2 in. 16 ga. Finish nails)
6 in.	2 nails every rafter spaced max 24 in. O.C.	2 nails spaced maximum 16 in. O.C.
8 in.	3 nails every rafter spaced max 24 in. O.C.	3 nails spaced maximum 16 in. O.C.
10 in.		4 nails spaced maximum 16 in. O.C.

Figure 20



**HardieTrim™ Tabs**

**Fastener Requirements**

**For Corners, Band Boards, Windows, and Door Applications:**

HardieTrim boards may be installed with HardieTrim™ Flat Tabs and HardieTrim™ Corner Tabs which provide concealed fastening. Only HardieTrim Flat and Corner Tabs can be used with HardieTrim boards to create a concealed fastening.

**Step 1:** Attach HardieTrim Flat Tabs to the back side of the trim using four, 18 ga. 1/2 in. L x 1/4 in. W narrow crown corrosion resistant staples, equally spaced in one row, positioned no closer than 1/2 in. from trim edges using a pneumatic staple gun. (figures 21, 22)

**Step 2:** For wood frame construction, attach the trim to the building with minimum 2, 6d siding nails fastened through the HardieTrim Flat Tabs (figure 23). ET&F or equivalent fasteners may be used to attach the HardieTrim Flat Tabs to steel frame construction.

Fastener spacing will vary based on application. Refer to fastener table on page 9. Refer to specific sections in these instructions for required fastener spacing by application (window, band board, etc.)

**For Fascia, Rake, and Frieze board Applications:**

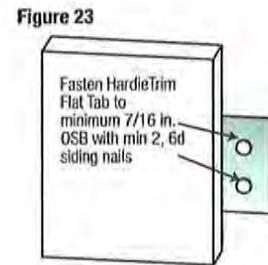
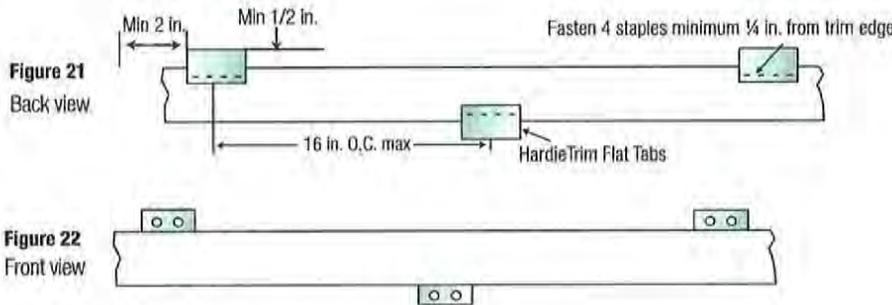
HardieTrim tabs cannot be used in fascia, rake, or frieze board applications. Follow Face nailing fastening specifications.

**Installation of HardieTrim tabs in Coastal Regions:**

James Hardie requires that stainless steel staples & fasteners be used when installing HardieTrim Tabs in coastal regions.

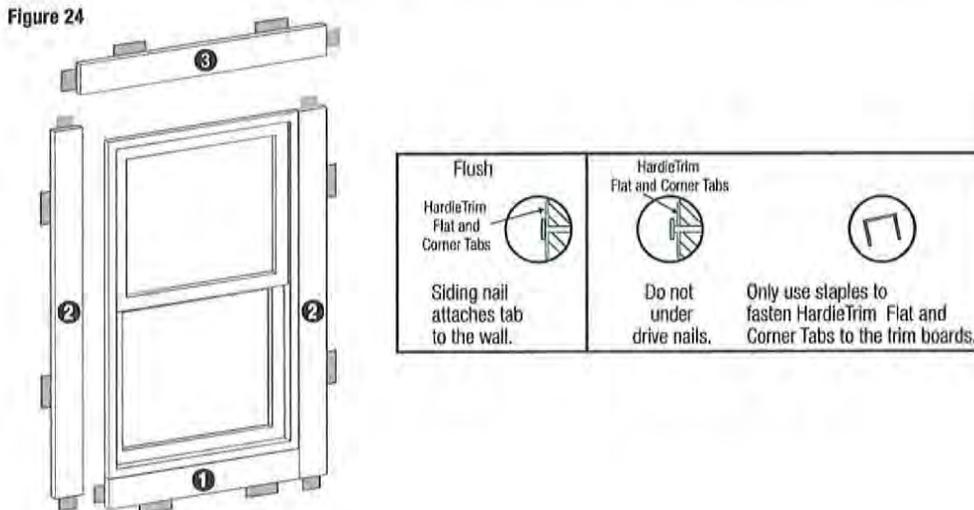
**Installation of HardieTrim Tabs over Pressure Treated Lumber: HardieTrim tabs shall not** come in direct contact with ACQ or CA preservative-treated wood. Refer to the General Fastening section of this document for further information.

**HardieTrim boards with ColorPlus Technology:** Remove the laminate sheet as soon as possible after attaching the trim to the building.



**Trim Application for Windows, Doors & Other Openings**

Trim the opening prior to the installation of the siding. Place a Flat Tab at the end of each trim board and one tab every 16 in. OC. Attach the trim boards and Flat Tabs around the opening as shown in figure 24. Use 16 ga. galvanized 2 in. long finish nails to ensure proper fastening if needed.



NOTE: Follow your window/door manufacturers installation instructions for caulking guidance between window and trim.

### Trimming Corners

When using HardieTrim tabs prebuild outside corners off the wall.

- Attach HardieTrim Corner Tabs to the back side of the trim using eight(8) - 18 ga. 1/2 in. L x 1/4 in. W narrow crown corrosion resistant staples using a pneumatic stapler. Ensure the HardieTrim Corner Tabs are fastened tight and straight to the trim boards. (figure 25)
- For wood frame construction, attach trim to building using min. 6d siding nails fastened through the HardieTrim Corner Tabs attached to minimum 7/16 in. OSB \*. (figure 26)
- Attach a HardieTrim Corner Tab 1 in. from each ends and every 20 in. O.C.
- TIP: Creating a jig for the work station is recommended to ensure corners are fastened securely and straight. (figure 27)

Figure 25

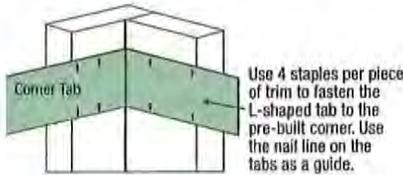


Figure 26

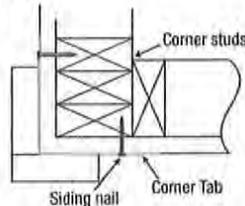
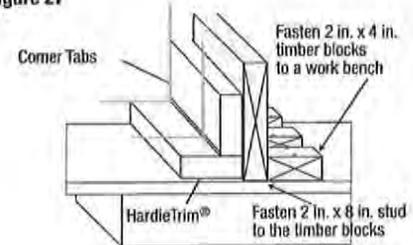


Figure 27



### Band Board

Terminate ends of the Band Board into Trim or Siding or miter cut the edges of the trim at the corners of the building. Place a HardieTrim Flat Tab at the end of each trim board and one tab every stud at a maximum of 16 in. O.C. The HardieTrim Flat Tabs should be attached to the trim in an alternating pattern to the top and bottom of the band board (figures 21, 22). Use 16 ga. galvanized 2 in. long finish nails to ensure proper fastening if needed.

### Trim Tab Fastener Table

Application	Framing Material Tab is nailed into	Fastener (tab to framing)	Fastener (tab to trim)	Max Tab Spacing (inches on center)
Flat Tab	Wood Stud (minimum G=0.42)	One 6d corrosion resistant siding nail installed through center of tab into framing	Four 18 ga. X 1/2 in. long X 1/4 in. wide corrosion resistant crown staples, equally spaced in one row	16
	Minimum APA rated 7/16 in. OSB	Two 4d ring shank corrosion resistant siding nails equally spaced installed through tab into framing		
	Minimum 20 gauge steel	One No. 8 X 1 in. long X 0.323 in. head diameter screw (corrosion resistant) installed through flange into framing		
Corner Tab	Wood Stud (minimum G=0.42)	On each flange, install one 6d corrosion resistant siding nail through tab into framing	For each piece of trim, install Four 18 ga. X 1/2 in. long X 1/4 in. wide corrosion resistant crown staples, equally space in two rows	20
	Minimum APA rated 7/16 in. OSB	On each flange, install two 4d ring shank corrosion resistant siding nails through tab into framing		
	Minimum 20 gauge steel	On each flange, install one No. 8 X 1 in. long X 0.323 in. head diameter screw (corrosion resistant) through tab into framing		

## ■ Cut Edge Treatment

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

## ■ Caulking

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions.

## ■ Painting

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie Products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

## ■ ColorPlus Technology Caulking, Touch-up & Laminate

- Care should be taken when handling and cutting James Hardie ColorPlus products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- A finish nail is required for installing 4/4 and 5/4 HardieTrim boards.
- Touch up nicks, scrapes and nail heads using the ColorPlus Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardieTrim board with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation. Nail head touch-up can be done before or after removal of the laminate sheet when using finish nails. The preferred method is to touch-up while the laminate sheet is in place. Remove the laminate sheet before paint dries.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

**Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up, will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

## ■ Painting James Hardie Siding and Trim Products with ColorPlus Technology

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

RECOGNITION: HardieTrim boards may be installed as an equal alternative to conventional trim permitted for use in; 2006, 2009, & 2012 International Building Code, Section 1402.1, and the 2006, 2009, & 2012 International Residence Code for One - and Two - Family - Dwellings, Section R703.1.

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Additional Installation Information,  
Warranties, and Warnings are available at  
[www.jameshardie.com](http://www.jameshardie.com)



**JamesHardie**



THE #1 CHOICE OF PAINTING PROFESSIONALS®

# EVERSHIELD®

## Exterior/Interior Low Sheen Paint

### EVSH40-2



**DESCRIPTION:** EVERSHIELD® Low Sheen is an ultra-premium exterior, ultra-low VOC, 100% acrylic low sheen paint that provides superior non-blocking properties, maximum protection against UV color fade, mildew, efflorescence, water intrusion, and film failure (grain-cracking, peeling, blistering). EVERSHIELD Low Sheen can be used on properly prepared and primed exterior and interior masonry, concrete, tilt-up, block, stucco, plaster, wood, and metal. Advanced technology and premium ingredients provide unparalleled performance, durability, coverage, and adhesion. Can be used down to surface and air temperature of 35°F.

## PRODUCT INFORMATION

<b>SOLVENT TYPE:</b> Waterborne		<b>RESIN TYPE:</b> 100% acrylic	
<b>FINISH</b> (ASTM D 523): Low Sheen: 20–25% on a 60° meter; 35–50% on an 85° meter			
<b>COLORS:</b> Stock colors: Swiss Coffee, Navajo White, Pearl White, and Cottage White. Other colors can be special ordered or store mixed.			
<b>TINT BASES:</b> L Tintable White, M Medium, U Ultra Deep			
<b>VISCOSITY@77°F/25°C</b> (ASTM D 562): 98–102 KU			
<b>MAXIMUM VOC CONTENT</b> 50 g/L (as supplied)		<b>MAXIMUM RAVOC</b> (Reactivity-Adjusted VOC) 25 g/L	
<b>SOLIDS BY VOLUME</b> (ASTM D 2697) 36.0% ± 2%		<b>SOLIDS BY WEIGHT</b> 47.0% ± 2%	
<b>WEIGHT PER GALLON</b> (ASTM D 1475): 10.42 lbs.			

**COMPOSITION BY WEIGHT**

<b>Pigment—26.1%</b>		<b>Vehicle—73.9%</b>	
*Prime pigments.....	21.8	Acrylic resins.....	19.3
Reinforcing pigments.....	4.3	Water & additives.....	54.6

\*Prime pigments include titanium dioxide (TiO<sub>2</sub>), plus all other pigments directly adding to the hiding power of this paint.

**RECOMMENDED FILM THICKNESS PER COAT**

at: 4.2 mils	Dry: 1.5 mils
--------------	---------------

**PRACTICAL COVERAGE PER COAT AT RECOMMENDED DRY FILM THICKNESS**  
Approximately 325–375 sq. ft. per gallon, depending on surface conditions and application techniques.

**THINNING RECOMMENDATION:** This coating is intended to be applied without thinning or diluting under normal environmental and application conditions. If necessary to maintain good workability, add up to 1/4 pint (4 fl. oz.) of clean water per gallon of coating.

**AVERAGE DRY TIME@77°F/25°C** (ASTM D 1640)  
To touch: 1–2 hours      Recoat: 4–6 hours  
Dry times and recoat times are temperature, humidity and film thickness dependent.

**APPLICATION EQUIPMENT:** Brush, roller, airless spray

**PACKAGING:** Quart, one-gallon, five-gallon containers

**STORAGE:** Store in a dry area. Protect from freezing. Extreme temperatures may cause paint to become unusable. For example: freezing and thawing may cause paint to gel, and high heat may cause solid skin to form.

**CLEANUP:** Warm, soapy water

**DISPOSAL:** For information on local options to dispose of unwanted leftover paint, call Dunn-Edwards Customer Service at 1-888-DEPAINT or visit [www.dunnedwards.com](http://www.dunnedwards.com). Do not mix with other products.

**CONFORMS TO:** Master Painters Institute (MPI) #43, #140, #151, #161; LEED 2009 IEQ Credit 4.2: Paints & Coatings; Green Seal Standard GS-11 (1st Edition); CRGI Green Wise™ Performance Standards; FDA Guidelines for Resinous & Polymeric Coatings

**SAFETY DATA SHEET:** Available at [www.dunnedwards.com](http://www.dunnedwards.com)

**SURFACE PREPARATION:** All surfaces must be cured, clean, dry, and free from dirt, dust, rust, stains, grease, oil, mildew, wax, efflorescence, bond-breakers, and other contaminants. Remove all loose, peeling, or chalky paint by sanding, scraping, or other appropriate methods. Repair all cracks, holes, and other surface imperfections with a suitable patching material. Repaired surfaces should be sanded smooth and dusted clean. Glossy surfaces should be dulled to provide a roughened surface for good adhesion.

### SPECIAL INSTRUCTIONS

- **CAUTION:** Scraping or sanding surfaces of older buildings (especially pre-1978) may release dust containing lead or asbestos. EXPOSURE TO LEAD OR ASBESTOS CAN BE VERY HAZARDOUS TO YOUR HEALTH. Always wear appropriate personal protective equipment during surface preparation, and finish cleanup of any residues by water-washing all surfaces. For more information, see Dunn-Edwards brochure on "Surface Preparation Safety" or call EPA's National Lead Information Hotline at 1-800-424-LEAD, or visit [www.epa.gov/lead](http://www.epa.gov/lead) or [www.asbestos.org](http://www.asbestos.org), or contact your state or local Health Department.
- This product can neither cause nor prevent or cure the growth of mold, mildew, or other forms of fungus. Excessive moisture and inadequate ventilation are the main conditions that promote their growth. Correct any such conditions before painting.
- When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours, as in colder temperatures, it may require longer time before the paint film cures enough not to be affected by rain or snow. Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.
- Standard latex primers cannot be used below 50°F. See the specific primer product information sheet for that product's application conditions.

### PRIMERS

<b>DRYWALL</b>	
Textured:	} VINYLASTIC® Premium (VNPR00)
Untextured:	
Skim-coated:	
<b>MASONRY</b>	
Stucco:	} SUPER-LOC® Premium (SLPR00) or EFF-STOP® Premium (ESPR00)
Tilt-up concrete:	
Poured-in-place:	
Plaster:	
Brick:	
Concrete block:	Smooth BLOCFIL Premium (SBPR00)
Smooth trowel:	SUPER-LOC® Premium (SLPR00) or ENDURASEAL® (W 360V)

### WOOD/SYNTHETIC WOOD-INTERIOR

Trims, doors:	} INTER-KOTE® Premium (IKPR00) or ULTRA-GRIP® Premium (UGPR00)
Masonite:	
Hardboard:	

### WOOD-EXTERIOR

Trim, sash, fascia:	} EZ-PRIME® Premium (EZPR00)
Rough-sawn:	
T1-11 siding:	

### SYNTHETIC WOOD-EXTERIOR

Masonite:	} ULTRA-GRIP® Premium (UGPR00)
Hardboard:	
MDO siding:	

### METAL

Ferrous:	ULTRA-GRIP® Premium (UGPR00) – INTERIOR ONLY, BLOC-RUST® Premium (BRPR00) or GALV-ALUM™ Premium (GAPR00)
Non-ferrous:	GALV-ALUM™ Premium (GAPR00) or ULTRA-GRIP® Premium (UGPR00)

GALV-ALUM™ is a trademark of BIEC International, Inc. used under license by Dunn-Edwards Corp.



INNOVATIONS FOR LIVING®

# Oakridge® Shingles



featuring *Artisan Colors*



Oakridge® Artisan Color  
Flagstone™



# Oakridge® Shingles

## Make it your own.

When does a house become a home? When the place you live in begins to reflect the life you're living. When every change, both big and small, makes it more and more your own. Choosing a new roof is your opportunity to make a major impact on the look of your home – and we're here to help. Owens Corning has been a leader in the building materials industry for over 70 years. So you can be confident that your new roof will enhance and help protect your home for years to come.

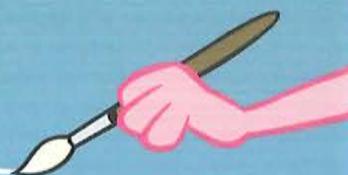
## The Right Choice.™

Oakridge® Shingles are The Right Choice™ for long-lasting performance and striking beauty. In addition to a wide range of inviting, popular colors, they also offer:

- Limited Lifetime Warranty\*\* (for as long as you own your home)
- 110-/130\*\*-MPH Wind Resistance Limited Warranty\*

Oakridge®

# Artisan Colors



*At Owens Corning Roofing, we're always looking for ways to help you express your sense of style through your home, which is why we've expanded the Oakridge® color palette with these inspiring selections.*

## **Your home is your canvas.**

Oakridge® Artisan Colors are specially designed to provide a unique blend of artistry and craftsmanship that will give your home a look that is anything but ordinary. Blacks and grays are rich and warm, earth tones capture the vibrancy of nature's brightest hues, and bold color combinations help enhance a wide variety of exterior accents and landscaping. Plus, every Oakridge® Artisan Color features greater contrast and color depth to add drama and curb appeal to your entire home.

Oakridge® Artisan Color  
Aged Cedar†

# Oakridge® Color Availability



Amber<sup>†</sup>  
Not Available in Service Area 13 (see map).



Desert Tan<sup>†††</sup>



Brownwood<sup>†</sup>



Teak<sup>†</sup>



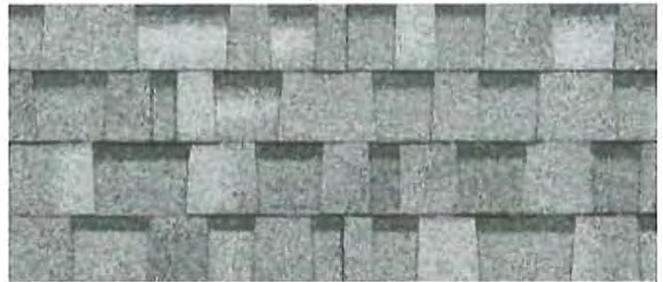
Driftwood<sup>†††</sup>



Onyx Black<sup>†</sup>



Estate Gray<sup>†††</sup>



Sierra Gray<sup>†††</sup>



Shasta White<sup>†</sup>



†† Available in Algae Resistance in Service Area 13 (see map).



Oakridge® Artisan Color  
Peppermill Gray®

# Oakridge® Artisan Colors



Aged Cedar†



Sand Castle†

Not Available in Service Area 12 or 13 (see map).



Black Walnut†

Not Available in Service Area 14 (see map).



Twilight Black†

Not Available in Service Area 12 or 13 (see map).



Flagstone†



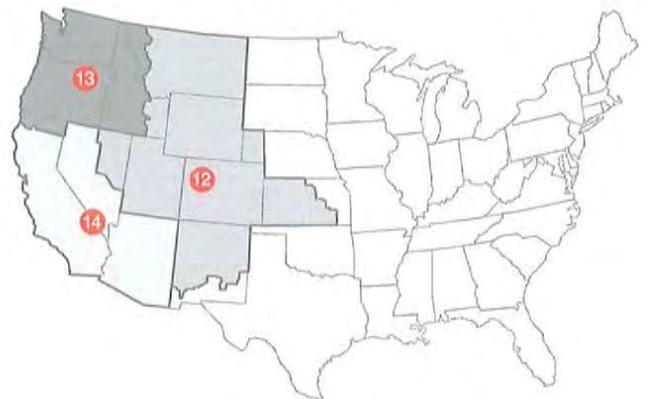
Woodland Path†

Not Available in Service Area 14 (see map).



Peppermill Gray†

Color Availability Map



## ENERGY STAR® is for roofs too.



Similar to the energy-efficient appliances in your home, roofing products can provide energy-saving qualities. Owens Corning™ Oakridge® Roofing Shingles in Shasta White can help reduce your energy bills when installed properly. These shingles reflect solar energy, decreasing the amount of heat transferred to a home's interior – and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

## Product Attributes

### Warranty Length\*

Limited Lifetime\* (for as long as you own your home)

### Wind Resistance Limited Warranty\*

110/130\*\* MPH

### Tru PROtection® Non-Prorated Limited Warranty\* Period

10 Years

## Oakridge® Shingles Product Specifications

Nominal Size	13 1/4" x 39 3/8"
Exposure	5 5/8"
Shingles per Square	64
Bundles per Square	3
Coverage per Square	98.4 sq. ft.

## Applicable Standards and Codes

ASTM E 108, Class A Fire	ASTM D 3462
ASTM D 3161, Class F Wind	ASTM D 228
ASTM D 7158, Class H Wind	UL 790, Class A
ASTM D 3018, Type 1	

## The perfect finishing touch.

Owens Corning™ Roofing Hip & Ridge Shingles do more than just deliver added protection to the most vulnerable areas of your roof – they enhance the roofline and help define the character of your entire home.

Don't accept a generic substitute. Be sure to choose the right Owens Corning™ Roofing Hip & Ridge style and specially matched color to provide the perfect finishing touch to your new roof.



Oakridge®  
Desert Tan†



## Total Protection Roofing System™ Working together to help protect and enhance your home.



It takes more than just shingles to protect your home. The Total Protection Roofing System™<sup>1</sup> is made up of all the essential Owens Corning™ Roofing components and layers that are designed to work together to maximize your roof's performance and durability. High-quality shingles and underlayment products help guard against the weather outside, while ventilation products help balance air flow to control temperature and humidity inside the attic.

The Total Protection Roofing System™<sup>1</sup> is designed to give you the assurance that all of your Owens Corning™ Roofing components are working together to maximize the performance of your new roof – and to enhance the comfort and enjoyment of those who live beneath it.

- a** VentSure™ Ventilation Products  
Help protect a roof from premature failure by helping remove heat and moisture from the attic.
- b** PINK® Fiberglas™ Blown-In Insulation  
Tiny air pockets trapped in the insulation resist the passage of heat flow.
- c** Owens Corning™ Hip & Ridge Shingles  
Help protect the ridge vent and add an attractive, finished look to a roof's hips and ridges.
- d** Owens Corning™ Shingles  
Add durable beauty to a home. Shingles are the first line of defense against the elements.
- e** Owens Corning™ Underlayment Products  
Add an extra layer of protection between the shingles and the roof deck to help prevent damage from wind-driven rain.
- f** WeatherLock® Self-Sealing Ice & Water Barrier Products  
Help guard vulnerable areas where water can do the most damage to a roof: eaves, valleys, dormers and skylights.
- g** Owens Corning™ Starter Shingle Products  
The first step in the proper installation of shingles.
- h** Owens Corning™ Undereave Ventilation Products  
Help prevent moisture buildup in the attic by working with ridge vents to keep air moving.
- i** Illuminator™ Tube Skylight  
A smart choice for bringing natural light into the home.



<sup>1</sup> Excludes non-Owens Corning™ Roofing Products such as flashing, fasteners and wood decking.

## Home sweet home.

Owens Corning Roofing wants to help make your purchase of a new roof a positive experience. Not only can we help you choose the right shingle and roofing system components, but we can also help you select the right contractor for the job. Don't worry – we know this is a big decision. We're here to help you feel confident about choosing our roofing products. After all, we're America's #1 roofing brand\* for a reason.

Want design assistance or more information about Owens Corning™ Roofing products? Or want to find an Owens Corning™ Roofing Preferred Contractor network member?

It's easy to reach us:

1-800-GET-PINK<sup>†</sup>  
[www.roofing.owenscorning.com](http://www.roofing.owenscorning.com)

\* See actual warranty for complete details, limitations and requirements.

\*\* 130 MPH is applicable only with 6-nail application and Owens Corning™ Starter Shingle product application in eaves and rakes in accordance with installation instructions.

† Owens Corning strives to accurately reproduce photographs of shingles. Due to manufacturing variances, the limitations of the printing process and the variations in natural lighting, actual shingle colors and granule blends may vary from the photo. The pitch of your roof can also impact how a shingle looks on your home. We suggest that you view a roofing display or several shingles to get a better idea of the actual color. To accurately judge your shingle and color choice, we recommend that you view it on an actual roof with a pitch similar to your own roof prior to making your final selection. Color availability subject to change without notice. Ask your professional roofing contractor for samples of colors available in your area.

‡ 40-year Limited Warranty on commercial projects.

§ Based on 2011 Roofing Brand Awareness Survey by Owens Corning Roofing & Asphalt LLC.

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**OWENS CORNING  
ROOFING AND ASPHALT, LLC**  
ONE OWENS CORNING PARKWAY  
TOLEDO, OHIO, USA 43659

1-800-GET-PINK<sup>®</sup>  
[www.roofing.owenscorning.com](http://www.roofing.owenscorning.com)

INNOVATIONS FOR LIVING<sup>®</sup>

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(Compton, Denver, Portland)



Oakridge<sup>®</sup> Artisan Color  
Flagstone<sup>†</sup>



# MURRAY BUILDING, INC.

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## Gola Properties Condominiums Color Selection

- Color #1 – Dunn Edwards – Shaggy Bark  
To be used on Building #3
- Color #2 – Dunn Edwards – Center Ridge  
To be used on Building #3
- Color #3 – Kelly Moore – Wise Owl  
To be used on Buildings #1 & #2
- Color #4 – Kelly Moore – Stonegate  
To be used on Buildings #1 & #2
- Trim Color – Dunn Edwards – Cream  
To be used on Buildings #1, #2 & #3
- Roofing - Owens Corning – Oakridge Shingles – Estate Grey  
To be used on Buildings #1, #2 & #3



# Tuscany® Series Vinyl Windows & Doors

SIX UNIT CONDO DEVELOPMENT  
FOR  
GOLA PROPERTIES L.L.C.

1181 BROADWAY  
SONOMA, CA

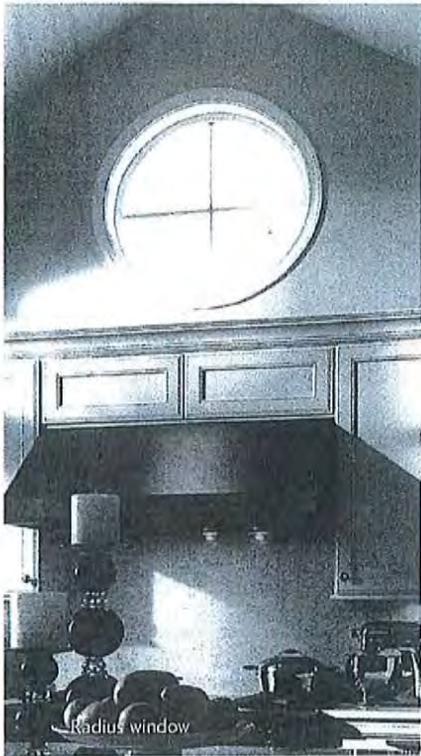
WILLIAM L. DIMICK AIA  
ARCHITECT  
113 FRANCE ST. SONOMA, CALIF.  
707.535.1111

JOB #1505  
5-31-2016

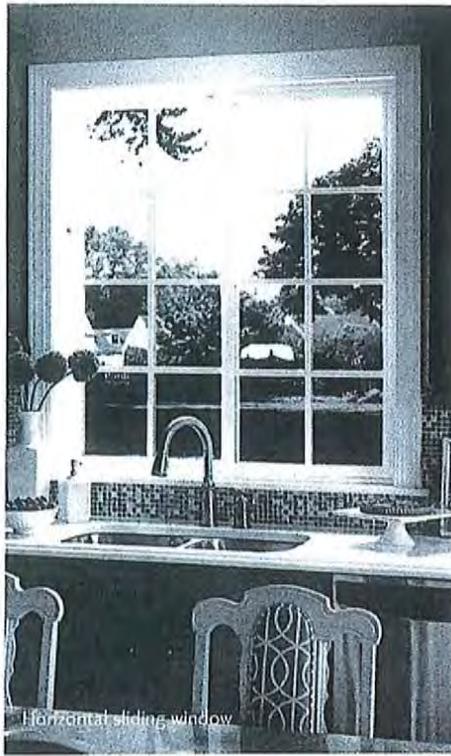
*Clearly the best.®*



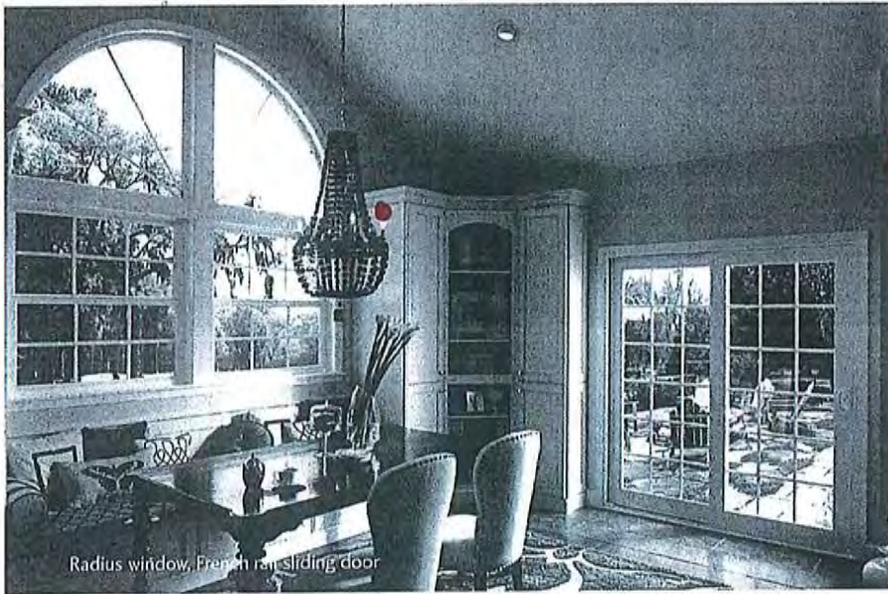
1.800.MILGARD · milgard.com



Radius window



Horizontal sliding window

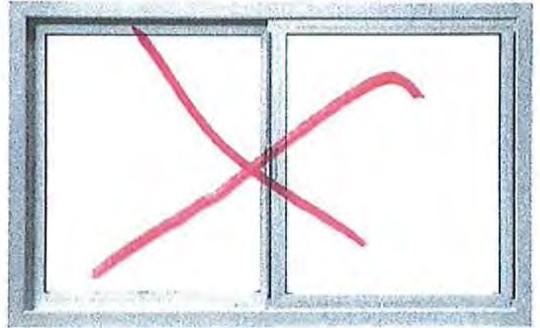


Radius window, French door sliding door

### Horizontal Slider

### Double Horizontal Slider

(Half Vent) Min 2'0"x1'6" Max 6'0"x6'0"

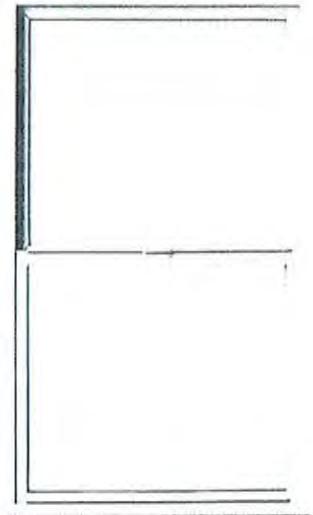
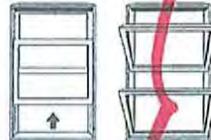


### Single Hung

### Double Hung

Single Hung: Min 1'6"x2'0"  
Max 4'0"x8'0"

Double Hung: Min 1'6"x2'6"  
Max 4'0"x7'0"



### Specialty Windows

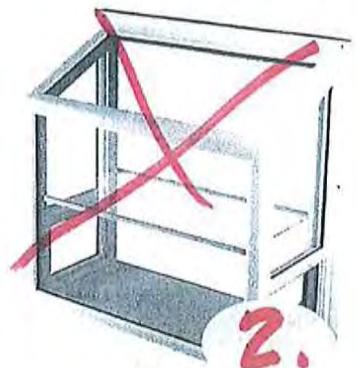
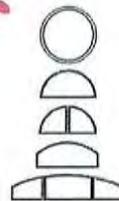
### Bow

Min 3'0"x1'0" Max 10'0"x5'0"



### Radius

Min Max: varies based on window combination

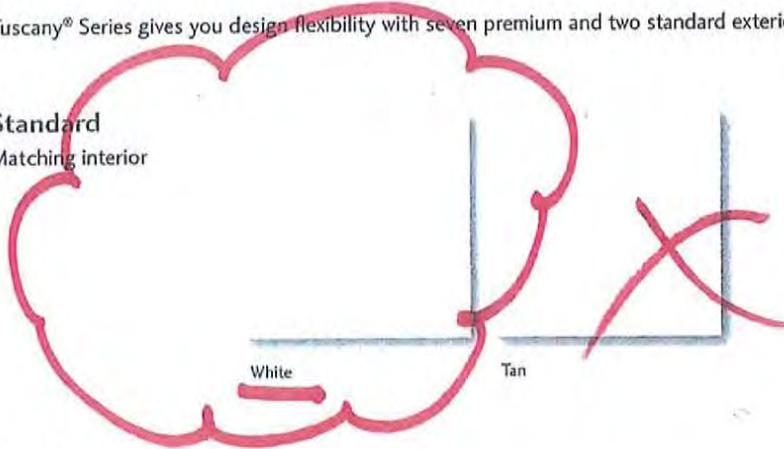


2.

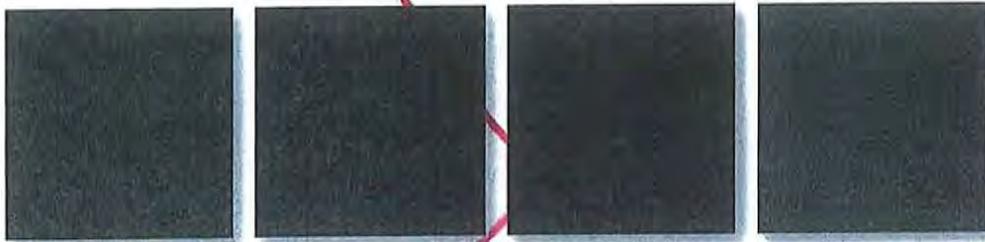
# Premium Exterior Vinyl Finishes

Tuscany® Series gives you design flexibility with seven premium and two standard exterior colors.

**Standard**  
Matching interior



**Premium**  
White interior only



Bronze

Espresso

Chocolate

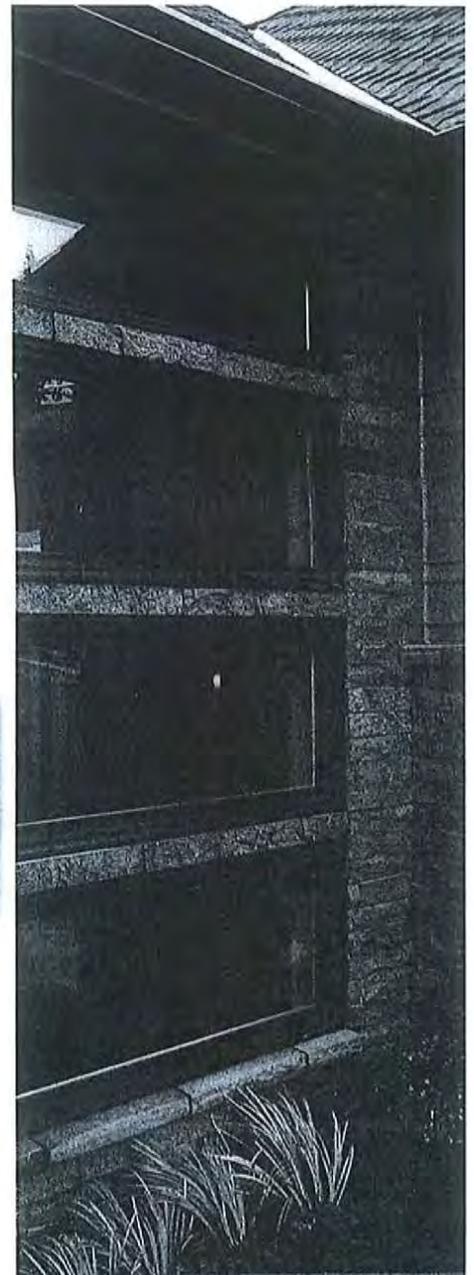
Taupe



Silver

Light Grey

Ivory

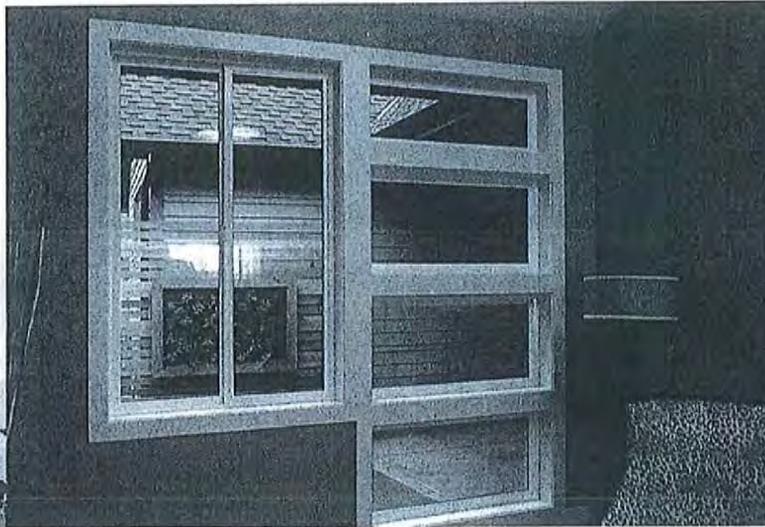


Reviews from milgard.com -

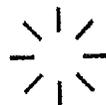
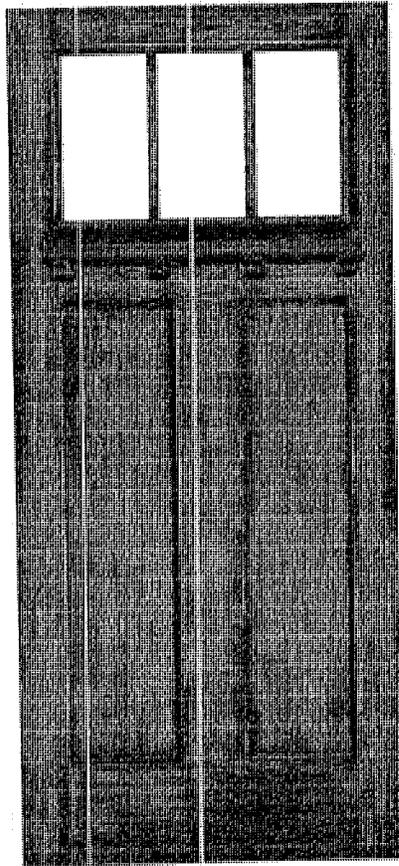
*The windows slide & lock with just one hand so effortlessly & automatic with the SmartTouch® locks & I feel very safe with these locks on my bedroom windows.*

— Burbank, CA

*Our Milgard Tuscany windows are high-quality and stylish, yet simple. We immediately noticed a decrease in street noise and an increase in room comfort.*



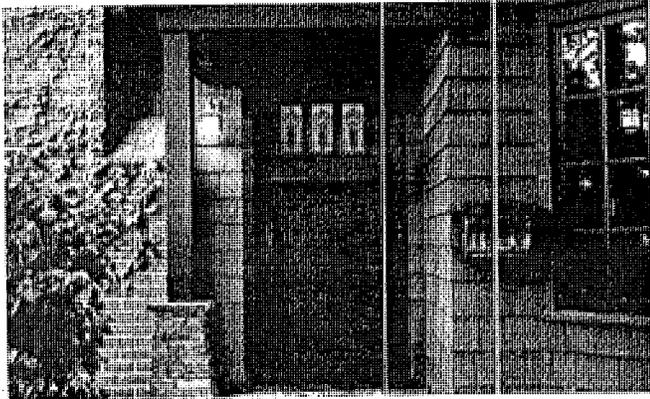
# ARCHITECTURAL FIBERGLASS GLASS PANEL EXTERIOR DOOR



WILLIAM L. DIMICK AIA  
ARCHITECT 312 FRANKIE ST. LONGHORN, CALIF.  
91774 TELEPHONE 714-312-9710

# 1505  
5.31.2016

(1)



Manufacturer identification is the first and most essential step when ordering service parts or beginning service work on doors or door systems. Proper identification is also important because warranty coverage terms vary with manufacturer, product and date.

### IMPORTANT IDENTIFICATION METHODS

This document explains how to use the following ways to help identify your product:

- Purchase paperwork (invoice, receipts, etc.)
- Purchase knowledge
- Company logo & labels on the product
- Product photographs

When gathering information for service personnel, be sure to write down all numbers or codes on product labeling or glass. The more information you have available, the more quickly and accurately your service representative can assist you.

#### PURCHASE PAPERWORK

An accurate and efficient way to identify a product is with a customer receipt, invoice or purchase order. These documents should have all the necessary information.

#### PURCHASE KNOWLEDGE

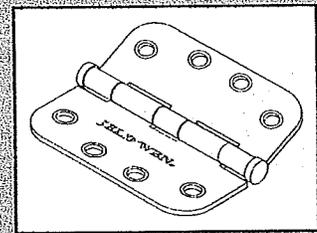
Another way to find out who manufactured a product is to know the answers to the following questions:

1. Who built or remodeled the house. The builder may have some helpful information.
2. Where was the product purchased (supplier name and location and if the product was part of a stock order or special order)? They may have records of the sale.
3. When was the house built or remodeled?

#### COMPANY LOGO & LABELS ON THE PRODUCT

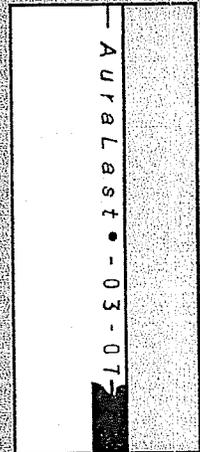
Some products have a logo on the hinges.

Logo on Hinge



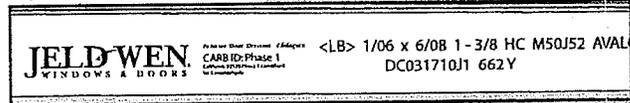
AuraLast<sup>®</sup> frames also will have "AuraLast" and the date of manufacture printed somewhere on the jamb under the weatherstrip.

AuraLast Printed on Jamb



Some products have manufacturing data printed on the top (this will not be visible if the top has been painted).

Printed Information on Top of Slab



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© 2010, JELD-WEN, inc. JELD-WEN, the JW icon, AuraLast, Aurora and Reliability for real life are trademarks or registered trademarks of JELD-WEN, inc., Oregon USA. All other trademarks are the property of their respective owners.

(10/10)

### COMPANY LOGO & LABELS ON THE PRODUCT - CONTINUED

In addition to logos on the product, Custom wood and Aurora® Fiberglass as well as fire doors will have specific permanent labeling attached to the frame and/or slab similar to the samples shown below. Custom wood and Aurora Fiberglass labels are on the top of the slab. Fire door labels are somewhere on the jamb and slab around eye level. Provide the service representative with the numbers stamped on each label.



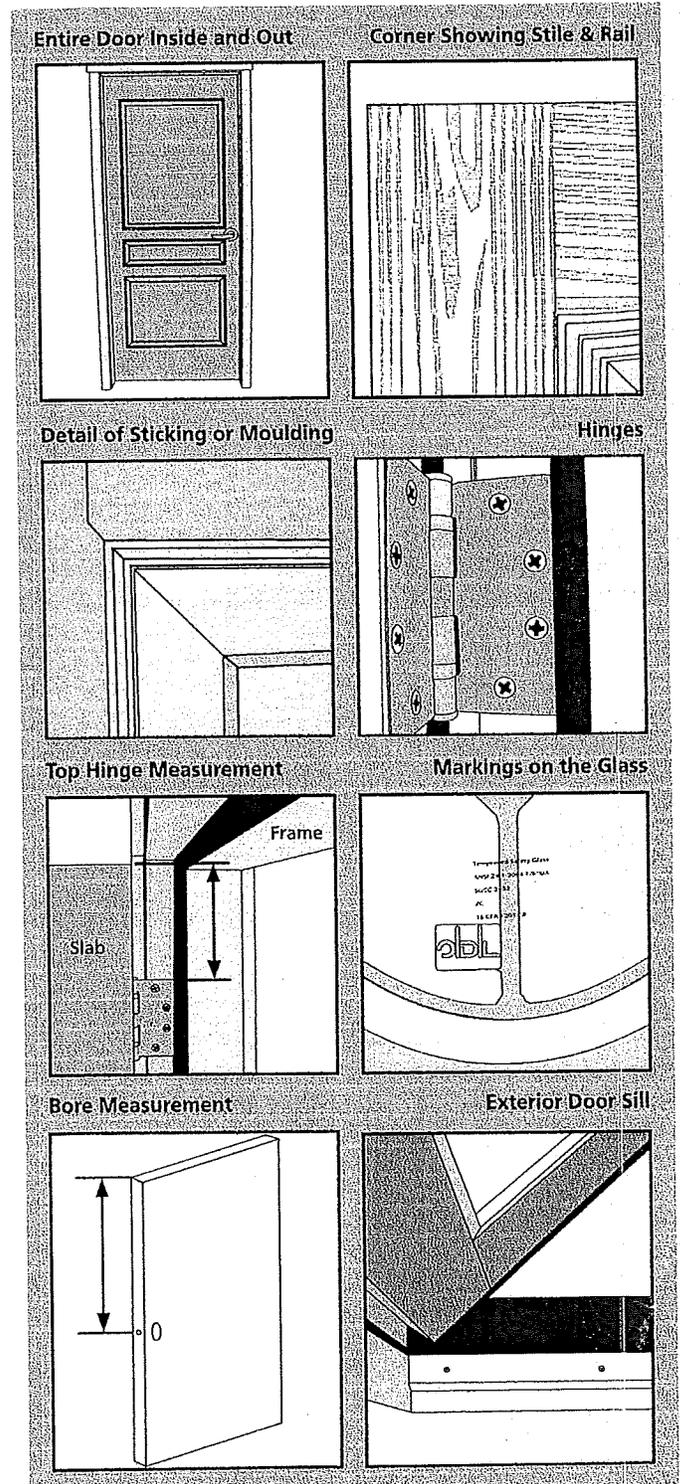
### PRODUCT PHOTOGRAPHS

If your investigation so far has failed to produce results, take photographs of the product and send them to your service representative. Illustrated right are examples of the primary types of photographs that will help determine the manufacturing location or product collection, model and series of your product. The purpose of these photographs is to show hardware types, mounting position, design details and part profiles

When including pictures of the corner showing stiles (vertical members) and rails (horizontal members), include width measurements of both.

When including pictures of hinges and their location on the product, always measure from the top of the slab to the top of the hinge. Provide measurements for each hinge. Also provide the distance from the top of the slab to the middle of the latch bore.

Note! For illustration purposes, these examples are of various product types.



### CONTACT US

- For questions, feel free to contact us by phone or email
- Email: customerserviceagents@jeld-wen.com
  - Phone: 1-(800)-JELD-WEN/1-(800)-535-3936



## Acoustic Ratings - Exterior Doors

**Key**

L = Laminated

STC = Sound Transmission Class (ASTM E413)

OITC = Outdoor/Indoor Transmission Class (ASTM E1332)

The performance information listed is for new products and is intended to be used for reference only, and is not complete. Depending on the components, accessories, and options chosen, the actual rating could vary. Confirm ratings for specific products with your supplier or JELD-WEN sales representative.

### Aurora® Custom Fiberglass

Type	STC	OITC
Glazed*	31	27
Glazed* Impact	35	30
Opaque	26	25

### Contours™ Steel, Steel Edge

Type	STC	OITC
Glazed*	28	25
Opaque	22	22

### Contours™ Steel, Wood Edge

Type	STC	OITC
Glazed*	27	25
Opaque	20	22

### Design-Pro™ and Smooth-Pro™ Fiberglass

Type	STC	OITC
20 min Fire Door	29	28
Glazed*	27	22
Flush Glazed*	27	23
Opaque	24	22

### Finishield® and Gladiator® Steel, Wood Edge

Type	STC	OITC
Glazed*	26	25
Opaque	19	21

\* Glazed Door values are applicable to all door lite configurations



City of Sonoma  
 No. 1 The Plaza, Sonoma, CA  
 95476

**WATER EFFICIENT LANDSCAPE WORKSHEET**

Prepared by Tangram Landscape Architecture  
 Sonoma Condominiums, 20201 Broadway, City of Sonoma, CA

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

**Reference Evapotranspiration (ETo) 46.1**

Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq, ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
Low Water Use	.3	Drip	.81	.37	3300	1221	34,899
Low Water Use (Trees)	.3	Drip	.81	.37	420	155	4430
Medium Water Use (Trees)	.6	Drip	.81	.74	150	111	3172
				Totals	3870	1487	
<b>Special Landscape Areas</b>							
				1			
				1			
				1			
				Totals			
						<b>ETWU Total</b>	<b>42,501</b>
						<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup></b>	<b>60,851</b>

<sup>a</sup> **Hydrozone #/Planting Description**  
 E.g  
 1.) front lawn  
 2.) low water use plantings  
 3.) medium water use planting

<sup>b</sup> **Irrigation Method**  
 overhead spray  
 or drip

<sup>c</sup> **Irrigation Efficiency**  
 0.75 for spray head  
 0.81 for drip

<sup>d</sup> **ETWU (Annual Gallons Required) =**  
 $ETo \times 0.62 \times ETAF \times Area$   
 where 0.62 is a conversion factor that converts acre-inches per year to gallons per square foot per year

<sup>e</sup> **MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [ (ETAF x LA) + ((1-ETAF) x SLA)]**  
 where 0.62 is a conversion factor that converts acre inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non residential areas.

**Plant Factor (PF)**  
 0 to 0.1 Very Low Water Use Plants  
 0.1 to 0.3 Low Water Use Plants  
 0.4 to 0.6 Moderate Water Use Plants  
 0.7 to 1.0 High Water Use Plants  
 Plant factors cited are derived from the publication "Water Use classification of Landscape Species".

## ETAF Calculations

### Regular Landscape Areas

Total ETAF x Area	(B)
Total Area	(A)
<b>Average ETAF</b>	<b><math>B \div A</math></b>

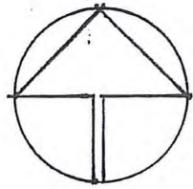
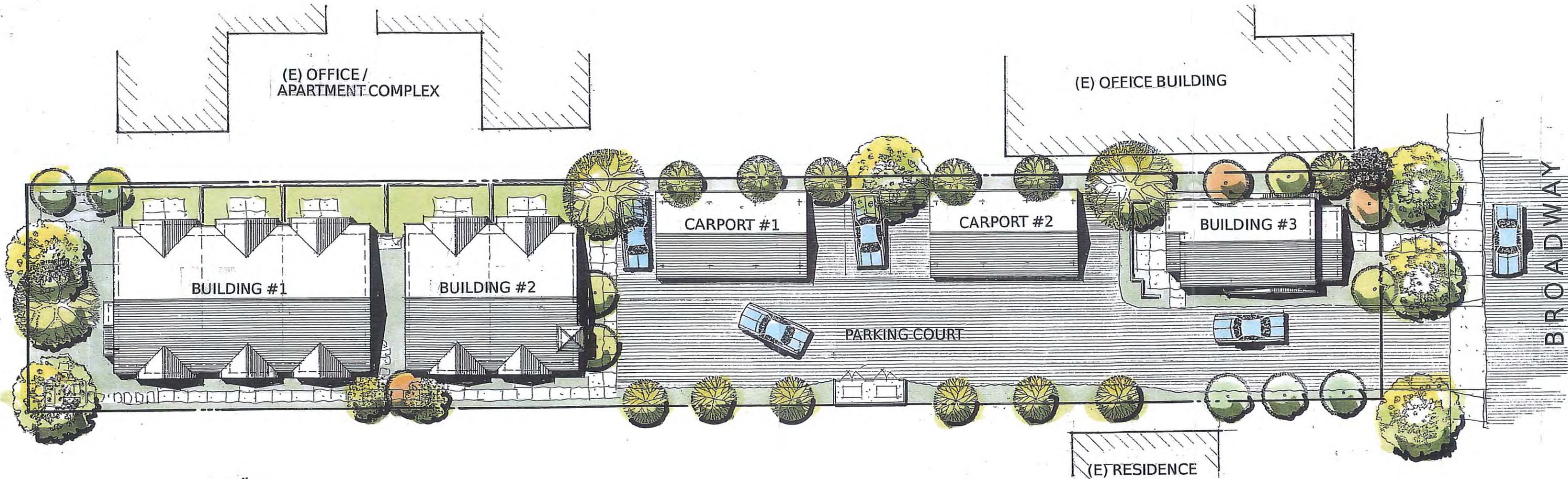
**Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

### All Landscape Areas

Total ETAF x Area	(B+D)
Total Area	(A+C)
<b>Sitewide ETAF</b>	<b><math>(B+D) \div (A+C)</math></b>



City of Sonoma  
No. 1 The Plaza, Sonoma, CA  
95476



# SITE PLAN

NOTE: REFER TO THE LANDSCAPE PLANS FOR TREE & PLANT NAMES & LOCATIONS

SIX UNIT CONDO DEVELOPMENT  
 FOR  
**GOLA PROPERTIES L.L.C.**

1181 BROADWAY  
 SONOMA, CA

**WILLIAM L. DIMICK AIA**  
 ARCHITECT  
 292 FRANCE ST. SONOMA CALIF.  
 95476 TELEPHONE 707-938-5726

JOB #1505

5-31-2016

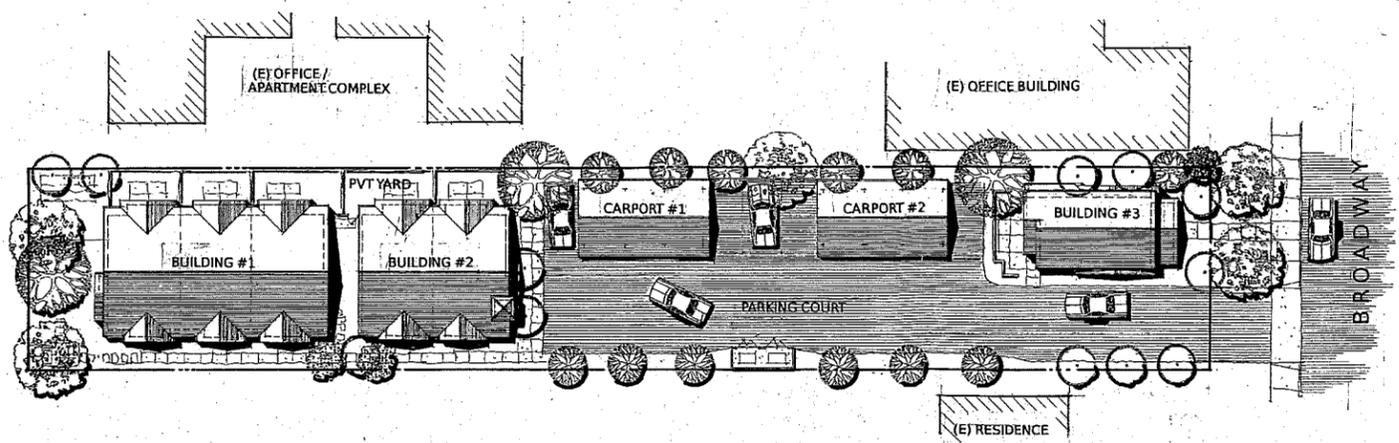
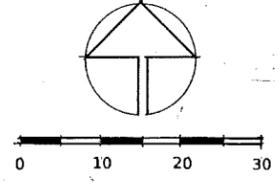
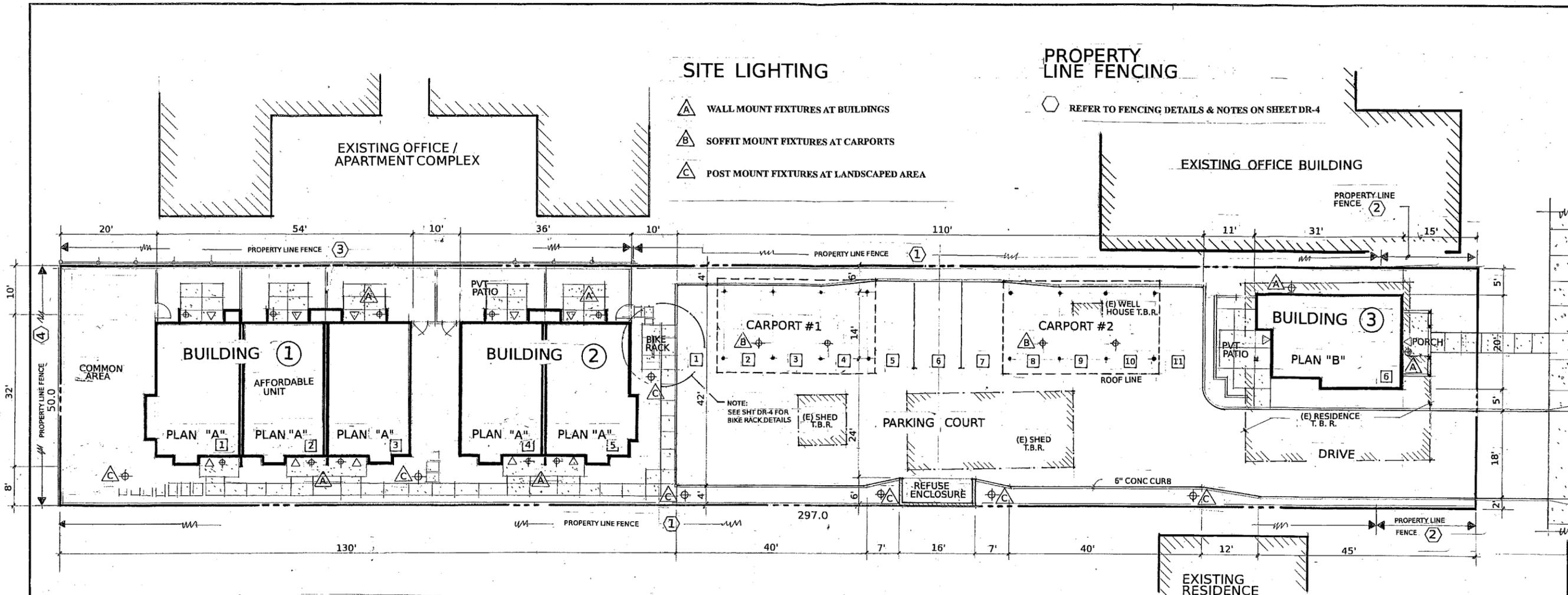
MAY 31 2016

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**WILLIAM L. DIMICK AIA**  
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**ARCHITECT**

SIX UNIT CONDO DEVELOPMENT  
**GOLA PROPERTIES L.L.C.**  
 1181 BROADWAY  
 SONOMA, CA

Date	5-31-2016
Scale	AS NOTED
Drawn	WLD
Job	1505
Sheet	DR-1
of 4 Sheets	



**AREA TABULATION**

GROSS SITE AREA	14,850 SQ. FT.	34%
BUILDING COVERAGE	3,292	22%
PAVED AREA	5,760	39%
OPEN SPACE	5,798	39%

**FLOOR AREA RATIO (FAR)**

FLOOR AREA:

PLAN "A"	
FIRST FLOOR	548
SECOND FLOOR	532
1080 X 5 = 5400 SQ. FT.	
PLAN "B"	
FIRST FLOOR	552
SECOND FLOOR	405
957 X 1 = 957 SQ. FT.	
TOTAL FLOOR AREA	6357 SQ. FT.

FAR: 6357 / 14850 = 42%

**PARKING**

REQUIRED PARKING:  
 1.5 SPACES PER LIVING UNIT + 25%, 1.5 X 6 = 9 X .25 = 11.25  
 CARPORTS = 6    OPEN = 5    TOTAL = 11 SPACES

MAY 8 1 2016

REVISIONS	BY

**WILLIAM L. DIMICK AIA**  
 292 FRANCE ST. SONOMA, CALIF.  
 95476 TELEPHONE 707-938-5726  
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SIX UNIT CONDO DEVELOPMENT  
**GOLA PROPERTIES L.L.C.**  
 1811 BROADWAY  
 SONOMA, CA

Date	5-31-2016
Scale	AS NOTED
Drawn	WLD
Job	1505
Sheet	<b>DR-4</b>
Of 4	Sheets

**Pavilion LED Post Mount**  
 By Maxim Lighting



**Details**

The Maxim Lighting Pavilion LED Post Mount features a traditional shape put into a more modern context. The sleek design fits with modern decor with its simple shapes and monochromatic color palette. The LED illumination provides indirect lighting from within the shade that keeps your outdoor living space safely lit.

Maxim Lighting, headquartered in California, offers high-quality lighting fixtures in a variety of designs, finishes, and glass styles that complement contemporary and transitional interiors.

The Pavilion LED Post Mount is available with the following:

**Details:**

- Designed in 2015
- Material: Die cast aluminum
- Post not included
- UL Listed Wet
- Made In China

**Options:**

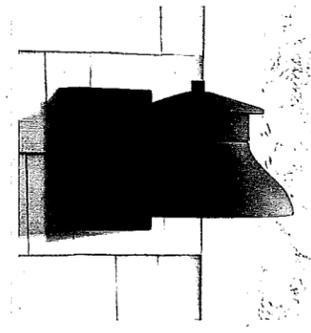
- Finish: Architectural Bronze, Black

**Lighting:**

- 8.5 Watt (595 Lumens) 120 Volt Integrated LED; CRI: 80 Color Temp: 3000K

**Dimensions:**

- Fixture Width 10", Height 11.5", Depth 10", Weight 3.44 Lbs.



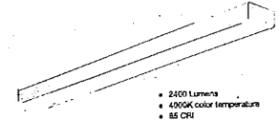
**WALL MOUNT FIXTURE**

Lithonia Lighting Model # FMLWL-48 840 Internet # 205570126 Store SKU # 1001070838  
**4 ft. White LED Flushmount Wraparound Light**  
 \*\*\*\*\* (10) Write a Review Questions & Answers (1)

**PRODUCT OVERVIEW** Model # FMLWL-48 840 Internet # 205570126 Store SKU # 1001070838

The 4 ft. Integrated LED Wraparound from Lithonia Lighting mounts flush for wall or ceiling applications. This fixture comes with an impact resistant prismatic acrylic lens. This fixture is an ideal replacement for traditional 2-Light fluorescent 18 or T12 wraps.

- 2400 Lumens
- 4000K color temperature
- 85 CRI
- Uses only 40-Watt of energy
- Start temp down to 0A°F
- Integrated LED's included - no bulbs required
- 120-Volt
- Damp location listed



**CARPORT SOFFIT MOUNT FIXTURE**

**LED Energy Efficient Black 5" High Outdoor Wall Light - Style # T6277**

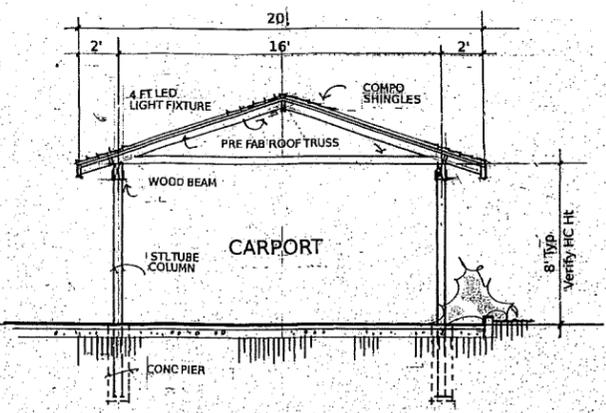
**OTHER OPTIONS**



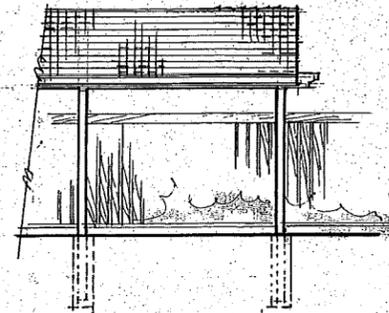
An elegant energy efficient outdoor wall light in a no-glass, Dark Sky design, from the John Timberland® Danbury outdoor lighting collection.

Advanced energy-saving technology meets simple traditional style in this beautiful outdoor wall light. Durable black painted steel housing comprises this non-glass design. The light source a dedicated, energy efficient and long-lasting LED with a warm 3000K color temperature. The light is directed downward, making this design Dark Sky compliant as well. From the Danbury collection of outdoor lighting by John Timberland®.

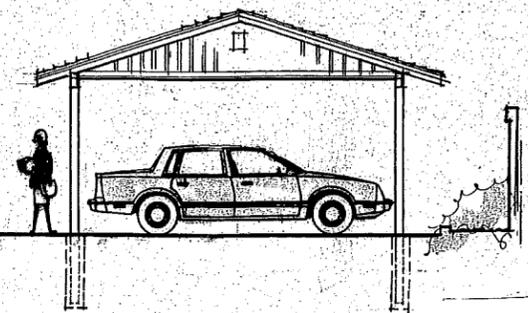
- Black finish steel.
- Non-glass design.
- Includes 10 watt LED.
- Dark sky compliant.
- From the Danbury collection by John Timberland.
- 790 lumens.
- California Title 24 compliant.
- Comparable to a 60 watt incandescent.
- Warm 3000K color temperature.
- Not dimmable.
- 5" high.
- 7" wide.
- Extends 8 3/4" from wall.
- Back plate 6" high x 4 1/2" wide.



**SECTION**  
1/4" = 1'-0"



**PARTIAL FRONT ELEVATION**  
1/4" = 1'-0"

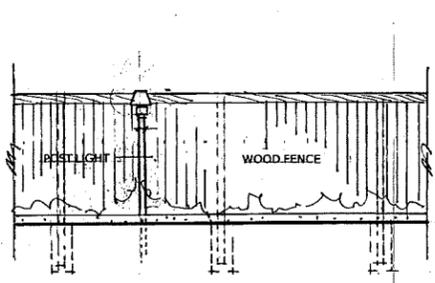


**SIDE ELEVATION**  
1/4" = 1'-0"

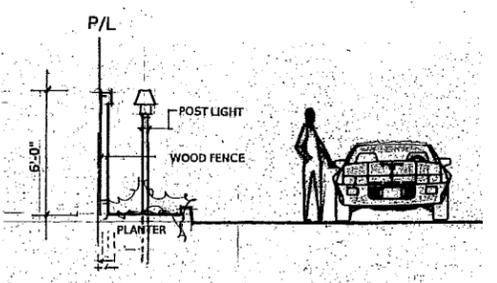
**CARPORTS**

**POST MOUNT FIXTURE**

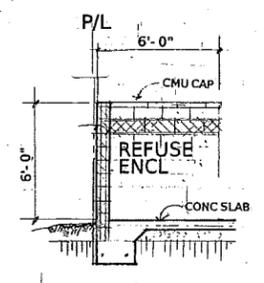
**SITE LIGHTING**



**ELEVATION**  
1/4" = 1'-0"



**SECTION AT PLANTER**  
1/4" = 1'-0"



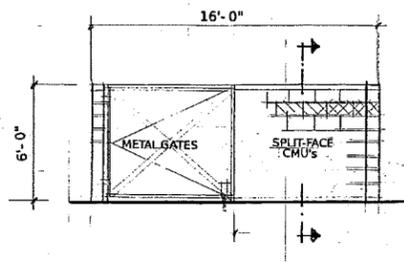
**SECTION**  
1/4" = 1'-0"

**FENCE LEGEND:** (REFER TO TO SITE DEVELOPMENT PLAN ON SHEET DR-1 FOR FENCE LOCATION)

- 1 X 6 CONSTRUCTION GRADE REDWOOD FLAT TOP FENCE PICKETS, 6 X 6 REDWOOD POSTS @ 8'-0" o.c. W/ 2 X 6 TOP & BOTTOM RAILS, UP 6'-0".
- SAME AS NO. 1, BUT UP 4'-0" 20' FROM FRONT P/L.
- EXISTING NEIGHBOR'S WOOD POLE & WIRE (VINE COVERED) FENCE TO REMAIN.
- EXISTING NEIGHBOR'S REDWOOD PROPERTY LINE FENCE TO REMAIN.

**PROPERTY LINE FENCING**

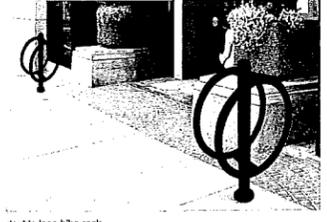
**FENCES & REFUSE ENCLOSURE**



**ELEVATION**  
1/4" = 1'-0"

**REFUSE ENCLOSURE**

**Double Loop Bike Rack**



Parent SKU: 7ZT7048  
 8244-85  
**Special Price \$192.85**  
 See Quantity Pricing Below  
 Decorative and functional at the same time.

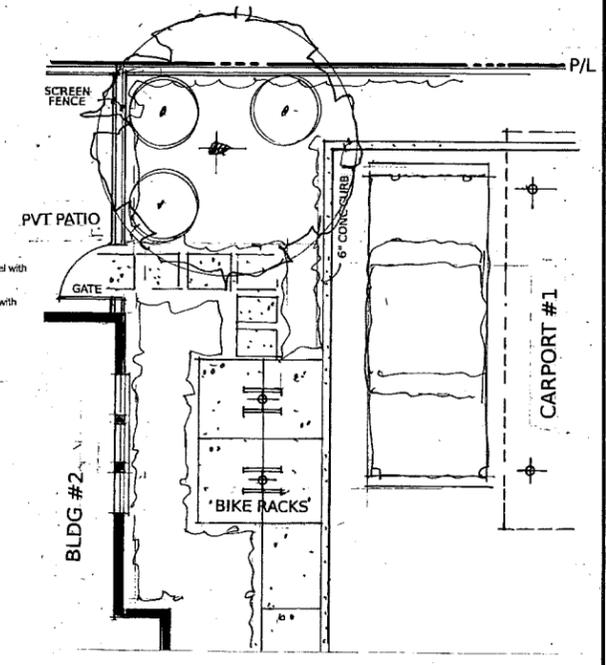
Material: Heavy-gauge steel  
 Finish: Powder-coated  
 Vertical support: 3-1/2" dia., 11-gauge steel with powder-coated finish  
 Locking rings: 1-5/8" dia., 11-gauge steel with powder-coated finish  
 Holds up to 2 bikes  
 [Read More...]



**Benefits Features Product Documentation**

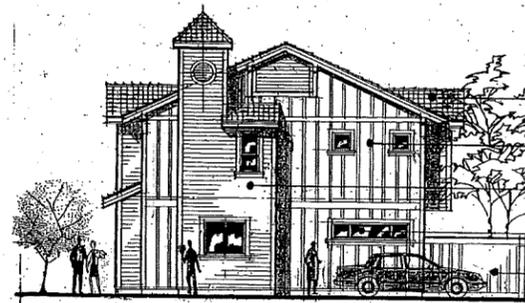
SKU	7ZT7048
Model Name	Double Loop Bike Rack
Weight	43.0
Length	25.5"
Width	12.5"
Height	38.5"
Material	Steel
Mount Type	Surface Mount

**BIKE RACKS**



**PARTIAL SITE PLAN**  
1/4" = 1'-0"

NOV 3 1 2016

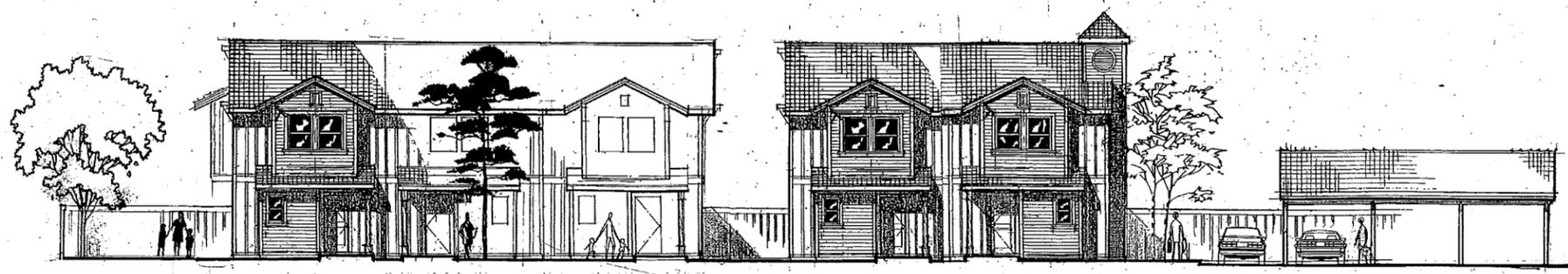


- TYPICAL EXTERIOR MATERIALS
- ROOF: COMPOSITION SHINGLES
  - SIDING: WOOD - BOARD & BATT
  - SIDING: WOOD - HORIZONTAL
  - WINDOWS: VINYL
  - FENCES: REDWOOD - BRD & BATT

BUILDING #2  
EAST

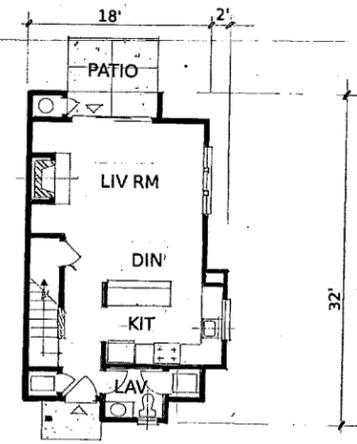
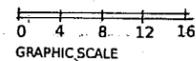


BUILDING #2 BUILDING #1  
NORTH

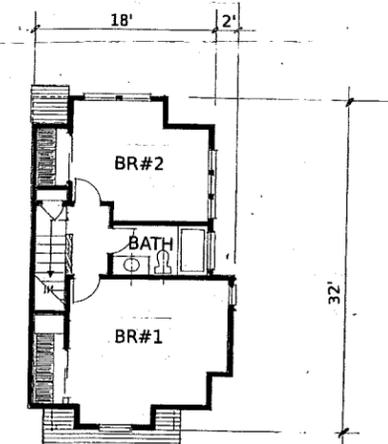


BUILDING #1 BUILDING #2 TYPICAL CARPORT  
SOUTH

EXTERIOR ELEVATIONS



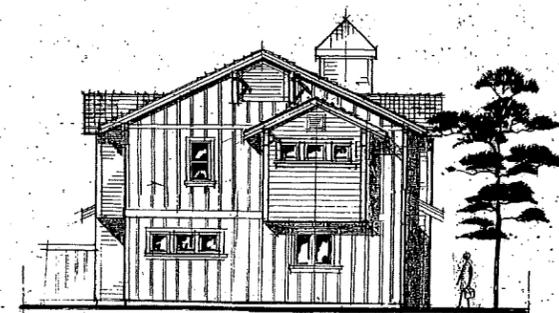
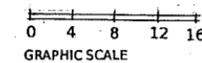
FIRST FLOOR



SECOND FLOOR



TYPICAL FLOOR PLAN "A"



BUILDING #1  
WEST

BUILDINGS ① & ②

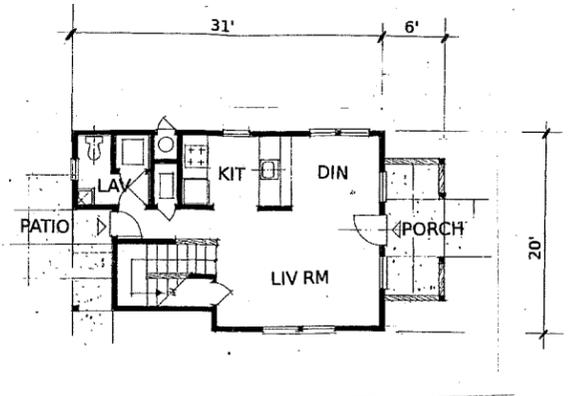
REVISIONS	BY

**WILLIAM L. DIMICK AIA**  
282 FRANCE ST. SONOMA CALIF.  
95476 TELEPHONE 707-938-5726  
**ARCHITECT**

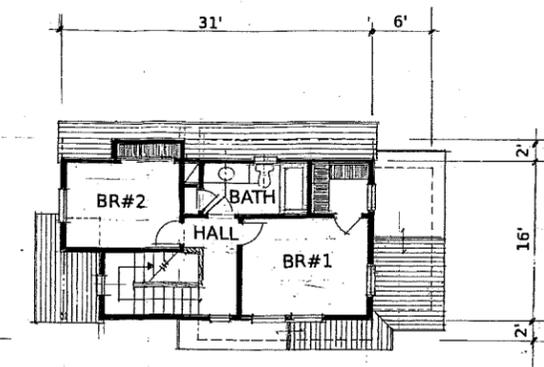
SIX UNIT CONDO DEVELOPMENT  
**GOLA PROPERTIES L.L.C.**  
1181 BROADWAY SONOMA, CA

Date	5-31-2016
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MAY 31 2016

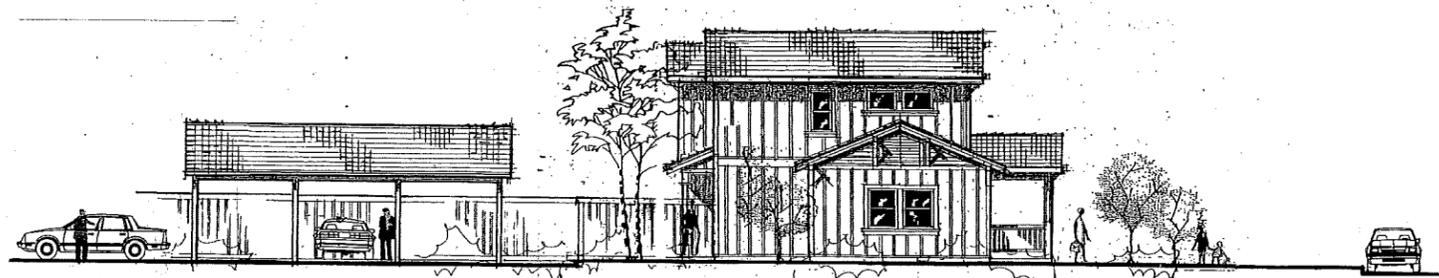
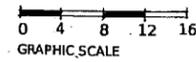


FIRST FLOOR

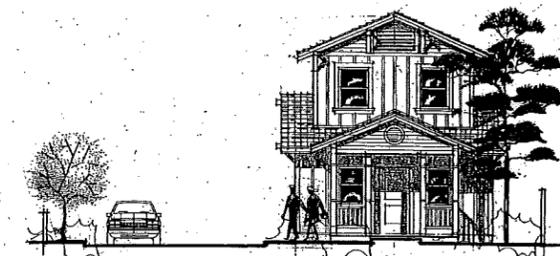


SECOND FLOOR

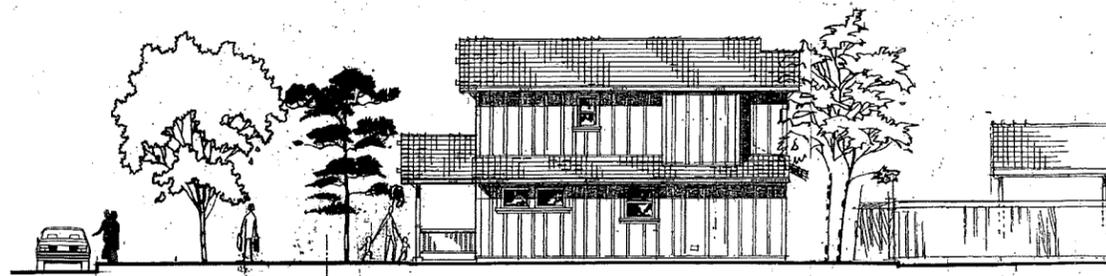
TYPICAL FLOOR PLAN "B"



NORTH



EAST

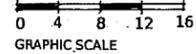


SOUTH



WEST

EXTERIOR ELEVATIONS



**BUILDING 3**

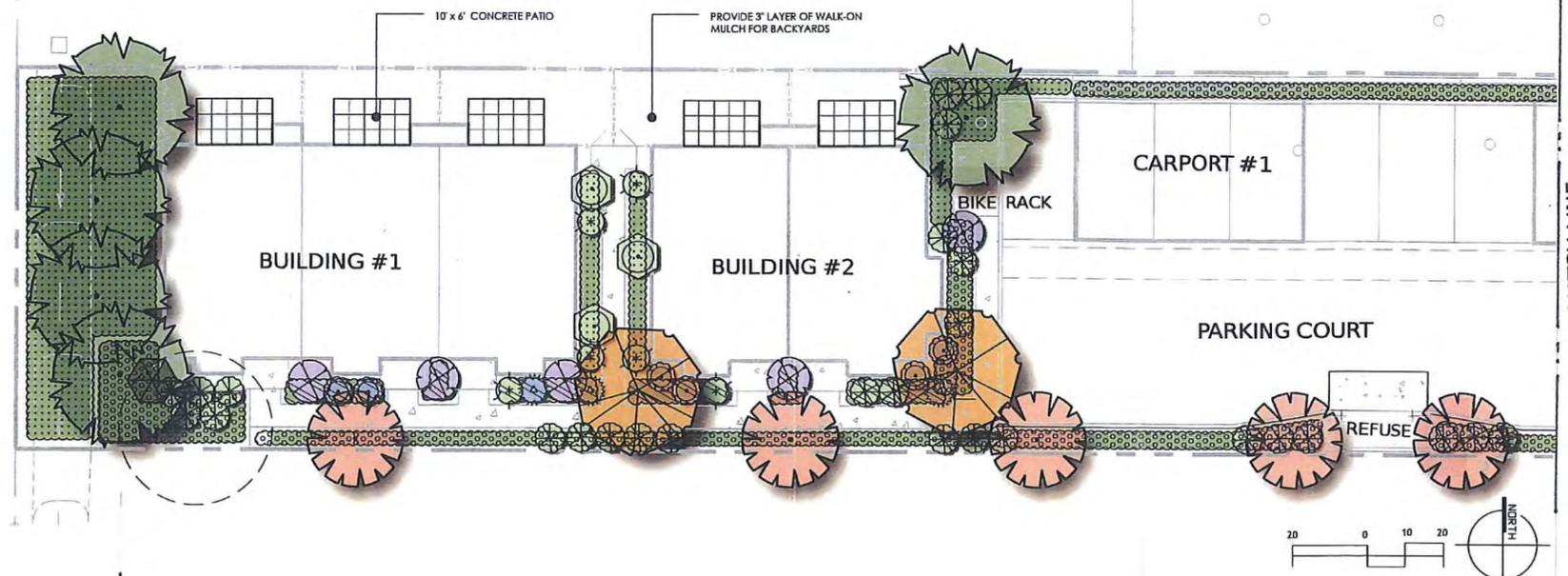
REVISIONS	BY

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**ARCHITECT**

SIX UNIT CONDO DEVELOPMENT  
**GOLA PROPERTIES L.L.C.**  
 1181 BROADWAY  
 SONOMA, CA

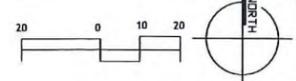
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Scale	AS NOTED
Drawn	WLD
Job	1505
Sheet	<b>DR-3</b>
of 4 Sheets	

MAY 31 2016



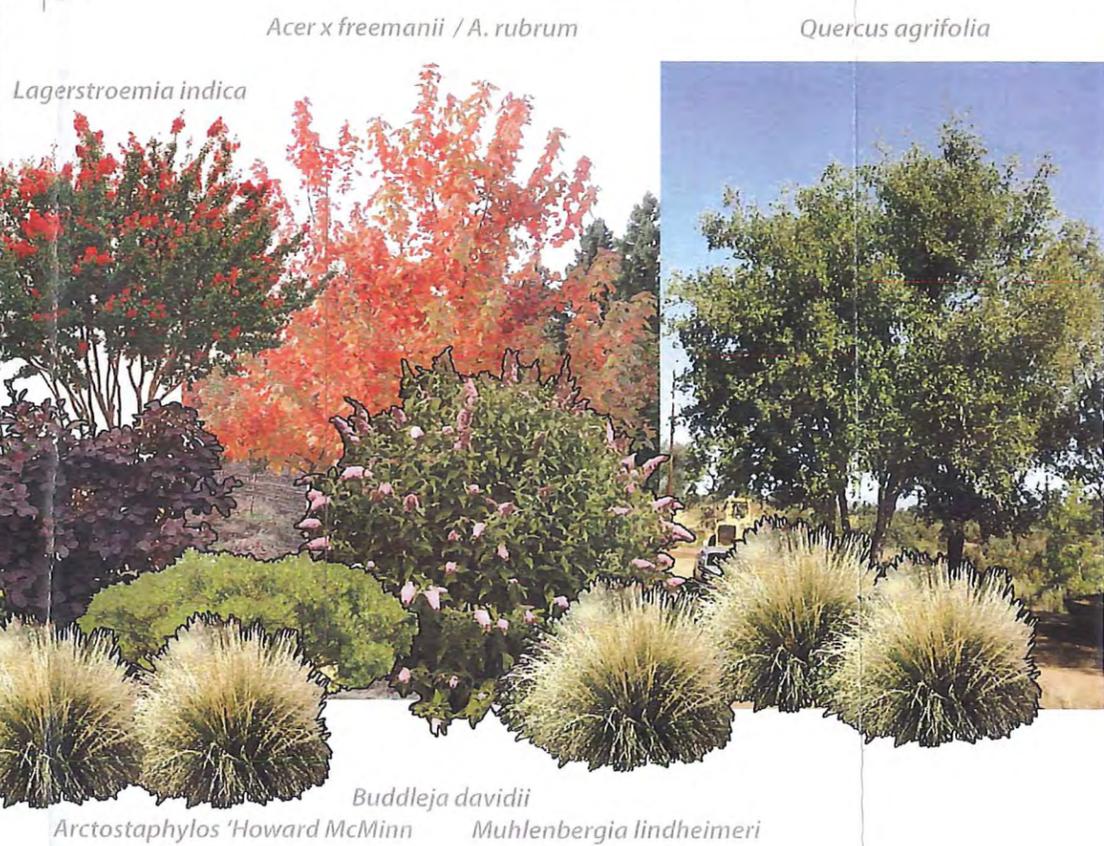
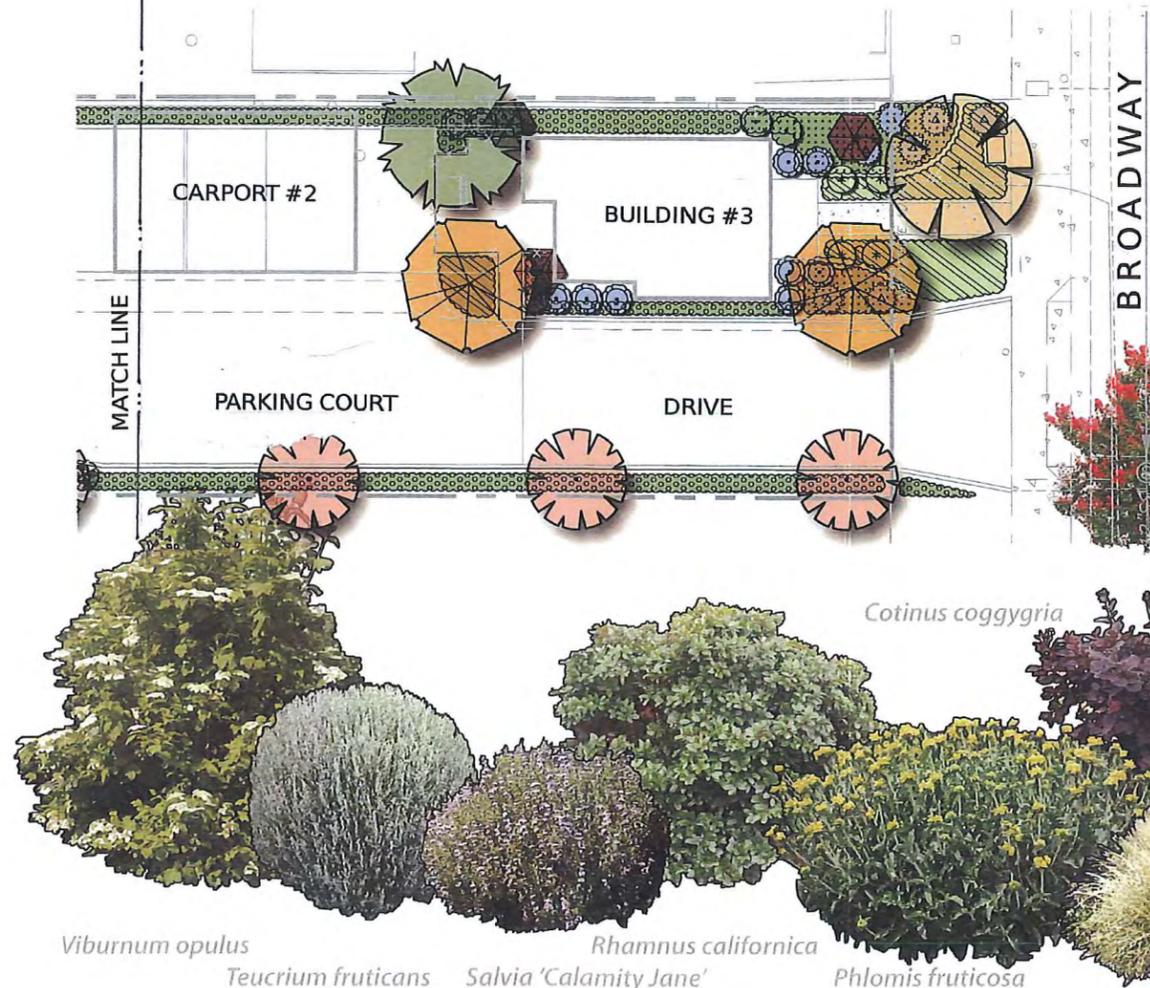
**PLANTING LEGEND:**

SYMBOL	PLANT NAME	COMMON NAME	SIZE	QUANTITY (TBD)	WATER USE
<b>TREES</b>					
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX		LOW
	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	24" BOX		MOD
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	36" BOX		MOD
	LAGERSTROEMIA INDICA	GRAPE MYRTLE	15 GAL.		LOW
<b>SHRUBS</b>					
	ARCTOSTAPHYLOS 'H. McMINN'	McMINN MANZANITA	5 GAL.		LOW
	BUDDLEJA DAVIDII	BUTTERFLY BUSH	5 GAL.		LOW
	COTINUS COGGYGRIA	SMOKE BUSH	5 GAL.		LOW
	SALVIA 'CALAMITY JANE'	CALAMITY JANE SAGE	5 GAL.		LOW
	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL.		LOW
	RHAMNUS CALIFORNICA	CALIFORNIA COFFEEBERRY	5 GAL.		LOW
	TEUCRIMUM FRUTICANS	BUSH GERMANDER	5 GAL.		LOW
	VIBURNUM OPULUS 'NANA'	CRANBERRY BUSH	5 GAL.		LOW
<b>GROUNDCOVER</b>					
	MUHLENBERGIA LINDHEIMERI	LINDHEIMERI MUHLY	1 GAL. @ 3" O.C.		LOW
	COTONEASTER DAMMERI	LOWFAST BEARBERRY	1 GAL. @ 4" O.C.		LOW
	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL. @ 3" O.C.		LOW



**LANDSCAPE DESIGN CONCEPT:**

PLANTING AREAS SHALL CONSIST OF A MIXTURE OF TREES, SHRUBS, AND GROUNDCOVER SUITABLE TO LOCAL SITE CONDITIONS.  
 PLANTS SHALL BE SELECTED SUITED TO THE SIZE AND LOCATION OF THE SPACES THEY WILL OCCUPY. NO TREES SHALL BE PLANTED UNDER ANY OVERHEAD UTILITY LINES.  
 THE FINAL PLANTING PLAN SHALL FOLLOW THE CITY OF SONOMA LANDSCAPE DESIGN STANDARDS, AS WELL AS OTHER COMMONLY ACCEPTED LANDSCAPE DESIGN PRACTICES TO CREATE A VIABLE, WATER CONSERVING, CONTEXT SENSITIVE PROJECT.  
 ALL PLANTING AND IRRIGATION WILL ADHERE TO LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) STANDARDS AS MANDATED BY THE STATE WATER RESOURCES CONTROL BOARD AND CURRENT WATER EMERGENCY LANDSCAPE REGULATIONS.



GOLA PROPERTIES  
**SONOMA CONDOMINIUMS**  
 20201 BROADWAY  
 SONOMA, CA

REVISIONS		
DATE	TITLE	NO.

PROJECT NO. 1602  
 DRAWN BY RLC  
 SCALE AS SHOWN  
 DATE 5-31-2016  
 PHASE

SHEET TITLE  
**SCHEMATIC PLANTING PLAN**

SHEET NO.

**L1.0**

MAY 31 2016



# MURRAY BUILDING, INC.

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## Gola Properties Condominiums Color Selection

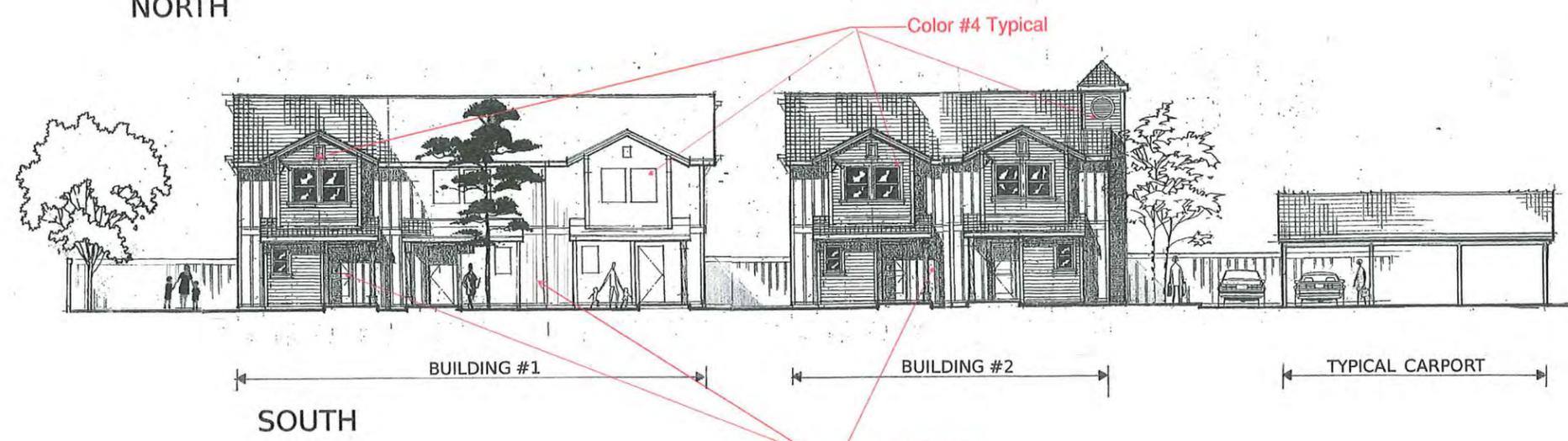
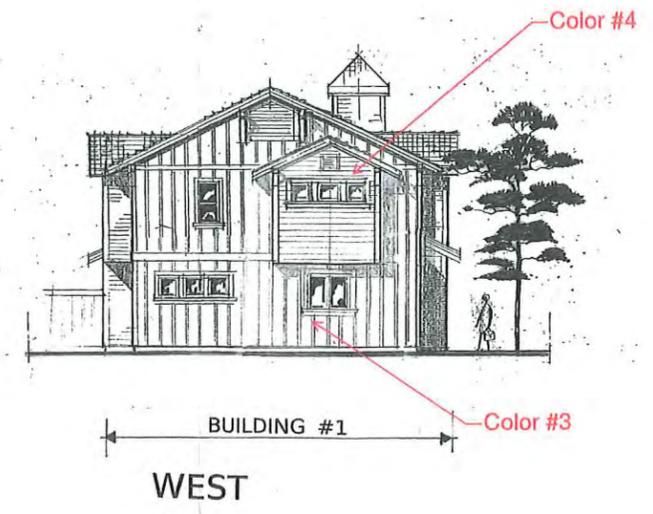
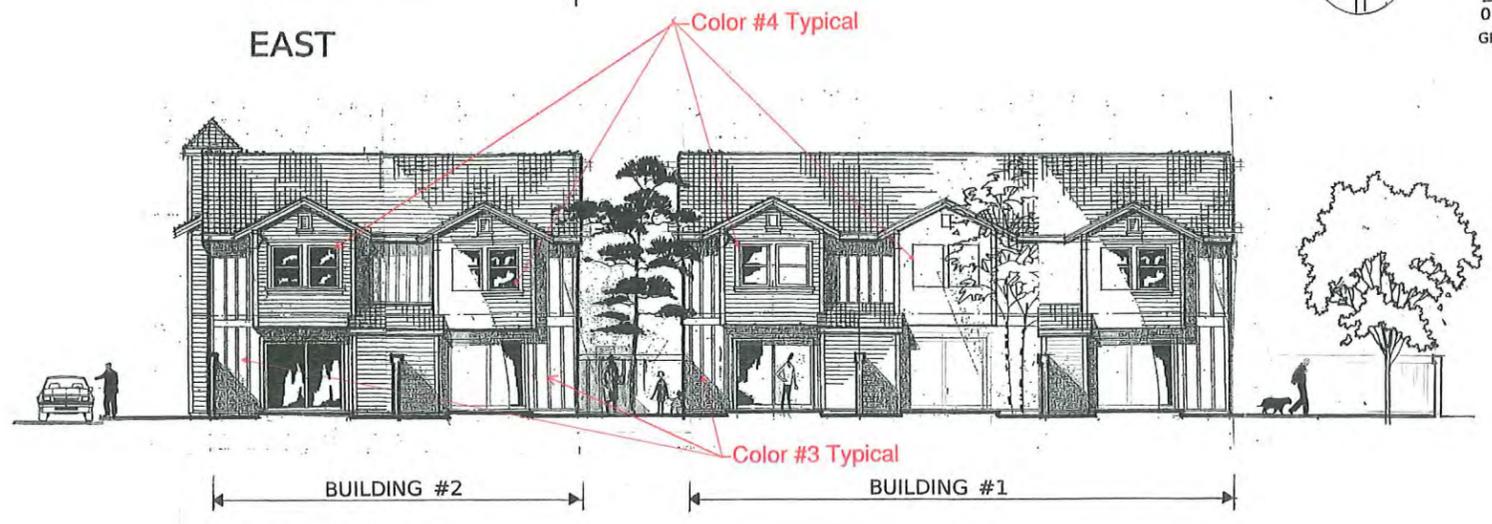
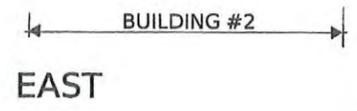
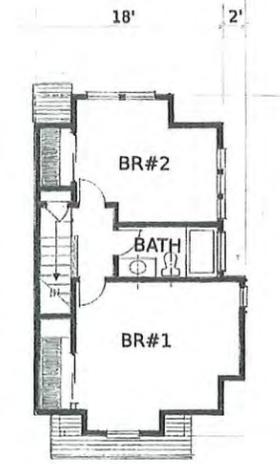
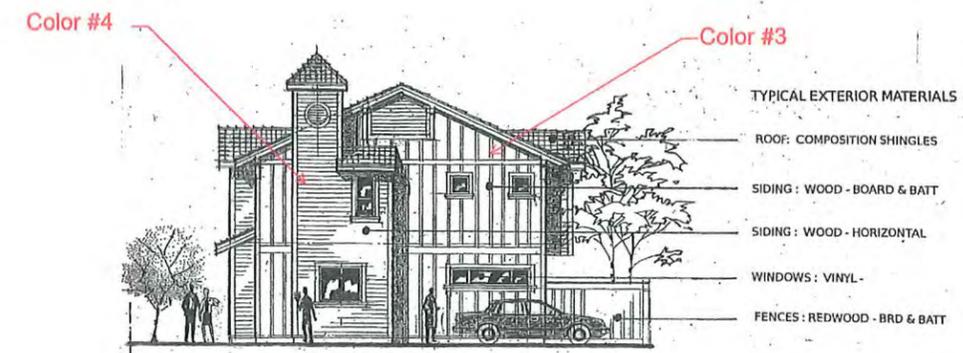
- Color #1 – Dunn Edwards – Shaggy Bark **DEC 771**  
To be used on Building #3
- Color #2 – Dunn Edwards – Center Ridge **DEL 230**  
To be used on Building #3
- Color #3 – Kelly Moore – Wise Owl **42**  
To be used on Buildings #1 & #2
- Color #4 – Kelly Moore – Stonegate **304**  
To be used on Buildings #1 & #2
- Trim Color – Dunn Edwards – Cream **EVSH50**  
To be used on Buildings #1, #2 & #3
- Roofing - Owens Corning – Oakridge Shingles – Estate Grey  
To be used on Buildings #1, #2 & #3

REVISIONS	BY

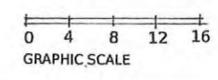
**WILLIAM L. DIMICK AIA**  
 292 FRANCE ST. SONOMA, CALIF.  
 95476 TELEPHONE 707-938-5726  
**ARCHITECT**

SIX UNIT CONDO DEVELOPMENT  
**GOLA PROPERTIES L.L.C.**  
 1181 BROADWAY SONOMA, CA

Date 4-15-2016  
 Scale AS NOTED  
 Drawn WLD  
 Job 1505  
 Sheet  
**UP-2**  
 Of 3 Sheets

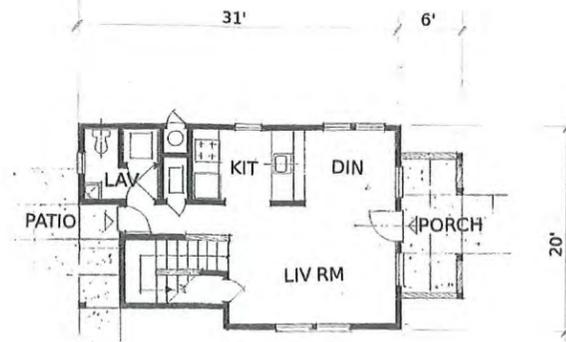


**EXTERIOR ELEVATIONS**

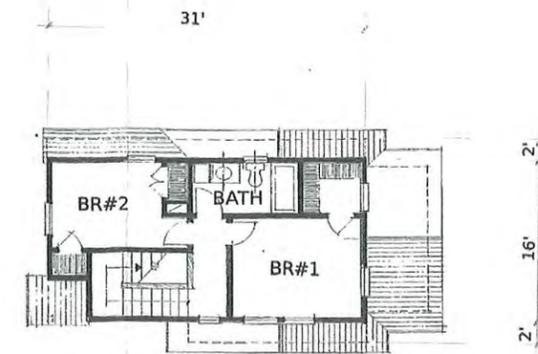


**BUILDINGS ① & ②**

MAY 24 2016

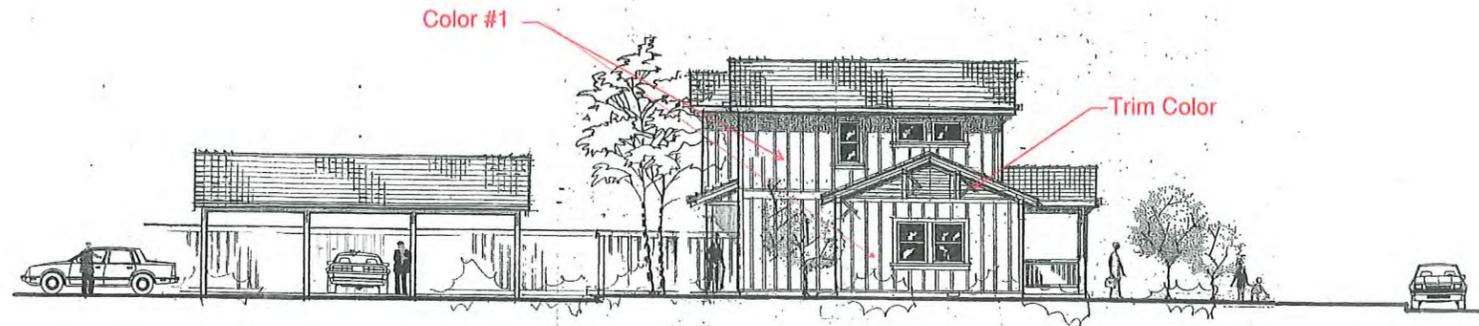
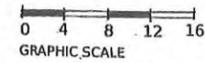


FIRST FLOOR

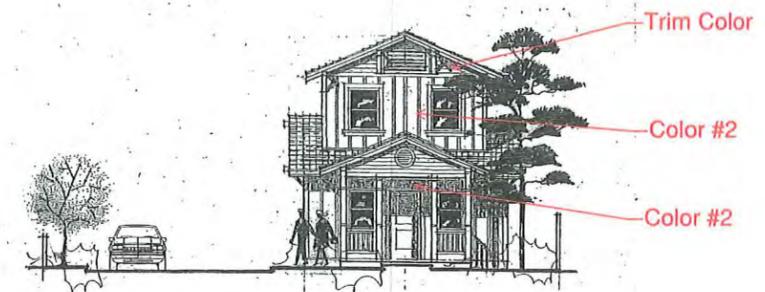


SECOND FLOOR

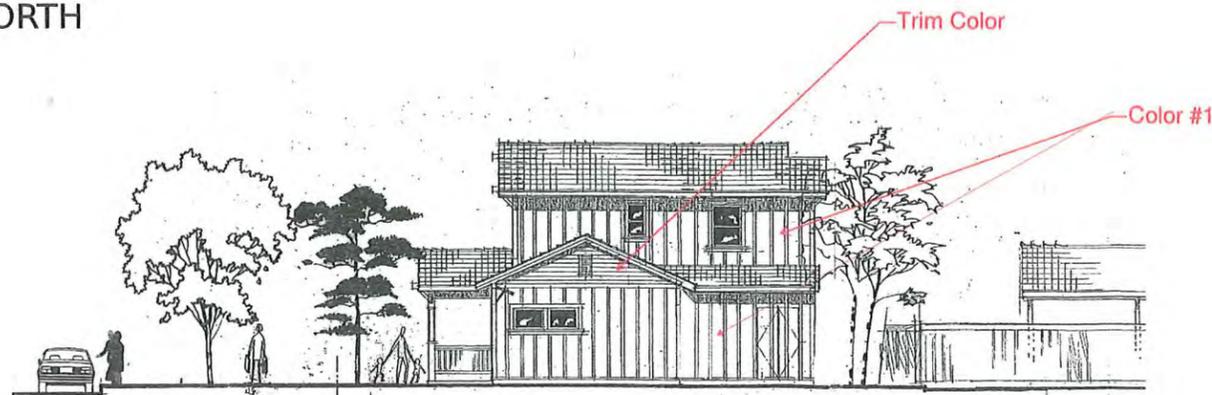
TYPICAL FLOOR PLAN "B"



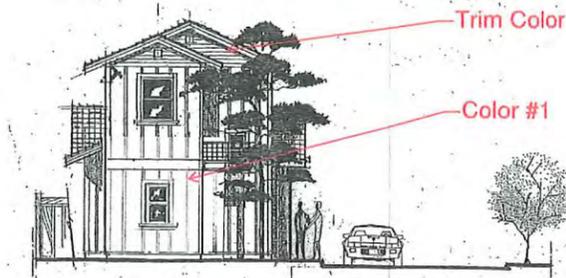
NORTH



EAST

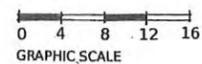


SOUTH



WEST

EXTERIOR ELEVATIONS



BUILDING ③

REVISIONS	BY

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**ARCHITECT** TELEPHONE 707-938-5726

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Of, 3	Sheets

MAY 24 2016

Shaggy Barked  
55/ DEC 771

Center Ridge  
DE 6230

Wise Owl 42

Stonegate 304

Cream EVSH50