



**City of Sonoma
Design Review and Historic
Preservation Commission
AGENDA**

**Regular Meeting of December 20, 2016 - 6:30 P.M.
Community Meeting Room, 177 First Street West
Sonoma, CA 95476**

Meeting Length: No new items will be heard by the Design Review and Historic Preservation Commission after 10:30 PM, unless the Commission, by majority vote, specifically decides to continue reviewing items. If an item is not heard due to the length of the meeting, the Commission will attempt to schedule a special meeting for the following week. If a special meeting is necessary, potential dates will be established at the close of this meeting, and a date set as soon as possible thereafter.

CALL TO ORDER – Micaelia Randolph Chair

Commissioners: Kelso Barnett
Christopher Johnson
Leslie Tippell
Bill Essert
Robert Cory (Alternate)

COMMENTS FROM THE PUBLIC

Presentations by audience members on items not appearing on the agenda.

APPROVAL OF MINUTES

Minutes from the meetings of September 27, 2016, October 18, 2016, and November 15, 2016.

CORRESPONDENCE

ITEM #1 – Continued Sign Review	Project Location: 550 Second Street West	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of three refaced freestanding signs.	General Plan Designation: Commercial (C)	CEQA Status: Categorically Exempt
Applicant: David Ford Staff: Wendy Atkins	Zoning: Planning Area: Downtown District Base: Commercial (C) Overlay: Historic (/H)	
ITEM #2 –Design Review	Project Location: 375 West Napa Street	RECOMMENDED ACTION: Commission discretion.
REQUEST: Consideration of building elevations, exterior colors, and materials, for modifications to an existing 8-unit condominium development.	General Plan Designation: Mixed Use (MU)	CEQA Status: Categorically Exempt
Applicant: Robert Baumann & Associates Staff: Wendy Atkins	Zoning: Planning Area: West Napa/Sonoma Corridor Base: Commercial (C) Overlay: Historic (/H)	

<p>ITEM #3 – Design Review</p> <p>REQUEST: Consideration of design review of exterior modifications for a church.</p> <p>Applicant: Joan Howarth</p> <p>Staff: Wendy Atkins</p>	<p>Project Location: 252 West Spain Street</p> <p>General Plan Designation: Low Density Residential (LR)</p> <p>Zoning: Planning Area: Vallejo District Base: Low Density Residential (R-L) Overlay: Historic (/H)</p>	<p>RECOMMENDED ACTION: Commission discretion.</p> <p>CEQA Status: Categorically Exempt</p>
<p>ITEM #4 – Discussion Item</p> <p>ISSUE: Review Certified Local Government Program -- 2015-2016 Annual Report.</p> <p>Staff: Wendy Atkins</p>		<p>RECOMMENDED ACTION: Discuss and provide direction.</p>

ELECTION OF OFFICERS

ISSUES UPDATE

COMMENTS FROM THE COMMISSION

COMMENTS FROM THE AUDIENCE

ADJOURNMENT

I do hereby certify that a copy of the foregoing agenda was posted on the City Hall bulletin board on December 16, 2016.

CRISTINA MORRIS, ADMINISTRATIVE ASSISTANT

Rights of Appeal: **Any decision of the Design Review and Historic Preservation Commission may be appealed to the City Council.** Appeals must be filed with the City Clerk within fifteen (15) calendar days following the Design Review and Historic Preservation Commission’s decision, unless the fifteenth day falls on a weekend or a holiday, in which case the appeal period ends at the close of the next working day at City Hall. Appeals must be made in writing and must clearly state the reason for the appeal. Appeals will be set for hearing before the City Council on the earliest available agenda.

Copies of all staff reports and documents subject to disclosure that relate to any item of business referred to on the agenda are available for public inspection the Monday before each regularly scheduled meeting at City Hall, located at No. 1 The Plaza, Sonoma CA, (707) 938-3681. Any documents subject to disclosure that are provided to all, or a majority of all, of the members of the Design Review and Historic Preservation Commission regarding any item on this agenda after the agenda has been distributed will be made available for inspection at the Administrative Assistant office, No. 1 The Plaza, Sonoma CA during regular business hours.

If you challenge the action of the Design Review and Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on the agenda, or in written correspondence delivered to the Administrative Assistant, at or prior to the public hearing.

In accordance with the Americans With Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (707) 933-2216. Notification 48 hours before the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 1
Meeting Date: 12/20/16

Applicant

David Ford

Project Location

550 Second Street West

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
- Listed on California Register of Historic Resources (Significant)
- Listed within Local Historic Resources Survey (Potentially Significant)
- Over 50 years old (Potentially Significant)

Year built: 1987

Request

Consideration of three refaced freestanding signs for a hotel (Sonoma Valley Inn Krug Event Center) located at 550 Second Street East.

Summary

Background: In 1987 the City Council approved a two-sided freestanding sign and two signs on the clock tower of the Sonoma Valley Inn. On October 18, 2016, the DRHPC continued the review of three refaced freestanding signs for a hotel to a future meeting.

At this time, the applicant is proposing to reface the existing monument sign and remove lettering from the Sonoma Valley Inn signs to reflect new national branding.

Freestanding signs: Three refaced freestanding signs are proposed: One two-sided Best Western Sonoma Valley Inn freestanding sign; and two Sonoma Valley Inn signs.

The Best Western Sonoma Valley Inn sign is two-sided and located north of the clock tower, perpendicular to the sidewalk. The proposed sign is ±24 square feet in area (3.33 feet tall by 7 feet 2 inches wide) per side. The sign would consist of a wood face. Copy on the sign would consist of white lettering on a natural wood and blue background.

The two illuminated Sonoma Valley Inn signs are one-sided and currently exist on the upper portion of clock tower (one facing north and the other facing south). The applicant is proposing to remove lettering from the signs to reflect new national branding. The proposed signs are 22 square feet in area each. The signs would consist of a white polycarbonate material. The applicant has stated that the signs will be illuminated from dusk to sunrise.

Monument Sign Regulations (18.20.120): Freestanding signs shall be limited to one per parcel or property. The top of a freestanding sign, including the sign structure, shall not exceed 12 feet. Every freestanding sign shall be wholly on the property occupied by the use or uses identified or advertised, not within six feet of the nearest roadway or public pedestrian sidewalk or walkway, whichever is closer. The proposal is not consistent with this requirement in that the freestanding sign and clock tower are located between 2.5 and 3.5 feet from the sidewalk. While the maximum height of the freestanding sign is 6 feet, the maximum height of the signs on the clock tower is more than 12 feet. The applicant is requesting a variance from this requirement. Note: the Public Works Director/City Engineer has reviewed the existing location of the signs and has indicated that the signs should not be an obstruction to traffic sight lines under the premise that the existing signs are not changing dimensionally and not making the existing situation any worse.

Aggregate Sign Area: Based on the property's frontage on Second Street West (248 feet), the maximum aggregate sign area allowed for the parcel is 105 square feet. The total aggregate sign area for the property would be ±80 square feet, including the three refaced monument sign (80 square feet). It should be noted that when calculating the aggregate area of a two-sided sign, each face is multiplied by 0.75 (§18.16.021.G). The proposal is consistent with this requirement.

Size Limitations: No sign shall exceed 48 square feet in total area (§18.16.022). The proposal is consistent with this requirement as the wall signs would have an area of 23.75 and 2.08 square feet and the freestanding sign would have an area of 19.7 square feet per side.

Number of Signs: Only one monument sign is allowed per property, and a maximum of two signs are normally permitted for any one business (§18.16.010). The proposal is not consistent with these requirements in that there would be three signs for the business including the two wall signs and freestanding sign; the City Council approved the number of signs in 1987.

Existing Signs: During the site visit, staff observed an illegal sign displayed on the property consisting of a banner type sign, which should be removed immediately. Decorative banners and flags may be used for grand opening or special events for a maximum period of 15 consecutive days, or for holidays for a period of no more than 45 total days per year and may be permanently displayed if first approved by the DRHPC. In no event shall advertising copy be displayed on any banner (18.020.110).

Basic Findings: In order to approve any application for sign review, the review authority must make all of the following findings:

1. The proposed signage complies with applicable policies and regulations, as set forth in this sign ordinance (except for approved variances), all other city ordinances, and the general plan;
2. On balance, the proposed signage is consistent with the purpose and intent expressed by SMC 18.04.010 and the applicable guidelines for signs set forth by SMC 18.60.010, Appendix A – Design guidelines for signs; and,
3. The proposed signage is harmonious and consistent overall with the location of the site, including adjacent and surrounding development and its environmental features.

Variances: As noted above, the proposed signs would be located closer than 6 feet to the sidewalk. The DRHPC may grant variances from the provisions of the sign ordinance provided that certain findings can be made (see below).

1. Exceptional or extraordinary circumstances or conditions, not resulting from any act of the owner or applicant, apply to the location under consideration and not generally to other businesses or properties in the vicinity;
2. Strict adherence to a regulation may cause unnecessary hardship or prohibit the exercise of creative design, and the application submitted is extraordinary and outstanding in design;
3. The exception is the minimum necessary to serve its intended use;
4. The exception is in conformance with the purpose and intent of this title;
5. The granting of the variance will not be detrimental to the public interest or welfare, or injurious to properties or improvements in the vicinity.

In addition to the variance findings, in order to approve the location of the freestanding sign closer than six feet to the sidewalk an addition finding is required that the sign will not limit, restrict, impede, or impair sight distance or visibility.

Other permits required: In addition to the requirements of this title, all signs and building improvements shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Note: Illumination details were not provided by the applicant with the application for the freestanding sign north of the clock tower. If sign illumination is proposed in the future it shall be subject to review and approval by the Design Review and Historic Preservation Commission. A Uniform Application shall be submitted to the Planning Department along with the appropriate fee.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments

1. *Project narrative*
2. *Sign drawings*

cc: David Ford
124 Allimore Court
Roseville, CA 95476

Sonoma Valley Inn and Krug Event Center
550 Second Street West
Sonoma, CA 98476

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email

Mary Martinez, via will call at City Hall

RECEIVED

NOV 21 2016

Best Western – 550 2nd Street West (revised 11/20/16)

CITY OF SONOMA

We are proposing to revise the signage for the existing Best Western Sonoma Valley Inn based on new national branding. The proposed changes are as follows:

- Re-face one existing double-faced monument sign and ~~replace internal lighting with external ground mounted lighting.~~
- Remove the “Best Western” and underline from two existing wall signs, the remaining “Sonoma Valley Inn” wall sign letters will remain as is with no changes.

The existing monument sign would be revised to remove the existing internally illuminated cabinet and replace with new wood faces, which is more in fitting with the area. The wood faces would be painted to match the new Best Western branding, but there would be areas of the sign where the natural wood finish remains. The monument sign structure is constructed of wood and is painted to match the building, so we are not proposing any changes to the supports. The overall area of the sign would remain the same as the existing one, we are not proposing any changes to the size. The sign would eventually be illuminated using a ground mounted external light source which would be done under a separate permit.

I would also like to apologize for changes that were made to the existing sign shortly after this project was reviewed and denied by the Commission. The comments provided by the DRHPC were relayed to the sign company handling the national branding change, but that information was never passed on to the local installer so they followed through with the initial project schedule.

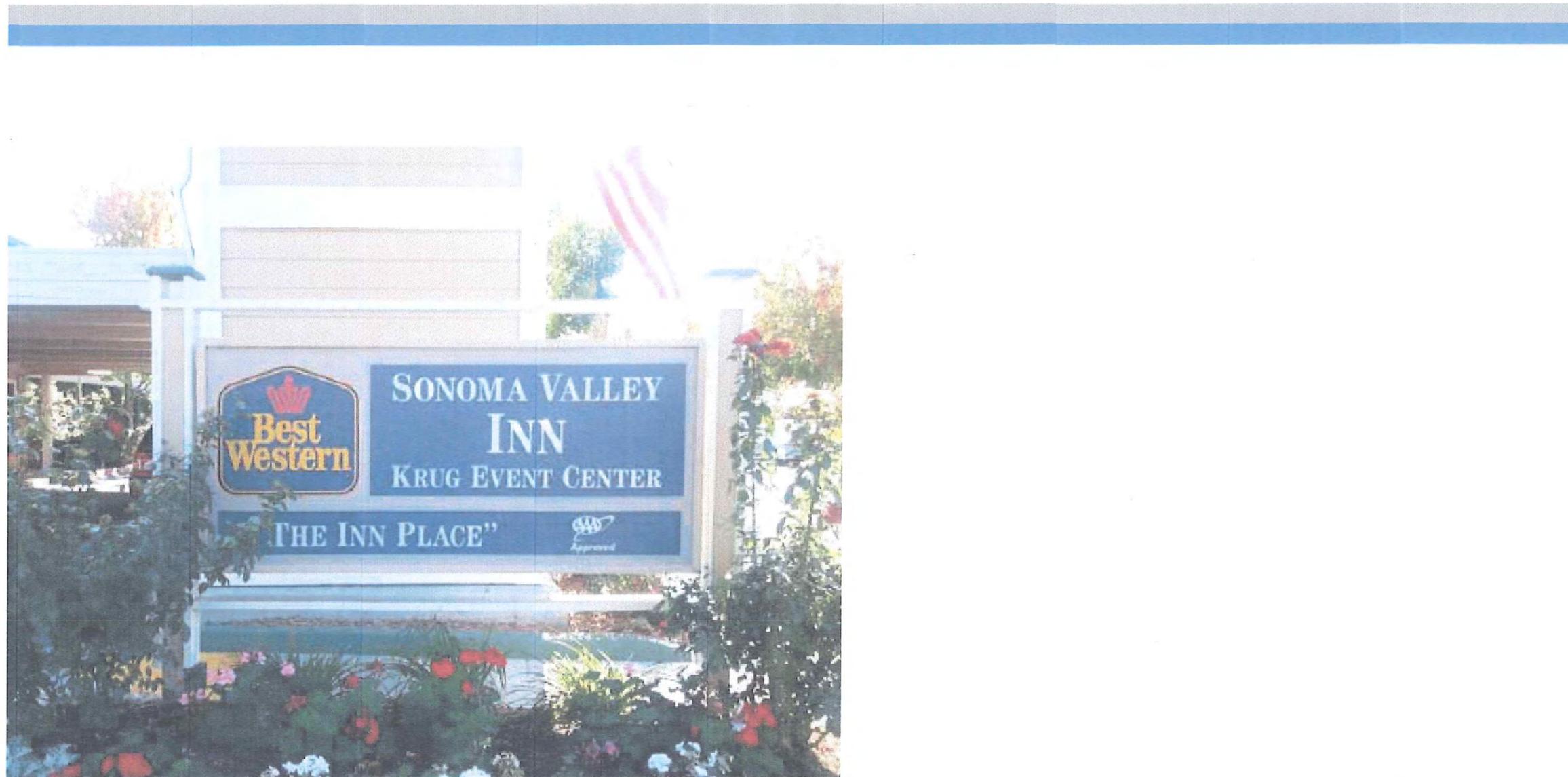
The existing lettersets are constructed of aluminum with acrylic faces, the only change being proposed is the removal of the “Best Western” letters which will reduce the overall sign area from 29 SF to 22 SF per sign.

The new signage will comply with the existing sign ordinance as there is no increase to the overall square footage (it is being reduced with the changes to the wall signs) or the signs which will illuminate.

The sign designs will remain the same as the current signage which is consistent with the existing building and other businesses of this type in the area. The sign illumination turns on at dusk and turns off at sunrise.



Site Recommendation Book
05461
Sonoma Valley Inn and Krug
Event Center
550 2nd Street West
Sonoma, CA 95476



Sign Number	Existing Sign Type	Recommendation	Proposed SQFT
E01	3'-4" x 7'-2 1/4" Sign Cabinet between Double Pole	Remove existing faces and dispose. Replace with new 3'-4" x 7'-2 1/4" faces. Copy: BW Best Western Sonoma Valley Inn	32
E02	Custom Best Western Letterset and underscore with Custom "Sonoma Valley Inn" Illuminated Letterset	Remove and Do Not Replace "Best Western" Letterset and underscore. Leave "Sonoma Valley Inn" Letterset as is	N/A
E03	Custom Best Western Letterset and underscore with Custom "Sonoma Valley Inn" Illuminated Letterset	Remove and Do Not Replace "Best Western" Letterset and underscore. Leave "Sonoma Valley Inn" Letterset as is	N/A
E04	Window Vinyl	By Others	N/A
E05/E06/ E07	Custom Wall Plaques	By Others	N/A
		Allowable SQFT	177
		Total Proposed SQFT	32
		Remaining Allowable SQFT	145

Notes:

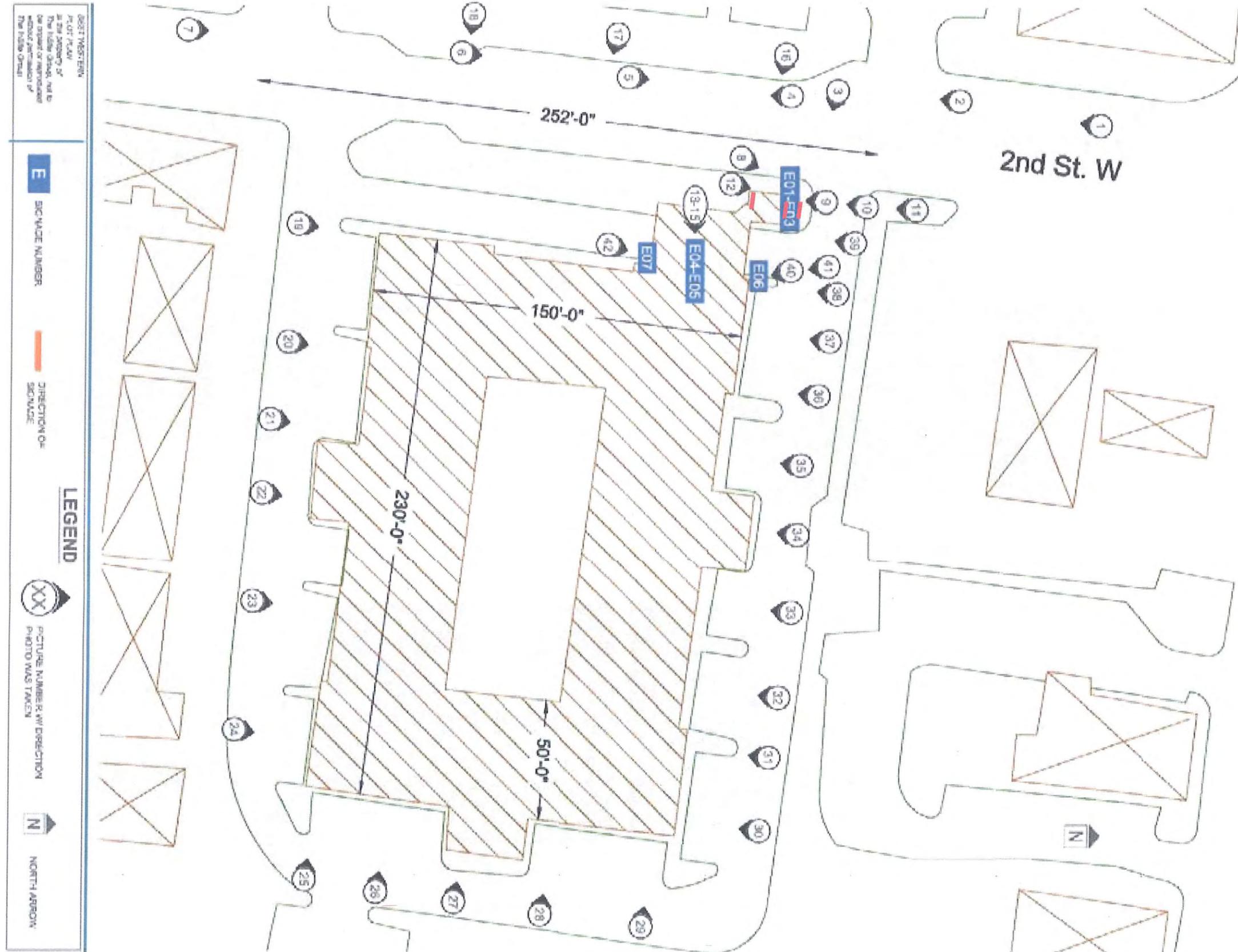
- Field verification required for sign mounting method and electrical.
- Structural engineering may be required.
- Cap electrical and patch holes as necessary. Any wall repairs and painting is the responsibility of the Member.
- Electrical for new signs to be brought to within 5' of sign by others, per electrical code.

Caveats:

- Reuse the existing footing and column(s) if City code allows. If the column(s) or structure is in disrepair or needs additional work to accommodate the new image signage, it may result in additional costs.
- Reuse the existing electrical. If the electrical is in disrepair or needs additional work, it may result in additional cost.
- Industry standard rock clause applies – refer to proposal for details.
- Landscaping can be removed by Member prior to installation. Any landscaping or repairs to landscaping after installation is by others.

Exterior Site Plan

05461 Sonoma Valley Inn and Krug Event Center



Existing Exterior Sign

E01

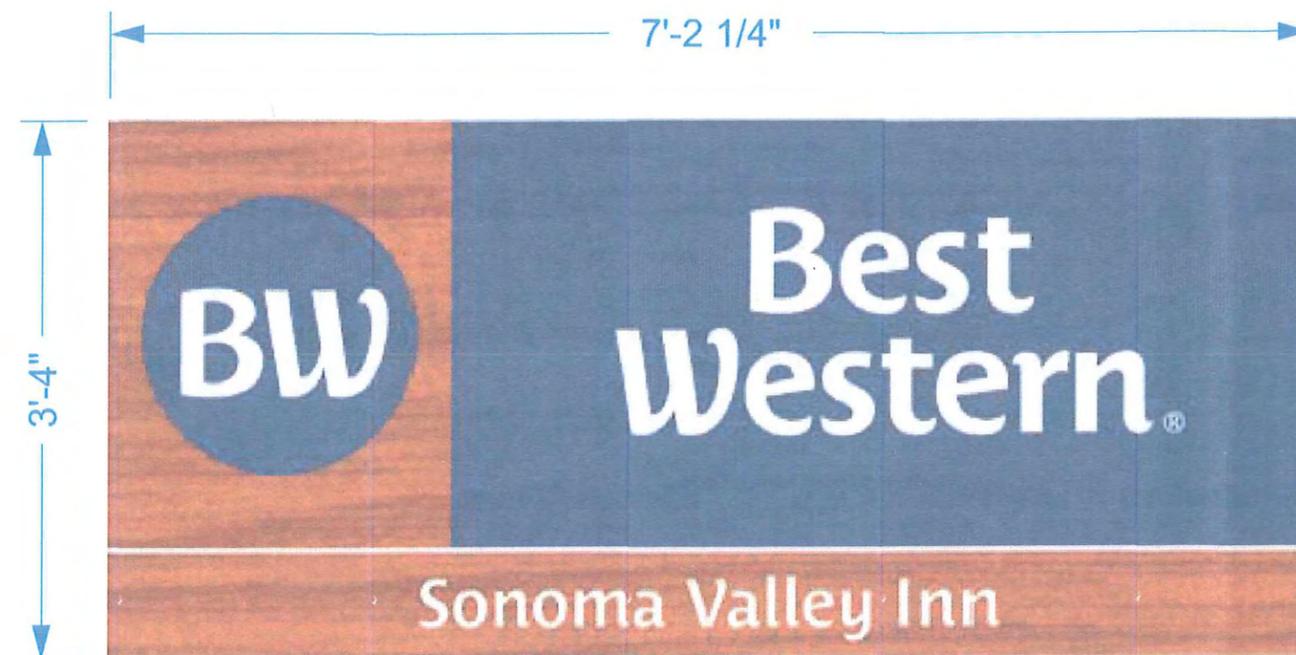
32 SQFT Sign Cabinet between Double Pole



Recommendation

05461 Sonoma Valley Inn and
Krug Event Center

Custom 32 SQFT Sign Cabinet Mounted to Existing Structure



Installation Instructions

Remove existing faces and dispose. Replace with new 3'-4" x 7'-2 1/4" wood sign. Externally illuminated by others. Copy: BW Best Western Sonoma Valley Inn

Wood Sign Color

Existing Exterior Sign

E02

Custom Best Western Letterset and underscore with Custom "Sonoma Valley Inn" Illuminated Letterset

Recommendation

05461 Sonoma Valley Inn and Krug Event Center

Remove and Do Not Replace "Best Western" Letterset and underscore. Leave "Sonoma Valley Inn" Letterset as is



Installation Instructions

- Remove and dispose of "Best Western" Letterset and "Underscore" line from existing structure.
- Leave "Sonoma Valley Inn" Letterset as in on the structure.
- Cap electrical
- Re-surfacing, paint, and repair by others (if necessary)
Silicone patch is included

Existing Exterior Sign

E03

Custom Best Western Letterset and underscore with Custom "Sonoma Valley Inn" Illuminated Letterset

Recommendation

05461 Sonoma Valley Inn and Krug Event Center

Remove and Do Not Replace "Best Western" Letterset and underscore. Leave "Sonoma Valley Inn" Letterset as is



Installation Instructions

- Remove and dispose of "Best Western" Letterset and "Underscore" line from existing structure.
- Leave "Sonoma Valley Inn" Letterset as in on the structure.
- Cap electrical
- Re-surfacing, paint, and repair by others (if necessary)
Silicone patch is included



City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda Item: 2

Meeting Date: 12/20/16

Applicant

Robert Baumann & Associates

Project Location

375 West Napa Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
-

Request

Consideration of building elevations, exterior colors, and materials, for modifications to an existing 8-unit condominium development located at 375 West Napa Street.

Summary

Site Characteristics:

The condominium development consists of four buildings (each containing two units) on an underlying ±28,400-square foot common area parcel located on the south side of West Napa Street (Highway 12) near its intersection with Fourth Street West.

Background: On November 10, 2016, the Planning Commission approved a Use Permit and Fence/Wall Height Exception for modifications to an existing 8-unit condominium. Subsequently, an appeal of the conditions of approval required by the Planning Commission in their decision to approve the application for a Use Permit Amendment and Fence/Wall Height Exception was filed by the applicant. The City Council upheld the appeal; therefore, the DRHPC may consider the gate elevations (see attached conditions of approval).

Discretionary Projects: For projects subject to discretionary review by the Planning Commission, the Planning Commission shall be responsible for reviewing and acting upon the project site plan, building massing and elevation concepts to the extent it deems necessary. Subsequent review by the DRHPC shall be limited to elevation details, colors and materials, landscaping (including fences and walls), lighting, site details (such as the placement of bike racks and trash enclosures), and any issues specifically referred to the DRHPC by the Planning Commission. In this case, the Planning Commission specifically referred Condition 1.c to the DRHPC: "Through the design review of the project by the DRHPC, the north elevation of northeast building shall be designed to address the street. A private outdoor open space area with a fence of up to six feet in height shall be allowed behind the 28" diameter redwood and 36" diameter live oak trees within the required 15-foot front yard setback area on the east side of the driveway."

Project Description: The project involves modifying and renovating an existing eight-unit condominium development constructed in the 1980's (no additional units are proposed). The proposed improvements would increase the size of the buildings/units through areas of addition, especially on the second floors. The exterior form and appearance of the buildings would change as a result of the additions and a new carport would be constructed toward the rear of the site to provide additional covered parking for four vehicles, plus bicycle storage (the carport toward the front of the site would be retained). The existing condominiums currently have 980 sq. ft. of living area plus an attached one-car garage of ±260 sq. ft. The project would increase the living area of the four outside units (Units 1, 2, 7 and 8) from 980 sq. ft. to 1,847 sq. ft., while the four inside units (Units 3, 4, 5 and 6) would be increased from 980 sq. ft. to 1,441 sq. ft. The existing one-car garages would be maintained for all of the units. Other miscellaneous site improvements include the provision of entry walls/features toward the frontage, and new fencing for private yard areas. Further details can be found in the attached narrative and drawings.

Building Elevations & Exterior Colors/Materials: The project narrative indicates that the materials and colors were selected to create a more contemporary farmhouse style appeal for future residents. The existing vertical siding will be retained and covered with a weather proof membrane or replaced as needed with re-sawn board and batten siding. New vertical siding will consist of re-sawn board and batten siding to match the existing and new V-groove horizontal siding will be installed. In addition, eight new dormer elements are proposed. New windows are proposed in the form of Sierra Pacific Windows (clad casement and clad double hung) (see attached manufacturer specification sheets). New custom made front

doors are proposed in the form of 1 ¾” solid core, paint grad wooden doors, with a recessed center panel with window panes in the upper portion. New asphalt composition roofing material is proposed along with standing seam metal roof awnings (see attached manufacturer specification sheets). The proposed building elevations are consistent with the concepts approved by the Planning Commission in November 2016, and the City Council in December 2016.

Exterior Colors: The building face is proposed to be painted Kelly-Moore Swiss coffee (23). The windows and doors are proposed white in color. The individual entry doors are proposed to be painted with unique colors to be selected by future tenants and owners (potential color options consist of bronzes and blacks). The roof shingles are proposed in onyx black and the metal roof is proposed in old town gray or weathered copper.

Exterior Lighting: Light fixtures (see attached manufacturer specification sheets) proposed for the complex are as follows:

- (Sign Lighting Options) RAB Lighting LFLED8YA: post mounted lights are proposed to shine onto the address sign; bronze in color; two each.
- (Sign Lighting Options) AMP LED Hardscape Lights: multiple lights are proposed to backlight the address sign; antique bronze in color; two each larger size; and two each smaller size.
- ANP Lighting W518: twenty-three lights are proposed using a combination on each building; architectural bronze and black in color; either post, pendant, or wall attachment depending on the locations. In addition, two post lights are proposed at the entry columns.
- ANP Lighting W512: twenty-three lights are proposed using a combination on each building; architectural bronze and black in color; either post, pendant, or wall attachment depending on the locations.
- (Step Light) FX Luminaire LED Wall Light: proposed at the entry columns for wayfinding; antique bronze in color; four to eight each.

Landscape Plan: No new landscaping is proposed; therefore, a landscape plan is not required.

Bicycle Parking: Bicycle parking is proposed in the form of a 9.5 foot by 18 foot covered area adjacent to the carport on the south side of the property, including eight individual bicycle racks.

Fencing: The project narrative indicates that six-foot tall wood perimeter fencing would be installed on east, south, and west elevations. In addition a wood framed pergola entry is proposed along with an alternated wood framed cover entry over the pedestrian access gate. A custom fabricated gate with an automatic opener is proposed at the vehicle entrance to the condominiums.

Commission Discussion

Design Review and Historic Preservation Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative
2. Planning Commission Conditions of Approval
3. Windows and exterior doors
4. Siding and roof
5. Color sample sheet
6. Street view elevation
7. Front elevation-typical units
8. Site entry gate
9. Exterior details
10. Site Plan.
11. Site details
12. Site elevations
13. Floor plans
14. Exterior elevations
15. Existing site plan
16. Existing floor plans
17. Existing exterior elevations

cc: Robert Baumann & Associates
545 Third Street West
Sonoma, CA 95476

2880 Stevens Creek LLC
P.O. Box 907
Menlo Park, CA 94026-0907

Mary Martinez, via will call at City hall

Patricia Cullinan, via email

Alice Duffee, via email

SLHP Historic Survey, via email



Robert Baumann + Associates
CA License # C28431
545 Third Street West, Sonoma, CA 95476
P - 707.996.7947 F - 707.996.7904
rb@robertbaumann.com

RECEIVED
NOV 22 2016
CITY OF SONOMA

DATE: November 22, 2016

TO: City of Sonoma, Planning Department

RE: PROJECT NARRATIVE – Condominiums at 375 West Napa Street

Dear DRHPC:

The proposed project is located at 375 W Napa Street in a mixed-use zone of the West Napa Street / Sonoma Highway Corridor. The proposed use is to remain a residential condominium community. The project has already been approved with conditions by the Planning Commission. Condition 1a to remove the vehicle entry gate and turnaround is being appealed, to the City Council, which will be addressed prior to the DRHPC meeting in December.

As outlined in the guidelines for historic infill development the project is intended to maintain the overall historic character and integrity of the community. The property is located within, yet just on the periphery, of the historic overlay district. In an area that connects the Sonoma Square with the western corridor of Highway 12, the project encourages preservation of walkable neighborhoods. Currently there are eight (8) condominiums situated in four (4) duplexes all with some form of deferred maintenance. The existing buildings are less than 50 years old and will include updating the current units to increase the size, functionality, energy efficiency along with improved design and aesthetics.

Materials and colors are selected to create a more contemporary farmhouse style appeal for future residents. The buildings are to be primarily white in color with darker accents of windows, doors and metal seam roofing. Carefully detailed wood framed porches and trellis elements are incorporated to provide a human sense of Sonoma character. Individual entry doors are proposed to be painted with individual colors to be selected by future tenants/owners.

An existing carport on the north side of the lot will be renovated to match the proposed condominium units. One additional new carport will be located on the south side of the lot to provide sufficient parking and bicycle storage.

A few of the excellent features of this project are the efficient layout of the floor plans, cohesive architectural design both inside and out and the private individual yard space. Our goal is to preserve as much outdoor space for each home as possible, while still creating a comfortable modern energy efficient living spaces.

Site fences are provided to individual units to promote privacy and outdoor living. Typical yard fences will have a 6' height and will conform with all fence height standards. In response to the Planning Commission the front fence is lowered to 3'-6" on the north east corner and 6'-0" on the northwest corner, each side flanks the vehicle and pedestrian entryway along with existing trees that front W Napa Street. With a lower 3'-6" street facing fence, unit 1 will be more visible to pedestrians along the street. To add visual interest we have included a trellis over the sliding glass doors and outdoor living space of unit 1. The pedestrian entry gate is also defined with a trellis pergola.

Our intent for this project is to revitalize, renew and create an inviting living environment for families and individuals that enjoy the "joie de vivre" lifestyle of Sonoma. We are pleased that the City Planning Commission shares our excitement for this project, and thank them for their comments and encouragement.

If you have any questions about the submitted application materials, or require additional information, please contact me at your earliest opportunity.

Thank you for your thoughtful consideration, we look forward to creating a beautiful, safe, efficient housing option in the downtown commercial mixed used zone.

Thank you,

A handwritten signature in black ink, appearing to read "Robert Baumann", with a long horizontal flourish extending to the right.

Robert Baumann + Associates

City of Sonoma Planning Commission
CONDITIONS OF APPROVAL
Use Permit & Fence/Wall Height Exception for
Modifications to Napa Street West Condominiums
375 West Napa Street

November 10, 2016

1. The condominium development shall be modified in conformance with the revised project narrative dated 11/10/16, approved site plan and building elevations, except as modified by these conditions and the following:
 - ~~a. The entry gate and the turnaround proposed toward the front of the site off the driveway shall be eliminated.~~
 - b. The applicant shall provide the City with written verification that other utilities have no issues with siting the new carport structure at the proposed location in the existing Public Utility Easement (PUE).
 - c. Through the design review of the project by the DRHPC, the north elevation of northeast building shall be designed to address the street. A private outdoor open space area with a fence of up to six feet in height shall be allowed behind the 28" diameter redwood and 36" diameter live oak trees within the required 15-foot front yard setback area on the east side of the driveway.

Enforcement Responsibility: Planning Department, Building Department; Public Works Department
Timing: Prior to the issuance of any occupancy permit

2. An amended condominium plan shall be prepared in accordance with the Subdivision Map Act and filed at the office of the Sonoma County Recorder.

Enforcement Responsibility: Planning Department
Timing: Prior to issuance of building permits

3. The following public improvements shall be required as deemed necessary by the Public Works Division, City Engineer, Caltrans or other applicable department or agency.
 - a. Repair or reconstruction of any damaged or non-conforming portion of curb, gutter, sidewalk, along the West Napa Street/State Hwy 12 frontage of the property as required by the City Engineer and Caltrans.
 - b. Widening/modification of the existing driveway on West Napa Street to conform to City Standard Plan No. 111 (for Residential Driveway Approaches) to provide a driveway width (excluding flares) of 30-feet. If there are physical site limitations, the City Engineer has the discretion to allow a reduction in the standard driveway width to a minimum of 24 feet.
 - c. Address numbers shall be posted on each structure within the development. Individual address numbers, or an address range, shall be clearly posted on West Napa Street.

Enforcement Responsibility: City Engineer; Public Works Department; Fire Department; Caltrans
Timing: Prior to approval of the grading plan, building permit, or issuance of any occupancy permit, as applicable

4. The following plans and agreements for controlling stormwater runoff from the site shall be required:
 - a. An Erosion and Sediment Control Plan shall be submitted to the City Engineer for review and approval. The required plan shall be approved prior to the issuance of a building or grading permit. The Best Management Practices specified in the approved plan shall be implemented before and during any rainfall event. Grading shall not commence or recommence during the rainy season or the period of time beginning when rains begin or October 15, whichever comes first, and ending on the following April 15 or when rains cease, whichever occurs last, unless erosion and sediment control measures have been installed, implemented, and maintained on the site to the satisfaction of the public works director or his/her representative.

- b. A Stormwater Control Plan (SCP) in conformance with the standards in Provision E.12 of the City of Sonoma's NPDES Permit for stormwater discharges shall be submitted to the City Engineer for review and approval. The plan shall be prepared in accordance with the guidance provided in the BASMAA Post-Construction Manual. The required plan shall be approved prior to the issuance of a building or grading permit.

Enforcement Responsibility: City Engineer; Stormwater Coordinator
Timing: Prior to issuance of a building or grading permit

5. All Building Department requirements shall be met, including compliance with CALGreen standards and the installation of automatic fire sprinkler systems within all of the residential buildings/units. Building permits shall be required.

Enforcement Responsibility: Building Department
Timing: Prior to construction

6. All Fire Department shall be satisfied, including any code modifications effective prior to the date of issuance of any building permit. In addition, the following shall be required:
 - a. All residential structures/units shall be protected by approved automatic fire sprinkler systems.
 - b. On-site parking shall be allowed only in designated parking places as shown on approved on the site plan. All other areas, including the driveway and drive aisle shall be posted clearly as a fire apparatus access road with approved signs or other approved notices or markings that include the words "NO PARKING-FIRE LANE".

Enforcement Responsibility: Fire Department; Building Department
Timing: Prior to the issuance of any building permit

7. An encroachment permit shall be required from the City of Sonoma for any work within the West Napa Street right of way. In addition, an encroachment permit from the Department of Transportation (Caltrans) shall be required for work within the Highway 12 (West Napa Street) right-of-way.

Enforcement Responsibility: Caltrans; City Engineer; Public Works Department
Timing: Prior to any work within the West Napa Street/Hwy 12 public right of way

8. The project shall be subject to architectural review by the Design Review & Historic Preservation Commission (DRHPC), encompassing elevation details, exterior colors and materials, and site details, including the carports, fences/walls, and bicycle racks/storage area.

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to the issuance of any building permit

9. If significant alterations to site landscaping are proposed, a landscape plan prepared by a licensed landscape architect shall be required, subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). The landscape plan shall comply with the City of Sonoma's Water Efficient Landscaping Ordinance, and Development Code Sections 19.40.100 (Screening and Buffering), 19.48.090 (Landscaping of Parking Facilities), and 19.40.060 (Landscape Standards). Street trees proposed along the West Napa Street frontage shall be consistent with the City's Tree Planting Program, including the District Tree List

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to issuance of any occupancy permit

10. If new exterior lighting is proposed, a lighting plan shall be required, subject to the review and approval of the Design Review & Historic Preservation Commission (DRHPC). All proposed exterior lighting for the buildings and/or site shall be indicated on the lighting plan and specifications for light fixtures shall be included. The lighting shall conform to the standards and guidelines set forth in Section 19.40.030 of the Development Code (Exterior Lighting). No light or glare shall be directed toward, or allowed to spill onto any offsite areas. All exterior light fixtures shall be shielded to avoid glare onto neighboring properties, and shall be the minimum necessary for site safety and security. Light standards shall not exceed a maximum height of 15 feet.

Enforcement Responsibility: Planning Department; DRHPC
Timing: Prior to issuance of an occupancy permit

11. The following agencies must be contacted by the applicant to determine permit or other regulatory requirements of the agency prior to issuance of a building permit, including the payment of applicable fees:
 - a. Caltrans [For encroachment permits and frontage improvements on State Highway 12/West Napa Street]
 - b. Sonoma County PRMD Sanitation Division [For sewer connections and modifications and interceptor requirements]
 - c. Sonoma Valley Unified School District [For school impact fees]

Enforcement Responsibility: Building Department; Public Works Department City Engineer; Caltrans
Timing: Prior to the issuance of any grading/building permit

12. The applicant shall comply with all requirements of Sonoma County PRMD Engineering Division with respect to sanitary sewer requirements and facilities. A sewer clearance shall be provided to the City of Sonoma Building Division verifying that all applicable sewer fees have been paid prior to the issuance of any building permit. **Note: Substantial fees may apply for new sewer connections and/or the use of additional ESDs from an existing sewer connection. The applicant is encouraged to check with the Sonoma County PRMD Sanitation Division immediately to determine whether such fees apply.**

Enforcement Responsibility: Building Department;
Timing: Prior to the issuance of any building permit

13. Dust control measures, subject to approval by the Building Official and the City Engineer, shall be implemented during the construction of the project. All exposed soil areas shall be watered twice daily or as required by the City's construction inspector.

Enforcement Responsibility: Public Works; Building Department
Timing: Throughout construction

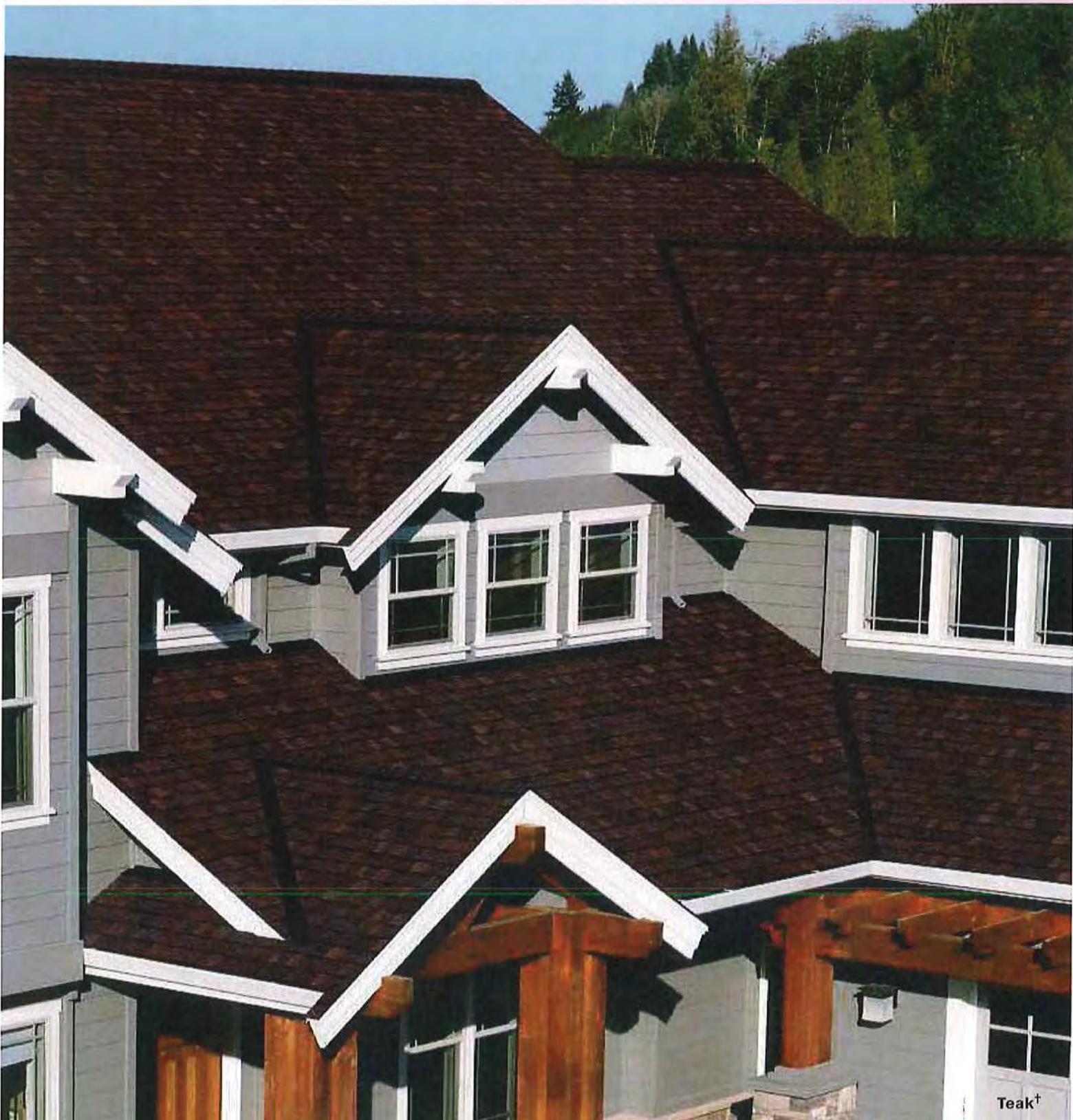
14. The applicant shall be required to pay for all inspections prior to the acceptance of public improvements, or within 30 days of receipt of invoice; all plan checking fees at the time of the plan checks; and any other fees charged by the City of Sonoma, Caltrans, the Sonoma County Water Agency or other affected agencies with reviewing authority over this project, except those fees from which any designated affordable units are specifically exempt from.

Enforcement Responsibility: Public Works Department; Building Department; Affected Agencies
Timing: Prior to the acceptance of public improvements, or plan check, or within 30 days of receipt of invoice, as specified above



Duration[®] Premium Shingles

with SureNail[®] Technology



Teak[†]

DFC 0 2 2016

Duration[®] Premium Shingles are a component of the Owens Corning[™] Total Protection Roofing System.^{™^}



Home sweet home.

It's the place where you want to feel the most comfortable. Safe. Protected. But no matter how much you love your house, it seems the work is never completely done. And if purchasing a new roof is on your to-do list, it may seem like a daunting task.

But you don't have to worry about it anymore. We're here to help.

You can feel confident about choosing Owens Corning™ Roofing products — Owens Corning has been a recognized leader in the building materials industry for over 75 years. We're known for making homes more comfortable, beautiful and durable. And it's likely you've invited our mascot, The Pink Panther,™ into your home already — our building products and famous PINK® Insulation have been used in millions of homes across the country.

Owens Corning Roofing and your contractor can make this a positive experience — an opportunity, really. This is your chance to choose a roof that not only has outstanding performance, but also has exceptional beauty. One that can transform the look of your entire home. So for years to come, you'll feel great every time you pull in the driveway.

Protected. Proud. Home.



Estate Gray†

Duration® Premium Shingles

Duration® Premium Shingles with patented SureNail® Technology have it all — bold, thick, dimensional appearance with impressive durability. These beautiful shingles are designed for long-lasting performance and carry a Limited Lifetime Warranty** (for as long as you own your home), a 130-MPH Wind Resistance Limited Warranty* and an Algae Resistance Limited Warranty* available on a regional basis.



Desert Tan†



Brownwood†



Teak†



Driftwood†



Estate Gray†



Onyx Black†



The SureNail® Difference — a technological breakthrough in roofing. The innovative features of Owens Corning™ Duration® Premium Shingles with patented SureNail® Technology offer the following:

Breakthrough Design

Featuring a tough, woven engineered reinforcing fabric to deliver consistent fastening during installation.

Triple Layer Protection®

A unique "triple layer" of reinforcement occurs when the fabric overlays the common bond of the shingle laminate layers that offers excellent fastener holding power.

Superior Adhesion

Our enhanced Tru-Bond®^{††} sealant grips tightly to the engineered fabric nailing strip on the shingle below.

Excellent Adhesive Power

Specially formulated, wide adhesive bands help keep shingle layers laminated together.

Exceptional Wind Resistance

Engineered to deliver 130-MPH wind warranty* performance with only 4 nails. Fewer nails required can mean fewer deck penetrations.

Product Attributes

Warranty Length*

Limited Lifetime* (for as long as you own your home)

Wind Resistance Limited Warranty*

130 MPH

Algae Resistance Limited Warranty*

10 Years

Tru PROtection® Non-Prorated Limited Warranty* Period

10 Years



Algae resistance available in areas shown in white.

Product Specifications

Nominal Size	13 1/4" x 39 3/8"
Exposure	5 5/8"
Shingles per Square	64
Bundles per Square	4
Coverage per Square	98.4 sq. ft.

Applicable Standards and Codes

ASTM D228

ASTM D3018 (Type 1)

ASTM D3462

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

ICC-ES AC438*

UL ER2453-01**

* See actual warranty for complete details, limitations and requirements.

† Owens Corning strives to accurately reproduce photographs of shingles. Due to manufacturing variances, the limitations of the printing process and the variations in natural lighting, actual shingle colors and granule blends may vary from the photo. The pitch of your roof can also impact how a shingle looks on your home. We suggest that you view a roofing display or several shingles to get a better idea of the actual color. To accurately judge your shingle and color choice, we recommend that you view it on an actual roof with a pitch similar to your own roof prior to making your final selection. Color availability subject to change without notice. Ask your professional roofing contractor for samples of colors available in your area.

** This illustration depicts *Triple Layer Protection* and the amount of *Triple Layer Protection* may vary on a shingle-to-shingle basis.

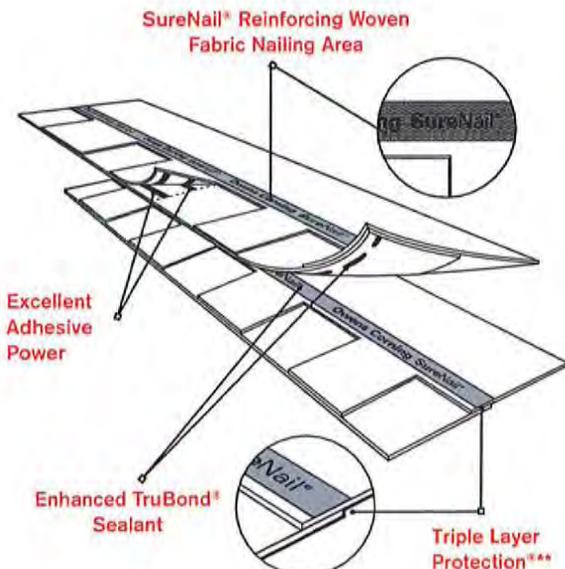
‡ 40-Year Limited Warranty on commercial projects.

Tru-Bond is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing and Asphalt, LLC.

International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles.

Underwriters Laboratories Evaluation Service Evaluation Report.

SureNail Technology U.S. Patent 7,836,654 and other patents pending.



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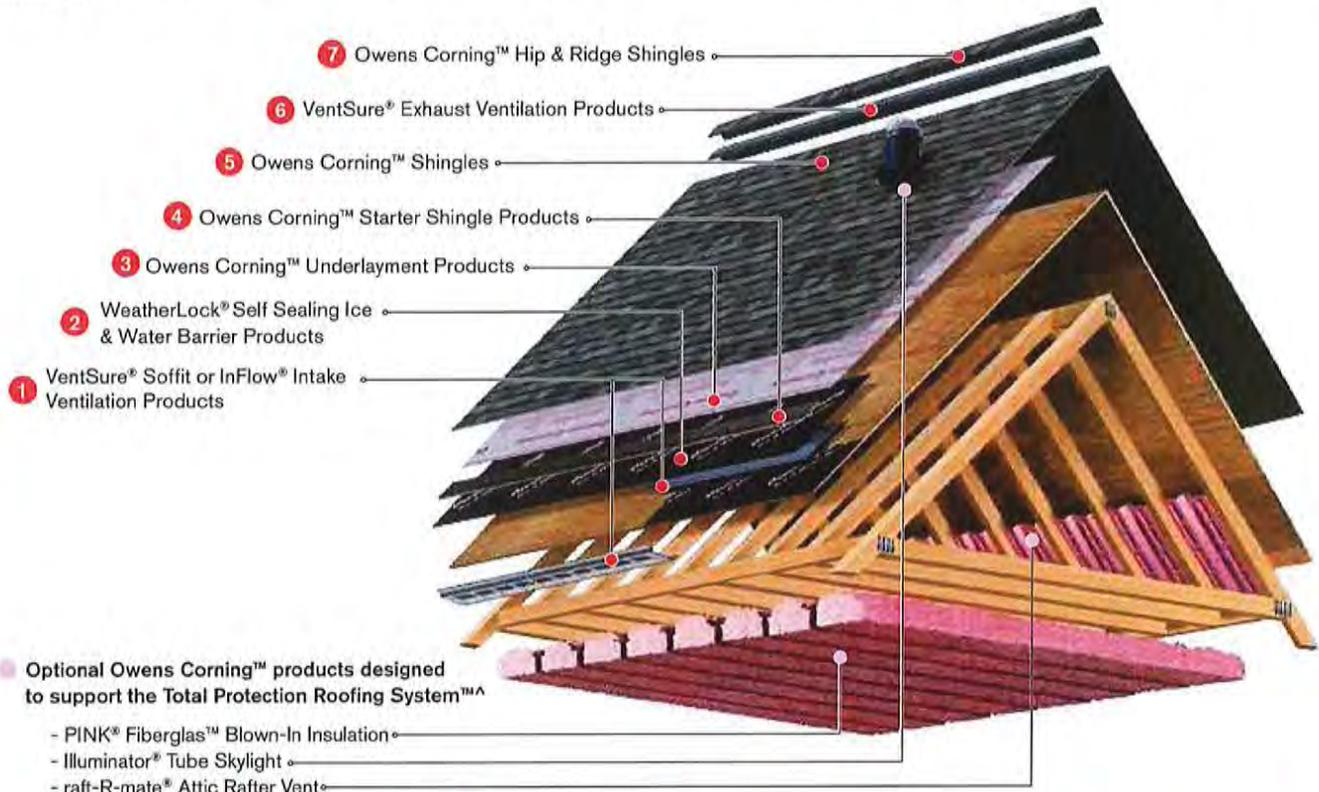


The Total Protection Roofing System™^

Working together to help protect and enhance your home.

It takes more than just shingles to protect your home. It takes an integrated system of components and layers designed to withstand the forces of nature outside while controlling temperature and humidity inside.

The Owens Corning™ Total Protection Roofing System™^ gives you the assurance that all of your Owens Corning™ roofing components are working together to help increase the performance of your roof — and to enhance the comfort and enjoyment of those who live beneath it.



^Excludes non-Owens Corning™ roofing products such as flashing, fasteners and wood decking.



Help protect against heat and moisture buildup by creating a balanced flow of air through your attic.



Help protect vulnerable areas where water can do the most damage: eaves, valleys, dormers and skylights.



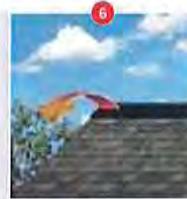
Help prevent damage from wind-driven rain by providing an additional layer of protection between the shingles and roof deck.



Enjoy clean lines and faster, easier installation by eliminating the need to cut shingle tabs.



Choose from a variety of durable styles and colors that provide the first line of defense against the elements.



Help protect your roof against premature failure by allowing heat and moisture to escape from the attic.



Help protect the ridge vent and add an attractive, finished look to your entire roof.



OWENS CORNING ROOFING AND ASPHALT, LLC
 ONE OWENS CORNING PARKWAY
 TOLEDO, OHIO, USA 43659
 1-800-GET-PINK®
www.roofing.owenscorning.com



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(Compton, Portland)

DEC 02 2016

Sign Light Options

LFLED8YA

RAB
LIGHTING



Same small package. Bigger output. Replaces 50W MR16 Floodlight.

Color: Bronze

Weight: 1.5 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type:	Constant Current
120V:	0.14
208V:	0.09
240V:	0.08
277V:	N/A
Input Watts:	7W
Efficiency:	N/A

LED Info

Watts:	8W
Color Temp:	3000K
Color Accuracy:	83 CRI
L70 Lifespan:	N/A
Lumens:	511
Efficacy:	71 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for ground mounting.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

LED Characteristics

LED:

High-output, long-life LED

Color Consistency:

4-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:

Constant Current, Class 2, 50/60 Hz, 100-240VAC: 0.20Amps

Optical

Spot Lens:

Optional spot lens enables a tool-less conversion to a NEMA Type 3H x 3V. Great for accent lighting or grazing buildings for an artistic touch.

Narrow Spot Lens:

Optional narrow spot lens enables a tool-less conversion to a NEMA Type 3H x 3V. Great for accent lighting or grazing buildings for an artistic touch.

Construction

Cold Weather Starting:

Minimum starting temperature is -40°F/-40°C.

Ambient Temperature:

Suitable for 40°C (104°F) ambient temperatures

Thermal Management:

Optimized using computational fluid dynamics software to ensure long LED and driver lifespan

Housing:

Precision die-cast aluminum, lens frame and mounting arm

Lens:

Microprismatic diffuser produces a smooth distribution and low glare.

Gaskets:

High temperature silicone

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals

Green Technology:

Mercury and UV free, and RoHS compliant.

Other

Equivalency:

The LFLED8 is equivalent in delivered lumens to a 50W MR16.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

California Title 24:

LFLED8 complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-pole-mounted fixture < 30 Watts when used with a photosensor control. Select catalog number PCS900(120V) or PCS900/277 to order a photosensor.

Patents:

The design of the LFLED is protected by Taiwan Patent 01510966 and pending patents in US, Canada, China, and Mexico.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

Trade Agreements Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

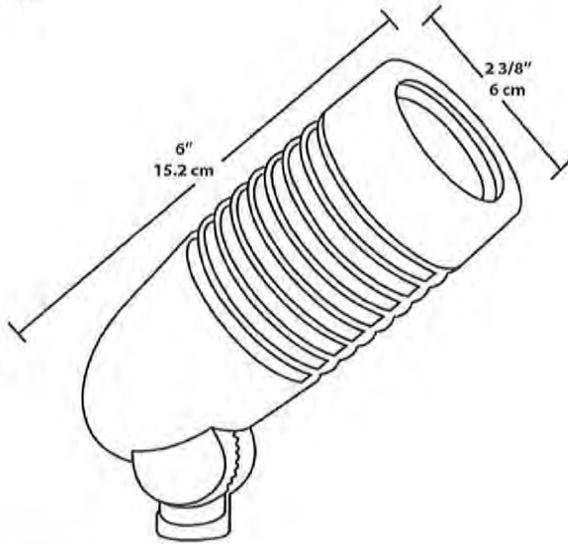
GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

LFLED8YA



Dimensions



Features

- Microprismatic diffuser produces a smooth distribution and low glare
- 4H x 4V NEMA beam spread
- Optional spot and narrow spot hood reflectors available
- Runs cool; prevents burning foliage or fingers
- 5-year warranty

Ordering Matrix

Family	Watts	Color Temp	Finish
LFLED	8 = 8W	Blank = 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	A = Bronze W = White B = Black VG = Verde Green

Sign Light Options

PRODUCT SPECIFICATIONS

Project Name _____ Date _____

AMP[®]

Type or Model _____ Qty _____

Model # _____ Prepared By _____

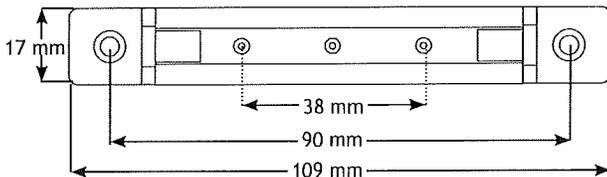
AMP[®] Low Voltage Landscape Lighting AMP[®] Soft-Wash Pro[™] LED Hardscape Lights

Product Description

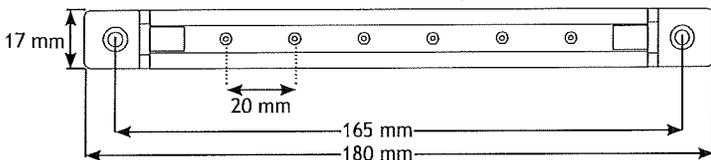
The AMP[®] Soft-Wash Pro[™] LED Hardscape Light Series consists of four very low profile strip lights available in various lengths and colors. Their durable and flexible designs enable mounting under capstones, railings, benches and other hardscape applications; and can be used for rooftop and landscape mounting. These lights deliver exceptional wide, diffuse illumination without hot spots. They provide a diverse range of lighting solutions and are essential additions to the lighting designer's toolset.

Product Dimensions

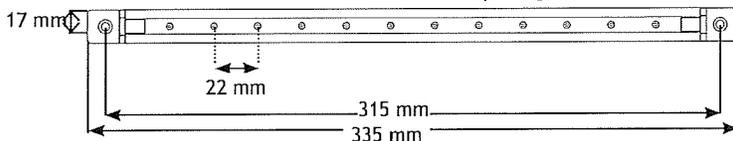
3-inch hardscape light



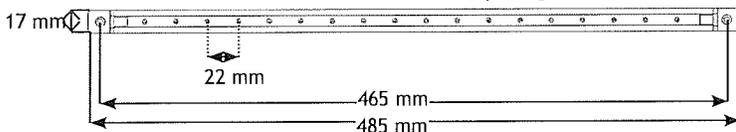
6-inch hardscape light



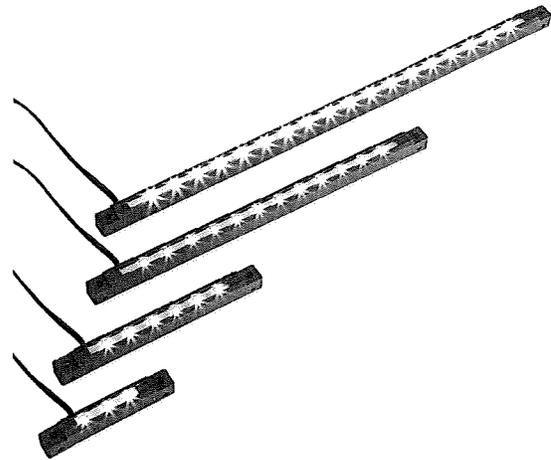
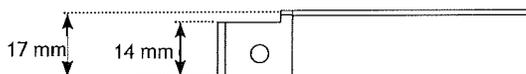
12-inch hardscape light



18-inch hardscape light



side profile



Features & Benefits

- ▶ Powder coated aluminum extrusion, available in two finishes:
 - Antique Bronze
 - Titanium White
- ▶ LED's encapsulated in resin; provides superior protection against moisture, thermal shock, vibration, extreme temperatures and other potentially damaging environments.
- ▶ 25' of 18AWG SPT-1W wire comes standard
- ▶ Multiple installation options:
 - Surface mounted, using the two pre-drilled holes
 - Incorporated into masonry or concrete, using the 304 stainless steel mounting plate accessory

Specifications subject to change without notice.

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PRODUCT SPECIFICATIONS



AMP® Low Voltage Landscape Lighting
AMP® Soft-Wash Pro™ LED Hardscape Lights

Specifications

- ▶ Housing: Extruded aluminum
- ▶ Finish: Antique bronze or titanium white
- ▶ Lead Wire: 25' UL approved 18AWG, SPT-1 wire
- ▶ Light Source: Integrated LED
- ▶ Lens: Encapsulated in resin
- ▶ Beam Spread: 120°
- ▶ Color Temperature (CCT): 2700K
- ▶ Color Rendering Index (CRI): 80+
- ▶ Life: 60,000 hr L70
- ▶ Operating Voltage Range: 10-15V
- ▶ Dimming: non-dimmable
- ▶ Powered by: AMP® low voltage transformers

Performance Data

Item Number	Watts (W)	Lumens (lm)	Power Factor (PF)	Volt Amps (VA)
VHS-6703	0.25	15	0.64	0.41
VHS-6706	0.50	25	0.64	0.79
VHS-6712	1.00	50	0.64	1.75
VHS-6718	1.30	96	0.64	2.09

Warranty

Lifetime Warranty

Certifications



LISTED File # E466348

Accessories

Item Number	Description
VAC-HS-6703-MP	3-inch stainless steel mounting plate
VAC-HS-6706-MP	6-inch stainless steel mounting plate
VAC-HS-6712-MP	12-inch stainless steel mounting plate
VAC-HS-6718-MP	18-inch stainless steel mounting plate

Ordering Information

Example: Order # AHS-6718-BZ

AHS	-67	18	-BZ
Family	Series	Length	Finish
AHS = AMP® Hardscape	67 = Soft Wash Pro™	03 = 3" 06 = 6" 12 = 12" 18 = 18"	BZ = Antique Bronze WH = Titanium White

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ss-ahs-ver2.pdf

Specifications subject to change without notice.

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Step Light

FXLuminaire.

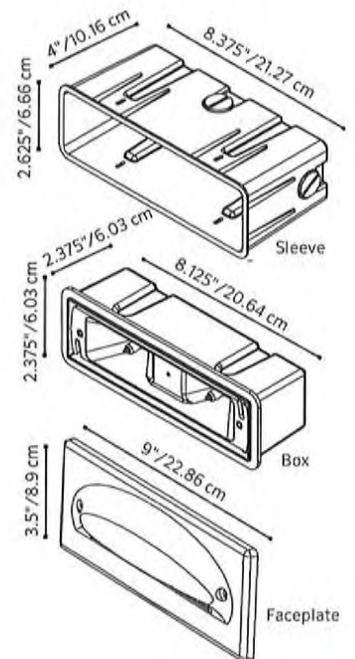
LED Wall Lights



The PD was designed for areas where 1 LED isn't quite enough. The precision of its design assures that the faceplates of these permanently mounted fixtures will remain perfectly level upon completion of any installation.

PD: Wall Light

NUMBER OF LEDS:	2
HALOGEN LUMEN OUTPUT EQUIVALENT:	20 Watt
USEFUL LED LIFE (L70):	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V
VA TOTAL: (Use this number to size the transformer)	4.8
WATTS USED:	4.0
LUMENS PER WATT (EFFICACY)	6.9
MAX LUMENS:	26
CCT (Ra)	80.1



DEC 0 2 2016

PD: Wall Light

FACTORY INSTALLED OPTIONS: Order 1 + 2 (optional) + 3 + 4

Step	Description	Code
1	FIXTURE	PD
2	OPTIONAL ZD	ZD (Refer to the Luxor page in the Lighting Control section)
3	LAMP	2LED (50,000 avg. life hours)
4	FINISH	AB*, AT*, NP*, BS, WG, FW, AL, BZ, DG, WI, VF, SB, FB, DT, CB

EXAMPLE: PD-ZD-2LED-CB = PD - ZD Option - Two 1LED Boards - Camo Bronze Finish

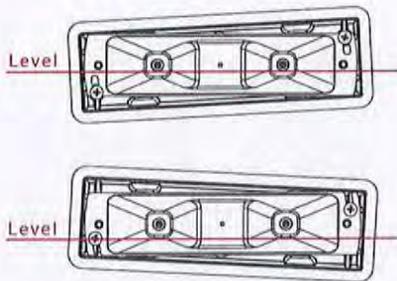
PHOTOMETRICS:



Beam angle is calculated using LM-79 method for SSL Luminaires:
 "Beam angle is defined as two times the vertical angle at which the intensity is 50% of the maximum."



MOUNTING FEATURES AND DIMENSIONS:



Perfectly Level Every Time

The LevelX system allows the composite sleeve to be up to 3/8" out of level, in either direction, while still allowing the faceplate to be laser level.

The secret: The trim attaches to the adjustable reflector assembly – not the composite sleeve or body. Heavy foam gasket keeps light spill to a minimum.

METALS

- AB = Antique Bronze* (On Brass)
- AT = Antique Tumbled* (On Brass)
- NP = Nickel Plate*
- BS = Natural Brass

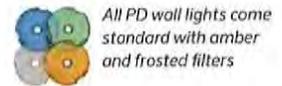
POWDER COAT

- WG = White Gloss
- FW = Flat White
- AL = Almond
- BZ = Bronze Metallic
- DG = Desert Granite
- WI = Weathered Iron
- VF = Verde Speckle
- SB = Sedona Brown
- FB = Flat Black

COMPOSITE

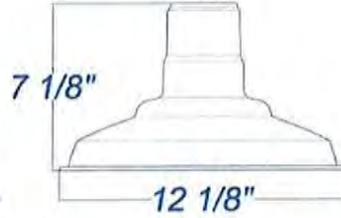
- CB = Camo Bronze
- DT = Desert Tan

The PD includes two 1LED boards, choice of faceplate finish, 8 ft lead wire and mounting sleeve.



All PD wall lights come standard with amber and frosted filters

* May require longer lead time

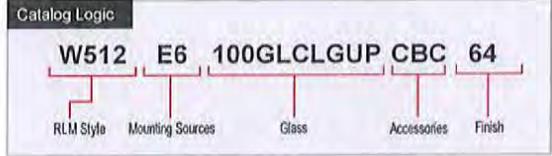


Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____



W512
12" WAREHOUSE SHADE

RLM Shades manufactured using 1100 aluminum alloy, typically .08-.125 thickness



1
2
3
4

W512

1	MOUNTING SOURCES
	Arm Mounts (Comes Standard with CB)
	E1 E2 E3 E4 E5 E6 E7
	E8 E9 E10 E11 E12 E13
	E15 E16 E17 E18
	E18SC E19 E20 E21 E22 E23 E25 E26
	Wall Mounts
	WM35
	WM40
	WM55
	WM55SC
	WM75
	WM318
	WM85
	WM85SC
	WM85BP
	WM85SCBP
	Post Mounts
	PM10
	PM20
	PM30
	PM40
	PM50
	Pendant Mounts
	BLC (black cord - includes canopy and 8' cord)
	WHC (white cord - includes canopy and 8' cord)
	1/2" stems (Comes Standard with STC)
	2ST6 2ST12 2ST18 2ST24 2ST36 2ST48 2ST60
	2ST72 2ST96
	3/4" stems (Comes Standard with STC)
	3ST6 3ST12 3ST18 3ST24 3ST36 3ST48
	3ST60 3ST72 3ST96

2	GLASS & GUARD
	100GLCL (100w Vapor Tight w/Clear Glass)
	100GLPR (100w Vapor Tight w/Prismatic Glass)
	100GLFR (100w Vapor Tight w/Frosted Glass)
	100GLBG (100w Vapor Tight w/White Ball Glass)
	100GLCLGUP (100w Vapor Tight with Clear Glass & Small Wire Guard)
	100GLPRGUP (100w Vapor Tight with Prismatic Glass & Small Wire Guard)
	100GLFRGUP (100w Vapor Tight with Frosted Glass & Small Wire Guard)
	100GLCLGUPC (100w Vapor Tight with Clear Glass & Cast Guard)
	100GLPRGUPC (100w Vapor Tight with Prismatic Glass & Cast Guard)
	100GLFRGUPC (100w Vapor Tight with Frosted Glass & Cast Guard)
	100GLGUP (Small Wire Guard with No Glass)
	100GLGUPC (Cast Guard with No Glass)
	AC (Clear Stipple Glass Acorn)

3	ACCESSORIES
	CB (Cast back plate)
	CBC (Cast back plate Spun Alum cover)
	GR12 (12" Wire Grill)
	PC (Button Photo Cell) Remote Only
	SC (Scroll for Arms)
	SLC (Sloped Ceiling Mount)
	SQ (Square Back Plate)
	STC (Flat Ceiling Stem Canopy)
	SWL (Swivel)

DEC 02 2016

Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____



4 FINISH					
STANDARD			PREMIUM		
Standard	Marine	Colors	Standard	Marine	Colors
44	107	White	48		Polished Aluminum
77	127	Textured White	55		Brushed Aluminum
13	132	Putty	81	129	Extreme Chrome
56	109	Silver	80	117	Textured Desert Stone
78	124	Textured Silver	67	119	Butterscotch
49		Painted Galvanized	66	115	Caramel
70	118	Painted Chrome	64	116	Candy Apple Red
11	131	Cantaloupe	65	122	Cobalt Blue
46	123	Sunny Yellow	82	128	Graystone
43	114	Bright Red	69	113	Gunmetal Gray
10	130	Aspen Green	68	126	Black Silver
47	120	Aqua Green	Consult factory for additional paint charges and availability of metal finishes.		
42	102	Forest Green			
52	104	Patina Verde			
61	106	Black Verde			
45	112	Bright Blue			
50	111	Navy			
53	100	Copper Clay			
71	105	Painted Copper			
51	103	Architectural Bronze			
76	112	Textured Architectural Bronze			
41	101	Black			
72	108	Textured Black			
73	125	Matte Black			

The Colors of ANP Lighting

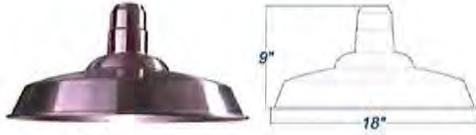
All of our products are painted at a TIGER Drylac® approved facility, and are finished in our polyester powder coat for exceptional durability and color retention. Products undergo an intensive five-step process in which they are cleansed, treated with iron phosphate, and sealed to pre-treat the metal surface for maximum paint adhesion. Whether applied as a textured coat or a smooth gloss, our high quality finish is electro-statically applied and baked at 430° for maximum hardness and wear. The end result is a tough, attractive, durable, scratch resistant, and cost-effective product.

Optional Marine Grade Finish

For lighting fixtures exposed to more extreme conditions, such as those found in coastal regions or industrial environments, we offer a marine grade finish that provides superior salt, humidity, and UV protection. This specialty powder coating, available for an additional charge, withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface. Consult with our factory for additional paint charges.

DEC 02 2016

Project: _____
Customer No: _____
Fixture Type: _____
Quantity: _____



W518
18" Warehouse Shade

RLM Shades manufactured using
1100 aluminum alloy, typically
.08-.125 thickness



1
2
3
4

W518

1 MOUNTING SOURCES
Arm Mounts (Comes Standard with CB)
E1 E2 E3 E4 E5 E6 E7
E8 E9 E10 E11 E12 E13
E15 E16 E17 E18
E18SC E19 E20 E21 E22 E23 E25 E26
Wall Mounts
WM35
WM40
WM55
WM55SC
WM75
WM318
WM85
WM85SC
WM85BP
WM85SCBP
Post Mounts
PM10
PM20
PM30
PM40
PM50
Pendant Mounts
BLC (black cord - includes canopy and 8' cord)
WHC (white cord - includes canopy and 8' cord)
1/2" stems (Comes Standard with STC)
2ST6 2ST12 2ST18 2ST24 2ST36 2ST48 2ST60
2ST72 2ST96
3/4" stems (Comes Standard with STC)
3ST6 3ST12 3ST18 3ST24 3ST36 3ST48
3ST60 3ST72 3ST96

2 GLASS & GUARD
100GLCL (100w Vapor Tight w/Clear Glass)
100GLPR (100w Vapor Tight w/Prismatic Glass)
100GLFR (100w Vapor Tight w/Frosted Glass)
100GLBG (100w Vapor Tight w/White Ball Glass)
100GLCLGUP (100w Vapor Tight with Clear Glass & Small Wire Guard)
100GLPRGUP (100w Vapor Tight with Prismatic Glass & Small Wire Guard)
100GLFRGUP (100w Vapor Tight with Frosted Glass & Small Wire Guard)
100GLCLGUPC (100w Vapor Tight with Clear Glass & Cast Guard)
100GLPRGUPC (100w Vapor Tight with Prismatic Glass & Cast Guard)
100GLFRGUPC (100w Vapor Tight with Frosted Glass & Cast Guard)
200GLCL (200w Vapor Tight w/Clear Glass)
200GLPR (200w Vapor Tight w/Prismatic Glass)
200GLFR (200w Vapor Tight w/Frosted Glass)
200GLCLGUP (200w Vapor Tight with Clear Glass and Large Wire Guard)
200GLPRGUP (200w Vapor Tight with Prismatic Glass & Large Wire Guard)
200GLFRGUP (200w Vapor Tight with Frosted Glass & Large Wire Guard)
100GLGUP (Small Wire Guard with No Glass)
100GLGUPC (Cast Guard with No Glass)
200GLGUP (Large Wire Guard with No Glass)
AC (Clear Stipple Glass Acorn)

3 ACCESSORIES
CB (Cast back plate)
CBC (Cast back plate Spun Alum cover)
GR18 (18" Wire Grill)
PC (Button Photo Cell) Remote Only
SC (Scroll for Arms)
SLC (Sloped Ceiling Mount)
SQ (Square Back Plate)
STC (Flat Ceiling Stem Canopy)
SWL (Swivel)

DEC 02 2016

Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____

4		FINISH					
STANDARD			PREMIUM				
Standard	Marine	Colors	Standard	Marine	Colors		
44	107	White	48		Polished Aluminum		
77	127	Textured White	55		Brushed Aluminum		
13	132	Putty	81	129	Extreme Chrome		
56	109	Silver	80	117	Textured Desert Stone		
78	124	Textured Silver	67	119	Butterscotch		
49		Painted Galvanized	66	115	Caramel		
70	118	Painted Chrome	64	116	Candy Apple Red		
11	131	Cantaloupe	65	122	Cobalt Blue		
46	123	Sunny Yellow	82	128	Graystone		
43	114	Bright Red	69	113	Gunmetal Gray		
10	130	Aspen Green	68	126	Black Silver		
47	120	Aqua Green	Consult factory for additional paint charges and availability of metal finishes.				
42	102	Forest Green					
52	104	Patina Verde					
61	106	Black Verde					
45	112	Bright Blue					
50	111	Navy					
53	100	Copper Clay					
71	105	Painted Copper					
51	103	Architectural Bronze					
76	112	Textured Architectural Bronze					
41	101	Black					
72	108	Textured Black					
73	125	Matte Black					



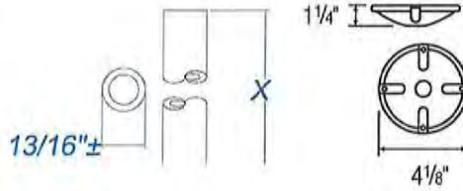
The Colors of ANP Lighting

All of our products are painted at a TIGER Drylac® approved facility, and are finished in our polyester powder coat for exceptional durability and color retention. Products undergo an intensive five-step process in which they are cleansed, treated with iron phosphate, and sealed to pre-treat the metal surface for maximum paint adhesion. Whether applied as a textured coat or a smooth gloss, our high quality finish is electro-statically applied and baked at 430° for maximum hardness and wear. The end result is a tough, attractive, durable, scratch resistant, and cost-effective product.

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DEC 02 2016



(STC Included)

Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____



2ST

1/2" Diameter Pendant Stem, Ceiling Mount Canopy Included

3ST

3/4" Diameter Pendant Stem, Ceiling Mount Canopy Included

RLM mounts: Aluminum manufactured using schedule 40 1/2" or 3/4" IPS.

STEMS			
1/2"			
Part #	Length	Part #	Length
2ST6	6"	2ST48	48"
2ST12	12"	2ST60	60"
2ST18	18"	2ST72	72"
2ST24	24"	2ST96	96"
2ST36	36"		
3/4"			
Part #	Length	Part #	Length
3ST6	6"	3ST48	48"
3ST12	12"	3ST60	60"
3ST18	18"	3ST72	72"
3ST24	24"	3ST96	96"
3ST36	36"		
ACCESSORY			
STC Flat Ceiling Mount (included with stem).			
SLC Slope Ceiling Mount			

FINISH		
STANDARD		
Standard	Marine	Colors
44	107	White
77	127	Textured White
13	132	Putty
56	109	Silver
78	124	Textured Silver
49		Painted Galvanized
70	118	Painted Chrome
11	131	Cantaloupe
46	123	Sunny Yellow
43	114	Bright Red
10	130	Aspen Green
47	120	Aqua Green
42	102	Forest Green
52	104	Palina Verde
61	106	Black Verde
45	112	Bright Blue
50	111	Navy
53	100	Copper Clay
71	105	Painted Copper
51	103	Architectural Bronze
41	101	Black
72	108	Textured Black
73	125	Matte Black
PREMIUM		
Standard	Marine	Designer Colors
48		Polished Aluminum
55		Brushed Aluminum
81	129	Extreme Chrome
80	117	Textured Desert Stone
67	119	Butterscotch
66	115	Caramel
64	116	Candy Apple Red
65	122	Cobalt Blue
82	128	Graystone
69	113	Gunmetal Gray
68	126	Black Silver

Consult factory for additional paint charges and availability of metal finishes.

DEC 02 2016

Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____



PM10
3/4" One Light Post Mount.

Aluminum manufactured using schedule 40, 3/4" IPS.

ACCESSORY		
SC Scroll for arms & post mounts		

See pole, cast base and shaft options on web. (ANPlighting.com)

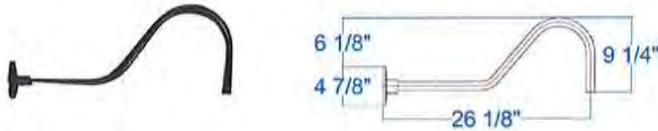
FINISH		
STANDARD		
Standard	Marine	Colors
44	107	White
77	127	Textured White
13	132	Putty
56	109	Silver
78	124	Textured Silver
49		Painted Galvanized
70	118	Painted Chrome
11	131	Cantaloupe
46	123	Sunny Yellow
43	114	Bright Red
10	130	Aspen Green
47	120	Aqua Green
42	102	Forest Green
52	104	Palina Verde
61	106	Black Verde
45	112	Bright Blue
50	111	Navy
53	100	Copper Clay
71	105	Painted Copper
51	103	Architectural Bronze
41	101	Black
72	108	Textured Black
73	125	Matte Black
PREMIUM		
Standard	Marine	Designer Colors
48		Polished Aluminum
55		Brushed Aluminum
81	129	Extreme Chrome
80	117	Textured Desert Stone
67	119	Butterscotch
66	115	Caramel
64	116	Candy Apple Red
65	122	Cobalt Blue
82	128	Graystone
69	113	Gunmetal Gray
68	126	Black Silver

Consult factory for additional paint charges and availability

ARMS, POST & WALL MOUNTS: Screw hardware may not match finish, but are made of stainless steel. Fixtures, arms and post mounts are U.L. wet listed when installed according to manufacturers instructions. Design and construction may change at factory's discretion.

DEC 02 2016

Project: _____
 Customer No: _____
 Fixture Type: _____
 Quantity: _____



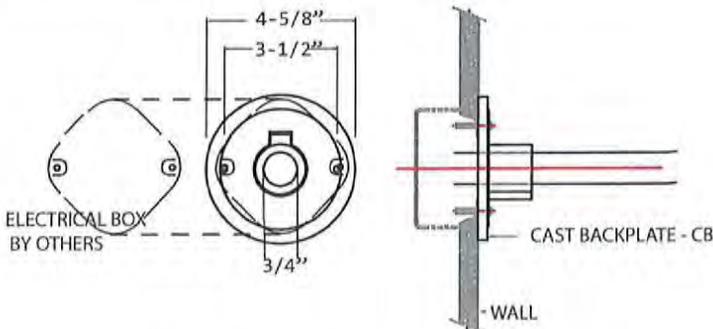
E6
 3/4" Diameter Arm 9 1/4" x 26 1/8",
 Cast Back Plate Included.

RLM Mounts made of Aluminum Schedule 40 3/4" IPS

ACCESSORIES		
CB Cast Back Plate		
CBC Cast Back Plate Cover		
SQ Square Back Plate		
SC Scroll for arms & post mounts		

FINISH		
STANDARD		
Standard	Marine	Colors
44	107	White
77	127	Textured White
13	132	Putty
56	109	Silver
78	124	Textured Silver
49		Painted Galvanized
70	118	Painted Chrome
11	131	Cantaloupe
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47	120	Aqua Green
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45	112	Bright Blue
50	111	Navy
53	100	Copper Clay
71	105	Painted Copper
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41	101	Black
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PREMIUM		
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67	119	Butterscotch
66	115	Caramel
64	116	Candy Apple Red
65	122	Cobalt Blue
82	128	Graystone
69	113	Gunmetal Gray
68	126	Black Silver

Consult factory for additional paint charges and metal finish availability



CAST BACKPLATE MOUNTING DETAIL

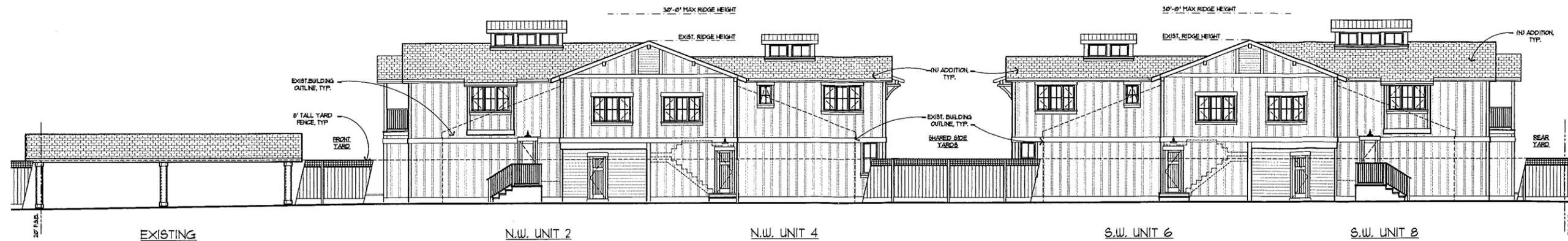
ARMS, POST & WALL MOUNTS: Screw hardware may not match finish, but are made of stainless steel. Fixtures, arms and post mounts are U.L. wet listed when installed according to manufacturers instructions. Design and construction may change at factory's discretion.

DEC 9 2016



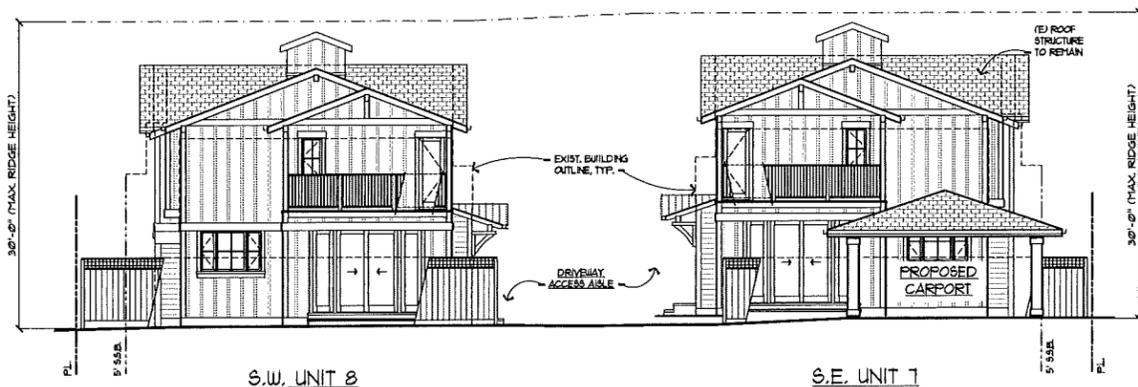
545 Third Street West
 Sonoma, CA 95476
 P 707.996.7947
 F 707.996.7904
 rbaumann@rb.com

ROBERT BAUMANN



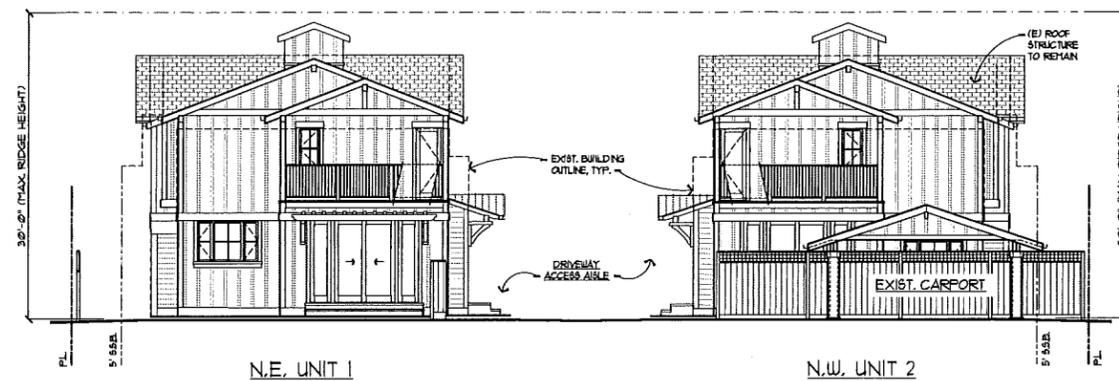
D WEST ELEVATION - SIDE
 SCALE: 1/8" = 1'-0"

NOTE: REFER TO 601 FOR ENLARGED SOUTHWEST UNIT ELEVATION

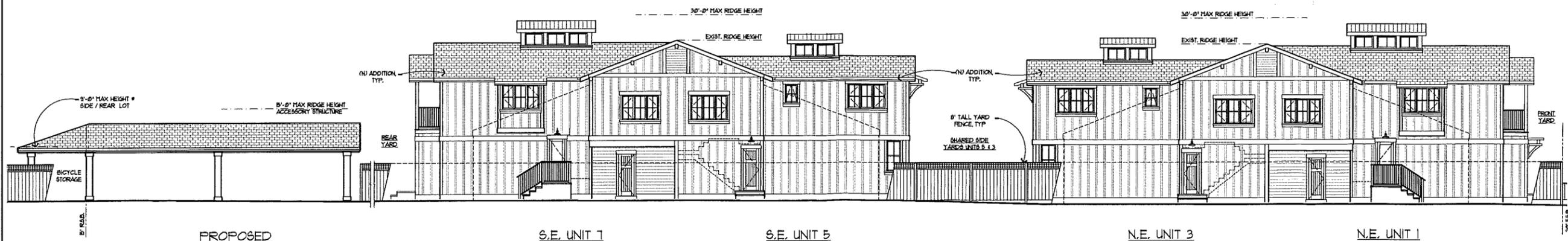


C SOUTH ELEVATION - REAR
 SCALE: 1/8" = 1'-0"

NOTE: REFER TO 601 FOR ENLARGED SOUTHWEST UNIT ELEVATION



B NORTH ELEVATION - FRONT
 SCALE: 1/8" = 1'-0"



A EAST ELEVATION - SIDE
 SCALE: 1/8" = 1'-0"

WEST NAPA CONDOS
 375 WEST NAPA STREET SONOMA, CA 95476
 (APNs: 018-640-001 THRU 008)

ISSUE DATE:	10/14/16
REVISIONS	
10/14/16	PLANNING APP.
11/03/16	PLANNING APP.
11/22/16	DESIGN REVIEW

PROPOSED DESIGN
 DESIGN DEVELOPMENT
 SITE ELEVATIONS

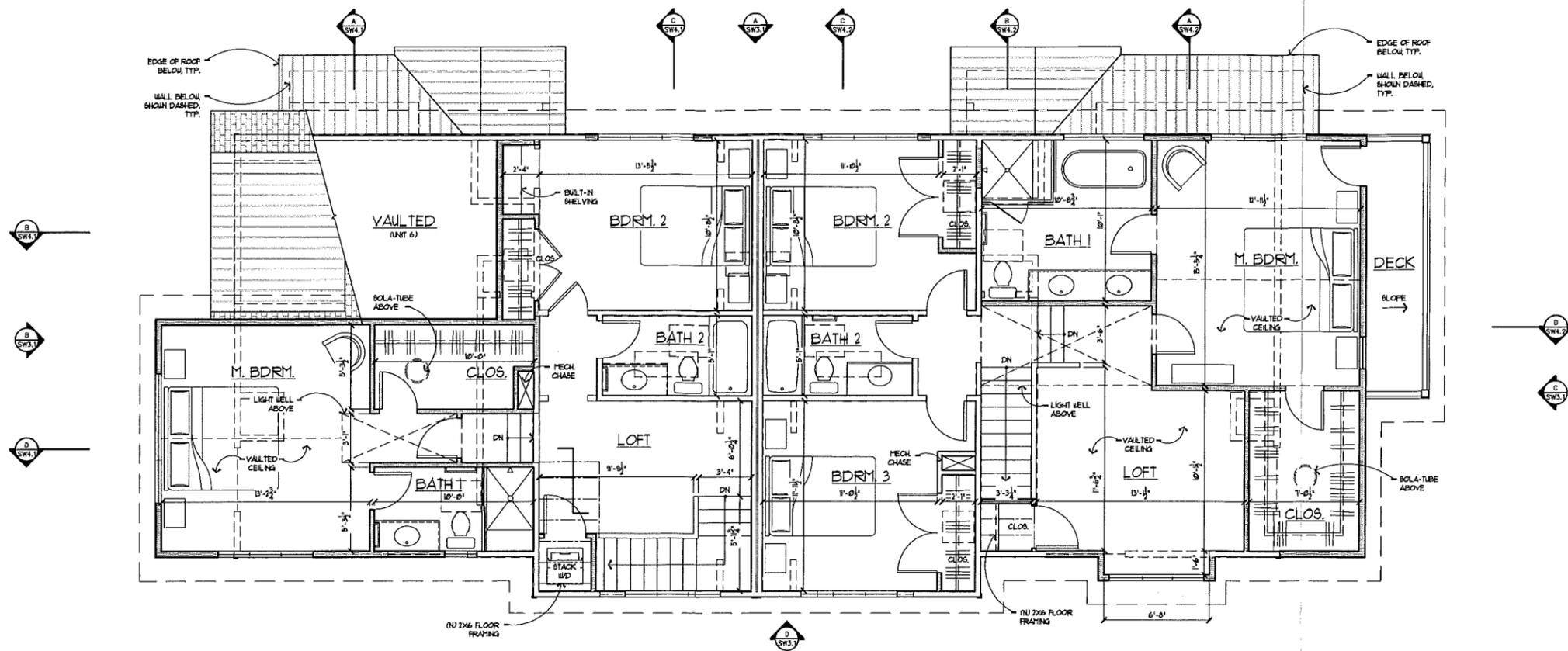
A3.0

ISSUE DATE: 10/25/16

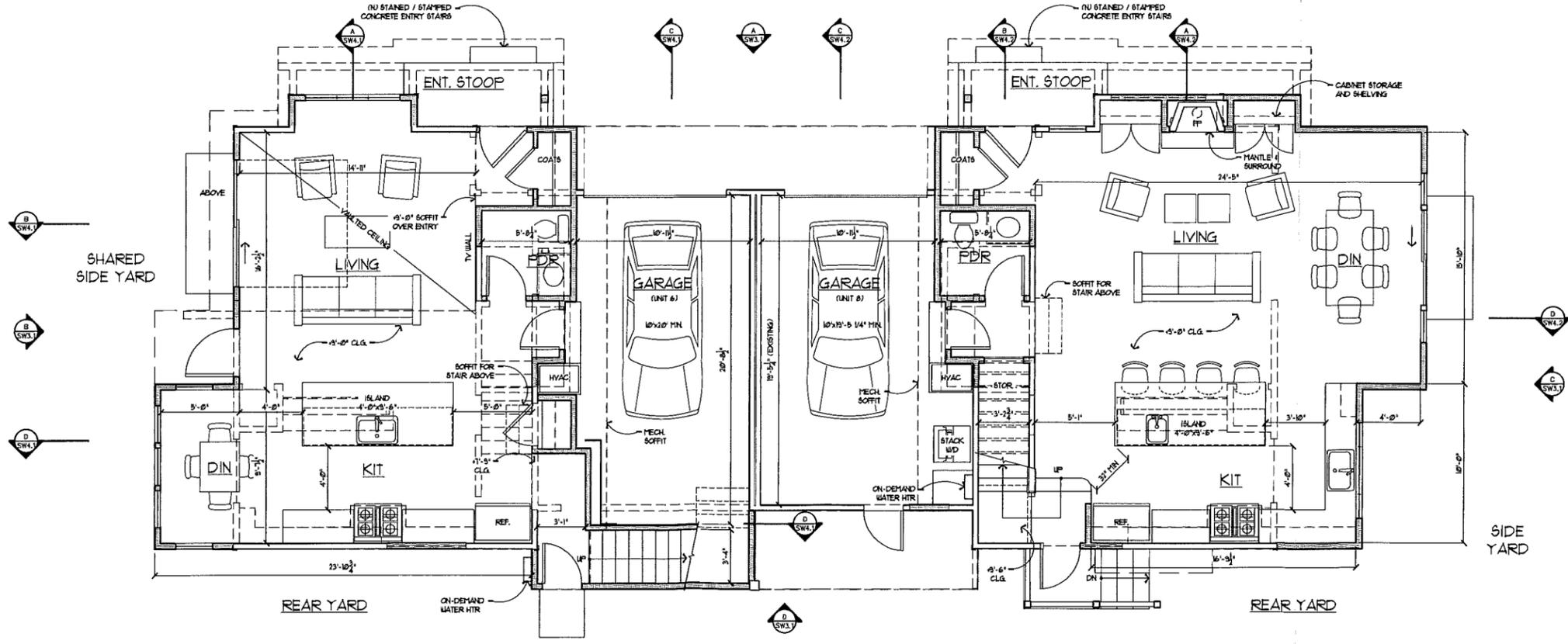
REVISIONS	DATE	DESCRIPTION
10/25/16	PLANNING APP.	
11/22/16	DESIGN REVIEW	

PROPOSED DESIGN
DESIGN DEVELOPMENT
FLOOR PLANS

SW2.0



2 UPPER LEVEL - UNITS 6 & 8
SCALE: 1/4" = 1'-0"



1 MAIN LEVEL - UNITS 6 & 8
SCALE: 1/4" = 1'-0"

PLAN LEGEND

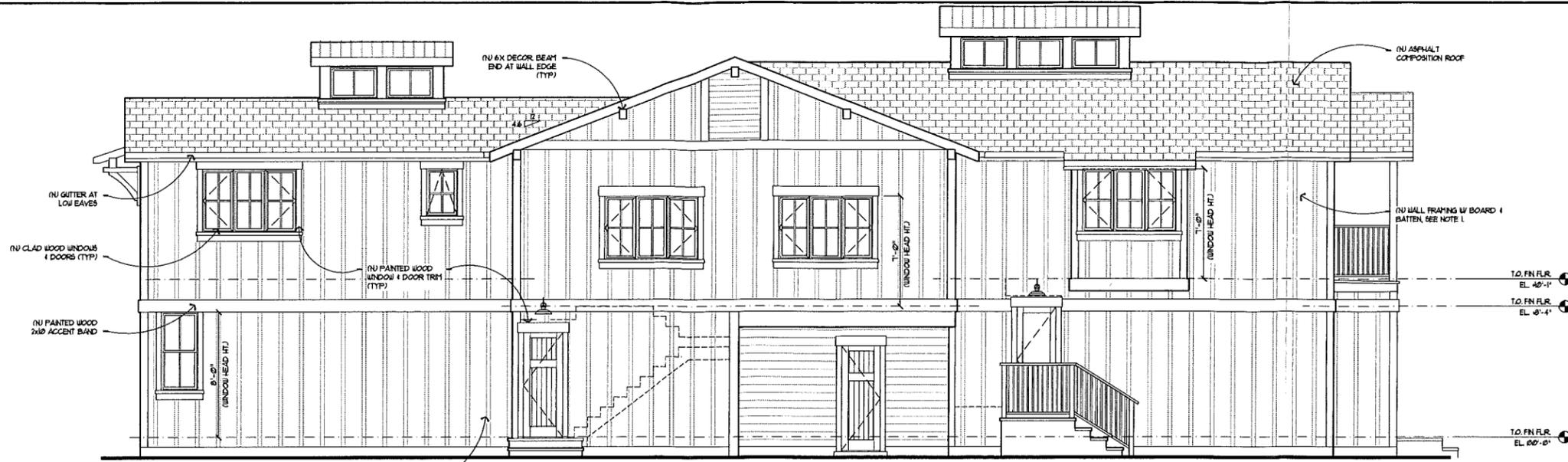
	EXISTING WALL TO REMAIN
	NEW WALL
	EXISTING WALL TO BE REMOVED
	EXISTING OR NEW CONSTRUCTION
	BUILDING ELEVATION LETTER SHEET NUMBER
	BUILDING SECTION LETTER SHEET NUMBER
	WALL SECTION LETTER SHEET NUMBER
	ROOM NAME

FLOOR AREA SUMMARY

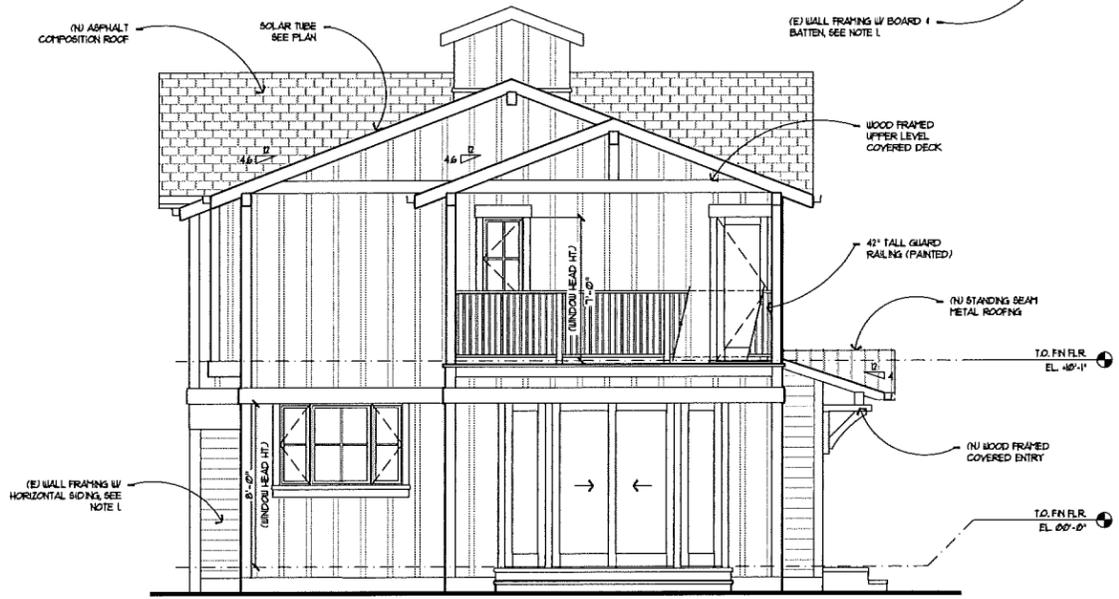
UNIT 8	780 (MAIN) + 1061 (UPPER) = 1841 (SQ. FT.) TOTAL (EXCL. GARAGE)
UNIT 6	688 (MAIN) + 753 (UPPER) = 1441 (SQ. FT.) TOTAL (EXCL. GARAGE)
*AREA COUNT INCLUDES STAIR AREA ONCE ONLY.	

EXTERIOR ELEVATION NOTES

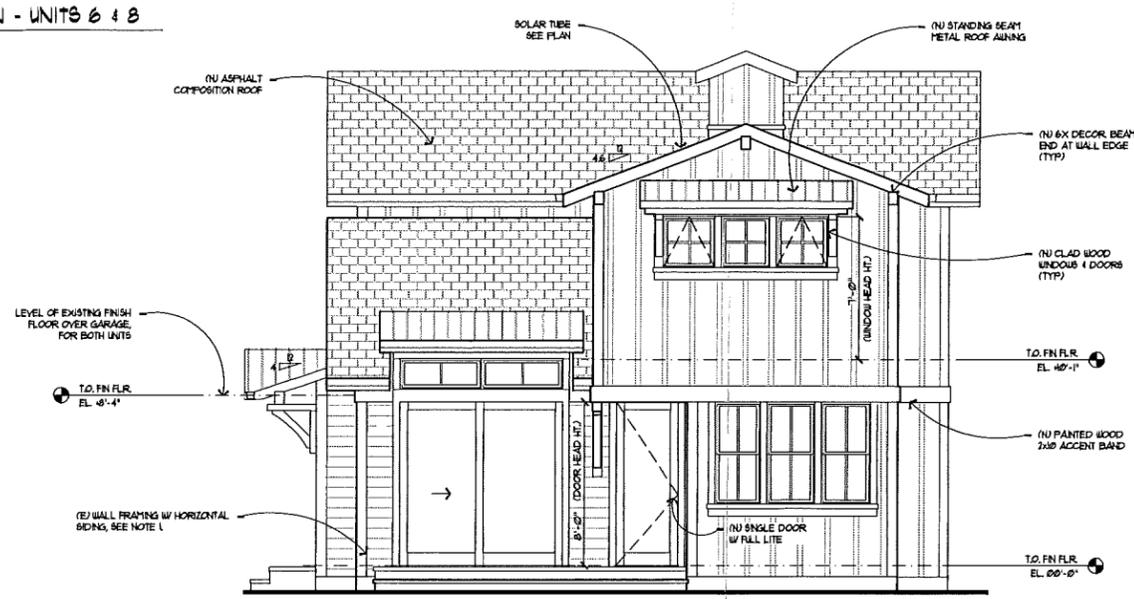
- FOR EXTERIOR SIDING REPLACEMENT:
 - AT (E) WALLS W/ NEW BOARD & BATTEN:
 - A. OPTION TO REMOVE (E) T-11 SIDING
 - B. OPTION TO KEEP (E) SIDING & COVER WITH LEATHER PROOF MEMBRANE
 - C. (U) RE-SAWN PLYWOOD & BATTENS
 - AT (U) WALLS W/ NEW BOARD & BATTEN:
 - A. (U) LEATHER PROOF MEMBRANE
 - B. (U) RE-SAWN PLYWOOD & BATTENS
 - AT (E) WALLS W/ NEW V-GROOVE HORIZONTAL SIDING:
 - A. KEEP (E) SIDING & COVER WITH LEATHER PROOF MEMBRANE
 - B. (U) V-GROOVE HORIZONTAL SIDING OVER
 - AT (U) WALLS W/ NEW V-GROOVE HORIZONTAL SIDING:
 - A. (U) SHEATHING & LEATHER PROOF MEMBRANE
 - B. (U) V-GROOVE HORIZONTAL SIDING OVER
- FOR PROPOSED COLORS & MATERIALS, SEE MATERIAL SAMPLE SHEETS



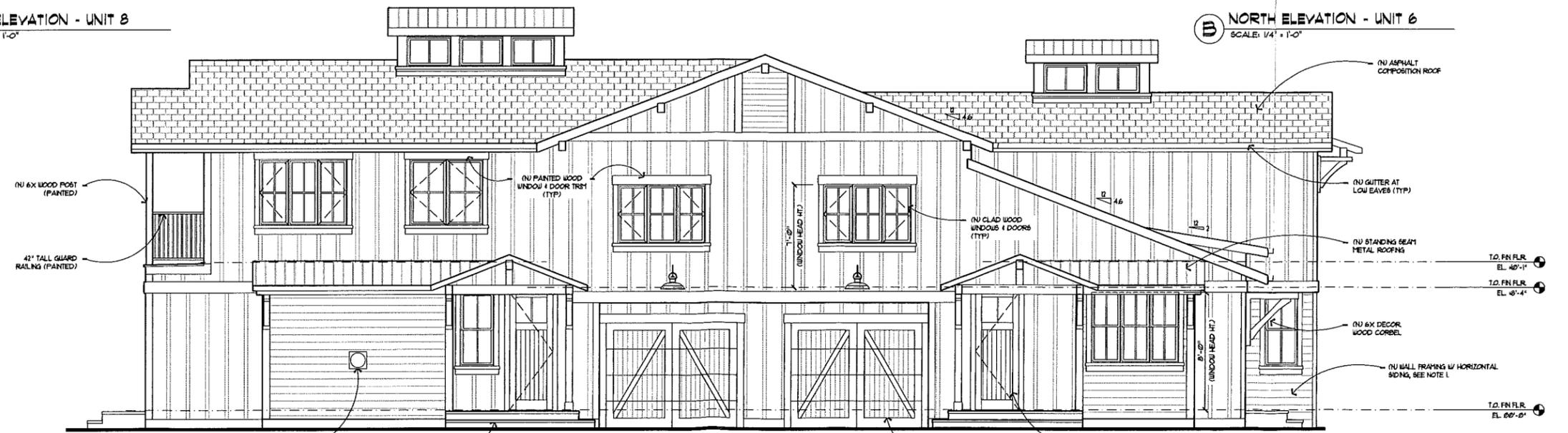
D WEST ELEVATION - UNITS 6 & 8
SCALE: 1/4" = 1'-0"



C SOUTH ELEVATION - UNIT 8
SCALE: 1/4" = 1'-0"



B NORTH ELEVATION - UNIT 6
SCALE: 1/4" = 1'-0"



A EAST ELEVATION - UNITS 8 & 6
SCALE: 1/4" = 1'-0"

ROBERT BAUMANN ASSOCIATES
545 Third Street West
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rba@robertbaumann.com

WEST NAPA CONDOS
375 WEST NAPA STREET SONOMA, CA 95476
(APNs: 01B-640-001 THRU 008)

ISSUE DATE:	10/14/16
REVISIONS	
10/14/16	PLANNING APP.
1/22/16	DESIGN REVIEW

PROPOSED DESIGN
DESIGN DEVELOPMENT
EXTERIOR ELEVATIONS

SW3.1

NOV 23 2016

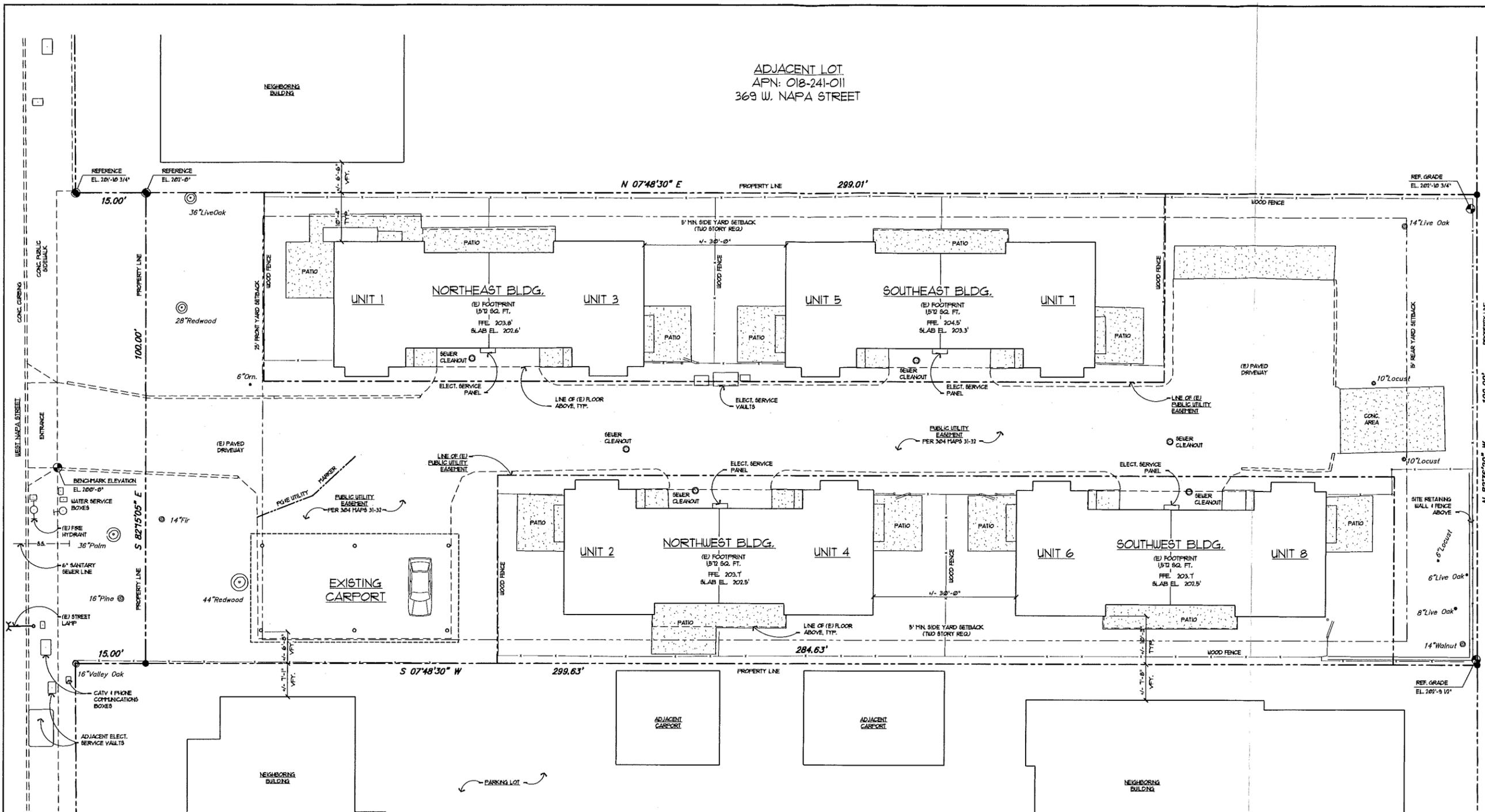
545 Third Street West
 Sonoma, CA 95476
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 F: 707.996.7904
 rb@robbaumann.com

ROBERT BAUMANN

WEST NAPA CONDOS
 315 WEST NAPA STREET SONOMA, CA 95416
 (APNs: 018-640-001 THRU 008)

ISSUE DATE:	10/14/16
REVISIONS	
10/25/16	PLANNING APP.
11/22/16	DESIGN REVIEW

EXISTING CONDITIONS
 DESIGN DEVELOPMENT
 EXISTING SITE PLAN



FLOOR AREA SUMMARY

TYPICAL EXISTING UNIT	526 (MAN) + 452 (UPPER) + 1580 (SQ. FT.) + 258 (GARAGE) + 1238 (SQ. FT. TOTAL)	9,904 (SQ. FT. (E) 8 UNITS TOTAL)
-----------------------	--	-----------------------------------

SITE LEGEND

--- PROPERTY LINE	--- EXISTING STRUCTURE
--- SETBACK LINE	--- EDGE OF HARDSCAPE
--- EXIST. ONE FOOT CONTOUR	--- DEMO SITE FEATURE
--- EXIST. FIVE FOOT CONTOUR	--- AREA OF PROPOSED ADDITION
--- NEW CONTOUR	
--- PROPOSED DRAINAGE LINE	
⊙ EXIST. TREE	

ZONING REQUIREMENTS SUMMARY

ZONING REQUIREMENTS:	EXISTING:
LOT AREA *	(10.65 ACRES) 28,431 SQ. FT.
MAX. F.A.R. (.70) *	19,902 SQ. FT.
MAX. LOT COVER (60%) *	17,059 SQ. FT.
	9,904 SQ. FT.
	6,208 SQ. FT.

1 EXISTING SITE PLAN
 SCALE: 1" = 10'-0"



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ROBERT BAUMANN

WEST NAPA CONDOS
 375 WEST NAPA STREET SONOMA, CA 95476
 (APNs: 018-640-001 THRU 008)

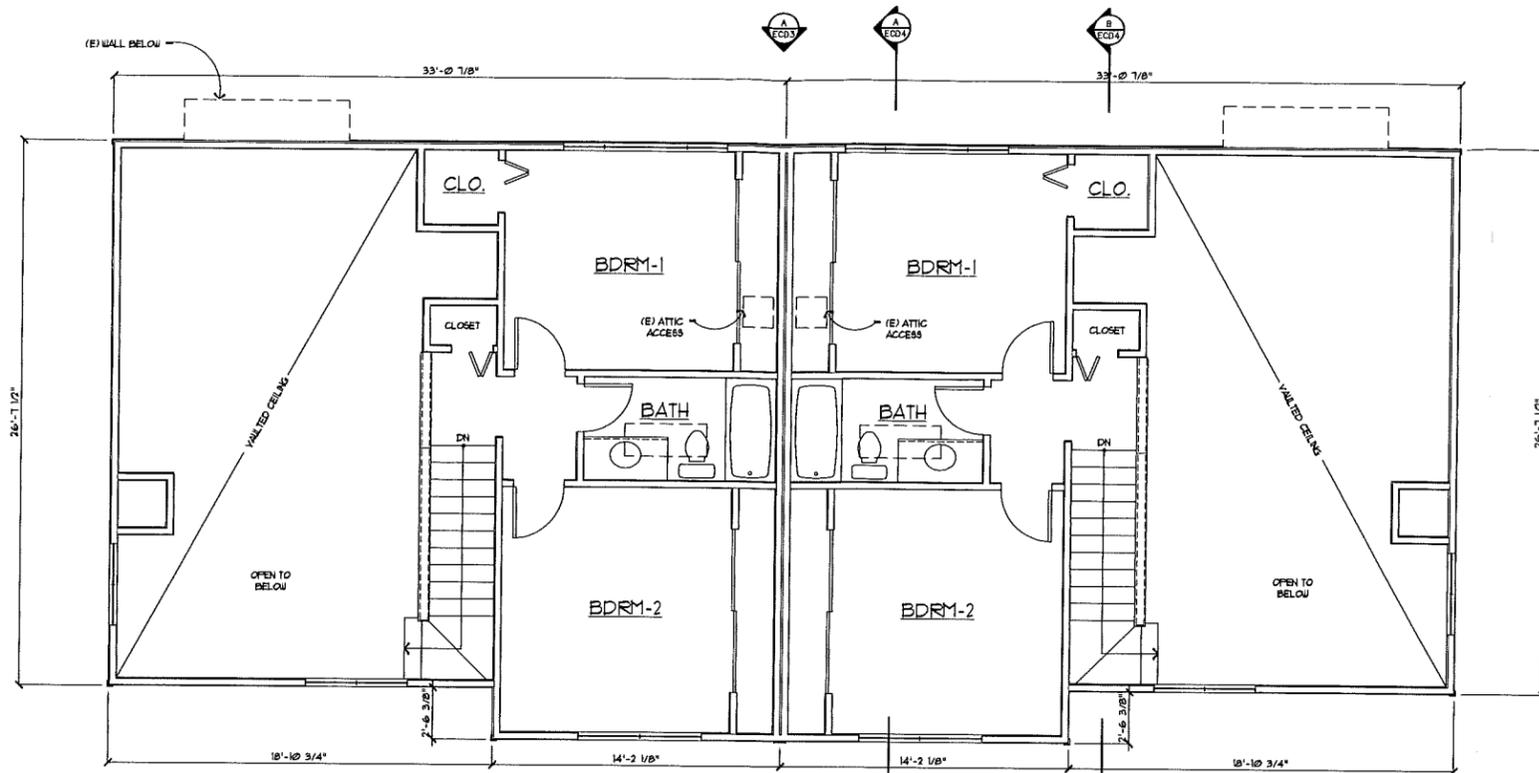
ISSUE DATE: 10/14/16

REVISIONS

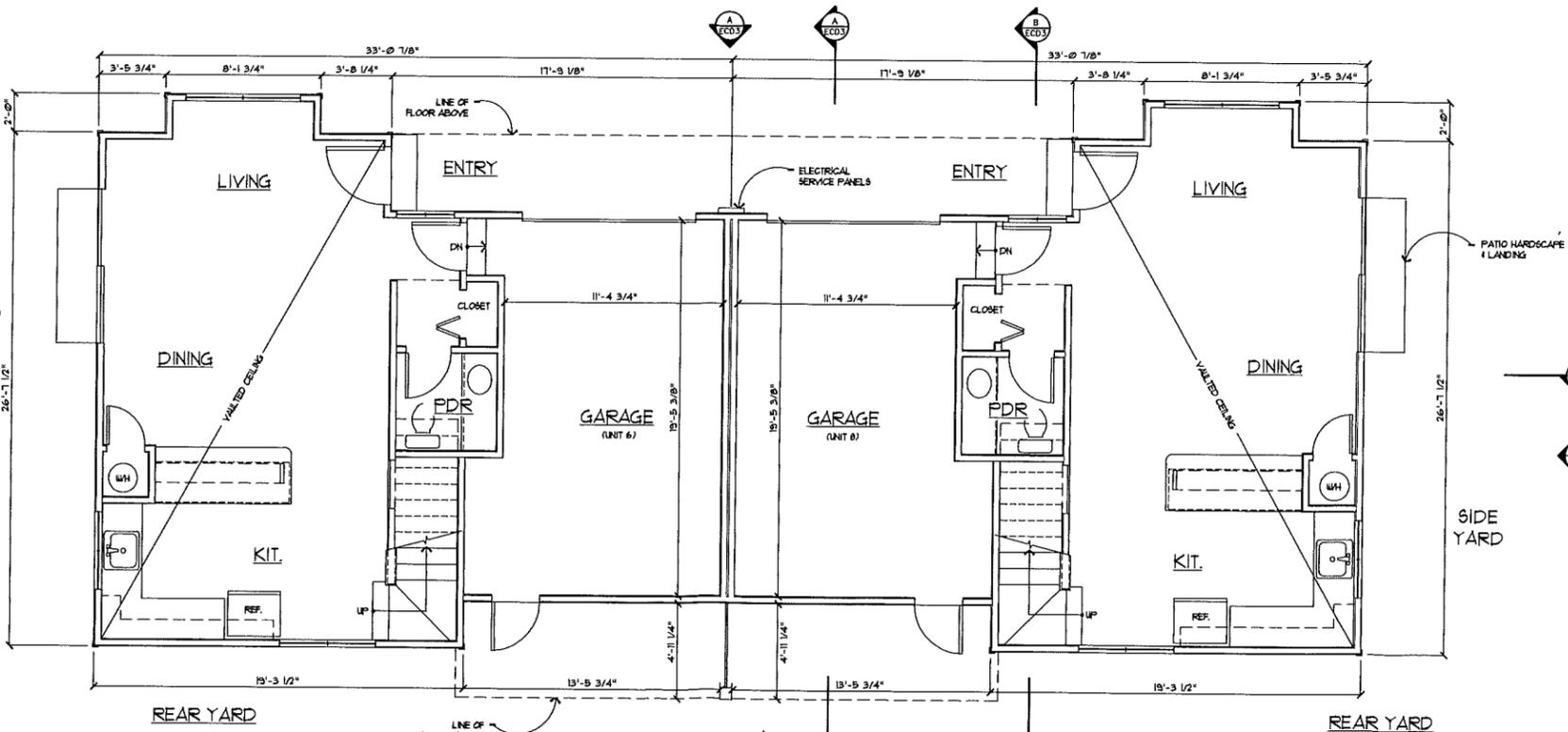
10/25/16	PLANNING APP.
10/27/16	PLANNING APP.
11/22/16	DESIGN REVIEW

EXISTING CONDITIONS
 DESIGN DEVELOPMENT
 FLOOR PLANS

ECD2



2 EXIST. UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



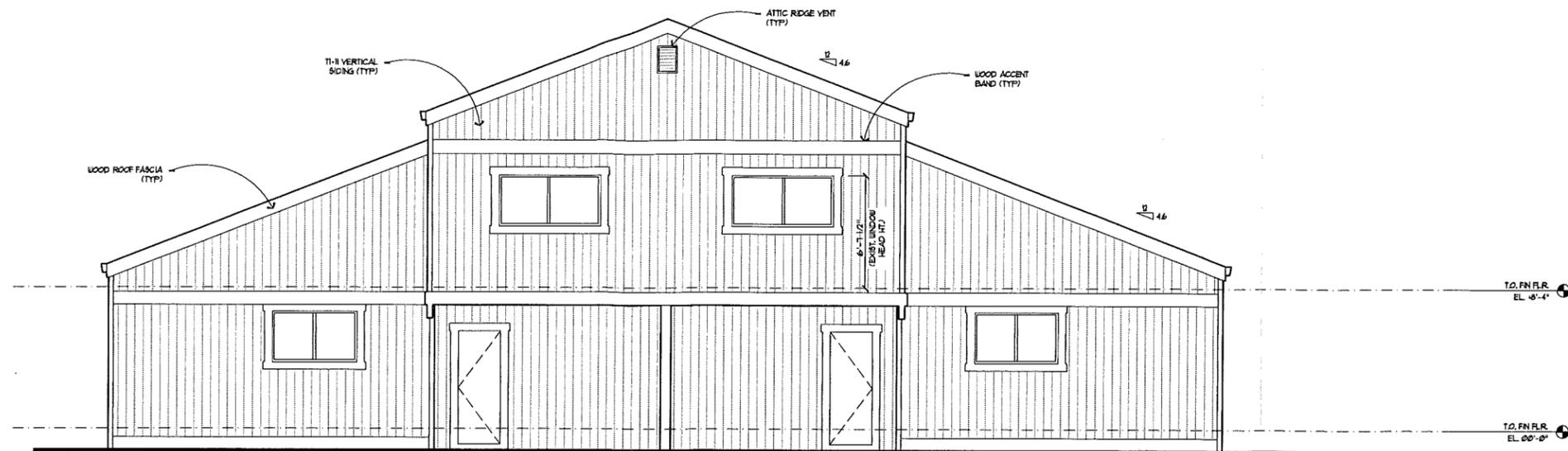
1 EXIST. MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PLAN LEGEND

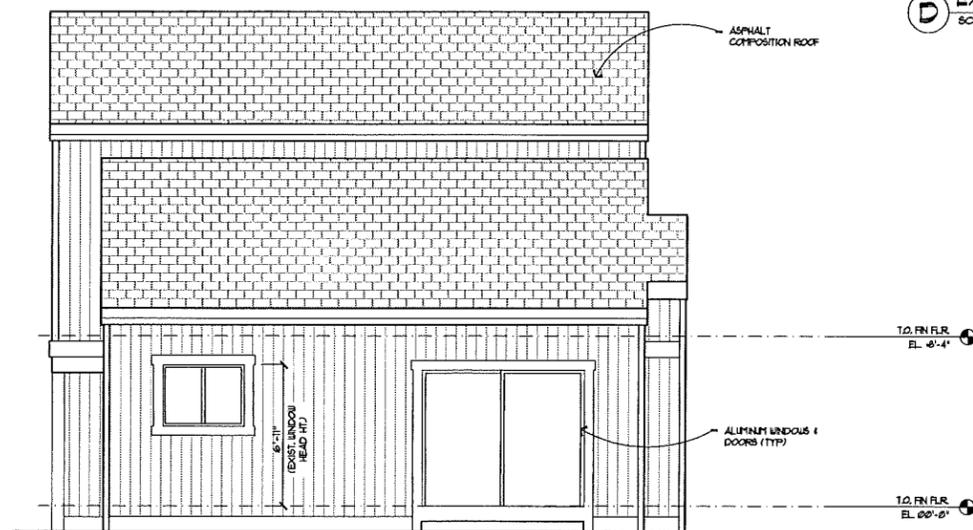
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL TO BE REMOVED
- EXISTING OR NEW CONSTRUCTION
- BUILDING ELEVATION LETTER SHEET NUMBER
- BUILDING SECTION LETTER SHEET NUMBER
- WALL SECTION LETTER SHEET NUMBER
- GREAT ROOM ROOM NAME

FLOOR AREA SUMMARY

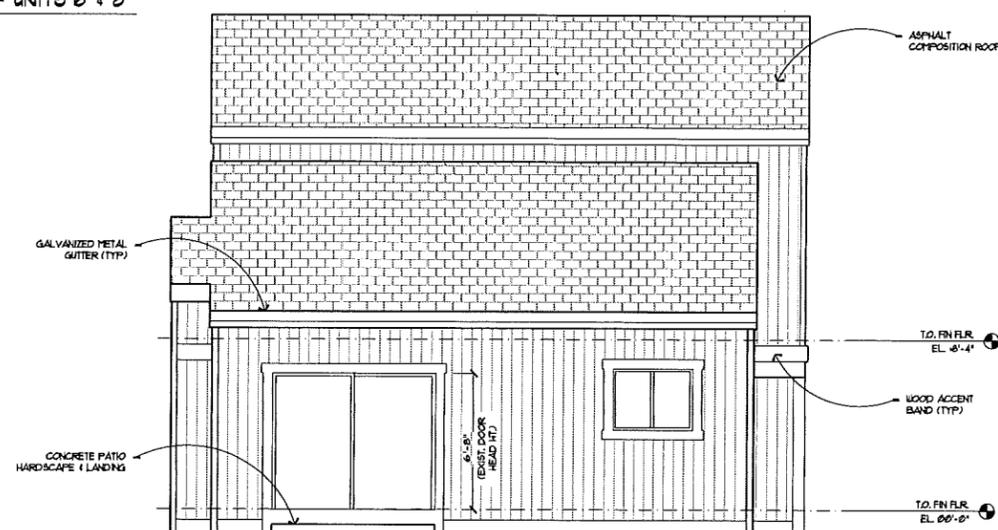
TYPICAL EXISTING UNIT
 528 (MAIN) + 452 (UPPER) = 980 SQ. FT.
 980 SQ. FT. + 258 (GARAGE) = 1238 SQ. FT. TOTAL



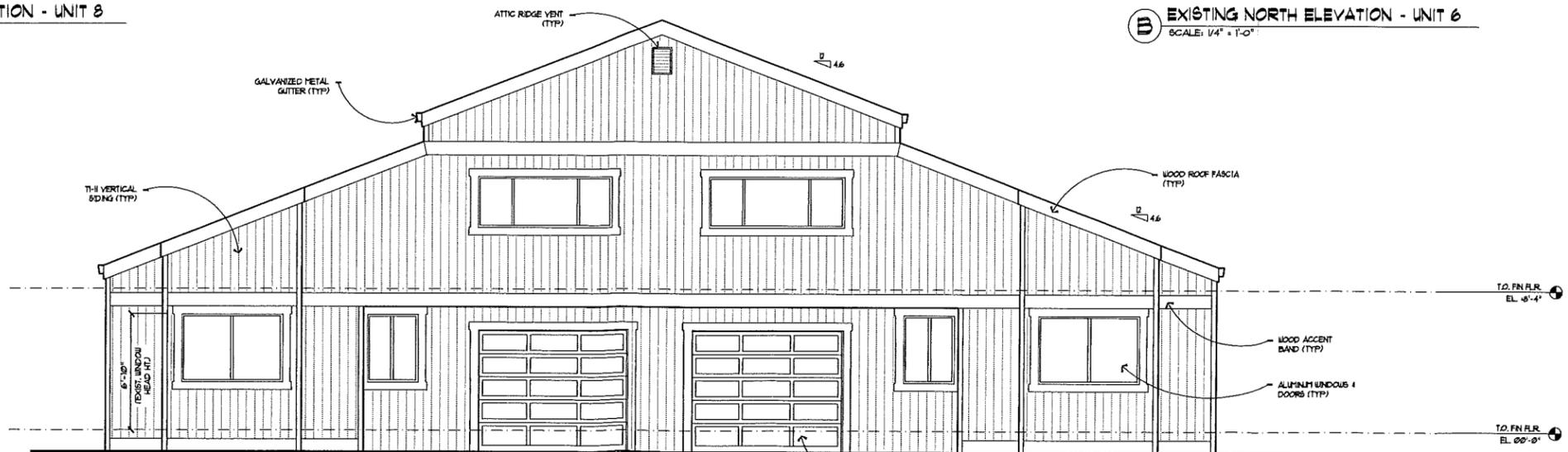
D EXISTING WEST ELEVATION - UNITS 6 & 8
SCALE: 1/4" = 1'-0"



C EXISTING SOUTH ELEVATION - UNIT 8
SCALE: 1/4" = 1'-0"



B EXISTING NORTH ELEVATION - UNIT 6
SCALE: 1/4" = 1'-0"



A EXISTING EAST ELEVATION - UNITS 8 & 6
SCALE: 1/4" = 1'-0"

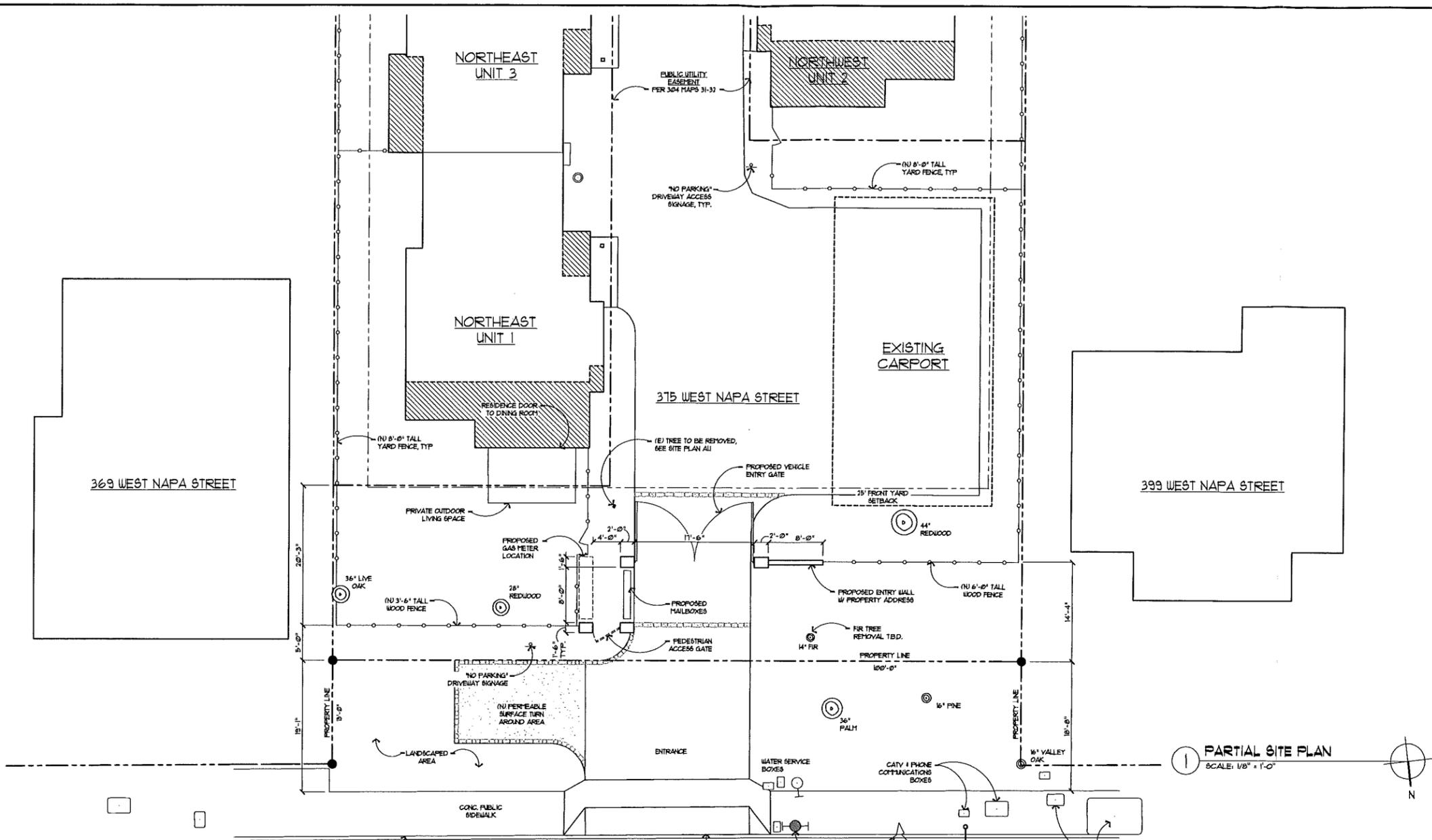
WEST NAPA CONDOS
3715 WEST NAPA STREET SONOMA, CA 95476
(APNs: 018-640-001 THRU 008)

ISSUE DATE: 10/14/16

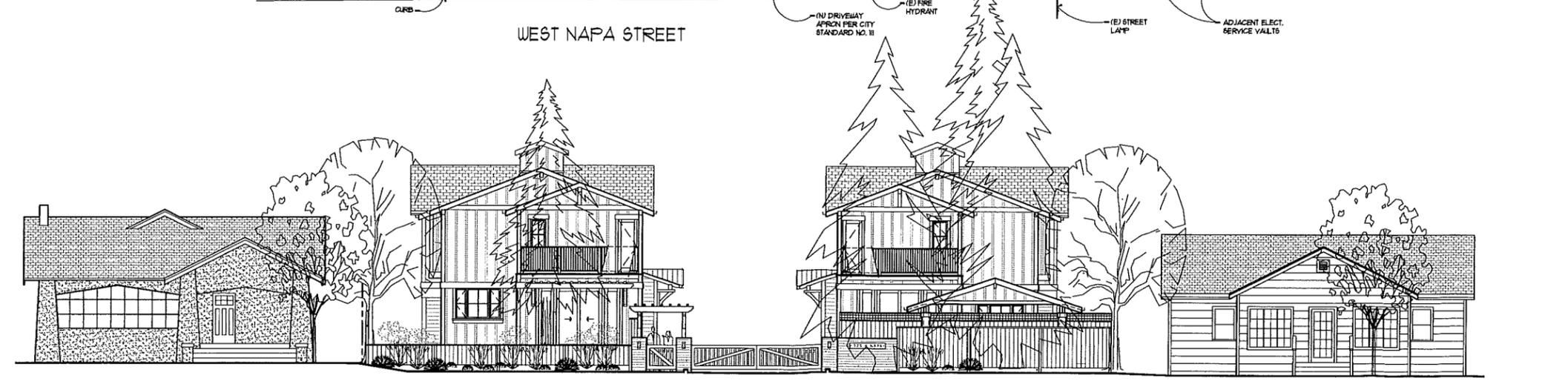
REVISIONS
10/23/16 PLANNING APP.
10/27/16 PLANNING APP.
11/22/16 DESIGN REVIEW

EXISTING CONDITIONS
DESIGN DEVELOPMENT
EXTERIOR ELEVATIONS

ECD3



1 PARTIAL SITE PLAN
SCALE: 1/8" = 1'-0"



369 WEST NAPA ST.

NORTHEAST UNIT 1

NORTHWEST UNIT 2

393 WEST NAPA ST.

A STREET VIEW
SCALE: 1/8" = 1'-0"

ROBERT BAUMANN & ASSOCIATES
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FX: 707.996.7904
rba@robertbaumann.com

WEST NAPA CONDOS
375 WEST NAPA STREET SONOMA, CA 95476
(APNs: 018-640-001 THRU 008)

ISSUE DATE: 12/14/16

REVISIONS	
12/14/16	PLANNING APP.
1/23/16	PLANNING APP.
1/22/16	DESIGN REVIEW

PROPOSED DESIGN
DESIGN DEVELOPMENT
SITE ELEVATIONS

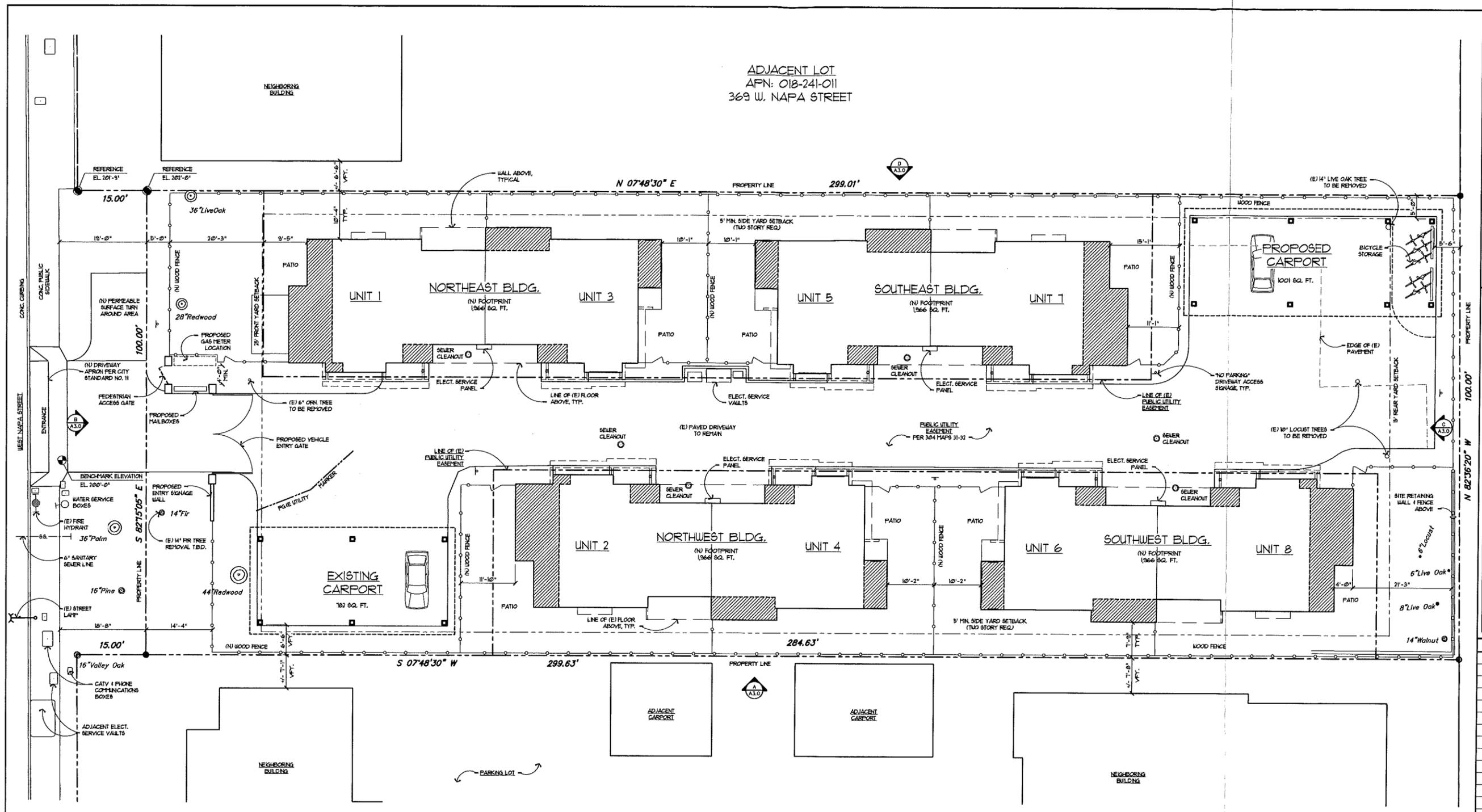
A3.1



545 Third Street West
 Sonoma, CA 95476
 P: 707.996.7834
 F: 707.996.7834
 robert@rbassn.com

ROBERT BAUMANN

ADJACENT LOT
 APN: 018-241-011
 369 W. NAPA STREET



WEST NAPA CONDOS
 375 WEST NAPA STREET SONOMA, CA 95476
 (APNs: 018-640-001 THRU 008)

ISSUE DATE: 10/14/16

REVISIONS	
10/14/16	PLANNING APP.
11/03/16	PLANNING APP.
11/22/16	DESIGN REVIEW

FLOOR AREA SUMMARY	
TYPICAL EXISTING UNIT 528 (MAIN) + 452 (UPPER) + 880 (SQ. FT.) + 258 (GARAGE) = 2118 SQ. FT. TOTAL	9,904 SQ. FT. (8) 8 UNITS TOTAL
OUTSIDE UNITS 1, 2, 3, 4, 8 780 (MAIN) + 1061 (UPPER) + 1841 (SQ. FT.) + 253 (GARAGE) = 2100 SQ. FT. TOTAL	13,352 SQ. FT. 8 UNITS TOTAL
INSIDE UNITS 3, 4, 5, 4, 6 688 (MAIN) + 253 (UPPER) + 1441 (SQ. FT.) + 249 (GARAGE) = 1686 SQ. FT. TOTAL	15,144 SQ. FT. (10) (GARAGE)
*AREA COUNT INCLUDES STAIR AREAS ONCE ONLY.	

SHEET INDEX	
DESIGN REVIEW PLANS	
A11	SITE PLAN
A3.0	SITE DETAILS (CARPORT DESIGN)
A3.10	SITE ELEVATIONS
A3.1	SITE ELEVATIONS
SUB.0	FLOOR PLANS
SUB.1	EXTERIOR ELEVATIONS
ECD1	EXISTING SITE PLAN
ECD2	FLOOR PLANS
ECD3	EXTERIOR ELEVATIONS
DESIGN REVIEW COLORS & MATERIALS	
A	ELEVATION COLOR SAMPLE
B	SIDING & ROOFING
C	WINDOWS & EXTERIOR DOORS
D	ELEVATION STREET VIEW
E	SITE ENTRY GATE
	EXTERIOR DETAILS
	EXTERIOR DETAILS

SITE LEGEND	
---	PROPERTY LINE
---	SETBACK LINE
---	EXIST. ONE FOOT CONTOUR
---	EXIST. FIVE FOOT CONTOUR
---	NEW CONTOUR
---	PROPOSED DRAINAGE LINE
⊙	EXIST. TREE
---	EXISTING STRUCTURE
---	EDGE OF HARDSCAPE
---	DEMO SITE FEATURE
---	"NO PARKING" VEHICLE SIGNAGE
▨	AREA OF PROPOSED ADDITION
□	AREA OF EXISTING FOOTPRINT

ADJACENT LOT
 APN: 018-241-008
 393 & 395 W. NAPA STREET

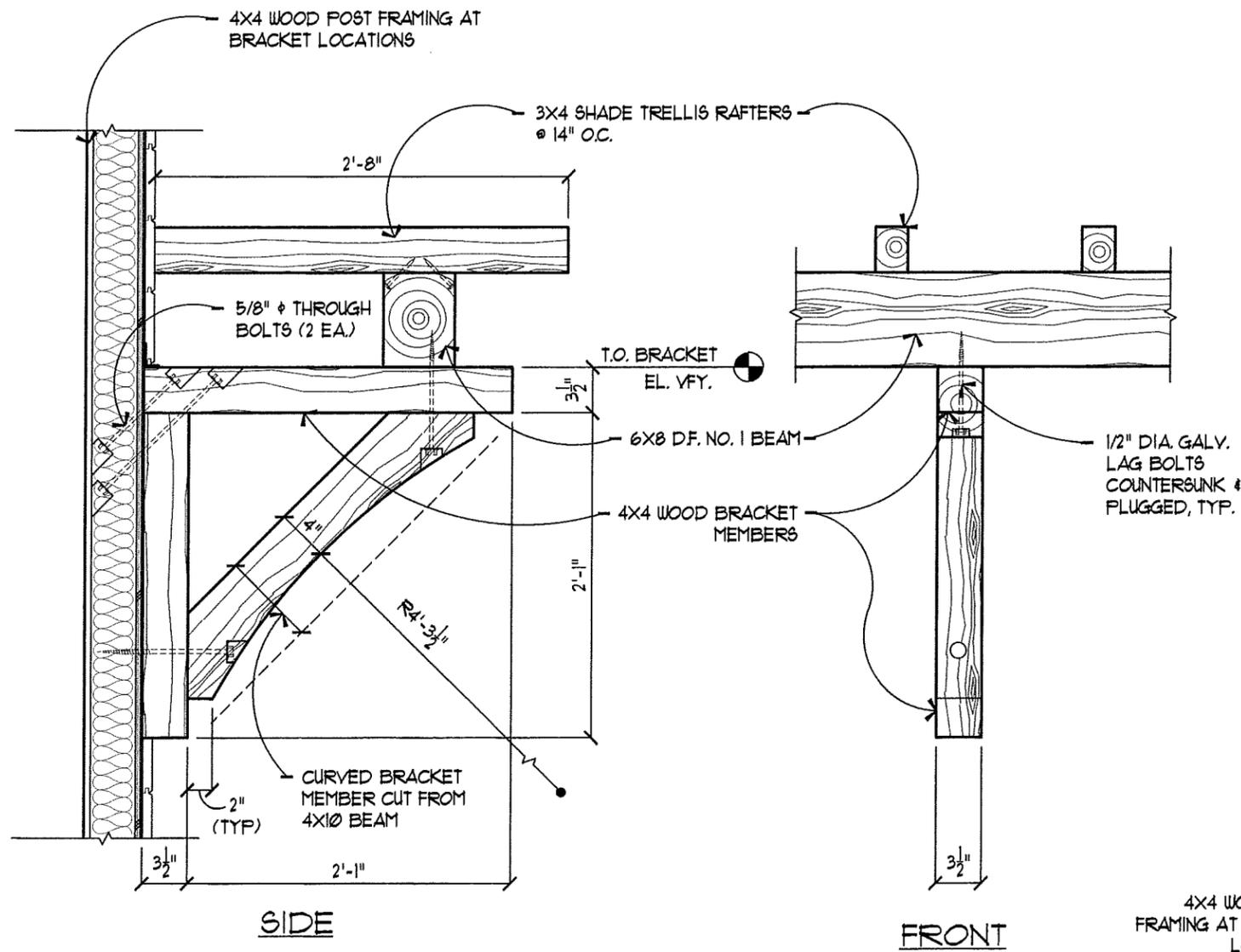
ZONING REQUIREMENTS SUMMARY	
ZONING REQUIREMENTS:	PROPOSED:
LOT AREA = (0.65 ACRES) 28,431 SQ. FT.	
MAX. F.A.R. (1.10) = 19,902 SQ. FT.	15,144 SQ. FT. (OK)
MAX. LOT COVER (60%) = 17,059 SQ. FT.	1864 SQ. FT. (OK)



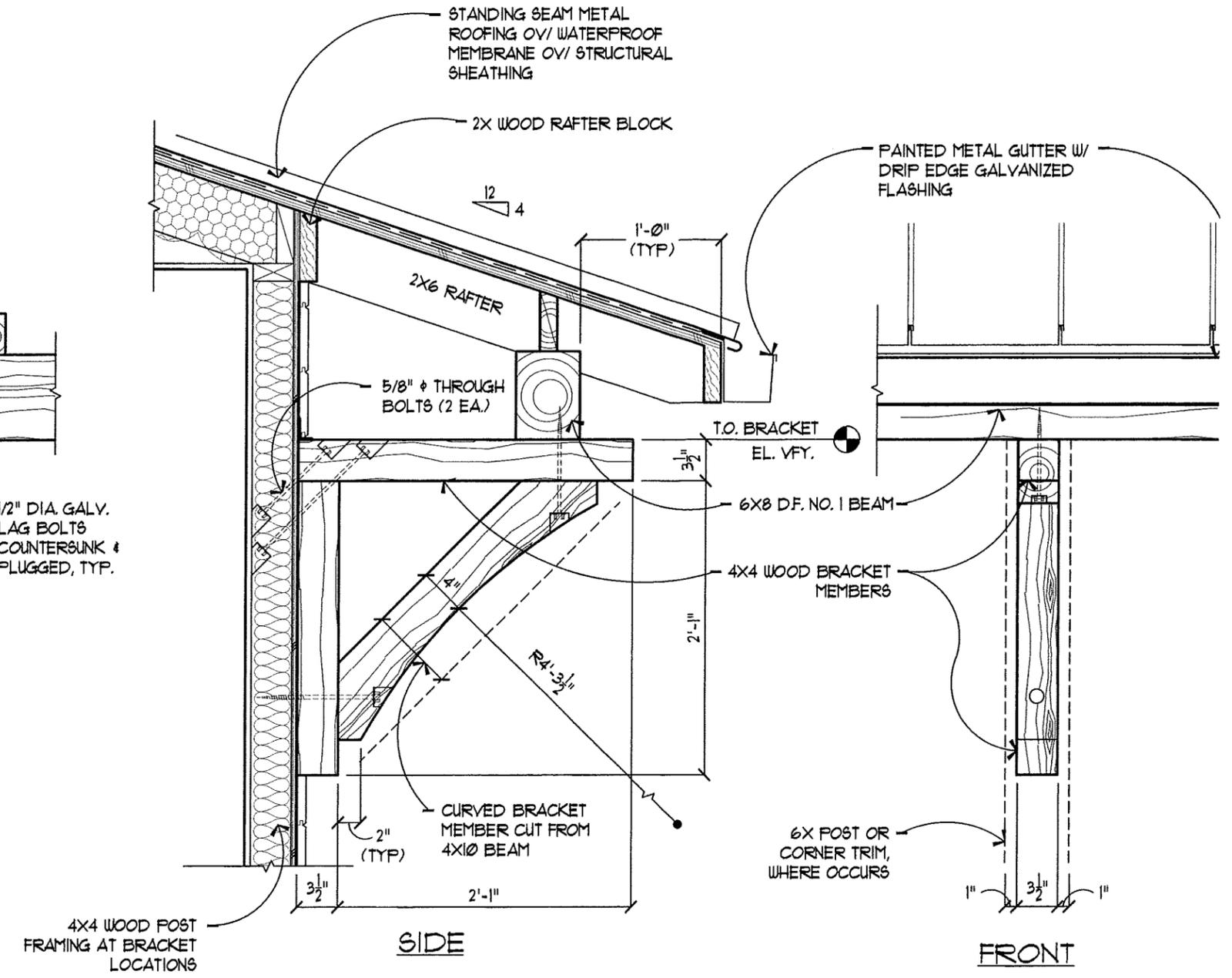
PROPOSED DESIGN
 DESIGN DEVELOPMENT
 SITE PLAN



NOV 22 2016



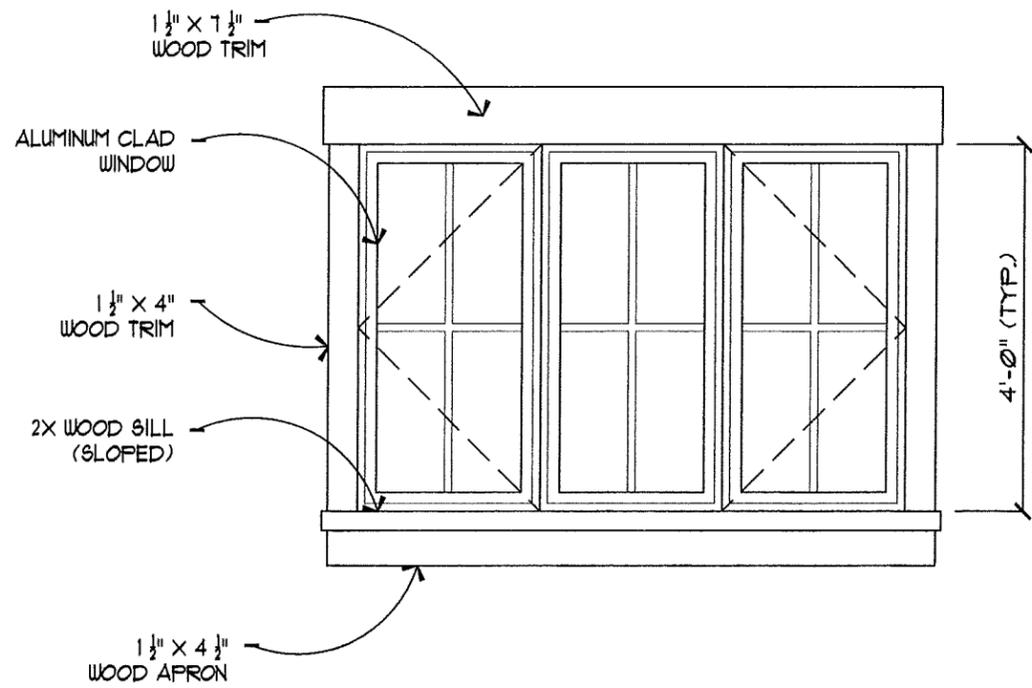
2 **SHADE TRELLIS BRACKET**
SCALE: 1" = 1'-0"



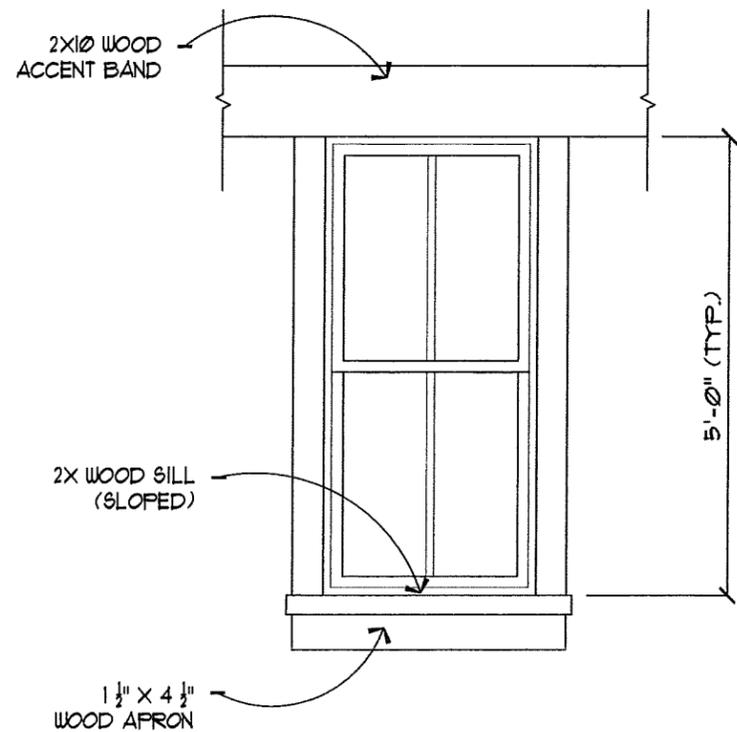
1 **ROOF AT COVERED ENTRY**
SCALE: 1" = 1'-0"

EXTERIOR DETAILS
SCALE: AS NOTED

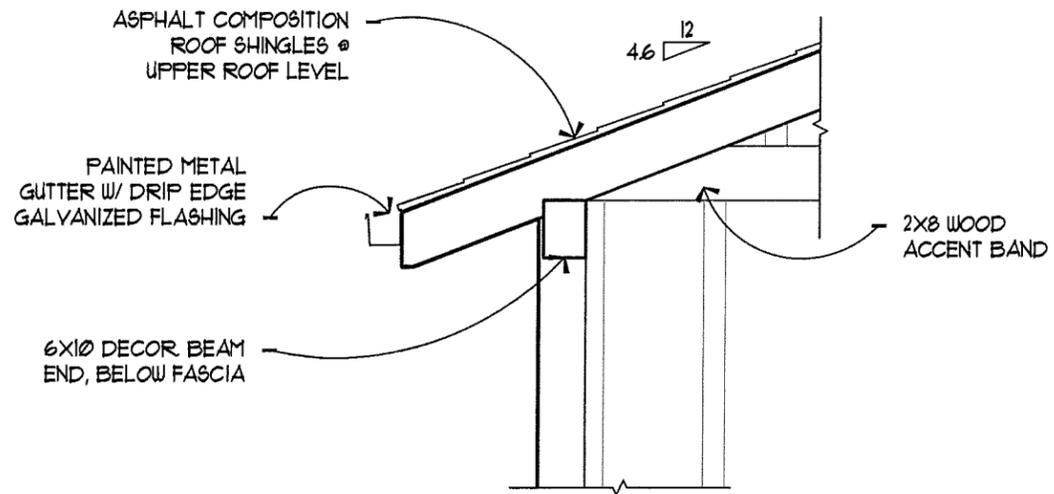
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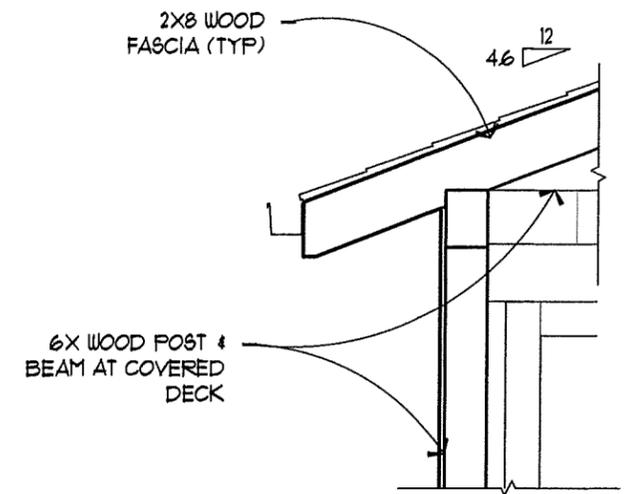
4 CASEMENT WINDOW
SCALE: 1/2" = 1'-0"



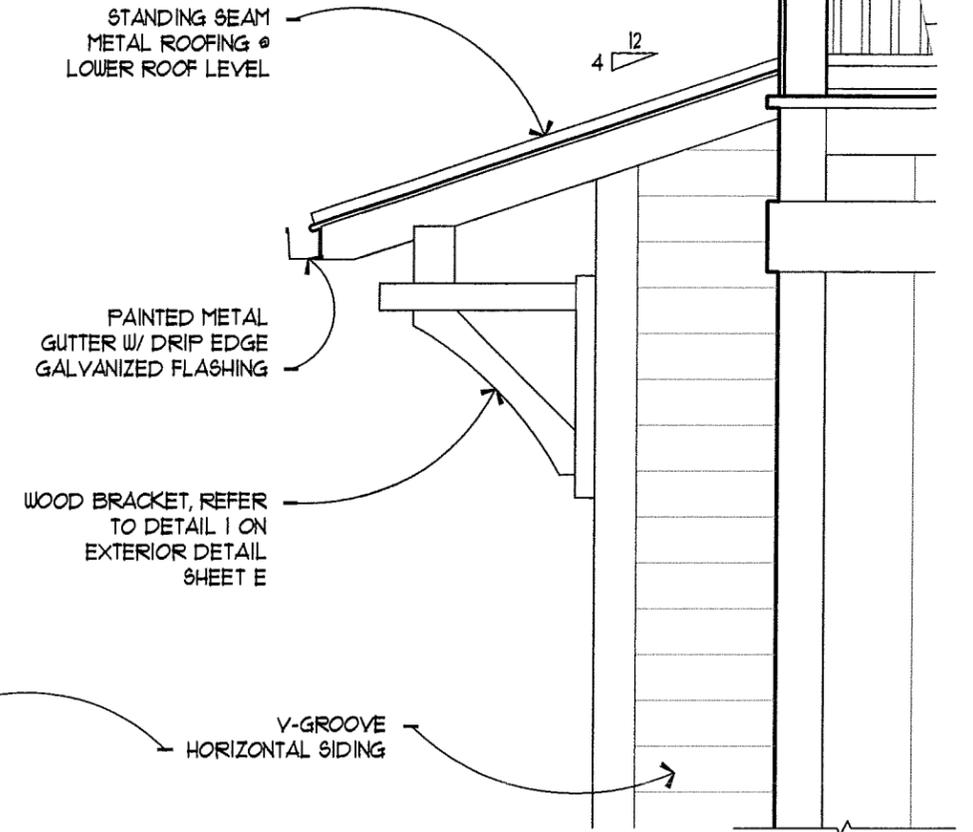
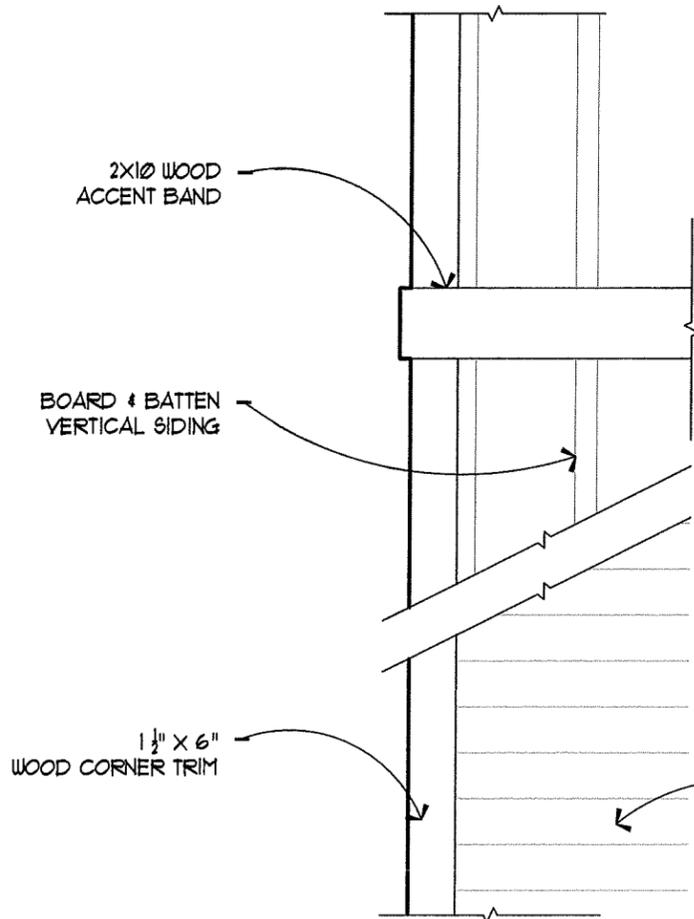
3 DOUBLE-HUNG WINDOW
SCALE: 1/2" = 1'-0"



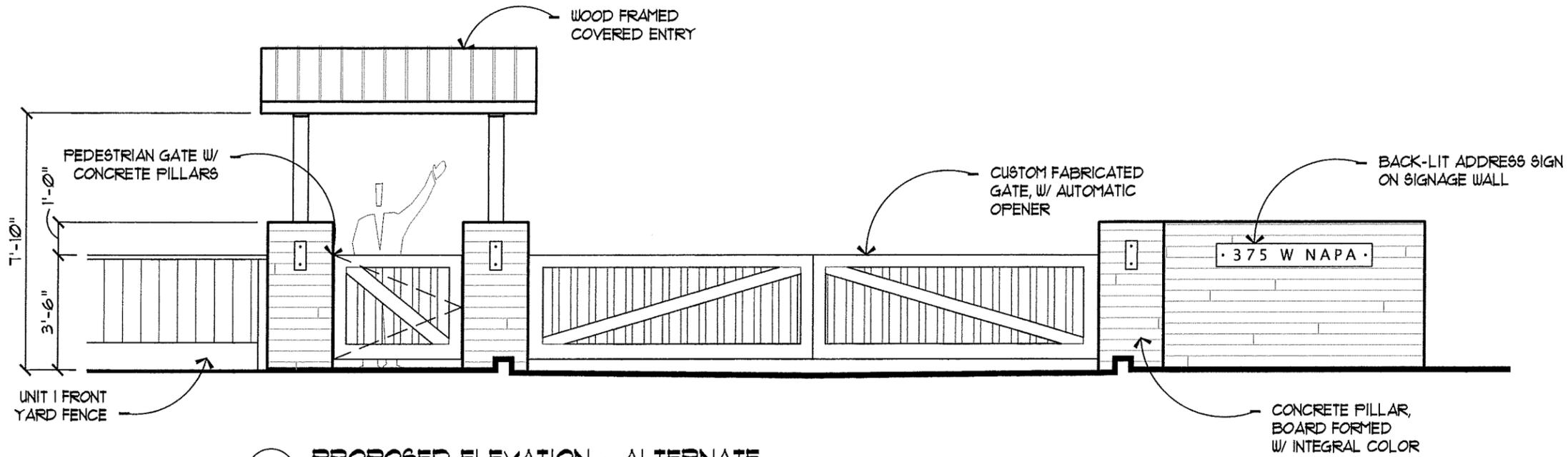
2 SIDING AND ACCENT TRIM
SCALE: 1/2" = 1'-0"



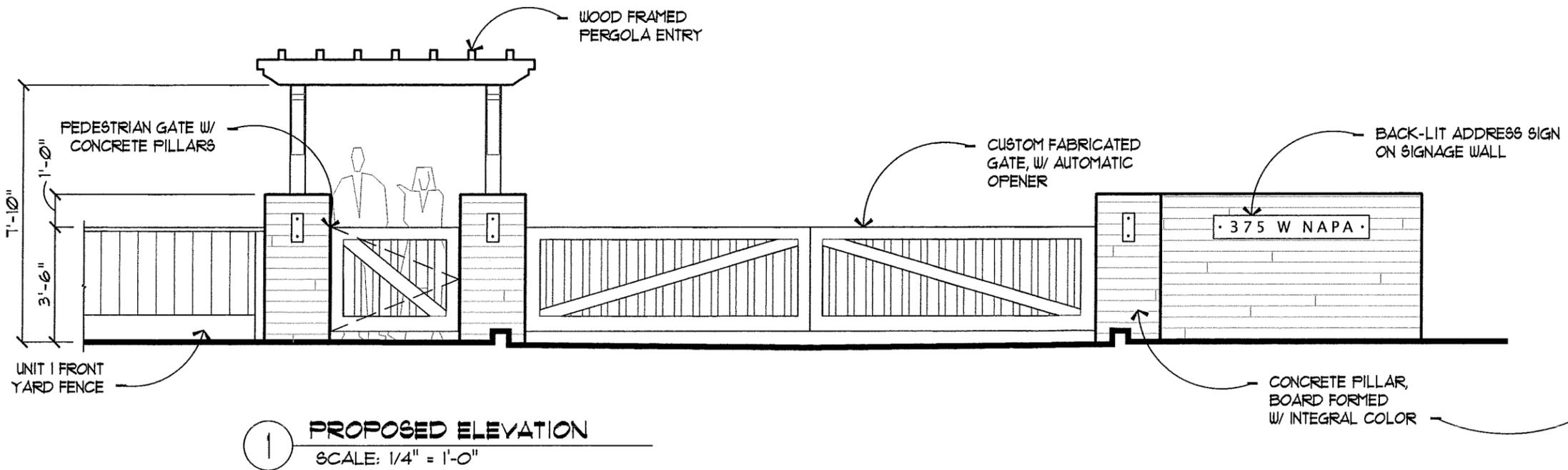
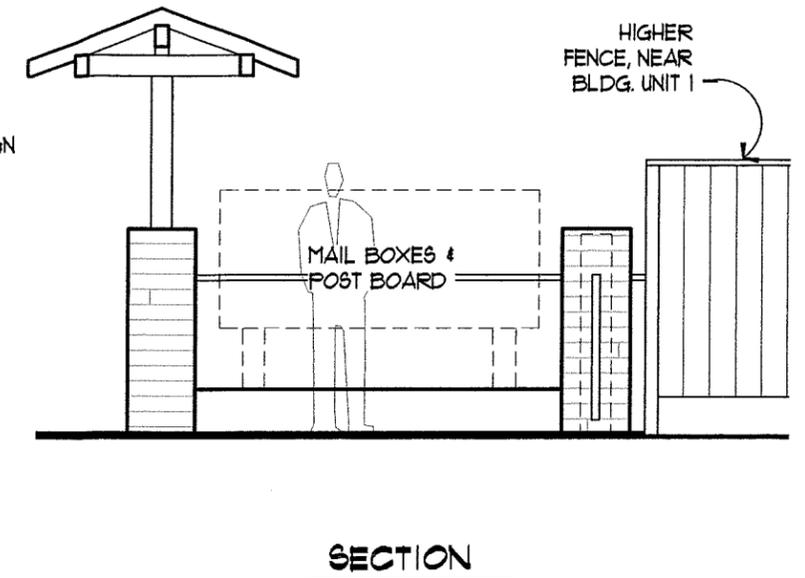
1 SIDING AND ACCENT TRIM
SCALE: 1/2" = 1'-0"



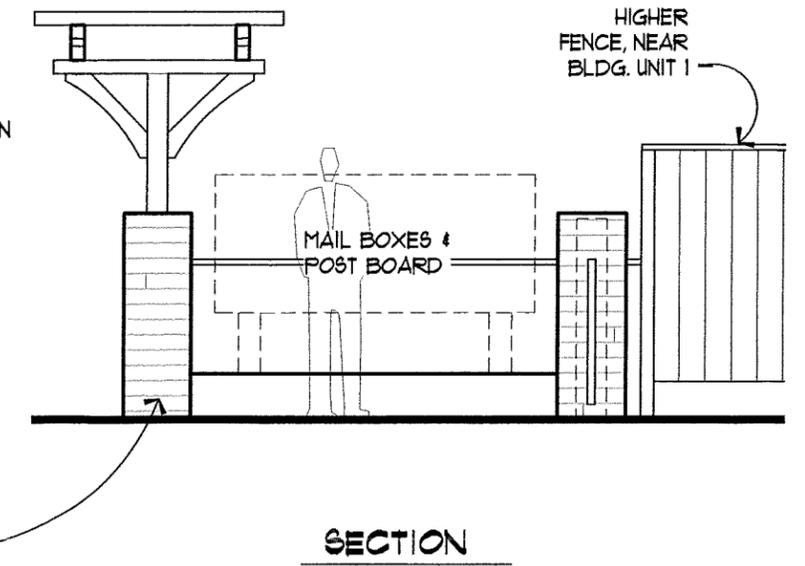
D EXTERIOR DETAILS
SCALE: AS NOTED



2 PROPOSED ELEVATION - ALTERNATE
SCALE: 1/4" = 1'-0"



1 PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



C SITE ENTRY GATE
SCALE: 1/4" = 1'-0"



A FRONT ELEVATION - TYPICAL UNITS
SCALE: 1/8" = 1'-0"



399 WEST NAPA ST.

NORTHEAST
UNIT 1

NORTHWEST
UNIT 2

399 WEST NAPA ST.

A STREET VIEW
SCALE: 3/32" = 1'-0"

LL13-3
LL13-4

23
Swiss Coffee

NOTE: CUSTOM WOOD ENTRY DOOR
COLOR TO VARY BETWEEN UNITS,
COLOR TBD



ELEVATION COLOR SAMPLE
SCALE: NTS.

ROBERT BAUMANN + ASSOCIATES
11/22/16

WEST NAPA CONDOS
COLOR SAMPLE SHEET

NOV 22 2016

White
001



Black Sable
060



TW Black
061



Dark Bronze Industrial
102



Antique Bronze
057

SIERRA PACIFIC (OR EQUAL)
ALUMINUM CLAD WINDOWS &
EXTERIOR DOORS IN WHITE,
DARK BRONZE, TW BLACK,
BLACK SABLE, ANTIQUE
BRONZE (T.B.D.)



ALUMINUM CLAD WINDOWS
(REF. EXT. ELEV'S. FOR MUNTIN PATTERN)



ALUMINUM CLAD DOORS

ROBERT BAUMANN + ASSOCIATES
11/22/16

WEST NAPA CONDOS
WINDOWS & EXTERIOR DOORS

NOV 22 2016



Cool Old Town Gray
SRI: 43 • 24ga & 22ga

Cool Zinc Gray
SRI: 39 • 24ga & 22ga

Cool Weathered Copper
SRI: 34 • 24ga & 22ga

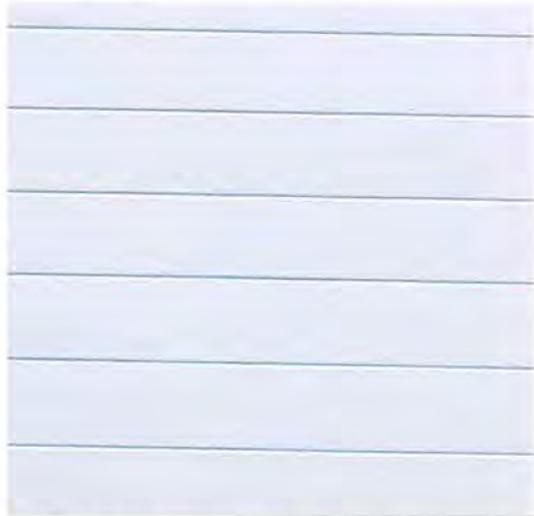
Cool Dark Bronze
SRI: 32 • 24ga & 22ga



STANDING SEAM METAL ROOFING
AEP 'SELECT SEAM' (OR SIM.) IN OLD TOWN GRAY OR
WEATHERED COPPER



ASPHALT COMPOSITION ROOF SHINGLES
OWENS CORNING 'DURATION PREMIUM' IN ONYX BLACK



Y-GROOVE HORIZONTAL SIDING
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)



BOARD & BATTEN VERTICAL SIDING
(REFER TO COLOR SAMPLE SHEET FOR PAINT COLOR)

A standing seam system
that can take the curves.

Select Seam®

CONCEALED FASTENER PANEL



Barbara Morse Wackford Community & Aquatic Complex | Elk Grove, CA

Select Seam is a performance-rated, non-structural, batten seam metal roof systems. The clean wide pan appearance makes Select Seam Narrow or Wide Batten ideal for classic architectural designs and Narrow Batten Select Seam can be curved for radius applications.

- Architectural standing seam panel.
- Narrow Batten coverage 12", 16" or 21 1/4"
- Wide Batten coverage 13 1/4", 17 1/4" or 22 1/2"
- Recommended minimum slope of 3:12.
- Gauges: 24ga and 22ga standard.
- Narrow Batten available field or factory curved.
- Can be installed over a variety of solid substrates.
- Subtle longitudinal striations between the ribs on 16" and wider panels reduce the appearance of oil canning.
- Optional factory applied sealant on Narrow Batten Select Seam.
- Available tapered for special architectural applications.
- Ideal for both new and roof-over-roof retrofit applications.
- Manufactured in Tacoma, WA and Fontana, CA.

Please refer to Product Index and Applications Guide on page 3 for more information.

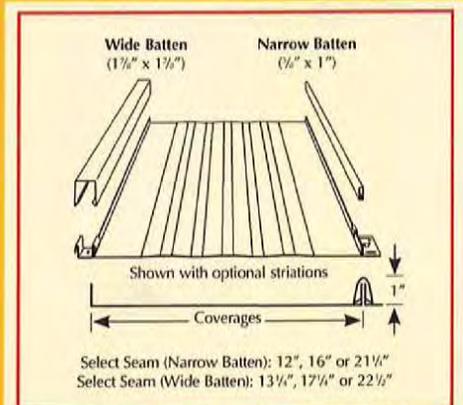


Select Seam®

Curved Select Seam
Narrow Batten

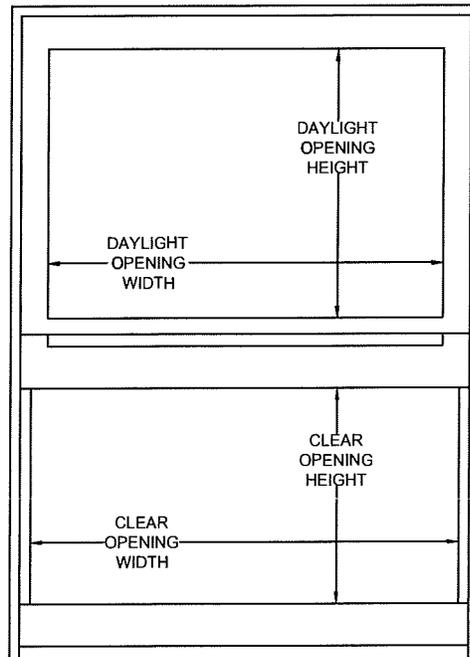


New Testament Church | Graham, WA



Clad Carmel Double Hung						
REQUIRED DIMENSIONS						
KNOWN DIMENSIONS		GLASS SIZE (actual)	FRAME SIZE	ROUGH OPENING	DAYLIGHT OPENING	CLEAR OPENING
	GLASS SIZE (actual)		W= + 4 7/8" H= (x2) + 7 3/4"	W= + 5 5/8" H= (x2) + 8 1/2"	W= - 0 7/8" H= - 0 7/8"	W= + 1 1/2" H= - 1"
	FRAME SIZE	W= - 4 7/8" H= - 7 3/4" (/2)		W= + 0 3/4" H= + 0 3/4"	W= - 5 3/4" H= - 9 1/2" (/2)	W= - 3 3/8" H= - 9 3/4" (/2)
	ROUGH OPENING	W= - 5 5/8" H= - 8 1/2" (/2)	W= - 0 3/4" H= - 0 3/4"		W= - 6 1/2" H= - 10 1/4" (/2)	W= - 4 1/8" H= - 10 1/2" (/2)
	DAYLIGHT OPENING	W= + 0 7/8" H= + 0 7/8"	W= + 5 3/4" H= (x2) + 9 1/2"	W= + 6 1/2" H= (x2) + 10 1/4"		W= + 2 3/8" H= + 0 1/8"
	CLEAR OPENING	W= - 1 1/2" H= + 1"	W= + 3 3/8" H= (x2) + 9 3/4"	W= + 4 1/8" H= (x2) + 10 1/2"	W= - 2 3/8" H= - 0 1/8"	

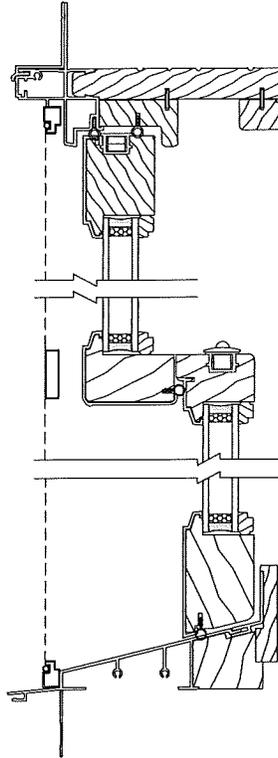
Note: All glass dimensions shown are for 1 lite units.



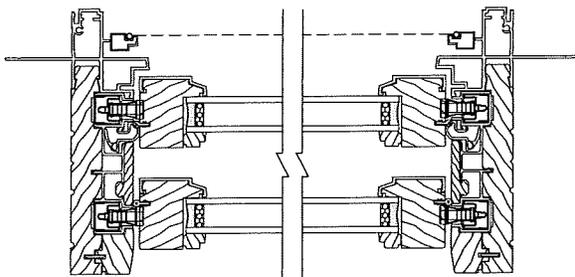
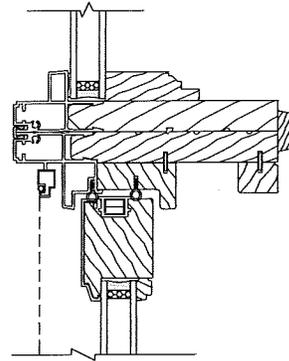
NOTE: Sierra Pacific Windows reserves the right to change specifications without notice.

Standard Section Details

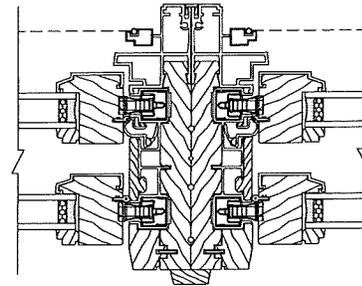
Vertical



Horizontal Mullion with Direct Glaze above



Horizontal



Vertical Mullion

Product Summary- Clad Carmel Double Hung

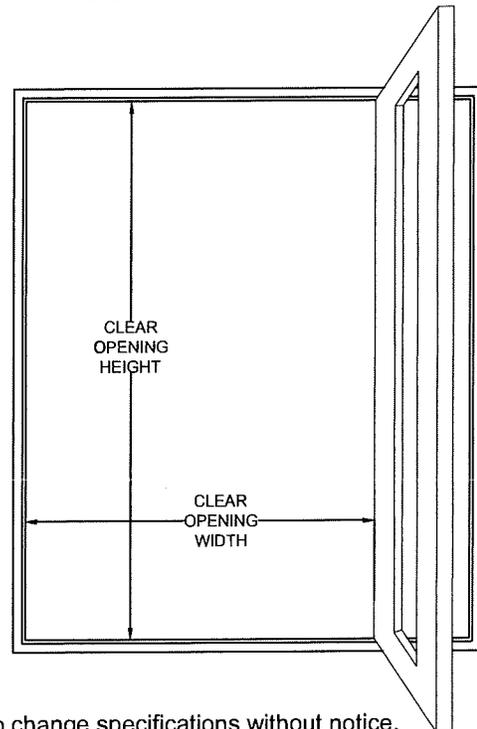
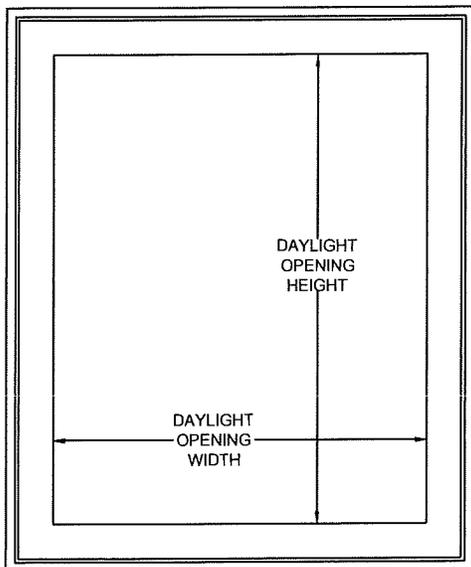
- FRAME** All frame components are manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir is available upon request and can be ordered in an optional distressed finish. The basic jamb width is 4 9/16". Factory-applied clear extension jambs are available for thicker walls. All exterior surfaces are covered with .062" extruded aluminum cladding. Clad frame corners are sealed with silicone and foam pads and mechanically fastened. Glass-filled nylon sill boots at bottom corners afford excellent moisture protection for side jambs. A continuous nailing flange is an integral part of the frame extrusion. The exterior of the frame clad is designed to accept retrofit trim systems or clad brickmould and sill nosing. All aluminum surfaces are finished to meet AAMA 2605 and 2604 specifications and are available in 35 Heritage, 5 Metallic, 5 Pearl Metallic, 6 Weathered, 8 Textured, 2 Industrial and 3 Anodized Collection colors, as well as custom colors. Interior surfaces are solid, clear, and suitable for staining or painting. All jamb backs are primed. An optional factory-applied interior prime coat is available.
- SASH** The sash is a full 1 1/2" thickness, manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir is available upon request and can be ordered in optional distressed finish. All sash corners have mortise and tenon joints, that are sealed and screwed. All exterior surfaces are covered with .062" extruded aluminum cladding. All aluminum surfaces are finished to meet AAMA 2605 and 2604 specifications and are available in 35 Heritage, 5 Metallic, 5 Pearl Metallic, 6 Weathered, 8 Textured, 2 Industrial and 3 Anodized Collection colors, as well as custom colors. Interior surfaces are solid, clear, and suitable for staining or painting. An optional factory-applied interior prime coat is available.
- DRIP CAP** All units are provided with factory-applied .062" extruded aluminum drip cap. Color matches frame color.
- WEATHERSTRIP** The Carmel Double Hung features a fixed, aesthetically-pleasing, concealed jambliner with flex hinge weatherstrip that securely holds the sash in place as it seals against the elements. Additional protection is provided by slip-coated flexible PVC bulb weatherstrips - two at the head, as well as one each at the checkrail and bottom rail. The stiles are lined with a ribbed PVC bulb weatherstrip that seals with the jambliner.
- HARDWARE** The balance system is composed of a dual block and tackle mechanism with nylon roller pulleys and high tension coil springs. Cam-style sash locks at the checkrail are factory-applied for security and positive closure. Units 42" and wider two sash locks. Jamb jacks are provided for precise positioning of side jambs for proper sash and balance operation. Checkrail tilt latches improve structural performance while allowing for easy tilt access for cleaning. Sash locks and sash lifts are high-pressure, die-cast zinc. Tilt latches are powder coated cast zinc and thermoplastic.
- GLAZING** Units are available with single or dual pane insulated glass with one lite, simulated divided lites, or airspace grilles. Standard glass is 3/4" overall, separated by warm edge spacer technology from Quanex. All standard tints and types of glass are available, as is the capillary breather tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a removable interior glazing bead; see Glazing in the Technical Section for more information.
- SIMULITE** Interior simulite bars are 5/8" wide Putty profile, 7/8", 1 5/16" or 2" wide Colonial or Contemporary profile and are available in Ponderosa Pine or Douglas Fir. Interior simulite bars are solid, clear, and suitable for staining or painting. Exterior simulite bars are made from extruded aluminum in either Colonial, Contemporary or Putty profile. Multiple simulite bar widths in Colonial or Contemporary profile can be used in the same unit to create unique lite patterns. Bars are permanently adhered to the glass surface with a very high bond adhesive tape. Insulated glass features an internal shadow bar to give the appearance of authentic divided lites.
- AIRSPACE GRILLES** Airspace grilles between the glass are available in 5/8" or 1" wide, champagne or white aluminum.
- SCREENS** Screens are constructed with an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh) or optional BetterVue or UltraVue screen mesh fabrics. The screen frame is installed in a channel on the frame extrusion and held in place with spring-loaded plungers. The frame color matches the exterior clad color. Screens are included with all operating units unless otherwise specified.



Clad Standard Casement Window						
		Narrow Sash REQUIRED DIMENSIONS				
KNOWN DIMENSIONS		GLASS SIZE (actual)	FRAME SIZE	ROUGH OPENING	DAYLIGHT OPENING	CLEAR OPENING
	GLASS SIZE (actual)		W= + 3 11/16" H= + 3 11/16"	W= + 4 7/16" H= + 4 7/16"	W= - 0 7/8" H= - 0 7/8"	W= - 5 13/16" H= + 0 1/2"
	FRAME SIZE	W= - 3 11/16" H= - 3 11/16"		W= + 0 3/4" H= + 0 3/4"	W= - 4 1/2" H= - 4 1/2"	W= - 9 1/2" H= - 4 3/16"
	ROUGH OPENING	W= - 4 7/16" H= - 4 7/16"	W= - 0 3/4" H= - 0 3/4"		W= - 5 1/4" H= - 5 1/4"	W= - 10 1/4" H= - 4 15/16"
	DAYLIGHT OPENING	W= + 0 7/8" H= + 0 7/8"	W= + 4 1/2" H= + 4 1/2"	W= + 5 1/4" H= + 5 1/4"		W= - 4 15/16" H= + 0 3/8"
	CLEAR OPENING	W= + 5 13/16" H= - 0 1/2"	W= + 9 1/2" H= + 4 3/16"	W= + 10 1/4" H= + 4 15/16"	W= + 4 15/16" H= - 0 3/8"	

		Wide Sash REQUIRED DIMENSIONS				
KNOWN DIMENSIONS		GLASS SIZE (actual)	FRAME SIZE	ROUGH OPENING	DAYLIGHT OPENING	CLEAR OPENING
	GLASS SIZE (actual)		W= + 5 3/16" H= + 5 3/16"	W= + 5 15/16" H= + 5 15/16"	W= - 0 7/8" H= - 0 7/8"	W= - 4 5/16" H= + 1"
	FRAME SIZE	W= - 5 3/16" H= - 5 3/16"		W= + 0 3/4" H= + 0 3/4"	W= - 6" H= - 6"	W= - 9 1/2" H= - 4 3/16"
	ROUGH OPENING	W= - 5 15/16" H= - 5 15/16"	W= - 0 3/4" H= - 0 3/4"		W= - 6 3/4" H= - 6 3/4"	W= - 10 1/4" H= - 4 15/16"
	DAYLIGHT OPENING	W= + 0 7/8" H= + 0 7/8"	W= + 6" H= + 6"	W= + 6 3/4" H= + 6 3/4"		W= - 3 7/16" H= + 1 7/8"
	CLEAR OPENING	W= + 4 5/16" H= - 1"	W= + 9 1/2" H= + 4 3/16"	W= + 10 1/4" H= + 4 15/16"	W= + 3 7/16" H= - 1 7/8"	

Note: All above dimensions are based on unit-callout as frame dimensions. All glass dimensions shown are for 1 lite units.

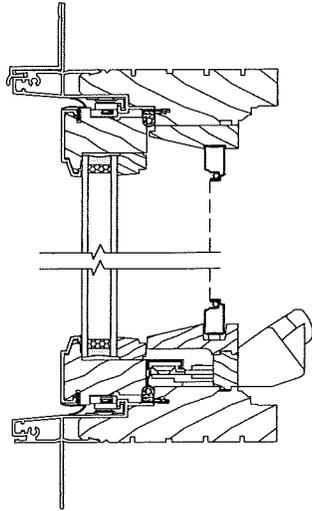


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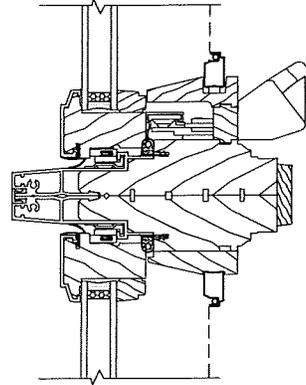
Standard Section Details

Operable Units

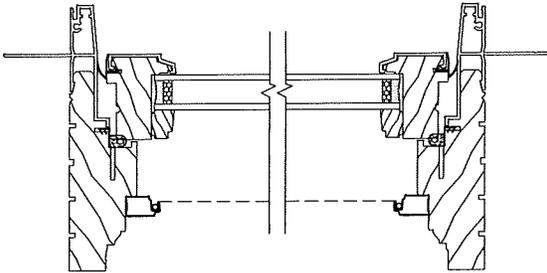
Colonial 4 9/16" Jamb - Narrow Sash



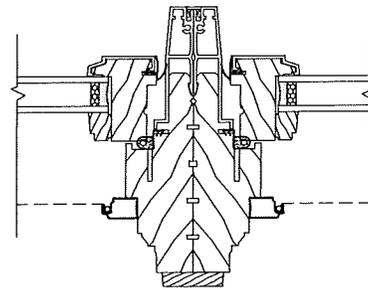
VERTICAL



HORIZONTAL MULLION



HORIZONTAL



VERTICAL MULLION

Product Summary- Clad Casement

- FRAME** All frame components are manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. Douglas Fir is available upon request and can be ordered in an optional distressed finish. The basic jamb width is 4 9/16", available in Colonial or Contemporary profiles. All basic jambs are milled with an interior kerf for recessed, bull-nosed window applications. Factory-applied clear extension jambs are available for thicker walls. All exterior surfaces are covered with .062" extruded aluminum cladding. Clad frame corners are sealed with silicone and foam pads and mechanically fastened. A continuous nailing flange is an integral part of the frame extrusion. The exterior of the frame clad is designed to accept retrofit trim systems or clad brickmould and sill nosing. All aluminum surfaces are finished to meet AAMA 2605 and 2604 specifications and are available in 35 Heritage, 5 Metallic, 5 Pearl Metallic, 6 Weathered, 8 Textured, 2 Industrial and 3 Anodized Collection colors, as well as custom colors. Interior surfaces are solid, clear, and suitable for staining or painting. An optional factory-applied interior prime coat is available.
- SASH** The sash is a full 1 3/4" thickness manufactured from kiln-dried Ponderosa Pine and preservative-treated in accordance with WDMA I.S.4. The sash is available in narrow (1 7/16") or wide (2 3/16") face width. Douglas Fir is available upon request and can be ordered in an optional distressed finish. All sash corners have mortise and tenon joints, that are sealed and screwed. All exterior surfaces are covered with .062" extruded aluminum cladding. All aluminum surfaces are finished to meet AAMA 2605 and 2604 specifications and are available in 35 Heritage, 5 Metallic, 5 Pearl Metallic, 6 Weathered, 8 Textured, 2 Industrial and 3 Anodized Collection colors, as well as custom colors. Interior surfaces are solid, clear, and suitable for staining or painting. An optional factory-applied interior prime coat is available.
- DRIP CAP** All units are provided with factory-applied, .062" extruded aluminum drip cap. Color matches frame color.
- WEATHERSTRIP** The perimeter of Sierra Pacific casement units are double weatherstripped. The compression-style frame weatherstrip is composed of closed cell foam, encapsulated in a seamless elastomeric skin. The leaf weatherstrip at the sash consists of a rigid base made from a 5% glass-filled polypropylene that reduces expansion and contraction; the flexible material is a thermal plastic elastomer that is slip coated to reduce friction.
- HARDWARE** Truth Encore™ hardware is standard and features a folding handle with a nesting cover. All exposed hardware components are coated with the Truth E-Gard® coating system. A hinge arm shoe is used in conjunction with the track that is an integral part of the frame extrusion. Sash locks and crank handles are high-pressure, die-cast zinc. Units 40" and taller have two sash locks. Tandem sash lock operation is available with the addition of an optional tie bar. Concealed snubbers are applied on the hinge stile opposite all sash locks for improved performance. The roto operator has hardened steel gears and operator arm. The casement opens to 90 degrees to allow easy cleaning or removal of sash from inside. A stainless steel hardware package is available for coastal applications.
- GLAZING** Units are available with single, dual pane insulated, or triple pane insulated glass with one lite, simulated divided lites, or airspace grilles. Triple pane glass is only available in wide sash units. Standard glass is 3/4" overall, separated by warm edge spacer technology from Quanex. All standard tints and types of glass are available, as is the capillary breather tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a removable interior glazing bead; see Glazing in the Technical Section for more information.
- SIMULITE** Interior simulite bars are 5/8" wide Putty profile, 7/8", 1 5/16" or 2" wide Colonial or Contemporary profile and are available in Ponderosa Pine or Douglas Fir. Interior simulite bars are solid, clear, and suitable for staining or painting. Exterior simulite bars are made from extruded aluminum in either Colonial, Contemporary or Putty profile. Multiple simulite bar widths in Colonial or Contemporary profile can be used in the same unit to create unique lite patterns. Bars are permanently adhered to the glass surface with a very high bond adhesive tape. Insulated glass features an internal shadow bar to give the appearance of authentic divided lites.
- AIRSPACE GRILLES** Airspace grilles between the glass are available in 5/8" or 1" wide, champagne or white aluminum.
- SCREENS** Screens are constructed with an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh) or optional BetterVue or UltraVue screen mesh fabrics. The frame color matches the hardware color and screens are spring-loaded for easy removal. The Genius roll-up screen is also available in standard 18 x 16 fiberglass or BetterVue screen fabric.





City of Sonoma
Design Review and Historic
Preservation Commission
Agenda Item Summary

DRHPC Agenda 3
Item:

Meeting Date: 12/20/16

Applicant

Joan Howarth

Project Location

252 West Spain Street

Historical Significance

- Listed on National Register of Historic Places, including Sonoma Plaza district (Significant)
 - Listed on California Register of Historic Resources (Significant)
 - Listed within Local Historic Resources Survey (Potentially Significant)
 - Over 50 years old (Potentially Significant)
Year built: circa 1873 moved 1960
-

Request

Design review of exterior modifications for a church located at 252 West Spain Street.

Summary

Site Description: The subject property is a 130,680 square foot parcel located on the north side of West Spain Street, mid-block between Second Street West and Third Street West. The property is developed with a historic building (the Frist Congregational Church, originally constructed in 1873 and moved to its current location in 1960). A recent historic resource evaluation prepared by ADP Preservation LLC determined that the First Congregation Church is eligible for listing on California Register of Historical Resources. The property is designated Low Density Residential by the General Plan and has a corresponding R-L zoning.

Proposed Project: The main elements of the project are as follows: 1) replace the side windows on the east and west elevations with Marvin “pebble gray” color metal clad, dual pane, double-hung sash with a trefoil detail at the top on the exterior and replace the purplish glass with clear glass within the existing trim and moldings (see attached manufacture specification sheet); 2) replace the entry doors on both the east and west elevations with historically compatible paneled doors (see attached example of custom made doors); 3) replace the east entry awning with a raked canopy roof; and, 4) add a new Kolbe & Kolbe “sand” color metal clad, dual pane, clear glass, Gothic window on the north elevation (similar to the stained-glass window on the south gable of the building) (see attached example of custom made window).

Design Review: Alterations to existing structures requiring a Building Permit that result in substantive changes to a primary or street-side building elevation located within the Historic Overlay Zone are subject to architectural review in order to assure that the new construction complies with the following: (1) the required standards, design guidelines, and ordinances of the city; (2) minimize potential adverse effects on surrounding properties and the environment; (3) implement General Plan policies regarding community design; and, (4) promote the general health, safety, welfare, and economy of the residents of the City. (§19.54.080.A).

Factors to be considered: In the course of Site Design and Architectural Review, the consideration of the review authority shall include the following factors:

1. The historical significance, if any, of the site or buildings or other features on the site;
A Historic Resources Evaluation was completed for the property in November, 2016. This evaluation found that the First Congregational Church is eligible for listing on the California register, which means that the residence is an “historical resource” under CEQA. In addition, a Determination of Consistency was completed for the property in December, 2016. This determination found that the first Congregational Church project is in compliance with the Secretary of the Interior’s Standards for Rehabilitation, and therefore, would have no significant impact on the historic resource.
2. Environmental features on or adjacent to the site;
Staff is not aware of any environmental features on or adjacent to the site.

3. The context of uses and architecture established by adjacent development;
While one of the adjacent properties to the east is developed with residential units, the majority of the property is surrounded by the General Vallejo State Park. The proposed project will not alter street views of the building. Setback, coverage, and FAR limitations are all met in the proposal.
4. The location, design, site plan configuration, and effect of the proposed development.
A Determination of Consistency was completed for the property in December, 2016. This determination found that the First Congregational Church project is in compliance with the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings, and therefore, would have no significant impact on the historic resource. As noted above, the modifications to the building will not be visible from the street and it complies with all applicable requirements of the Development Code.

In general, it is staff's conclusion that the applicant has successfully applied the applicable design guidelines in developing the plan for the rehabilitated structure.

Site Design & Architectural Review: While the proposal complies with the quantitative zoning standards noted above, the project is subject to site plan and architectural review by the DRHPC because the building was constructed prior to 1945 and lies within the Historic Overlay Zone. In this case, because the proposal is limited to design review, the DRHPC is responsible for reviewing and acting upon the elevation details and exterior materials.

CEQA Compliance: As a discretionary project, the proposal is subject to the requirements of the California Environmental Quality Act (CEQA). As previously noted, a historic resources evaluation and determination of consistency were prepared for the structure and suggested that it is eligible for the California register. Pursuant to Section 15331 of the CEQA Guidelines, rehabilitation and additions to an historical resource, may be considered categorically exempt from the provisions of CEQA provided the improvements are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Class 31 – Historical Resource Restoration/Rehabilitation). Accordingly, an analysis was conducted to determine whether the proposal is consistent with the Standards (refer to attached Determination of consistency with "Secretary's Standards" for renovation of First Congregational Church, 252 West Spain Street, Sonoma, CA). The analysis that the proposed project meets the Secretary of the Interior's Standards, which means that application is considered to be categorically exempt from CEQA.

Required Findings: As set forth in §19.54.080.H of the Development Code, in order to approve an application for design review in the Historic Overlay Zone, the Design Review and Historic Preservation Commission must make the following findings:

1. The project complies with applicable policies and regulations, as set forth in this Development Code (except for approved Variances and Exceptions), other City ordinances, and the General Plan.
The project complies with the applicable policies and regulations set forth in the Development Code.
2. On balance, the project is consistent with the intent of applicable design guidelines set forth in this Development Code.
The project is consistent with the applicable design guidelines of the Development Code in that the existing structure will be rehabilitated to reinforce the authentic historic character of the Vallejo District. The project responds appropriately to the context of adjacent development, as well as existing site conditions and environmental features. The project proposes a remodeled church, which is consistent with the adjacent development, and complies with height and setback requirements.
3. The project will not impair the historic character of its surroundings.
The front and side elevations of the original structure will not be altered, except for minor changes (replace side windows, replace entry doors, replace awning, and install new pane glass window). These modifications will not alter public views of the church and it complies with height, setback, coverage and other applicable limitations of the Development Code.
4. The project substantially preserves the qualities of any significant historic structures or other significant historic features on the site.
A historic resource evaluation and determination of consistency with Secretary's Standards were prepared for the property, which concluded that the modifications would have no significant impact on the historic resource.
5. The project substantially complies with the applicable guidelines set forth in Chapter 19.42 SMC (Historic Preservation and Infill in the Historic Zone).
In staff's view, the project complies with SMC 19.42 in that the existing structure will be rehabilitated to improve the historic integrity of the church.

6. The project substantially complies with any applicable preservation plan or other guidelines or requirements pertaining to a local historic district as designated through SMC 19.42.020.

The project is not located on a local historic district.

In summary, it is staff's view that the modified project is consistent with the findings required for approval of the application for Site Design and Architectural Review.

Other permits required: In addition to the requirements of this title, the proposal shall be in conformance with applicable requirements of the 2013 California Building Code and where required by the 2013 California Building Code, shall obtain a building permit prior to installation.

Commission Discussion

Design and Historic Preservation Review Commission Action

Approved Disapproved Referred to: _____ Continued to: _____

Roll Call Vote: _____ Aye _____ Nay _____ Abstain _____ Absent

DRHPC Conditions or Modifications

Attachments:

1. Project narrative.
2. Determination of Consistency
3. Historic Resources Evaluation
4. Picture example of doors
5. Manufacture specification sheet for double-hung windows
6. Example of custom gothic window
7. Pictures of existing structure

cc: Joan Howarth
 850 Donner Street
 Sonoma, CA 95476

 First Congregational Church of Sonoma
 252 West Spain Street
 Sonoma, CA 95476

 Patricia Cullinan, via email

 Alice Duffee, via email

 SLHP Historic Survey, via email

 Mary Martinez, via will call at City Hall

First Congregational Church of Sonoma
252 West Spain Street, Sonoma, California

Sanctuary Renovation & Barrier Removal Project Description

The First Congregational Church of Sonoma was founded in 1869, the church was built in 1873 on Broadway near Patten Street. It is a Gothic Revival or Carpenter Gothic, wood-framed church with a steeply pitched roof and a Gothic stained glass window. Originally it had a substantial bell tower. The church was moved from Broadway to its present site on West Spain Street in 1960. The bell tower was demolished, the lower level below the church was eliminated and the side windows were altered with steel sash in the middle of each one. Other adjacent buildings were built in and since the 1960's.

The congregation wishes to make the sanctuary safe, welcoming and fully accessible. Other considerations are flexible seating, better lighting, views to the outdoors and better energy efficiency.

Although the church has lost many of its historic attributes, the congregation feels that it is important to keep its present historic character.

The current proposal of the congregational is:

- to level the sanctuary floor for accessibility and flexibility of use;
- to bring the stairs, ramp and handrails up to current ADA regulations;
- to replace the side windows with Marvin "Pebble Gray" color metal clad, dual pane, double-hung sash with a trefoil detail at the top on the exterior and replace the purplish glass with clear glass within the existing trim & moldings;
- to replace the entry doors with more historically compatible paneled doors;
- to replace the East entry awning with a bracketed canopy roof;
- to add a new Kolbe & Kolbe "Sand" color metal clad, dual pane clear glass Gothic window facing north similar to the stained glass Gothic window on the South side of the church. The original Gothic window is to retain its Teal color.

Adrian Martinez Architect AIA
Sonoma, California

Revised: 12.09.16

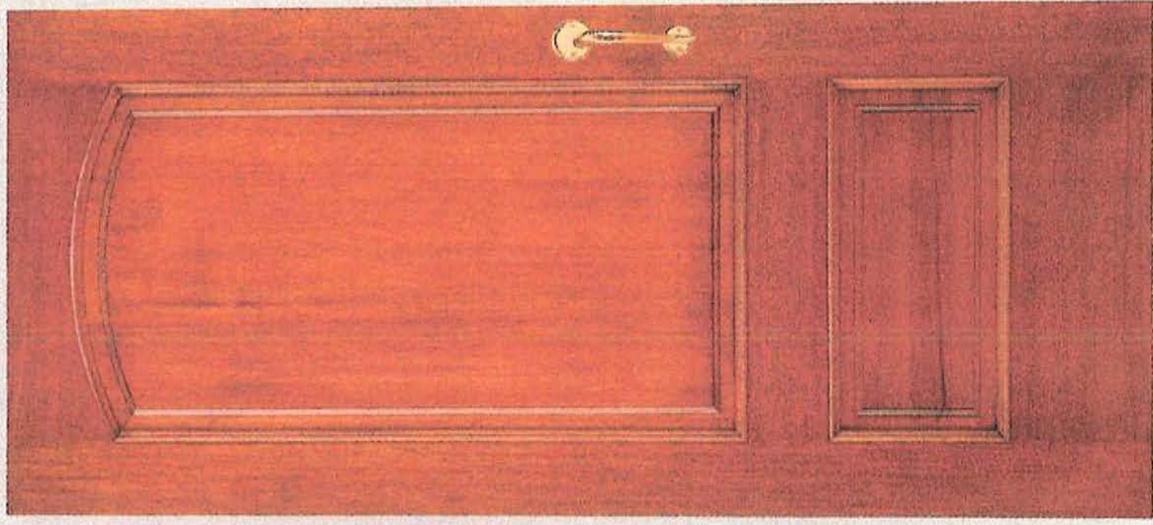
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FIRST CONGREGATIONAL / EAST & WEST ENTRY DOORS (PAINTED)

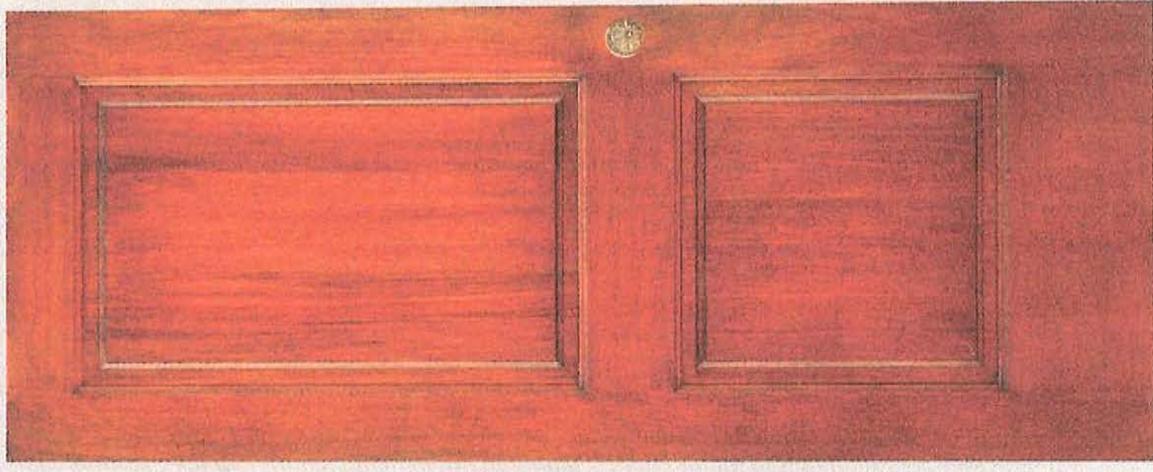
clear beveled glass clear beveled glass clear beveled glass

THE EASTSIDE COLLECTION

All styles in this collection are available as interior and exterior doors - raised or flat panels with or without applied moulding.



607 Exterior or Interior door
- Profile H3 (shown)



601 Interior or Exterior door
* - Profile H1 (shown)

DEC 0 6 2016



glass



glass

FIRST CONGREGATIONAL EAST & WEST DOUBLE-HUNG WINDOWS



Clad Tilt Pacs

Unit Features

Clad Tilt Pac: CTP

Clad Magnum Tilt Pac: CMTP

Sash:

- Double Hung Tilt Pac
 - Sash thickness: 1 5/16" (33)
 - Top rail width: 2 15/32" (83)
 - Bottom rail width: 3 3/4" (95)
 - Stile width: 1 25/32" (45)
- Magnum Double Hung Tilt Pac
 - Sash thickness: 1 3/4" (44)
 - Top rail width: 2 1/4" (57)
 - Bottom rail width: 3 7/8" (98)
 - Stile width: 2 1/4" (57)
 - Bottom rail bevel 14 degrees
- Removable exterior glazing stops

Hardware:

- Lock: high pressure zinc die-cast cam lock and keeper
 - Optional keyed lock
 - Two locks on glass sizes of 36" (914) and wider
 - Color: Satin Taupe
 - Optional: Bronze, White, Plated Brass, Antique Brass, Satin Chrome, Oil Rubbed Bronze, Satin Nickel, Polished Chrome
- Double Hung Tilt Pac Balance System: coil spring block and tackle with nylon cord and fiber filled nylon clutch
- Double Hung Magnum Tilt Pac: double coil spring block and tackle with nylon cord and fiber filled nylon clutch
- Jamb track: vinyl extrusion, foam backing
 - Color: Beige or White
- Sash retainer plate: standard for magnum units, optional for double hung - polycarbonate theroplastic
 - Color: Bronze or White
- Optional sash lifts: high pressure zinc die-cast
 - Color: Satin Taupe
 - Optional color: Bronze, White or Brass

Weather Strip:

- Double Hung weather strip: Dual durometer double leaf at check rail; bulb type dual durometer weather strip at bottom rail
- Double Hung Magnum weather strip: Continuous leaf weather strip at head jamb parting stop which seals against top sash; dual durometer double leaf at check rail; bulb type dual durometer weather strip at bottom rail
- Color: beige for both product types

Insect Screens:

- Full sized extruded aluminum screen is standard
 - Optional half screen
 - Aluminum surround to match the exterior cladding
 - All screens are shipped loose
- Screen Mesh: Charcoal fiberglass
 - Optional Screen Mesh: Charcoal Aluminum Wire, Black Aluminum Wire, Bright Aluminum Wire, Bright Bronze Wire or Charcoal High Transparency (CH Hi-Tran) fiberglass

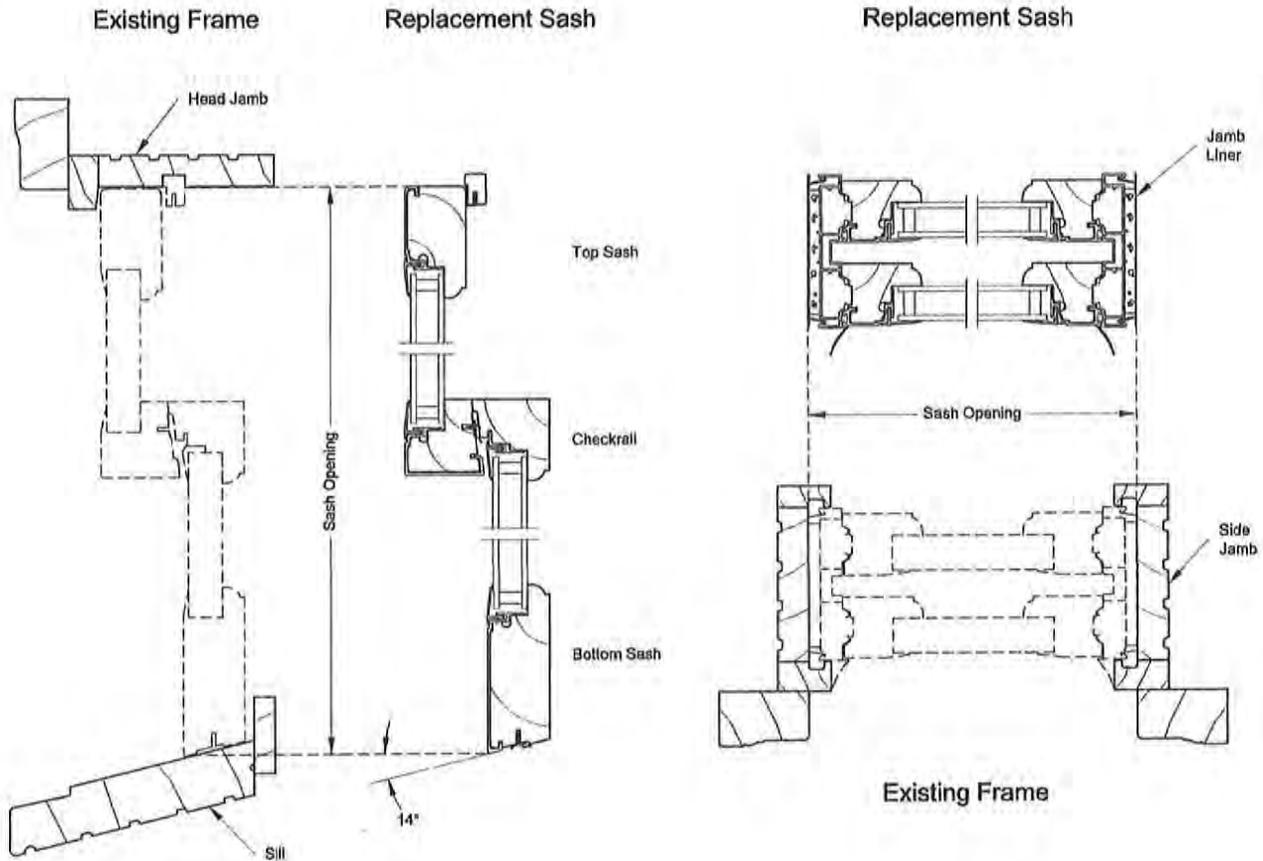
Glass and Glazing:

- Glazing method: single glaze, single glazed with energy panel or hermetically sealed insulated glass
- Glazing seal: silicone glazed
- Standard glass is Insulating Low E2 Argon or Air
- Optional glass types: Low E1 Argon or without Argon, Low E3 Argon or without Argon, clear, tints, tempered, obscure and decorative glass options
- Insulated glass will be altitude adjusted for higher elevations, Argon gas not included

DEC 0 11 2016

Tilt Pac Measurements

Scale: 3" = 1'0"



Instructions:

Follow these steps to measure an opening for Tilt Pac Replacement Sash

1. To find the sash opening height:
If the old window has wood blocks holding the top sash in place, remove them. Lower the top sash for measuring clearance, then measure the height of the window from where the top sash meets the head jamb to where the bottom sash meets the sill when the bottom sash is fully closed.
2. To find the sash opening width:
Take an inside measurement of the frame from jamb to jamb.
3. To find the sill angle:
Raise the bottom sash and place a carpenter's protractor on the sill, the angle will register. Marvin's standard bottom rail angle is 14 degrees, other angles must be specified.

NOTE: Double Hung sash shown above. Instructions and measuring locations apply to Single Hung, Magnum Double / Single Hung sash.

DEC 10 2018

FIRST CONGREGATIONAL / NORTH CUSTOM GOTHIC WINDOW

HERITAGE SERIES | RADIUS

1-15/16" brickmould
applied as standard



RADIUS STANDARD FEATURES

- 1-3/4" thick sash
- Overall jamb width is 4-9/16" (basic box width matches the unit being complemented)
- 3" straight legs on half-circles
- Constructed of pine, with pine interior stops and wood mull casings on mullled units
- 7/8" H^oK LoE²-270 insulating glass^o
- Glazing is sash set to the interior with wood glazing beads
- 1-15/16" exterior brickmould applied
- All exterior wood parts are preservative-treated
- Exterior frame and sash are latex primed
- Fully weatherstripped for a tight seal
- Standard radius shapes include quarter-circles, half-circles, full-circles, ovals and ellipticals

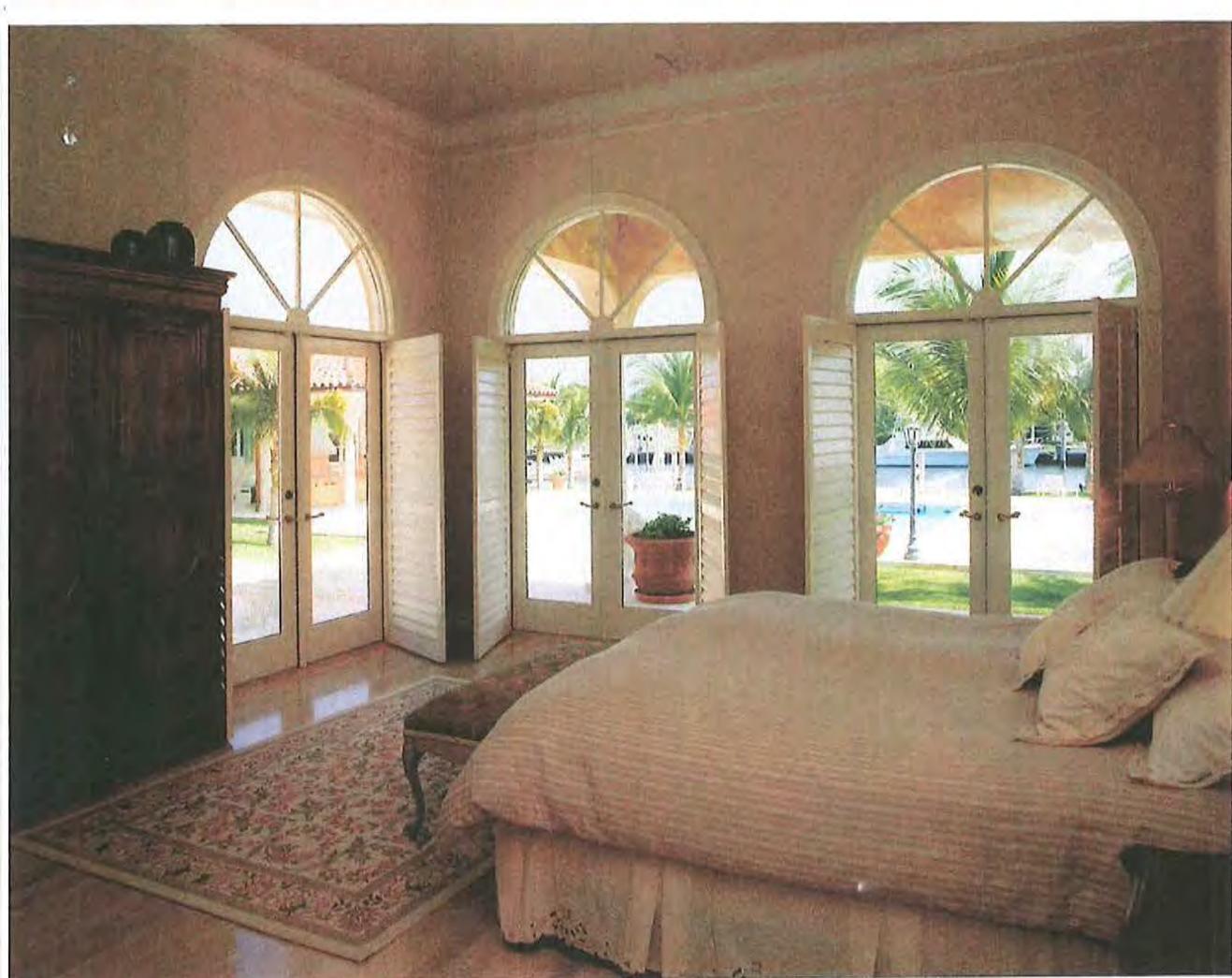
NOTES:

All measurements are nominal.

^o Argon gas may not be included with units to be installed in or shipped through high altitude areas.



DEC 06 2016



RADIUS OPTIONAL FEATURES

GLASS:

- H°K LoE² -240*
- H°K LoE³ -366*
- Patterned-, bronze- or gray-lite
- Tempered or laminated
- Other options standard to the industry

GRILLES:

- Grilles-in-the-air-space
- Interior removable wood grilles with 7/8" or 1-1/8" bars and full surrounds
- PDL with 5/8", 7/8", 1-1/8", 1-3/4" or 2-1/4" bars
- Cutlite with 5/8" H°K LoE² insulating glass and 1-1/8" bars**

EXTERIOR FINISHES:

- K-Kron II high performance exterior finish

OTHER OPTIONS: (custom options are also available)

- Other wood species
- Custom shapes such as bell-tops and gothic-tops
- Available with a clad profile
- Ovolo profile glazing beads and interior grille bars
- Interior prefinishing
- Interior casing
- 3-1/2" flat or profiled brickmould, backband on 3-1/2" brickmould and other custom millwork (details on pg. 12)
- Projected sill nosing, extended sill horns or no nosing on units
- Glazing may be direct set
- Extended legs or no legs on half-circles
- Extension jambs (up to 12" applied, over 12" shipped loose for field application)
- Galvanized steel installation clips
- High performance or K-Force impact performance modification

NOTES:

All measurements are nominal.

* Argon gas may not be included with units to be installed in or shipped through high altitude areas.

** Argon gas may not be included, depending on lite size.

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Glass

- Double or triple panes
- LoE coating + argon
- Options to meet specific needs

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EXTERIOR

INTERIOR

GLASS

DIVIDED LITES

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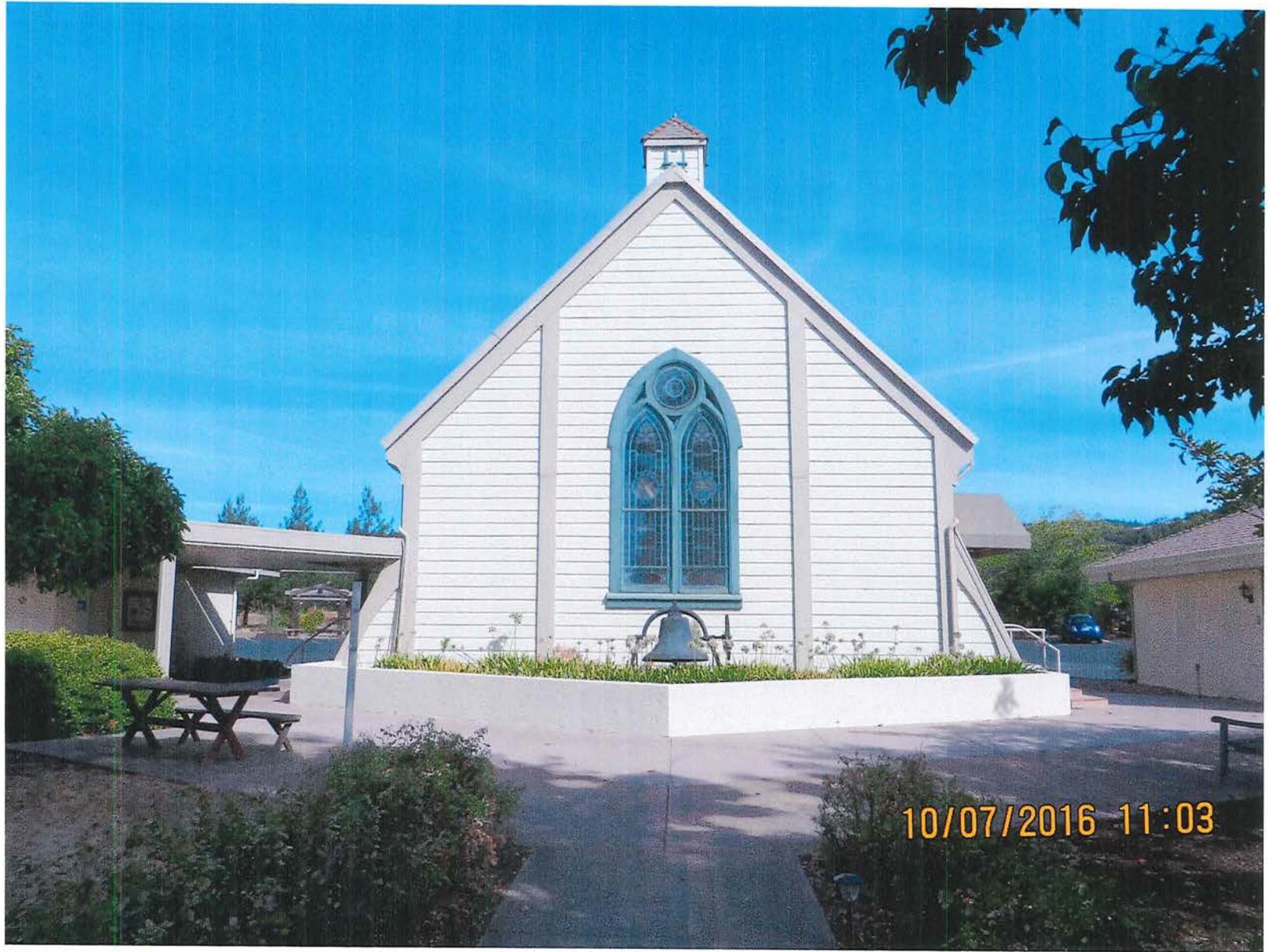




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EAST & WEST DOUBLE-HUNG
WINDOWS
MARVIN "PEBBLE GRAY"



NORTH GOTHIC WINDOW
KOLBE & KOLBE "SAND"

DEC 09 2016

FIRST CONGREGATIONAL CHURCH of SONOMA
ADRIAN MARTINEZ / ARCHITECT AIA 12.09.16



APD Preservation LLC

RECEIVED

DEC 06 2016

CITY OF SONOMA

6 December 2016

Joan Howarth
First Congregational Church
howarth.joan@gmail.com

Subject: Determination of consistency with "Secretary's Standards" for renovation of First Congregational Church, 252 West Spain Street, Sonoma, CA

Dear Ms. Howarth:

I have reviewed the proposed renovation project for the First Congregational Church at 252 West Spain Street in Sonoma, CA as presented in Adrian Martinez's "Sanctuary Renovation & Barrier Removal Project Description." This letter offers my determination that the project **is consistent** with the "Secretary of the Interior's Standards and Guidelines for Rehabilitation" (SOI), and, therefore, would have **no significant impact** on the historic resource.

The First Congregational Church, as it appears today, is 56 years old, is within the City of Sonoma's Historic Overlay Zone, and is included in the Sonoma League for Historic Preservation's "Historic Resource Survey). The building **qualifies for inclusion in the California Register** based on its association with an organization significant to the history of Sonoma and its architectural character. The building retains sufficient integrity to convey its historic significance. At the same time, the inclusion of this building in the League Survey also renders it an "historic resource" under the provisions of the California Environmental Quality Act (CEQA).

The building's **character defining features** are: gable-roofed rectangular form, shaped brackets at the eaves, buttresses along both long sides, stained glass window on the south elevation, elongated pairs of windows with trefoil upper sash, and applied shallow pilasters on the south elevation.

The proposed modifications include:

- leveling the sanctuary floor for accessibility and flexibility of use;
- bringing the stairs, ramps and handrail up to current ADA standards;
- replacing the side windows with dual pane, double-hung sash within the existing trim and moldings and with replicate trefoil detail on top;
- replacing the entry doors with more historically compatible paneled doors;
- replacing the East entry awning with a bracketed canopy roof;
- and adding a dual pane, clear glass, Gothic-style window facing North (similar to the stained-glass window on the South gable of the building).

Based on the analysis of the consistency of the proposed project with the "Secretary of the Interior's Standards for Rehabilitation" and the City's guidelines as outlined in the Municipal Code, the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) and CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the "Secretary of the Interior's Standards for Rehabilitation" in that:

- the building would remain in its historic ecclesiastical use;
- the project would not create a false sense of historicism;
- the proposed project would not adversely affect those elements of the building that render it a historically



APD Preservation LLC

significant (location, setting, materials, craftsmanship, feeling, association), and, thus, would not “materially impair” the church or its surroundings;

- the character defining features, materials, finishes, and construction techniques would not be impacted, though they would be repaired and replaced in kind where necessary (particularly the trefoil windows);
 - the proposed replacement of the doors impacts non-historic materials;
 - the proposed leveling of the sanctuary floor does not impact character defining features;
 - the proposed modifications to the handicapped ramp, stairs and handrail do not impact historic or character defining features;
- the proposed new canopy roof over the East entrance constitutes a reversible change and affects areas of the building previously impacted by the application of the current canvas awning;
- the proposed new window at the rear of the building (North elevation) is compatible with the older elements of the building in terms of style and scale, and is clearly recognizable as a new addition because of its use of clear glass instead of stained glass.

The project would allow for the continued use of this building in its historic function and represents an historically sensitive renovation, consistent with both the individual structure and the surrounding historic overlay zone.

I hope you find this guidance helpful. Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,

Alice P. Duffee
APD Preservation LLC

cc: Adrian Martinez
Wendy Atkins

Historic Resource Evaluation
First Congregational Church,
252 West Spain St., Sonoma, California
(APN 018-151-011, Pueblo Lots 29, 30, 11 & 12)



Prepared for:

First Congregational Church
252 West Spain Street
Sonoma, CA 95476
Howarth.joan@gmail



Prepared by:

Alice P. Duffee, Historic Preservation Planner
APD Preservation LLC
November 2016

NOV 28 2016

TABLE OF CONTENTS

<u>PROJECT OVERVIEW & EXECUTIVE SUMMARY</u>	<u>3</u>
<u>METHODOLOGY</u>	<u>3</u>
<u>EVALUATOR QUALIFICATIONS</u>	<u>4</u>
<u>SITE LOCATION</u>	<u>4</u>
<u>DESCRIPTION</u>	<u>5</u>
<u>HISTORICAL CONTEXT OF SONOMA</u>	<u>6</u>
<u>HISTORY OF FIRST CONGREGATIONAL CHURCH</u>	<u>6</u>
<u>DETERMINATION OF ELIGIBILITY</u>	<u>9</u>
CRITERIA FOR LISTING IN THE CALIFORNIA REGISTER	10
INTEGRITY ANALYSIS	11
CHARACTER DEFINING FEATURES	12
<u>CONCLUSION</u>	<u>12</u>
<u>RESOURCES CONSULTED</u>	<u>13</u>
<u>APPENDIX A: PHOTOGRAPHS</u>	<u>15</u>
<u>APPENDIX B: SURVEY FORM FROM LEAGUE SURVEY (1978, UPDATED 1998)</u>	<u>31</u>

Project Overview & Executive Summary

The congregation of the First Congregational Church of Sonoma, at 252 Spain Street West, is assessing the historic character of the property in anticipation of renovating the building. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. This report is the result of that evaluation.

The church is on what was originally Lots 29, 30, 11 and 12 of the Pueblo Map of Sonoma. The land was part of General Mariano Vallejo's homestead, "Lachryma Montis." Following Vallejo's death on January 18, 1890, his widow, Benicia Vallejo, inherited the property. One year later (January 18, 1891), Benicia died, leaving the property to her two youngest daughters: Louisa Vallejo Emparan and Maria Vallejo de Cutter. The property remained in the Vallejo family until 1934 when the surviving sister, Louisa Emparan, and the heirs of Maria Cutter sold the property to William and Annie Montini. The Montinis, in turn sold the current project area to the First Congregational Church in 1955 in anticipation of the church's relocation from their original site on Broadway.

In 1960, the building was partially disassembled and relocated from its original site on Broadway at the southeast corner of Patton, where it had stood since 1878, to its present location on Spain Street West. The building was radically altered by the removal of its bell tower and the repositioning of the entrance away from the gable end narthex to either side of the nave. The building was also lowered substantially, with only the upper two thirds of the original building being relocated.

Since that time, an addition has been attached to the north gable end of the church, behind the altar, and multiple accessory structures have been erected to support the mission of the organization. A small belfry was added to the south gable end and a canvas awning was attached over the east entrance. A breezeway on the west side connects the church to an accessory structure.

The First Congregational Church, as it appears today, is 56 years old, is within the City of Sonoma's Historic Overlay Zone, and is included in the Sonoma League for Historic Preservation's "Historic Resource Survey). The 1878 building no longer retains enough integrity of material, design, workmanship, setting, or feeling to render that building historic. **However, the current structure is over 50 years old and qualifies for inclusion in the California Register based on its association with an organization significant to the history of Sonoma and its architectural character.** The building retains sufficient integrity to convey its historic significance. At the same time, the inclusion of this building in the League Survey also renders it an "historic resource" under the provisions of the California Environmental Quality Act (CEQA).

The building's character defining features are: gable-roofed rectangular form, shaped brackets at the eaves, buttresses along both long sides, stained glass window on the south elevation, elongated pairs of windows with trefoil upper sash, and applied shallow pilasters on the south elevation.

Methodology

On November 7, 2016, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the house. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Sonoma County Recorder's office
- Sonoma County History & Genealogy Library
- Sonoma League for Historic Preservation
- Sonoma Valley Historical Society
- Northwest Information Center (NWIC)
- San Francisco Public Library (SFPL) online research databases
- City of Sonoma (Building and Planning departments)

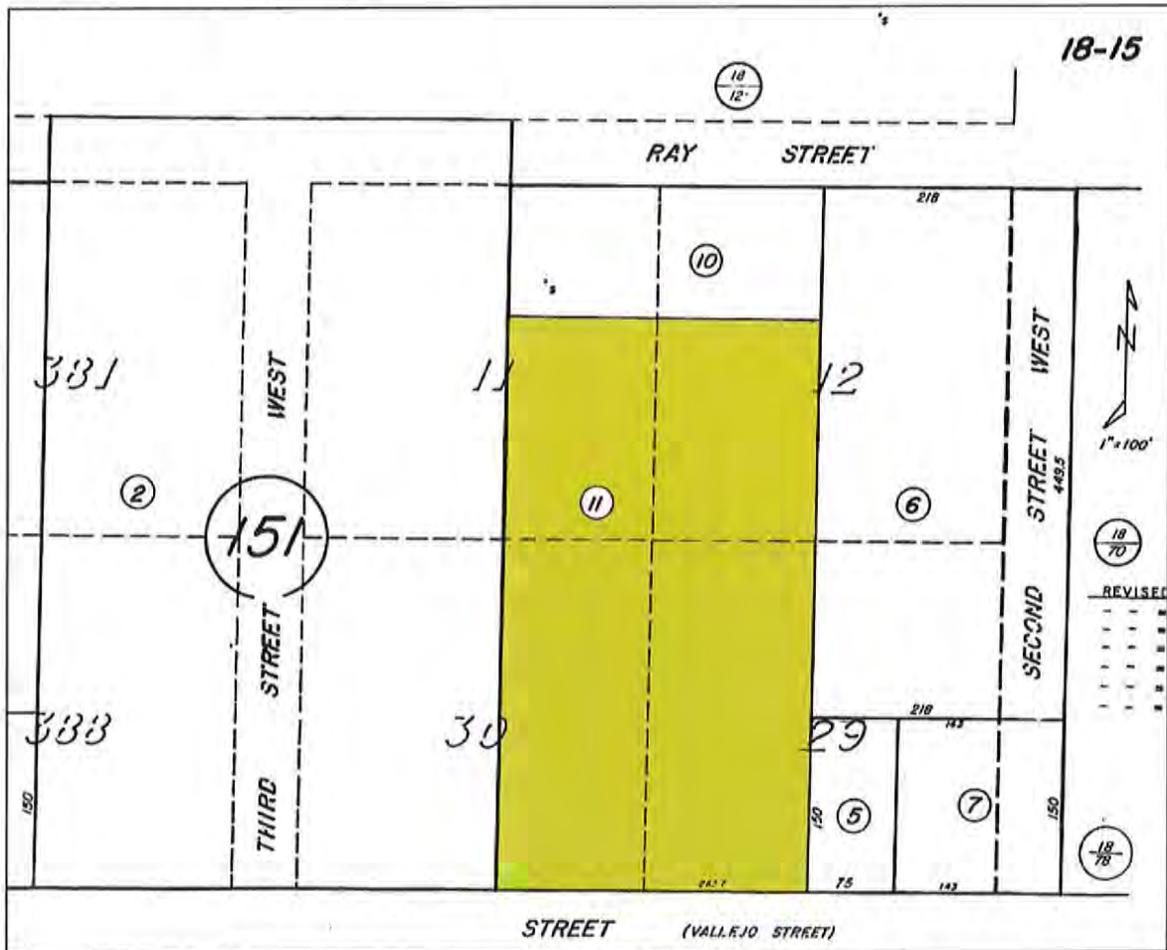
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

Evaluator qualifications

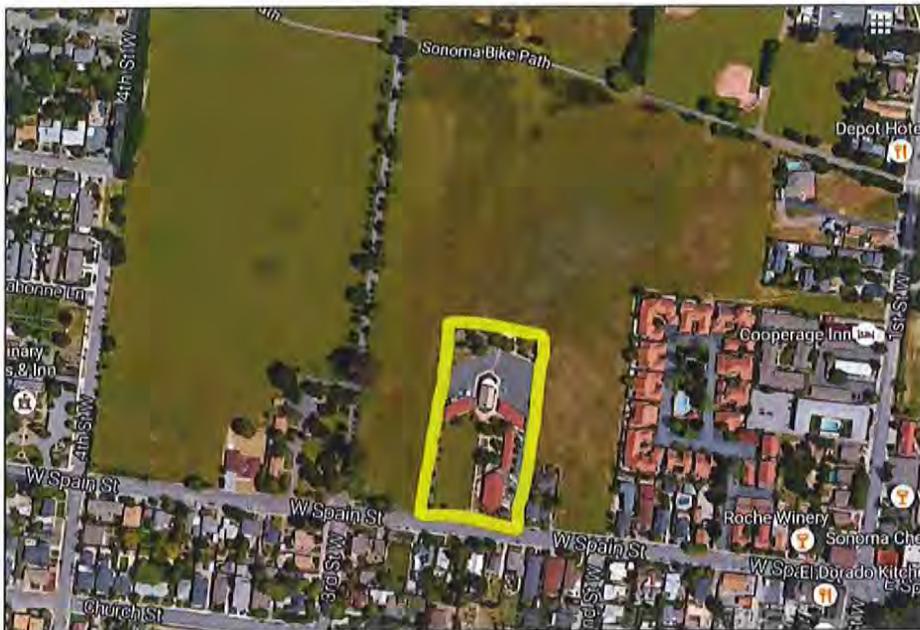
Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the First Congregational Church in Sonoma, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

Site Location

The church at 252 Spain Street West sits on the north side of Spain Street West, west of Second Street West, in the City of Sonoma. No fences enclose the property, which backs up to the "General Vallejo State Park" to its north, west and east. The streetscape is varied landscaping around modest single-family residences from the mid- to late-twentieth century. This section of Spain Street West has two lanes of traffic (two-way) and parking on both sides.



Location of First Congregational Church (Sonoma County parcel map 18-15)



Aerial View of First Congregational Church (Google Earth 2016)

Description

The First Congregational Church is a wood frame, gabled-roof, structure on a raised concrete foundation. The roof is clad in asphalt shingles; channel rustic wood clapboards cover all four elevations. A small, hipped roof belfry with applied decoration sits atop the southern apex of the roof (see figure 6).

The primary entrance to the church is on the east side, at the south end. Three concrete steps and a handicap access ramp lead to a small stoop, protected by a canvas awning (see figures 2 and 3). A pair of wooden double-doors, with roughly diamond shape glass panels is set in a simple wood frame and lead into the nave. Five simple buttresses are evenly spaced across the length of each long side of the structure and reach approximately two-thirds of the way up the face of the wall (see figure 1). Each buttress is faced in shiplap siding and topped with a molded cap. Shaped brackets are tucked behind a plain fascia across the length of the building (see figure 15).

Three pairs of windows are evenly spaced along the expanse of wall north of the entrance. Each pair is framed in a simple wood enclosure with a small notched cap over each window. Chamfered edges on the vertical elements create the faintest suggestion of pilasters. A projecting, angled sill extends across both windows and is supported by modest block brackets. The windows extend to the base of the cornice.

Each set of windows consists of a tri-partite, single-hung sash. The lower sash of each window has been modified with the addition of a tilt-out panel at the top of the sash. The upper, fixed-sash is topped with a decorative trefoil motif (see figures 4 and 5).

An applied wood pilaster marks the corner of each long side of the building.

At the north end of the building, a one-story, flat-roofed, modern, stucco addition abuts the sanctuary-end of the structure. A pair of modern, glass doors is sheltered under a flat roof awning on the east side. A bank of windows is nestled over the deep overhang of the eaves, behind mature landscaping. The remainder of the elevation is a blank wall (see figure 9). A boxed cornice delineates the pitch of the gable.

The west side is a mirror image of the east side, with a double-door located at the south end, five simple buttresses, and three sets of tall, paired windows (see figure 10). The entrance on this elevation is identical to the east elevation doors, but is positioned under a modern, flat-roofed breezeway that connects the church to an accessory building to the west (see figures 12 and 13). The north extension of this breezeway passes across the southernmost pair of windows, partially obscuring them (see figure 14).

The south elevation, facing Spain Street West, is dominated by a tri-partite, stained-glass window. The three elements are set in a single pointed-arch frame and consist of a rosette and two pointed-arch windows. Pilasters divide the elevation into three sections (see figure 16).

Historical Context of Sonoma

The First Congregational Church is situated on lands granted by the Mexican Government to the San Francisco Solano Mission in 1823. In 1835 General Mariano Guadalupe Vallejo set about transitioning the area from mission to pueblo, using the name "Sonoma" in his progress report to the governor. Later that year, on June 24, 1835, the governor signed an order officially establishing Sonoma as a "presidial" town—the headquarters for the military in the north. With the help of William A. Richardson from Yerba Buena (the precursor to the city of San Francisco), General Vallejo laid out the town of Sonoma around a traditional plaza and grid design. The 8-acre plaza they laid out was the largest plaza in California, and remains so today. The orderly street grid was symmetrical around the 110' wide Broadway, centered on the plaza.

For a brief period in 1846 (25 days), Sonoma was the capital of the newly formed "Bear Flag Republic". The infant Republic, now state of California, was quickly annexed by the United States and later made a state in 1850. Vallejo was elected a State Senator and lobbied to keep Sonoma as the county seat; Santa Rosa, however, took over the position in 1854 and Sonoma reverted to a sleepy agricultural crossroads. In 1883 it was incorporated as a city.

History of First Congregational Church

The lot that contains the First Congregational Church straddles what was originally known as lots 29, 30, 11 and 12 on the early Pueblo Map of Sonoma. In 1834, General Jose Figueroa granted this area to General Mariano Vallejo as part of the "Rancho Petaluma," which was a 66,622-acre tract of land bounded on the west by the Petaluma River, on the east by Sonoma Creek, on the north by what is now Glen Ellen, and on the south by the San Francisco Bay.

General Vallejo established his homestead at "Lachryma Montis" in 1851, and lived there until his death on January 18, 1890. His estate transferred to his widow, Benicia Vallejo, who only lived one more year (d. January 18, 1891). Per Benicia's will, the as-yet unresolved estate of General Vallejo passed to their two youngest daughters, Maria Vallejo de Cutter and Louisa Vallejo Emparan. The property containing the project area remained in the Vallejo family until 1934 when Louisa Emparan and the heirs of Maria Cutter sold the tract to William and Annie Montini.¹

This area remained an active agricultural area, relatively undeveloped, through the mid-twentieth century.

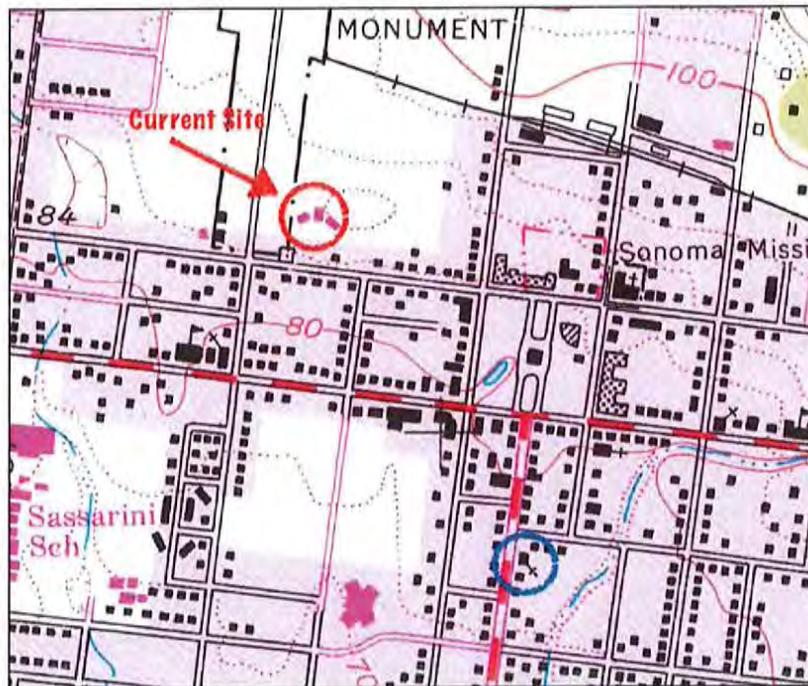
The Montinis sold the project area to the First Congregational Church of Sonoma in 1955² in anticipation of the imminent relocation of the organization.

¹ Sonoma County Records, Deed Book 361, page 499.

² Sonoma County Records, Deed Book 1412, page 426.



1875 Geldern Map of Sonoma showing current location (red) and original location (blue)



1951 USGS Quad Map, showing church in original location (blue) and current location (red)

The First Congregational Church of Sonoma formally organized in May 1871, though founding members had been meeting informally since 1868 as the "Big Tree Sunday School" on Edwin Sutherland's ranch near Glen Ellen. In 1872, the newly formed congregation purchased a plot of land on Broadway between

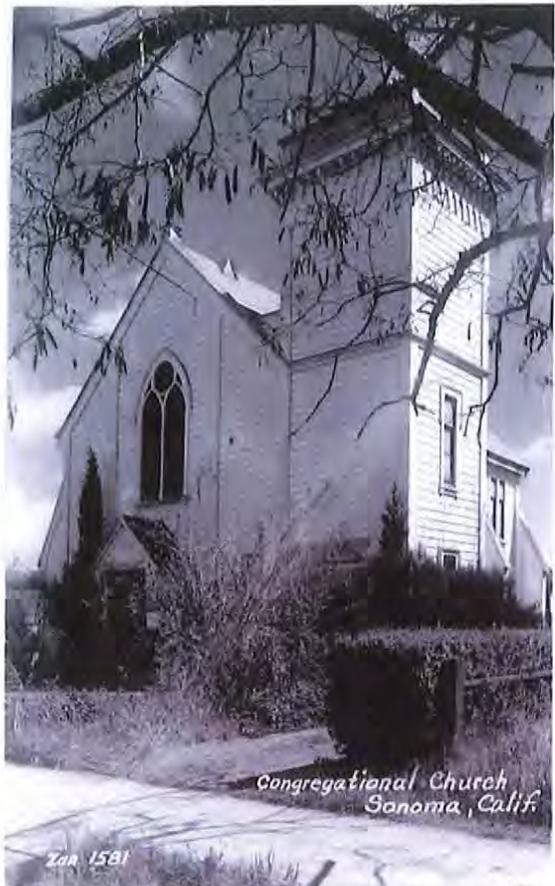
Patton and Church streets from Robert Lynch for \$300. By the spring of 1873, the congregation had completed their Gothic Revival church. This original building stood 2-stories high and had a square tower on the southwest corner, surmounted by an open belfry. The belfry was later removed to improve the structural stability of the tower. In 1897, a stained-glass window was installed; and in 1912 the church purchased the adjoining lot to the north for the construction of a new parsonage.

The church building underwent routine maintenance and alterations over the next 50 years, with the congregation and mission of the church growing steadily.

In the mid-1950s, with the nineteenth-century building becoming "inadequate to meet needs of the church," the congregation began looking for a new site.³ The Montini property on Spain Street West was chosen as the new home for the church.



Sonoma Index-Tribune, June 16, 1960



Original First Congregational Church
(on Broadway), 1946

On May 27, 1960, Aubrey Ray, a house mover from Santa Rosa, moved the upper section of the church up Broadway and over to Spain Street West. By any measure the move went well, with only one window breaking in the tedious process.

The church took on a new look and feel on Spain Street West. On Broadway, the church had been in the heart of the city, at the gateway to the Plaza. It was surrounded by residential and commercial buildings, and was an imposing vernacular Gothic Revival church.

At the new site, the church stood alone in the middle of vast expanses of pastures and agricultural lands. It was removed from the main thoroughfare, and presented a more subdued face to the public as a smaller, less ornate structure. Elements of the original building that were transferred to the new site, besides the roof line, were the stained-glass window, side aisle windows, bracketed eaves, pilasters, and buttresses. The entrance was relocated from the center of the gable end to the corner of the east side.

³ "Purchase Montini Acreage for New Church Building," *Sonoma Index-Tribune*, November 17, 1955.

The small belfry was added later. Construction of the new Parish Hall and other accessory buildings began soon after the relocation.



Today, the First Congregational Church is a small chapel with a satellite of accessory structures serving a myriad of functions.

Determination of Eligibility

The California Environmental Quality Act (PRC §21084.1) and its associated guidelines for implementation (CCR Title 14, Chapter 3, sections 15000 et seq) defines historic resources as any object, building, structure, site, area, place, record or manuscript that, in general, meets at least one of the following four criteria:⁴

1. listed in the California Register of Historical Resources (PRC §5024.1 Title 14 CCR, Section 4850 et seq);
2. determined eligible for listing the California Register by the State Historic Preservation office;
3. **included in a local register** of historical resources (as defined in PRC §5024.1(g)); OR
4. determined by the lead agency, through the presence of substantial evidence, to be historically significant because of its association with significant events, association with significant persons, architectural distinction, or potential to yield information important in history or prehistory.

The First Congregational Church, as it appears today, is 56 years old, lies within the Sonoma Historic Overlay District, and is included in the Sonoma League for Historic Preservation's "Historic Resource Survey" (see survey forms in Appendix B). At the same time, the building must retain enough integrity to convey its significance as it relates to the aforementioned criteria.

⁴ [https://govt.westlaw.com/calregs/Document/IFFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Document/IFFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=(sc.Default))

CRITERIA FOR LISTING IN THE CALIFORNIA REGISTER

Per the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria:⁵

Criteria	First Congregational Church
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	It was not directly associated with a major local or regional development trend or event.
2. Associated with the lives of persons important to local, California or national history.	The building is directly associated with the First Congregational Church of Sonoma, which is one of Sonoma's oldest, continuously meeting religious groups, which has had a significant impact on local history through its ongoing community outreach and educational programs over the last 148 years.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	Even though the 19 th century church no longer retains integrity, the current 56-year old structure is architecturally distinctive as a simplified, vernacular, Gothic Revival church. In removing some of the more ornate features of the original structure (such as the bell tower) and reducing its size, the redesigned 1960s building represents a contemporary design ethos of simplifying traditional forms.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	Much of the 3-acre parcel area remains relatively undisturbed since the mid-nineteenth century, and has not been surveyed for archeological potential. A records search at the Northwest Information Center did not turn up previous surveys on the site.

⁵ Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



INTEGRITY ANALYSIS

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.⁶

Integrity Element	First Congregational Church	Conclusion
Location (<i>"place where the property was built"</i>)	The structure retains its integrity of location as established in <u>1960</u> .	INTACT
Design (<i>"combination of elements that create the form, plan, space, structure, and style"</i> (NPS))	Few changes have been made to the 1960s design of this church. A small belfry was added to the south corner; a 1-story addition was attached to the north gable end of the building; a canvas awning was built over the east entrance; a handicapped access ramp was built along the east elevation; and a breezeway was attached to the west elevation to link the building to an accessory structure. Despite these additions, the building continues to read as a vernacular, Gothic Revival Church. All of these changes could be moved with minimal impact to the history (1960) materials of the building.	INTACT
Setting (<i>"physical environment"</i>)	The 1960 pastoral residential setting remains unchanged.	INTACT
Materials	The 1960 materials remain intact.	INTACT
Workmanship (<i>"evidence of labor and skill"</i>)	Only minor changes have been made to the building since its 1960 relocation.	INTACT
Feeling (<i>"expression of the aesthetic or historic sense of a particular period of time"</i>)	The church fully retains its mid-twentieth century vernacular Gothic Revival feeling.	INTACT
Association (<i>"direct link between an important historic event or person"</i>)	The building has maintained its association with the First Congregational Church, an organization significant to the local history of Sonoma, since its relocation to this site in 1960.	INTACT

⁶ http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm



CHARACTER DEFINING FEATURES

The National Park Service defines character and "character defining features" as:

those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.⁷

The following table addresses the standard elements of "character defining features" as applied to the First Congregational Church.

Feature	First Congregational Church
Shape	Rectangular.
Roof and roof features	Steeply pitched gable roof with decorative bracketed eaves.
Openings	6 pairs of elongated windows on each long side. Stained glass window on south elevation.
Projections	Buttresses along both long sides.
Trim & Secondary Features	Decorative shaped brackets at eaves. Trefoil elongated windows framed in pairs. Shallow applied pilasters on south elevation.
Materials (from a distance)	Wood frame.
Setting	Pastoral.
Materials (at close range)	Wood frame, channel rustic siding.
Craft Details	Chamfered window frames suggesting shallow pilasters.

Conclusion

The First Congregational Church at 252 Spain Street West, **in its current form**, is 56 years old, is within the city's Historic Overlay zone, and is included in the Sonoma League for Historic Preservation's "Historic Resource Inventory." Though the 1872 building is no longer recognizable, the building in its current form, as relocated to this site in 1960, **does qualify** as a "historic resource" under CEQA because of its architectural distinction and association with an organization significant to the local history of Sonoma (the First Congregational Church is one of Sonoma's oldest and most continuously active congregations). At the same time, it retains enough integrity to convey its historic character.

⁷ Lee H. Nelson, FAIA, *Preservation Brief 17: Architectural Character* (Washington, D.C. National Park Service, 1988), p. 1.



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Online resources:

www.accessible.com

www.ancestry.com

www.archives.com

www.archives.org

hld.huntington.org/cdm/

www.loc.gov

www.cdnc.ucr.edu

www.genealogybank.com

www.calisphere.universityofcalifornia.edu

Appendix A: Photographs

Figure 1: East Elevation	16
Figure 2: East elevation, entrance.....	16
Figure 3: East elevation, entrance.....	17
Figure 4: East elevation, window.....	17
Figure 5: East elevation, window detail	18
Figure 6: Belfry	18
Figure 7: Addition on north end of building, from east.....	19
Figure 8: Addition on north side of building, from east.....	19
Figure 9: North elevation	20
Figure 10: West elevation, northwest corner.....	20
Figure 11: West elevation.....	21
Figure 12: West elevation, breezeway to new structures.....	21
Figure 13: West elevation, entrance.....	22
Figure 14: West elevation, window interrupted by breezeway	22
Figure 15: West elevation, eave.....	23
Figure 16: South elevation	23
Figure 17: Parish Hall.....	24
Figure 18: Landscaping between Sanctuary and Parish Hall.....	24
Figure 19: Path between Sanctuary and Parish Hall.....	25
Figure 20: West Spain Street looking east.....	25
Figure 21: West Spain Street looking west	26
Figure 22: Looking south down driveway towards West Spain Street	26
Figure 23: Looking south down path towards West Spain Street.....	27
Figure 24: View of neighbors to east from parking lot, looking southeast	27
Figure 25: View of Church from sidewalk on north side of West Spain Street	28
Figure 26: View of Church and setting from south of West Spain Street, looking northeast.....	28
Figure 27: View of church from open space to West of project area.....	29
Figure 28: View of open space north of project area.....	29
Figure 29: View of church from open space east of project area	30
Figure 30: View of General Vallejo's "Lachryma Montis" northwest of project area	30



Figure 1: East Elevation



Figure 2: East elevation, entrance

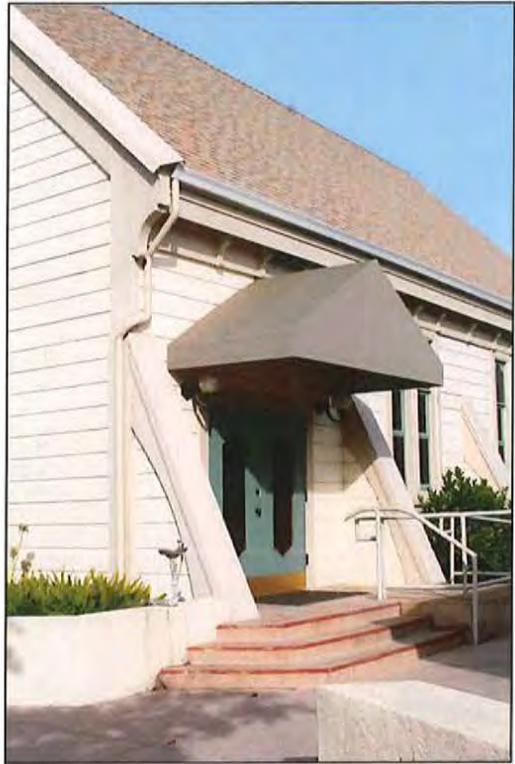


Figure 3: East elevation, entrance



Figure 4: East elevation, window



Figure 5: East elevation, window detail



Figure 6: Belfry



Figure 7: Addition on north end of building, from east



Figure 8: Addition on north side of building, from east



Figure 9: North elevation



Figure 10: West elevation, northwest corner



Figure 11: West elevation



Figure 12: West elevation, breezeway to new structures

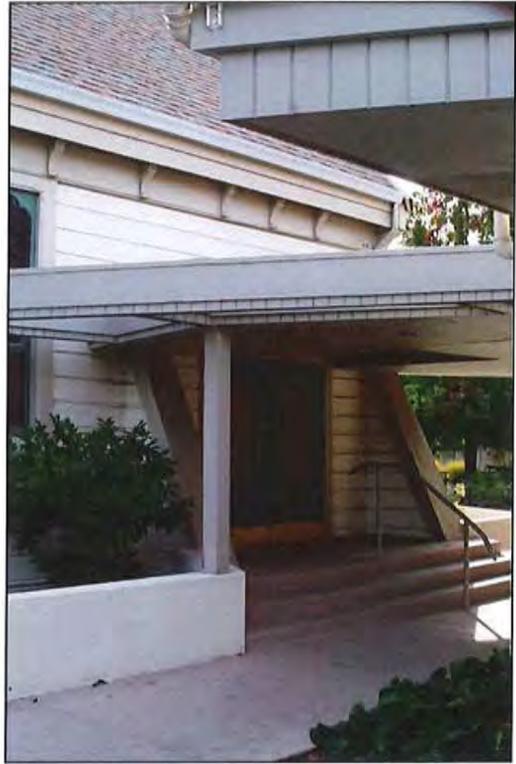


Figure 13: West elevation, entrance



Figure 14: West elevation, window interrupted by breezeway



Figure 15: West elevation, eave

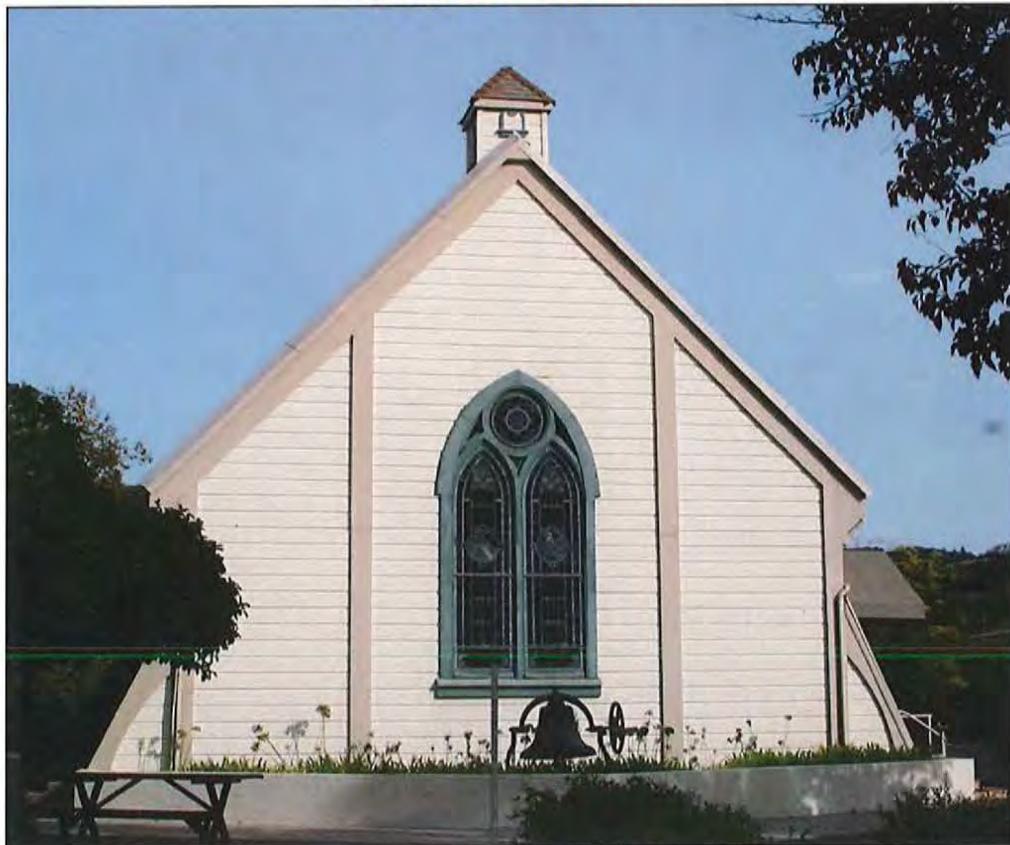


Figure 16: South elevation



Figure 17: Parish Hall



Figure 18: Landscaping between Sanctuary and Parish Hall



Figure 19: Path between Sanctuary and Parish Hall



Figure 20: West Spain Street looking east



Figure 21: West Spain Street looking west



Figure 22: Looking south down driveway towards West Spain Street

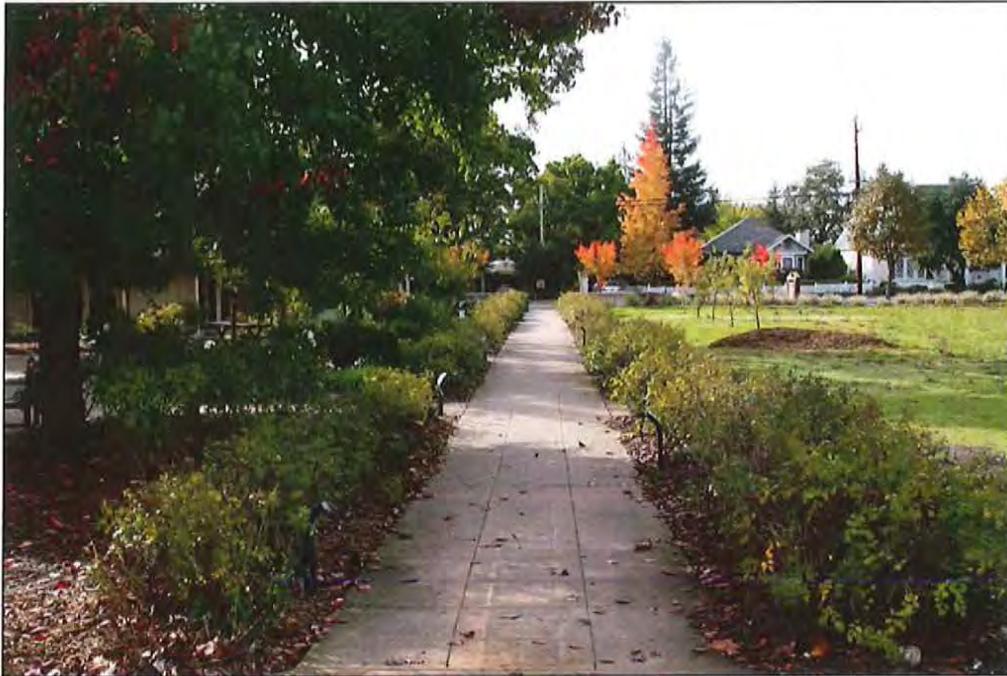


Figure 23: Looking south down path towards West Spain Street



Figure 24: View of neighbors to east from parking lot, looking southeast



Figure 25: View of Church from sidewalk on north side of West Spain Street



Figure 26: View of Church and setting from south of West Spain Street, looking northeast



Figure 27: View of church from open space to West of project area



Figure 28: View of open space north of project area



Figure 29: View of church from open space east of project area



Figure 30: View of General Vallejo's "Lachryma Montis" northwest of project area

APPENDIX B: SURVEY FORM FROM LEAGUE SURVEY (1978, updated 1998)



State of California  The Resources Agency		Primary #	
DEPARTMENT OF PARKS AND RECREATION		HRI #	
PRIMARY RECORD		Trinomial	
		NRHP Status Code	
Other Review Code	Reviewer	Date	Listings

Page 1 of 2 *Resource Name or #: 1st Congregational Church of Sonoma (252 Spain St. W)

P1. Other Identifier (APN): 018-151-011

*P2. Location: Not for Publication Unrestricted

*a. County Sonoma and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Sonoma Date 2012 T 5N; R 5W; of of Sec ; B.M.

c. Address: 252 Spain Street West City Sonoma Zip 95476

d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 547053 mE/ 4238669 mN

e. Other Locational Data: (e.g., SLHP Area, decimal degrees, etc.,) Area 9B, #J-25, Pueblo Lot 11, 12, 29, 30

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

1978: This is a Gothic Revival building with a wide bargeboard under the steep gable roof. There are simulated buttresses on the side. Is a wooden frame building with horizontal wood siding with some battens. Elongated gothic stained glass windows embellish the front walls overlooking Spain Street. There are a series of vents on the edge of the roof and tall narrow windows on the sides. There was a tower on the corner but that has been demolished. Other buildings on the side were built between the 40s and 60s for school meetings. Building has a buffer zone with the hill in back, a vast lawn in front, there are bypress' (?) on both sides of the stained glass window.

1998: Recently painted interior and exterior and adding roofs to previous flat roofed buildings. Church seats 130. Moved from Broadway - the top half of the building is the church.

*P3b. Resource Attributes: (List attributes and codes) HP16 (religious building)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

NEED PHOTO

*P4. Resources Present:

Building Structure
 Object Site District
 Element of District Other (isolates, etc.)

P5b. Description of Photo: (view, date, accession #) _____

*P6. Date Constructed/Age and Source: 1873

Historic
 Prehistoric
 Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Sonoma League for Historic Preservation

*P9. Date Recorded: 1978, 1998

*P10. Survey Type: (Describe) reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

none

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

DPR 523A (9/2013)

*Required information



State of California The Resources Agency Primary #
 DEPARTMENT OF PARKS AND RECREATION HRI#
BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 1st Congregational Church *NRHP Status Code 5
 Page 2 of 2

- B1. Historic Name: 1st Congregational Church
 B2. Common Name: 1st Congregational Church
 B3. Original Use: Church B4. Present Use: Multi-Use Religious
 *B5. Architectural Style: Gothic Revival
 *B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: 1960 Original Location: Broadway
 *B8. Related Features:

B9a. Architect: UNK b. Builder: UNK
 *B10. Significance: Theme Civic Architecture Area Sonoma
 Period of Significance 1873 Property Type Religious
 Applicable Criteria Associated Event Associated Person Architecture Potential to Yield Information

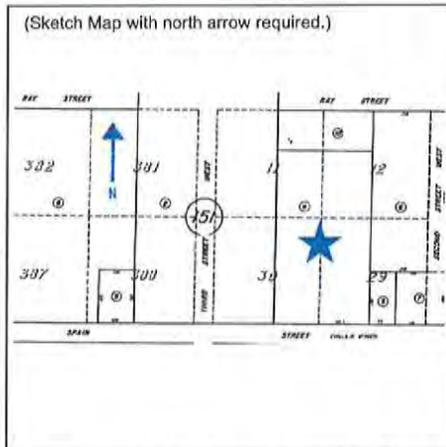
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)
1978: The first Sunday school was established under an oak tree on Arnold Drive at the Goss Ranch in 1968. In the 1870s people expressed the desire to have a Church. In 1871 they had charter members. They bought the lot for \$300, in February 1873, started to build. In October 1873, they had the first worship even though it was not completed. It had a staircase inside but it was removed. By Spring 1873, the building was finished. In the beginning, to raise money they rented to organizations i.e. socials or Viticulture Society to display wine but after 2 years that ceased. In 1897, a \$10,000 pipe organ was given by Mrs. Sophia Craig, and in 1897 the stained glass window was donated by Mr. Rouse in memory of Obed and Phoebe Chort. In 1960, the building was moved to West Spain. It is the only Gothic church in the west area of Sonoma. Has aesthetic values and religious, social importance to the citizens of Sonoma. The Ladies Aid, founded in 1871, has been one of the chief supporters of the First Congregational Church.
1998: No further information.

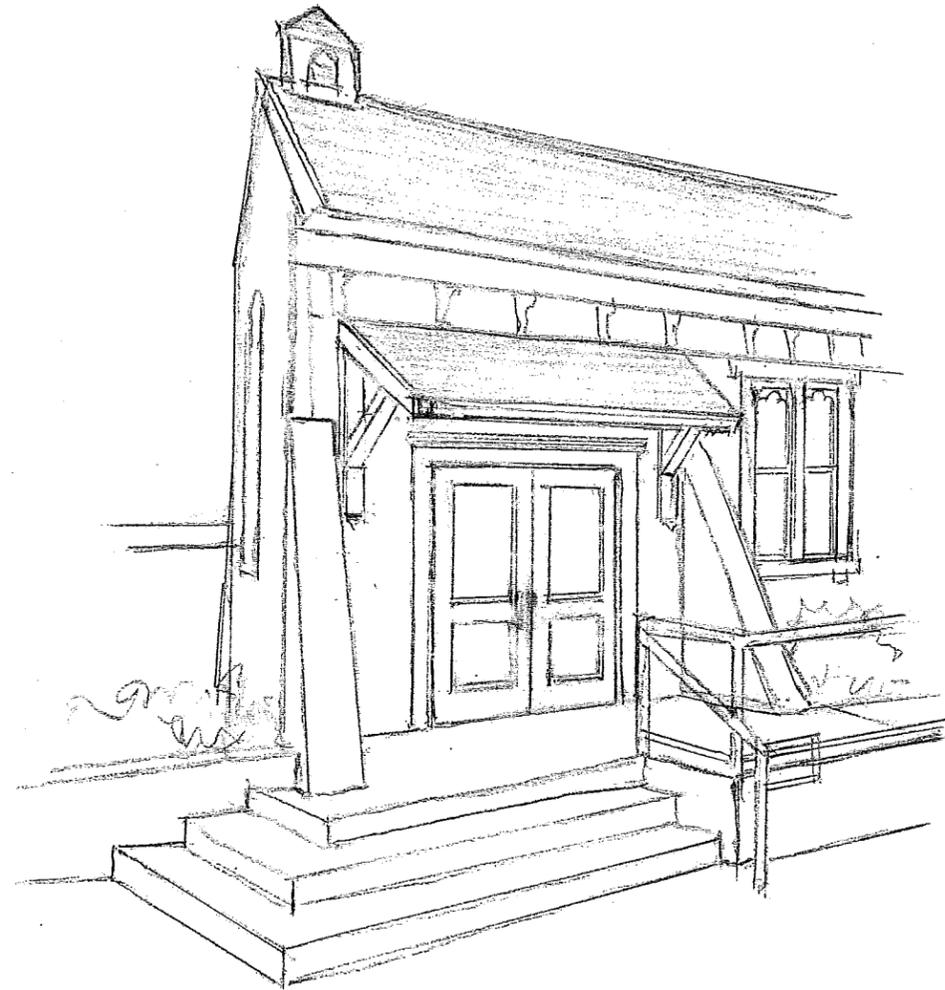
B11. Additional Resource Attributes: (List attributes and codes) HP16 (religious building)
 *B12. References:

B13. Remarks:

*B14. Evaluator: SLHP
 *Date of Evaluation: 1978, 1998

(This space reserved for official comments.)

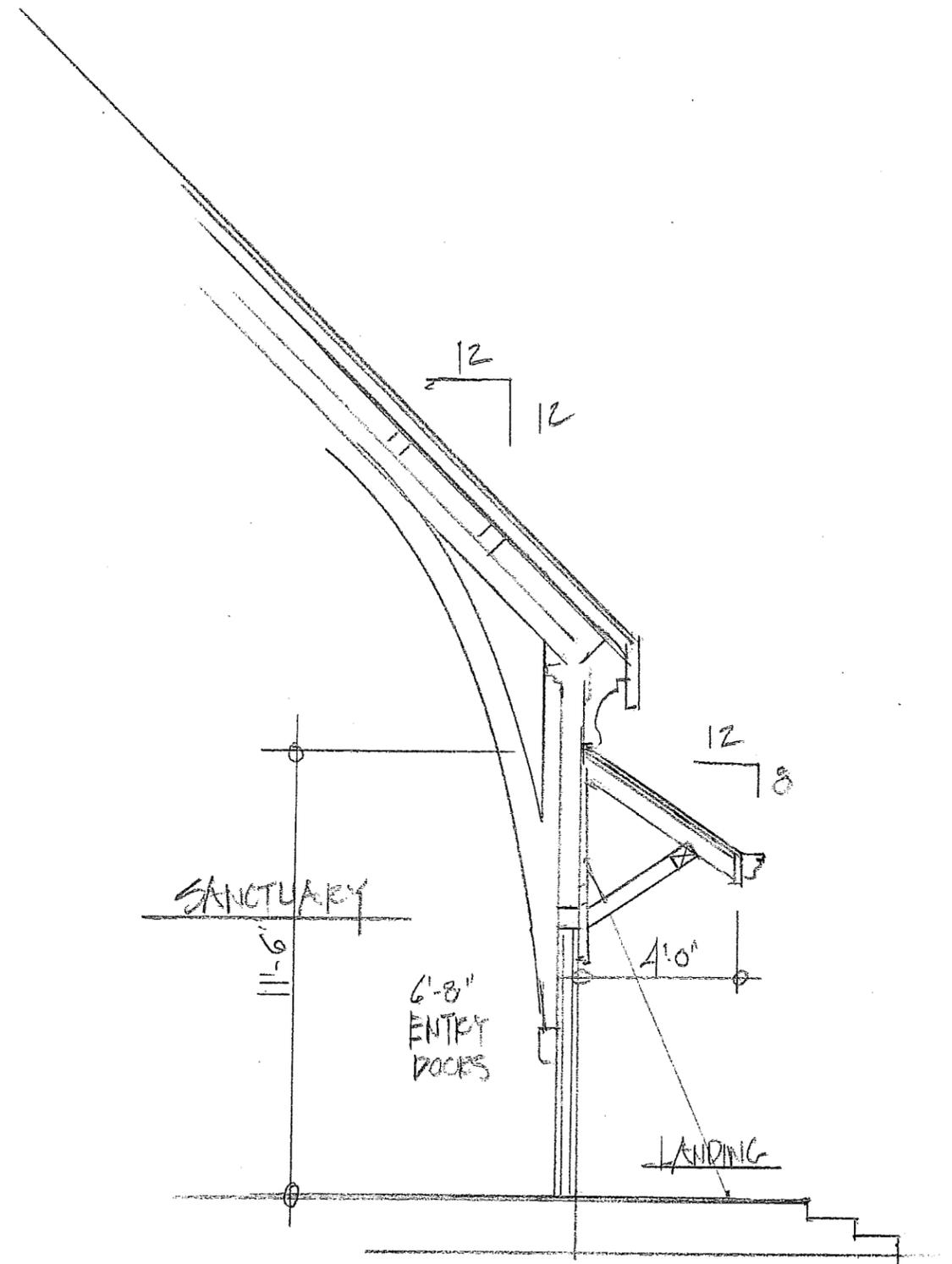




FIRST CONGREGATIONAL CHURCH OF SONOMA

MAIN ENTRANCE CANOPY ROOF
 ADRIAN MARTINEZ / ARCHITECT

11.08.16



PARTIAL SECTION @ ENTRY

11.08.16

NOV 28 2016

December 20, 2016
Agenda Item #4

M E M O

To: Design Review and Historic Preservation Commission
From: Associate Planner Atkins
Subject: Certified Local Government Program 2015-2016 Annual Report

Background

On October 10, 2014, the City of Sonoma became a Certified Local Government (see attached approval letter).

Annual Report

As a Certified Local Government, the City is required to submit an Annual Report (see attached). The Annual Report requires that the Design Review and Historic Preservation Commission review the Annual Report prior to submitting it to the Office of Historic Preservation (OHP). Annual Reports are due to the OHP on or before January 13, 2017.

Discussion

Review, provide comments, and suggest modifications to the Certified Local Government Program 2015-2016 Annual Report.

Attachments:

1. Certified Local Government Program 2015-2016 Annual Report

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

INSTRUCTIONS: This a Word form with expanding text fields and check boxes. It will probably open as Read-Only. Save it to your computer before you begin entering data. This form can be saved and reopened.

Because this is a WORD form, it will behave generally like a regular Word document except that the font, size, and color are set by the text field.

- Start typing where indicated to provide the requested information.
- Click on the check box to mark either yes or no.
- To enter more than one item in a particular text box, just insert an extra line (Enter) between the items.

Save completed form and email as an attachment to Lucinda.Woodward@parks.ca.gov. You can also convert it to a PDF and send as an email attachment. Use the Acrobat tab in WORD and select Create and Attach to Email. You can then attach the required documents to that email. If the attachments are too large (greater than 10mb total), you will need to send them in a second or third email.

Name of CLG

City of Sonoma

Report Prepared by: *Wendy Atkins*

Date of commission/board review: *December 20, 2016*

Minimum Requirements for Certification

I. Enforce Appropriate State or Local Legislation for the Designation and Protection of Historic Properties.

A. Preservation Laws

1. What amendments or revisions, if any, are you considering to the certified ordinance? Please forward drafts or proposals.

REMINDER: Pursuant to the CLG Agreement, OHP must have the opportunity to review and comment on ordinance changes prior to adoption. Changes that do not meet the CLG requirements could affect certification status.

The reference to the year 1945 in Municipal Code Section 19.54.080 Site design and architectural review is proposed to be changed to 50 years or older.

2. Provide an electronic link to your ordinance or appropriate section(s) of the municipal/zoning code.

<http://www.codepublishing.com/CA/Sonoma/#!/Sonoma19/Sonoma1954.html#19.54.080>

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

<http://www.codepublishing.com/CA/Sonoma/#!/Sonoma19/Sonoma1954.html#19.54.090>

<http://www.codepublishing.com/CA/Sonoma/#!/Sonoma19/Sonoma1942.html#19.42>

B. New Local Landmark Designations (Comprehensive list of properties/districts designated under local ordinance, HPOZ, etc.)

1. During the reporting period, October 1, 2014 – September 30, 2015, what properties/districts have been locally designated? **None**

Property Name/Address	Date Designated	If a district, number of contributors	Date Recorded by County Recorder
Type here.	Type here.	Type here.	Type here.

REMINDER: Pursuant to California Government Code § 27288.2, "the county recorder shall record a certified resolution establishing an historical resources designation issued by the State Historical Resources Commission or a local agency, or unit thereof."

2. What properties/districts have been de-designated this past year? For districts, include the total number of resource contributors. **None**

Property Name/Address	Date Removed
Type here.	Type here.

C. Historic Preservation Element/Plan

1. Do you address historic preservation in your general plan? No
 Yes, in a separate historic preservation element. Yes, it is included in another element.

Provide an electronic link to the historic preservation section(s) of the General Plan.

http://www.sonomacity.org/Sonoma/media/Files/Planning/2020_General_Plan.pdf (page 22)

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

2. Have you made any updates to your historic preservation plan or historic preservation element in your community's general plan? Yes No If you have, provide an electronic link. Type here.
3. When will your next General Plan update occur? **2020**

D. Review Responsibilities

1. Who takes responsibility for design review or Certificates of Appropriateness?

- All projects subject to design review go the commission.
- Some projects are reviewed at the staff level without commission review. What is the threshold between staff-only review and full-commission review? Type here.

2. California Environmental Quality Act

- What is the role of the staff and commission in *providing input* to CEQA documents prepared for or by the local government? **Staff and the Planning Commission provides input to CEQA documents.**

What is the role of the staff and commission in *reviewing* CEQA documents for projects that are proposed within the jurisdiction of the local government? **Staff and the Planning Commission reviews CEQA projects. The Planning Commission approves CEQA documents.**

3. Section 106 of the National Historic Preservation Act

- What is the role of the staff and commission in *providing input* to Section 106 documents prepared for or by; the local government? **If the City of Sonoma receives funding for a Federally funded project on a historic property, it would afford the Advisory Council on Historic Preservation (ACHP) an opportunity to comment on such projects prior to the expenditure of any Federal funds.**
- What is the role of the staff and commission in *reviewing* Section 106 documents for projects that are proposed within the jurisdiction of the local government? **Staff and the Design Review and Historic Preservation Commission would review Section 106 documents for project proposed within the City of Sonoma.**

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

II. Establish an Adequate and Qualified Historic Preservation Review Commission by State or Local Legislation.

A. Commission Membership

Name	Professional Discipline	Date Appointed	Date Term Ends	Email Address
<i>Robert Cory</i>	<i>Retired Interior Designer</i>	<i>2/17/16</i>	<i>2/17/18</i>	<i>RobertCory@earthlink.net</i>
<i>Kelso Barnett</i>	<i>Real Estate Development Consultant</i>	<i>2/7/11</i>	<i>2/7/17</i>	<i>kelsogbarnett@gmail.com</i>
<i>Bill Essert</i>	<i>Director of Strategy</i>	<i>12/16/15</i>	<i>12/16/17</i>	<i>billpess@gmail.com</i>
<i>Christopher Johnson</i>	<i>Hospitality Manager</i>	<i>3/2/15</i>	<i>3/2/17</i>	<i>Saginaw33@hotmail.com</i>
<i>Micaelia Randolph</i>	<i>Marketing</i>	<i>7/22/12</i>	<i>7/22/18</i>	<i>micaelia@comcast.net</i>
<i>Leslie Tippell</i>	<i>Color Designer</i>	<i>3/5/12</i>	<i>3/5/18</i>	<i>leslie@studiotippell.com</i>

Attach resumes and Statement of Qualifications forms for all members.

1. If you do not have two qualified professionals on your commission, explain why the professional qualifications not been met and how professional expertise is otherwise being provided. Type here.
2. If all positions are not currently filled, why is there a vacancy, and when will the position will be filled? Type here.

B. Staff to the Commission/CLG staff

1. Is the staff to your commission the same as your CLG coordinator? Yes No
2. If the position(s) is not currently filled, why is there a vacancy? Type here.

Name/Title	Discipline	Dept. Affiliation	Email Address
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Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

<i>Wendy Atkins</i>	<i>Planning</i>	<i>Planning and Community Development</i>	<u>Watkins@sonomacity.org</u>
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Attach resumes and Statement of Qualifications forms for staff.

C. Attendance Record

Please complete attendance chart for each commissioner and staff member. Commissions are required to meet four times a year, at a minimum.

Commissioner/Staff	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
<i>Wendy Atkins</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<i>Robert Corey</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>								
<i>Kelso Barnett</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<i>Bill Essert</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>									
<i>Christopher Johnson</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>					
<i>Micaelia Randolph</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<i>Leslie Tippell</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>					

D. Training Received

Indicate what training each commissioner and staff member has received. Remember it is a CLG requirement is that all commissioners and staff to the commission attend at least one training program relevant to your commission each year. It is up to the CLG to determine the relevancy of the training.

Commissioner/Staff Name	Training Title & Description (including method presentation, e.g., webinar, workshop)	Duration of Training	Training Provider	Date
<i>Wendy Atkins</i>	<i>A Focus on Modernism:</i>	<i>7 hours</i>	<i>CPF</i>	<i>9/7/16</i>

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

	<i>Design Regulations & Review (webinar)</i>			
<i>Wendy Atkins</i>	<i>CEQA & Historic Resources: A Legal Introduction (webinar)</i>	<i>3 hours</i>	<i>CPF</i>	<i>9/9/16</i>
<i>Wendy Atkins</i>	<i>Benica Historic Preservation Training</i>	<i>7 hours</i>	<i>OHP</i>	<i>3/8/16</i>
<i>Wendy Atkins</i>	<i>The California Historic Building Code & the Americans with Disabilities in Historic Building Sites (webinar)</i>	<i>4 hours</i>	<i>CPF</i>	<i>3/30/16</i>
<i>Wendy Atkins</i>	<i>Paperless Preservation</i>	<i>1.5 hours</i>	<i>APA California Conference</i>	<i>10/23/16</i>
<i>Wendy Atkins</i>	<i>The Nuts, Bolts, & Windows of Sustainable Historic Buildings</i>	<i>1.5</i>	<i>APA California Conference</i>	<i>10/24/16</i>
<i>Wendy Atkins</i>	<i>Pasadena Historic District Tour—Bungalow Heaven</i>	<i>4 hours</i>	<i>APA California Conference</i>	<i>10/23/16</i>
<i>Leslie Tippell</i>	<i>CPF Conference at the Presidio</i>	<i>12 hours</i>	<i>CPF</i>	<i>4/17/16-4/20/16</i>
<i>Bill Essert</i>	<i>CPF Conference at the Presidio</i>	<i>12 hours</i>	<i>CPF</i>	<i>4/17/16-4/20/16</i>
<i>Bill Essert</i>	<i>The California Historic Building Code & the Americans with Disabilities in Historic Building Sites (webinar)</i>	<i>4 hours</i>	<i>CPF</i>	<i>3/30/16</i>
<i>Christopher Johnson</i>	<i>The California Historic Building Code & the Americans with Disabilities in Historic</i>	<i>4 hours</i>	<i>CPF</i>	<i>3/30/16</i>

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

	<i>Building Sites (webinar)</i>		
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III. Maintain a System for the Survey and Inventory of Properties that Furthers the Purposes of the National Historic Preservation Act

A. Historical Contexts: initiated, researched, or developed in the reporting year

NOTE: California CLG procedures require CLGs to submit survey results including historic contexts to OHP. If you have not done so, submit a copy (PDF or link if available online) with this report. *None*

Context Name	Description	How it is Being Used	Date Submitted to OHP
Type here.	Type here.	Type here.	Type here.

B. New Surveys or Survey Updates (excluding those funded by OHP)

NOTE: The evaluation of a single property is not a survey. Also, material changes to a property that is included in a survey, is not a change to the survey and should not be reported here. *None*

Survey Area	Context Based-yes/no	Level: Reconnaissance or Intensive	Acreage	# of Properties Surveyed	Date Completed	Date Submitted to OHP
Type here.	Type here.	Type here.	Type here.	Type here.	Type here.	Type here.

How are you using the survey data? Type here.

C. Corrections or changes to Historic Property Inventory *None*

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

Property Name/Address	Additions/Deletions to Inventory	Status Code Change From To	Reason	Date of Change
Type here.	Type here.	Type here.	Type here.	Type here.

IV. Provide for Adequate Public Participation in the Local Historic Preservation Program

A. Public Education

What public outreach, training, or publications programs has the CLG undertaken? Please provide copy of (or an electronic link) to all publications or other products not previously provided to OHP.

Item or Event	Description	Date
<p><i>Development of Downtown Design and Preservation Guidelines</i></p>	<p><i>The City of Sonoma is proud to sponsor the development of Downtown Design and Preservation Guidelines that will serve as a tool to encourage high quality design and historically compatible infill and alterations or improvements that reflect the established character of downtown Sonoma and its historic Plaza area. In 2014, Sonoma was designated as a Certified Local Government and the development and implementation of Downtown Design Guidelines will help fulfill the City's Preservation Plan. You are invited to learn more about this exciting project, and to contribute by sharing your photographs, maps, and other materials or information you may have that pertain to historic architecture in the</i></p>	<p><i>1/25/16</i></p>

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

Item or Event	Description	Date
	<i>downtown area.</i>	

V. National Park Service Baseline Questionnaire for new CLGs (certified after September 30, 2015).

- NOTE: OHP will forward this information to the NPS on your behalf. Guidance for completing the Baseline Questionnaire is located at http://www.nps.gov/clg/2015CLG_GPRA/FY2013_BaselineQuestionnaireGuidance-May2015.docx.

A. CLG Inventory Program

1. What is the net cumulative number of historic properties in your inventory as of September 30, 2015? This is the total number of historic properties and contributors to districts (or your best estimate of the number) in your inventory from all programs, local, state, and Federal. Type here.

Program Area	Number of Properties
Type here.	Type here.

B. Local Register (i.e., Local Landmarks and Historic Districts) Program

1. As of September 30, 2015, did your local government have a local register program to create local landmarks/local historic districts (or a similar list of designations created by local law? Yes No
2. If the answer is yes, what is the net cumulative number (or your best estimate of the number) of historic properties (i.e., contributing properties) locally registered/designated as of September 30, 2015? Type here.

C. Local Tax Incentives Program

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

1. As of September 30, 2015, did your local government have a local historic preservation tax incentives program (e.g. Mills Act)? Yes No
2. If the answer is yes, what is the cumulative number (or your best estimate of the number) of historic properties whose owners have taken advantage of those incentives as of September 30, 2015? Type here.

D. Local "Bricks and Mortar" Grants/Loans Program

1. As of September 30, 2015, did your local government have a locally-funded, historic preservation grants/loan program for rehabilitating/restoring historic properties? Type here.
2. If the answer is yes, what is the cumulative number (or your best estimate of the number) of historic properties assisted by these grants or loans as of September 30, 2015? Type here.

E. Local Design Review/Regulatory Program

1. As of September 30, 2015, did your local government have a historic preservation regulatory law(s) (e.g., an ordinance requiring Commission/staff review of 1) local government undertakings and/or 2) changes to or impacts on properties with a historic district? Yes No
2. If the answer is yes, what is the cumulative number (or your best estimate of the number) of historic properties that your local government has reviewed under that process as of September 30, 2015? Type here.

F. Local Property Acquisition Program

1. As of September 30, 2015, did your local government by purchase, donation, condemnation, or other means help to acquire or acquire itself some degree of title (e.g., fee simple interest or an easement) in historic properties?
 Yes No
2. If the answer is yes, what is the cumulative number (or your best estimate of the number) of historic properties with a property interest acquisition assisted or carried out by your local government as of September 30, 2015? Type here.

VI. Additional Information for National Park Service Annual Products Report for CLGs

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

NOTE: OHP will forward this information to NPS on your behalf. **Please read** "Guidance for completing the Annual Products Report for CLGs" located http://www.nps.gov/clg/2015CLG_GPRA/FY2014_AnnualReportGuidance-May2015.docx.

A. CLG Inventory Program

During the reporting period (October 1, 2015-September 30, 2016) how many historic properties did your local government **add** to the CLG inventory? This is the total number of historic properties and contributors to districts (or your best estimate of the number) added to your inventory **from all programs**, local, state, and Federal, during the reporting year. These might include National Register, California Register, California Historic Landmarks, locally funded surveys, CLG surveys, and local designations. ***None. This information is provided by the Office of Historic Preservation Directory of Properties in the Historic Property Data File and has not been updated by the HOP since 2012.***

Program area	Number of Properties added
Type here.	0

B. Local Register (i.e., Local Landmarks and Historic Districts) Program

1. During the reporting period (October 1, 2015-September 30, 2016) did you have a local register program to create local landmarks and/or local districts (or a similar list of designations) created by local law? Yes No
2. If the answer is yes, then how many properties have been added to your register or designated since October 1, 2015? ***None. This information is provided by the Office of Historic Preservation Directory of Properties in the Historic Property Data File and has not been updated by the HOP since 2012.***

C. Local Tax Incentives Program

1. During the reporting period (October 1, 2015-September 30, 2016) did you have a Local Tax Incentives Program, such as the Mills Act? Yes No
2. If the answer is yes, how many properties have been added to this program **since** October 1, 2015?

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

Name of Program	Number of Properties Added During 2015-2016	Total Number of Properties Benefiting From Program
Type here.	Type here.	

D. Local “bricks and mortar” grants/loan program

1. During the reporting period (October 1, 2015-September 30,2016) did you have a local government historic preservation grant and/or loan program for rehabilitating/restoring historic properties? Yes No

2. If the answer is yes, then how many properties have been assisted under the program(s) **after** October 1, 2015?
Type here.

Name of Program	Number of Properties that have Benefited
Type here.	Type here.

E. Design Review/Local Regulatory Program

1. During the reporting period (October 1, 2015-September 30, 2016) did your local government have a historic preservation regulatory law(s) (e.g., an ordinance) authorizing Commission and/or staff review of local government projects or impacts on historic properties? Yes No

2. If the answer is yes then, since October 1, 2015, how many historic properties did your local government review for compliance with your local government’s historic preservation regulatory law(s)? **25**

F. Local Property Acquisition Program

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

1. During the reporting period (October 1, 2015-September 30, 2016) did you have a local program to acquire (or help to acquire) historic properties in whole or in part through purchase, donation, or other means? Yes No
2. If the answer is yes, then how many properties have been assisted under the program(s) since October 1, 2015?
Type here.

Name of Program	Number of Properties that have Benefited
Type here.	Type here.

VII. In addition to the minimum CLG requirements, OHP is interested in a Summary of Local Preservation Programs

- A. What are the most critical preservation planning issues? *Better understanding of the Secretary of Interior Standards for Historic Preservation.*
- B. What is the single accomplishment of your local government this year that has done the most to further preservation in your community? *Drafted Downtown Sonoma Historic Preservation Design Guidelines.*
- C. What recognition are you providing for successful preservation projects or programs? *None.*
- D. How did you meet or not meet the goals identified in your annual report for last year? *Last year the City submitted a baseline questionnaire for 2014-2015.*

Certified Local Government Program -- 2015-2016 Annual Report

(Reporting period is from October 1, 2015 through September 30, 2016)

- E. What are your local historic preservation goals for 2015-2016? *Establishing a Demolition by Neglect Ordinance, creating story pole requirements, and update the threshold of significance to 50 years or older.*

- F. So that we may better serve you in the future, are there specific areas and/or issues with which you could use technical assistance from OHP? *Additional training opportunities.*

- G. In what subject areas would you like to see training provided by the OHP? How you like would to see the training delivered (workshops, online, technical assistance bulletins, etc.)?

Training Needed or Desired	Desired Delivery Format
<i>Secretary of Interior Standards</i>	<i>Webinar</i>

H. Would you be willing to host a training working workshop in cooperation with OHP? Yes No

G. Is there anything else you would like to share with OHP? *It would be helpful to have an updated OHP Directory of Properties in the Historic Property Data File. The last time it was updated was 2012.*

XII Attachments

- Resumes and Statement of Qualifications forms for **all** commission members/alternatives and staff
- Minutes from commission meetings
- Drafts of proposed changes to the ordinance
- Drafts of proposed changes to the General Plan
- Public outreach publications

Certified Local Government Program -- 2015-2016 Annual Report
(Reporting period is from October 1, 2015 through September 30, 2016)

Email to Lucinda.Woodward@parks.ca.gov



United States Department of the Interior

NATIONAL PARK SERVICE
1849 C Street, N.W.
Washington, D.C. 20240

October 10, 2014

Ms. Amanda Blosser
Historian, Local Government Unit
California Office of Historic Preservation
1725 23rd Street, Suite 100
Sacramento, CA 95816-7100

Dear Ms. Blosser:

Thank you for forwarding the necessary documentation concerning the City of Sonoma's application for participation in the Certified Local Government (CLG) Program. I have reviewed your submission and am pleased to concur in your recommendation that Sonoma be certified under the provision of Section 101(c) of the National Historic Preservation Act.

The date of certification will be recorded as the date of this letter. We are also providing a copy of this letter to the City of Sonoma.

We welcome the City of Sonoma as a local partner in the Federal Preservation Program and look forward to working with them to preserve what makes their community special and significant. They have been added to our database and can find their listing there as well as more information on the CLG program by going to: www.nps.gov/clg

If you have any questions about this letter, please feel free to contact me by phone at 202-354-2062, or by email at megan_brown@nps.gov.

Sincerely,

Megan J. Brown
Certified Local Government Program Coordinator

cc: David Goodison, City of Sonoma

Statement of Qualifications

for

Certified Local Governments Commissioners

Local Government City of Sonoma, California
Name of Commissioner Micaelia Randolph
Date of Appointment: 7/5/2012
Date Term Expires: 7/5/2018

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

Yes

No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

X updated 2016



CITY OF SONOMA

COMMISSION APPLICATION

NAME: Micaelia Randolph

* ADDRESS: ~~730 Second St East~~ 869 Fifth St East

MAILING ADDRESS: Same as above

CONTACT INFO (Please include daytime & evening phone numbers and email address):

707 933 7332 micaelia@comcast.net

COMMISSION OF INTEREST: Design Review Commission

HAVE YOU EVER ATTENDED A MEETING OF THIS COMMISSION? No HOW MANY? _____

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commission(s): SVCAC

HOW MANY YEARS HAVE YOU RESIDED IN SONOMA? ~~10~~ 14

PRESENT OCCUPATION: ~~VP, Content Development, Red Rock Reports~~

* Director, Marketing & Communications, Children's Health Council

EDUCATION

SCHOOL	MAJOR	GRADUATION DATE & DEGREE
U of the Pacific		Ed.D.
SFSU	BA English MA Cognitive Development	BA & MA

COMMUNITY SERVICE EXPERIENCE

ORGANIZATION	DATES SERVED	POSITION
Sonoma League for Historic Preservation	2003-present	Member, Board Member, Web Editor, Publicity Chair, Co-chair Cottage & Garden Tour
* Singer, Gospel choir	2012-present	
* Fashion Fashion Show	2014-present	stage Manager
* <u>26</u> Friends of Maysonave	2015-present	Co-founder

(Use additional paper if necessary)

OTHER RELEVANT EXPERIENCE OR EXPERTISE: _____

Attached

WHAT IS YOUR UNDERSTANDING OF THE ROLE AND RESPONSIBILITY OF THIS COMMISSION?

WHICH ACTIVITIES OF THIS COMMISSION INTEREST YOU THE MOST?

WHICH ACTIVITIES INTEREST YOU THE LEAST?

WHAT WOULD BE YOUR GOAL AS A COMMISSIONER?

WHAT DO YOU FEEL YOU COULD CONTRIBUTE TO SEE THESE GOALS REALIZED?

PLEASE LIST TWO LOCAL REFERENCES AND THEIR PHONE NUMBERS: *Wendy Peterson*

Tom Anderson 707 480 7840 / Yvonne Bowers 707 935 5815 / Nancy Simpson 707 217 2452

SOME COMMISSION POSITIONS MUST BE FILLED BY A QUALIFIED ELECTOR OF THE CITY OF SONOMA. A QUALIFIED ELECTOR IS A PERSON WHO IS 1) A U.S. CITIZEN; 2) AT LEAST 18 YEARS OF AGE; AND 3) RESIDES WITHIN THE BOUNDARIES OF THE CITY OF SONOMA.

ARE YOU A QUALIFIED ELECTOR OF THE CITY OF SONOMA? YES NO

I DECLARE UNDER PENALTY OF PERJURY THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.

Micella Raudolph
Applicant Signature

7.01.11
Date

All submitted applications are available for public inspection.

Return completed form to:
City Clerk
City of Sonoma
No. 1 The Plaza
Sonoma CA 95476

27

Micaelia Randolph
Application for Design Review Commission

Other relevant experience or expertise:

My career has been centered around product development for the education market, both print and web. I have been the web editor for the Sonoma League for Historic Preservation since 2007.

Since 2004, I have written the short histories of each of the houses that appeared on the Sonoma Cottage and Garden Tour since 2004. (Samples Included) This has involved interviewing homeowners, learning about the history of their homes and gardens and writing a story. This experience has given me a deep and visceral appreciation of the history, charm and precious nature of our town and its residents.

I served as co-chair of the Cottage and Garden Tour for the Sonoma League for Historic Preservation in 2010 and have worked with the tour since 2004.

What is your understanding of the role and responsibility of this commission?

I believe that this commission is charged with preserving of the architectural landscape and heritage of the City of Sonoma and supporting and encouraging excellent design for new projects.

Which activities of this commission interest you most?

I am very interested in the preservation of the town of Sonoma as a visual, cultural and historical entity and would welcome participation in a group that has this as its official mission.

Which activities interest you least?

What would be your goal as a commissioner?

- ✓ Support efforts to encourage excellent design that is in keeping with the character of Sonoma
- ✓ Support efforts to help Sonoma become a Certified Local Government
- ✓ Become as informed as possible
- ✓ Be a helpful team member

What do you feel you could contribute to see these goals realized?

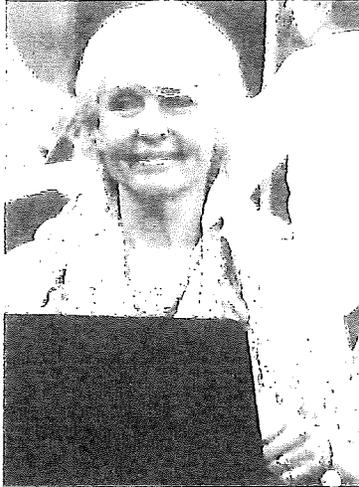
Experience and relationship network with Sonoma League, and its members and with the town of Sonoma.

Energy level

Listening

Learning

Love of Sonoma.



Micaelia Randolph, Ed. D.
Children's Health Council
869 Fifth Street East, Sonoma California
micaelia@comcast.net
707-933-7332

Content development and marketing professional with over 20 years experience. Also experienced in non-profit fund raising. Can identify and inspire creative writers, designers and web developers to build innovative and successful materials for teachers, students and parents. Has worked in both product development and marketing in e-learning publishing, non-profit fundraising and is experienced with content creation for both print and the web.

Marketing & Communications • Content Development • Website Strategy & Development • Competitive Market Analysis & Product Positioning • Research • Grant Writing • Fundraising • Online Content Creation
• Specialization in Education for Parents, Teachers, Professionals

PROFESSIONAL EXPERIENCE

Director, Marketing and Communications, Children's Health Council

650 Clark Way, Palo Alto, CA 94303

December 2012 -Present

Responsible for all branding, advertising, web development, social media, PR and communications for complex nonprofit children's mental health agency serving children and teens with ADHD, Learning Differences, Anxiety & Depression or Autism. Agency composed of two schools and two clinics and a robust parent, teacher and professional education component. Work with tightly-knit Advancement team responsible for raising \$2M annually through fundraising, grants, events and donor stewardship.

www.chconline.org

Vice President, Content Development, RedRock Reports

Menlo Park, California 94025

June 2011 –November 2012

As Vice President of Content Development for RedRock Reports worked with team that built RedRock Online, a web-based sales support engine that provides 24/7 tools and information to companies who sell to the education market. RedRock Online connects the dots between school based products, funding sources and fund managers. Under her direction the small but mighty RedRock content team produced a library of content assets that includes over 1000 pieces of relevant content along with a robust relational database of funding information.

Second Street East Consulting

Sonoma, California 95476

September 2002-Present

Principal

Recent projects and clients include:

- Red Rock Reports project with PBS
- Red Rock Reports, development of professional development services for large client
- Red Rock Reports project with Carnegie Learning
- Red Rock Reports, development of online reading activities for third party client
- Sonoma League for Historic Preservation, (non-profit) web editor, publicity, communications, event planning, fund raising
- Sonoma Country Antiques, publicity, marketing materials, outreach
- Charles Armstrong School, Belmont, California: The CAS Way
- Charles Armstrong School, Belmont, California: Development of Charles Armstrong Teaching Institute, the teacher professional development arm of the school—concept, business plan, marketing
- National Council for Montessori Education: Writing, editing, production of quarterly journal
- Boys and Girls Clubs of America: Development of after school anti-bias program
- Riverdeep: Curriculum development
- Development of online reading courses for Bay Area educational publishing company
- Advising on direction and vision for online education initiative for Northern California independent elementary school

Vice President, Product Development, Classroom Connect

8000 Marina Blvd., Suite 400

Brisbane, California

January 1997-September 2002

- Participated with original finance group (Brentwood Associates) in decision to purchase Classroom Connect
- Responsible for creating vision and strategy for educational materials using the Internet
- Managed \$5M development budget
- Hired and managed 40 creative people--writers, editors, print and web designers
- Key member of management team that sold Classroom Connect to Harcourt Education

Director, Product Development, Creative Publications

Mountain View, California

January 1986-July 1996

- Developed K-8 mathematics program which doubled company sales in one year—\$25M to \$50M
- Managed development staff of 20 and annual budget of \$5+ million
- Key decision-maker in planning company strategy
- Authored over 50 original mathematics education publications
- Supervised development of 25+ groups of products
- Speaker and workshop leader at over 75 national and state mathematics conferences
- Key member of management team that sold Creative Publications to Chicago Tribune

Senior Marketing Manager, Elementary Mathematics

Addison-Wesley Publishing Company, Menlo Park, California

December 1985-January 1986

- Planned all collateral to support the company's #1 product, *Addison-Wesley Mathematics*
- Trained field force of 50 on use of the product
- Acted as main liaison between customers, field force, and development group
- Prepared professional presentations for use by field force
- Completed Xerox sales and presentation training (PSS, SSP)

Senior Editor, Elementary Mathematics

Addison-Wesley Publishing Company, Menlo Park, California

January 1979-December 1985

- Part of development team that created K-8 mathematics program that made company #1 in U.S.
- Introduced new pedagogy that gave the program a distinctive, competitive edge
- Supervised staff of five and budget of \$500K
- Presented at numerous national and state conferences

Early Career (details on request)

Classroom Teacher, San Mateo County

Assistant Professor, San Francisco State University

Education and Training

Doctor of Education, Curriculum and Instruction, Research and Statistics

University of the Pacific, Stockton, California

Master of Arts, Educational Psychology & Cognitive Development

Bachelor of Arts, English

California Elementary Teaching Credential

California Early Childhood Specialist Credential

California Administrative Credential

San Francisco State University, San Francisco, California

Honors and Awards

Alumnus of the Year, University of the Pacific

Organizations

Association for Supervision and Curriculum Development

National Staff Development Council

Council for Exceptional Children

Volunteer Work

Chair, Sonoma Design Review and Historic Preservation Commission, City of Sonoma
Singer, Free Spirits Gospel Choir, Sonoma
Stage Manager, Trashion Fashion Show, Sonoma
Co-Founder, Friends of Maysonnave House, Sonoma

Interests

Historic preservation, City of Sonoma, Sonoma Community Center, Singing, Interior Design,
Food and Wine, Gardening, Books, Dogs, Horses,

References upon request

Micaelia Randolph
Application for Design Review Commission

Other relevant experience or expertise:

My career has been centered around product development for the education market, both print and web. I have been the web editor for the Sonoma League for Historic Preservation since 2007.

Since 2004, I have written the short histories of each of the houses that appeared on the Sonoma Cottage and Garden Tour since 2004. (Samples included) This has involved interviewing homeowners, learning about the history of their homes and gardens and writing a story. This experience has given me a deep and visceral appreciation of the history, charm and precious nature of our town and its residents.

I served as co-chair of the Cottage and Garden Tour for the Sonoma League for Historic Preservation in 2010 and have worked with the tour since 2004.

What is your understanding of the role and responsibility of this commission?

I believe that this commission is charged with preserving of the architectural landscape and heritage of the City of Sonoma and supporting and encouraging excellent design for new projects.

Which activities of this commission interest you most?

I am very interested in the preservation of the town of Sonoma as a visual, cultural and historical entity and would welcome participation in a group that has this as its official mission.

Which activities interest you least?

What would be your goal as a commissioner?

- ✓ Support efforts to encourage excellent design that is in keeping with the character of Sonoma
- ✓ Support efforts to help Sonoma become a Certified Local Government
- ✓ Become as informed as possible
- ✓ Be a helpful team member

What do you feel you could contribute to see these goals realized?

Experience and relationship network with Sonoma League, and its members and with the town of Sonoma.

Energy level

Listening

Learning

Love of Sonoma.

Statement of Qualifications

for

Certified Local Governments Commissioners

Local Government City of Sonoma

Name of Commissioner Christopher Johnson

Date of Appointment: _____

Date Term Expires: _____

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

Yes

No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

I am a 14-year resident of Sonoma who's been very in active in the community. I've lived within the downtown historic district for over 3 three years. I have a strong commitment to preserving the cultural and historical treasures that make Sonoma such a unique place. I hold a Bachelors of Fine Arts. I feel my university studies have helped me develop an eye for design, color and order which certainly helps me when looking at various projects that come before the DRHPC.

CHRISTOPHER JOHNSON

306 First Street East, Sonoma, CA 95476 ✉ saginaw33@hotmail.com ✉ 707-721-6030

Experienced managerial/operations professional with 10+ years of experience within high-stress environments with a keen ability to lead others and manage daily operations within a variety of industries. Experienced in coordinating large-scale events, supervising staff members, developing operational strategies, and diffusing difficult customer service situations. Equipped with a significant level of communication and interpersonal abilities in addition to a strong background in effectively managing complex projects.

KEY COMPETENCIES

- Operations Management
- Customer Service
- Staff Management
- Vendor Management
- Hospitality Industry
- Strategy Implementation
- Training/Development
- Employee Development
- Process Improvement
- Attention to Detail
- Complex Problem Solving
- Team Leadership

PROFESSIONAL EXPERIENCE

FOLEY FAMILY WINS/SEBASTIANI WINERY, SONOMA, CA

2008-2015

Senior Hospitality Manager (2010-2015)

- Direct a variety of hospitality related functions within a high stress environment with a focus on improving efficiency, productivity, and customer satisfaction levels
- Create streamlined processes with a focus on improving current processes and reinventing the overall strategy of the tasting room
- Design and implement comprehensive programs which included Friday Night Music Series and Food Truck Friday's which resulted in greater customer satisfaction and retention levels
- Develop both weekly and monthly reports which highlighted the success of the tasting room in addition to supervising a staff of 20 which required providing individualized feedback and coaching
- Oversee all recruitment functions which includes interviewing candidates, making hiring decisions, overseeing onboarding, and providing all training
- Successfully grew margins from 58% to 74% during tenure by developing comprehensive training initiatives and maintaining high levels of client satisfaction

Tasting Room Lead (2008-2009)

- Utilized superior communication and interpersonal abilities in order to foster positive relationships with both new and existing clients with a focus on improving retention levels
- Provided both public and private tours of the facilities in addition to coordinating wine tastings which required significant planning acumen and attention to detail

Additional Professional Experience:

- Director of Admission/Financial Aid, Native American Preparatory School, 1995-2002
- Director of Gallery/Partner, Gentle Spirit Gallery, 1991-1994
- Actor, Independent Contractor, 1992-1995

EDUCATION & PROFESSIONAL AFFILIATIONS

BACHELOR OF FINE ARTS, EASTERN MICHIGAN UNIVERSITY

MEMBER, NATIONAL INDIAN EDUCATION ASSOCIATION

APPOINTED MEMBER, DESIGN REVIEW HISTORIC PRESERVATION COMMISSION FOR THE CITY OF SONOMA



CITY OF SONOMA

COMMISSION APPLICATION

JUL 15 2013

CITY CLERK

NAME: Christopher Johnson

ADDRESS: 306 First St East, Sonoma, CA 95476

MAILING ADDRESS: Same

CONTACT INFO (Please include daytime & evening phone numbers and email address):

Daytime 933-3207 Evening 721-6030

Email Cjohnson@sebastiani.com

COMMISSION OF INTEREST: Planning

HAVE YOU EVER ATTENDED A MEETING OF THIS COMMISSION? Yes HOW MANY? 7 or 8

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commission(s): Design review board

Cultural Fine Arts, Community Services and Environment

HOW MANY YEARS HAVE YOU RESIDED IN SONOMA? _____

PRESENT OCCUPATION: _____

EDUCATION

SCHOOL	MAJOR	GRADUATION DATE & DEGREE
<u>Eastern Michigan Univ</u>	<u>Fine Arts</u>	<u>1991 Bachelor of Fine Arts</u>

COMMUNITY SERVICE EXPERIENCE

ORGANIZATION	DATES SERVED	POSITION

(Use additional paper if necessary)

OTHER RELEVANT EXPERIENCE OR EXPERTISE: Strong advocate and supporter of the Sonoma Community

WHAT IS YOUR UNDERSTANDING OF THE ROLE AND RESPONSIBILITY OF THIS COMMISSION?
Mostly to help set land use goals, evaluate individual project proposals to ensure they are in line with the city's plan

WHICH ACTIVITIES OF THIS COMMISSION INTEREST YOU THE MOST? Helping to develop and maintain a general plan for the city

WHICH ACTIVITIES INTEREST YOU THE LEAST? None

WHAT WOULD BE YOUR GOAL AS A COMMISSIONER? To help the city continue to strike the balance between private benefit and the overall public good.

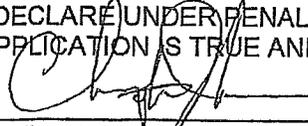
WHAT DO YOU FEEL YOU COULD CONTRIBUTE TO SEE THESE GOALS REALIZED?
I'm a great team player, a committed listener and understanding of community needs.

PLEASE LIST TWO LOCAL REFERENCES AND THEIR PHONE NUMBERS:
Manuel Merjil 815-2419 Dan Cassabonne 494-3130

SOME COMMISSION POSITIONS MUST BE FILLED BY A **QUALIFIED ELECTOR** OF THE CITY OF SONOMA. A QUALIFIED ELECTOR IS A PERSON WHO IS 1) A U.S. CITIZEN; 2) AT LEAST 18 YEARS OF AGE; AND 3) RESIDES WITHIN THE BOUNDARIES OF THE CITY OF SONOMA.

ARE YOU A QUALIFIED ELECTOR OF THE CITY OF SONOMA? YES NO

I DECLARE UNDER PENALTY OF PERJURY THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.


Applicant Signature

7/12/13
Date

All submitted applications are available for public inspection.

Return completed form to:
City Clerk
City of Sonoma
No. 1 The Plaza
Sonoma CA 95476

Statement of Qualifications
for
Certified Local Governments Commissioners

Local Government City of Sonoma

Name of Commissioner Leslie Tippell

Date of Appointment: 3/5/12

Date Term Expires: 3/5/18

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At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

Yes

No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

Leslie K. Tippell

414 First St. E., #5 • Sonoma • California 95476 • (707) 939.0215 • Mobile (707) 339.1234 • leslie@studiotippell.com

STUDIO TIPPPELL

L.T. Designs
Sonoma, California

January 2003 – Present
(7 years)
Principal

Principal/senior designer of L.T. Designs, a color design studio that collaborates with residential/commercial builders, developers, and investors for full project exterior color designs. Our services provide for the selection of exterior material and color palettes that include not only exterior paint, but also specifying roofing material, masonry and mortar, windows, signage and landscape features. Our portfolio includes a large range of projects, from small in-fill residential developments, to mid-rise condominiums, mixed-use, apartment repaints and international projects, such as a large master-planned community in Moscow. Many of these projects are cataloged on our website. (www.studiotippell.com).

THE SURLAND COMPANIES

San Ramon, California

September 2000 – October 2002
(2 years, 2 months)
Director of Purchasing

Managed four projects for the Award Winning Redbridge Community in Tracy, CA. Strong Negotiating and Management Skills, Product Evaluation and Research, Thorough Construction Knowledge, Budget Development & Control, Establish & Create Bid Specifications, Option Purchasing & Procedures.

TAYLOR WOODROW HOMES

San Raphael, California

January 2000 – September 2001
(1 year, 9 months)
Purchasing Agent

Managed six projects in the North & East Bay consisting primarily of high-end semi custom homes. Analyzed, negotiated and awarded all contracts with subcontractors and vendors for onsite/offsite construction. Implementation of all vendors, vendor bid prices, cost analysis, estimates, and group level reports in FAST. Created bid specifications for all projects in conjunction with Sales & Marketing, Design and Development teams.

COMPASS HOMES

Costa Mesa, California

May 1999 to January 2000
(9 months)
Purchasing Agent

Orchestrated and managed company's most successful model opening of high-end, steel-framed houses in Los Angeles, California. Coordinate and oversaw value engineering and final specifications with Design team professionals. Responsible for creating and actualizing line item budgets on multiple projects. Communicated all budget related information to company President and trade partners on regular basis. Established all option pricing and created project standard and option books for sales. Approved and coded all job-related invoices.

WESTERN PACIFIC HOUSING

Irvine, California

October 1997 to April 1999
(1 year, 7 months)
Purchasing Agent

Managed eight projects consisting of single and multi-family homes under established budget. Contributed and set specifications towards foremost model opening for Orange County Division. Secure, negotiate, write and award contracts for all on-site and off-site contracts. Coordinate and value engineer Architectural working drawings, structural and civil plans. Research and identify new products geared towards anticipating housing trends and influences. Supervised and trained Asst. Purchasing Agent and Contracts Administrator to a more promotable level.

K. HOVNAINIAN COMPANIES
Newport Beach, California

September 1994 – 1997
(3 years)
Purchasing Agent

Coordinated all construction and purchasing activities for the California start up operation of this East coast Builder. Responsible for the successful opening and purchasing for (3) model complexes simultaneously in 1997. Prepared and maintained initial budgets for all communities through buyout. Negotiated contracts with subcontractors, and suppliers to achieve favorable pricing structures and quality standards. Established, created and maintained all bid specifications and Scopes of work. Due diligence of all trade contractors to maintain quality and leading edge marketability.

BIRTCHEER CONSTRUCTION LIMITED
Laguna Niguel, California

March 1987 – September 1994
(7 years, 7 months)
Project Coordinator - Estimating

Coordinate the bidding of all new construction ranging from \$1-\$85 million for Commercial Developer/Builder that specializes in high-rise, residential, commercial industrial and tenant improvements. Respond to all inquires of company's current bid schedule and project status. Designed and implemented Residential Division Options program for Purchasing Department. Actively involved in budgeting and bidding of projects. Interface with owner, architects, property managers and subcontractors.

EDUCATION

University of California, Irvine
Bachelor of Science, Psychology, June 1986

Honors & Awards:

2011-Present – Commisioner & Chair, Design Review & Historical Preservation Commission, City of Sonoma
2010/2011 - Board of Directors - HomeAid Northern California
2007-2012 - Chair, PCBC - Bay Area Architectural Design Tour
2009 - President – Profprofessional Women in Building (PWB), BIA Bay Area
2009 - Director - CBIA Women's Council
2008 - Presidents Award - PWB, BIA Bay Area
2008 - Vice President - PWB, BIA Bay Area
2007 - Rising Star Award - PWB, BIA Bay Area
2007 - Cover Story - "Studio Tippell" Builder Architect Magazine. October
2007 - "B & D One to Watch" Builder Developer Magazine, June
2006, 2007 - "Women In Home Building" Bay Area Home Building Magazine

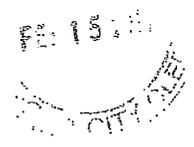
Skills:

Microsoft Word, Excel, Photoshop, In Design, Mindbody Online, FAST

resident



CITY OF SONOMA



COMMISSION APPLICATION

NAME: Leslie K. TIPPETT

ADDRESS: 1253 PEARCE, SONOMA CA

MAILING ADDRESS: 413 SAUNDERS DR., SONOMA CA

CONTACT INFO (Please include daytime & evening phone numbers and email address):

707. 939. 0215 DAY/NIGHT

707. 339. 1234 cell, LESLIE@studioitippett

COMMISSION OF INTEREST: DESIGN REVIEW COMMISSION
ALTERNATE

HAVE YOU EVER ATTENDED A MEETING OF THIS COMMISSION? YES HOW MANY? 2

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commission(s): CULT. & FINE ARTS

HOW MANY YEARS HAVE YOU RESIDED IN SONOMA? 17
PRESENT OCCUPATION: ARCHITECTURAL COLOR/EXT. DESIGN

EDUCATION		
SCHOOL	MAJOR	GRADUATION DATE & DEGREE
<u>U.C.I.</u>	<u>PSYCHOLOGY</u>	<u>BACH. - 6.86</u>

COMMUNITY SERVICE EXPERIENCE		
ORGANIZATION	DATES SERVED	POSITION
<u>HomeAID</u>	<u>1.1.10-present</u>	<u>BOARD OF DIRECTORS</u>
<u>HomeAID</u>	<u>1.1.10 present</u>	<u>P.R. Commi Tee</u>
<u>PROF. WOMEN IN BLDG.</u>	<u>11.2008 - 12.2009</u>	<u>PRESIDENT</u>
<u>CBIA - Womens Council</u>	<u>1.2009 - 1.2010</u>	<u>DIRECTOR</u>

(Use additional paper if necessary)

OTHER RELEVANT EXPERIENCE OR EXPERTISE:

PCBC - Pa. Coast Blog. TOURS. CHAIR
Green/BLDG. HOME TOURS IN THE BAY AREA

WHAT IS YOUR UNDERSTANDING OF THE ROLE AND RESPONSIBILITY OF THIS COMMISSION?

To evaluate, review, approve or deny
APPLICATIONS FOR BLDG. EXTERIORS & MODIFI-
CATIONS.

WHICH ACTIVITIES OF THIS COMMISSION INTEREST YOU THE MOST?

AS A DESIGNER, BEING ABLE TO USE MY
EXPERTISE TO A MORE BEAUTIFUL & SUSTAIN-
ABLE SONOMA.

WHICH ACTIVITIES INTEREST YOU THE LEAST?

ITS HARD FOR ME TO COMMENT ON THIS
W/OUT PRIOR KNOWLEDGE OF SITTING ON THIS
COMMISS.

WHAT WOULD BE YOUR GOAL AS A COMMISSIONER? TO HELP BEAUTIFY
EXISTING & NEW BUILDING STRUCTURES

WHILE RESPECTING THE ORIG. ARCH. STYLES
OF THE TOWN OF SONOMA & HISTORICAL RELEVANCE

WHAT DO YOU FEEL YOU COULD CONTRIBUTE TO SEE THESE GOALS REALIZED? MY
BACKGROUND IN

SPECIALIZING IN CREAT. ARCH. COLOR/EXTERIORS
WOULD HELP FURTHER ENHANCE THE ARCHITECTURE
IN SONOMA TO CREATE A TIMELESS, POSITIVE &

PLEASE LIST TWO LOCAL REFERENCES AND THEIR PHONE NUMBERS. LASTING IMPRESSION.

TOM ANDERSON • 707. 480. 7840, cell
KEN BROWN • 707. 938. 8623, cell

Aeshe K. Tippell

Applicant Signature

2.7.11

Date

Submitted applications will be kept in the active file for one year. All submitted applications are available for public inspection.

Return completed form to:
City Clerk
City of Sonoma
No. 1 The Plaza
Sonoma CA 95476

February 7, 2011

City of Sonoma – Commission Application, (Continued)

Question: What would be your goal as a commissioner?

To help beautify existing and new building structures while respecting the original architectural styles of Sonoma and their historical relevance of the original plan.
Taking a classic style and updating it with a new, fresh and relevant twist,

Statement of Qualifications

for

Certified Local Governments Commissioners

Local Government City of Sonoma

Name of Commissioner Bill Essert

Date of Appointment: 12/12/2015

Date Term Expires: 12/12/2017

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

Yes No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

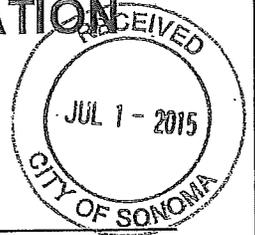
 3/4/16

residents



CITY OF SONOMA

COMMISSION APPLICATION



NAME: Bill Essert

ADDRESS: 1278 Ingram Dr., Sonoma CA 95476

MAILING ADDRESS: Same

CONTACT INFO (Please include daytime & evening phone numbers and email address):

(510) 714-0800 cell (day & eve) ; billpess@gmail.com

COMMISSION OF INTEREST: Design Review and Historic Preservation

HAVE YOU EVER ATTENDED A MEETING OF THIS COMMISSION? no HOW MANY? 0

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commission(s): planning

HOW MANY YEARS HAVE YOU RESIDED IN SONOMA? 2+ years

PRESENT OCCUPATION: Wooden Windows, Inc. President

EDUCATION

SCHOOL	MAJOR	GRADUATION DATE & DEGREE
Northwestern Univ.	MUSIC	6/82 Bachelors

COMMUNITY SERVICE EXPERIENCE

ORGANIZATION	DATES SERVED	POSITION
California Preservation Foundation	2008-2013	Education Committee/Presenter
Piedmont Comm. Church	1999-2003	Education Committee
City of Piedmont	2007-2011	Harvest Committee
Hanna Boys Center	2015-present	Vocational Volunteer Programs

(Use additional paper if necessary)

OTHER RELEVANT EXPERIENCE OR EXPERTISE: 25+ years experience in the field of historic preservation with an emphasis in preservation materials and contracting. I have encountered similar preservation issues in my professional work.

WHAT IS YOUR UNDERSTANDING OF THE ROLE AND RESPONSIBILITY OF THIS COMMISSION?

To protect the architectural heritage of the City and to promote excellence in design through its review of proposed projects.

WHICH ACTIVITIES OF THIS COMMISSION INTEREST YOU THE MOST? Project review

& on-site visits of proposed projects, helping the staff, commission, and community make informed decisions using design guidelines.

WHICH ACTIVITIES INTEREST YOU THE LEAST? when the process gets

bogged down to a standstill

WHAT WOULD BE YOUR GOAL AS A COMMISSIONER? To help the community and

the commission make well informed decisions. To help create a framework to streamline the review process.

WHAT DO YOU FEEL YOU COULD CONTRIBUTE TO SEE THESE GOALS REALIZED?

Not only do I bring my professional expertise, but also the eyes & ears of one who moved to Sonoma two years ago for the "Historic Feel" and plaza community.

PLEASE LIST TWO LOCAL REFERENCES AND THEIR PHONE NUMBERS:

Kelso Barnett (707) 758-3845 Alice Duffee (415) 806-4549

SOME COMMISSION POSITIONS MUST BE FILLED BY A **QUALIFIED ELECTOR** OF THE CITY OF SONOMA. A QUALIFIED ELECTOR IS A PERSON WHO IS 1) A U.S. CITIZEN; 2) AT LEAST 18 YEARS OF AGE; AND 3) RESIDES WITHIN THE BOUNDARIES OF THE CITY OF SONOMA.

ARE YOU A QUALIFIED ELECTOR OF THE CITY OF SONOMA?

YES

NO

I DECLARE UNDER PENALTY OF PERJURY THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.

[Signature]
Applicant Signature

7/1/2015
Date

All submitted applications are available for public inspection.

Return completed form to:
City Clerk
City of Sonoma
No. 1 The Plaza
Sonoma CA 95476

Statement of Qualifications

for

Certified Local Governments Commissioners

Local Government CITY OF SONOMA

Name of Commissioner ROBERT CORY

Date of Appointment: FEB 17 2016

Date Term Expires: FEB 17 2018

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

X Yes ___ No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

I HAVE BEEN A ARCHITECTURAL DESIGNER & INTERIOR DESIGNER
MY PASSION RIGHT NOW IS TO PRESERVE SONOMA, KEEPING
IT CHARMING & BEAUTIFUL

Robert Cory

City



CITY OF SONOMA

COMMISSION APPLICATION

DEC 21 2015

CITY OF SONOMA

NAME: Robert Cory

ADDRESS: [REDACTED]

MAILING ADDRESS: SAMB.

CONTACT INFO (Please include daytime & evening phone numbers and email address):
[REDACTED] FOR BOTH
[REDACTED]

COMMISSION OF INTEREST: DESIGN REVIEW & HISTORIC PRESERVATION

HAVE YOU EVER ATTENDED A MEETING OF THIS COMMISSION? YES HOW MANY? 1

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commission(s): YES ?

HOW MANY YEARS HAVE YOU RESIDED IN SONOMA? 1 yr
PRESENT OCCUPATION: RETIRED INTERIOR & ARCHITECTURAL DESIGNER

EDUCATION

SCHOOL	MAJOR	GRADUATION DATE & DEGREE

COMMUNITY SERVICE EXPERIENCE

ORGANIZATION	DATES SERVED	POSITION
<u>Sonoma Community</u>	<u>Center</u>	

(Use additional paper if necessary)

OTHER RELEVANT EXPERIENCE OR EXPERTISE: _____

I DESIGNED SAMS TOWN HWY 50

I DESIGNED THE DOWNTOWN OF BIRBA CALIF

WHAT IS YOUR UNDERSTANDING OF THE ROLE AND RESPONSIBILITY OF THIS COMMISSION?

TO REVIEW FUTURE PROJECTS IN SONOMA & TO PROTECT EXISTING SITES

WHICH ACTIVITIES OF THIS COMMISSION INTEREST YOU THE MOST? _____

WHICH ACTIVITIES INTEREST YOU THE LEAST? _____

WHAT WOULD BE YOUR GOAL AS A COMMISSIONER? TO KEEP SONOMA

COMMUNITY

WHAT DO YOU FEEL YOU COULD CONTRIBUTE TO SEE THESE GOALS REALIZED?

MY BACKGROUND

PLEASE LIST TWO LOCAL REFERENCES AND THEIR PHONE NUMBERS:

TOWN - SONOMA COMMUNITY CENTER / LARRY BRADY

SOME COMMISSION POSITIONS MUST BE FILLED BY A QUALIFIED ELECTOR OF THE CITY OF SONOMA. A QUALIFIED ELECTOR IS A PERSON WHO IS 1) A U.S. CITIZEN; 2) AT LEAST 18 YEARS OF AGE; AND 3) RESIDES WITHIN THE BOUNDARIES OF THE CITY OF SONOMA.

ARE YOU A QUALIFIED ELECTOR OF THE CITY OF SONOMA? YES NO

I DECLARE UNDER PENALTY OF PERJURY THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.

Applicant Signature Robt Guy

Date 12/21/15

Return completed form to:
City Clerk
City of Sonoma
No. 1 The Plaza
Sonoma CA 95476

All submitted applications are available for public inspection.

Statement of Qualifications
for
Certified Local Governments Commissioners

Local Government City of Sonoma

Name of Commissioner Kelso G. Barnett

Date of Appointment: February 2011

Date Term Expires: February 2017, can be extended through February 2019

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

Yes No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

While I'm not a professional associated with one of the disciplines listed above, I am a "lay member" who has demonstrated special interest, competence, experience and knowledge in Sonoma's history and local historic preservation. I was born and raised in Sonoma and have made an effort to learn about Sonoma's history from a young age. I have a degree in history from UC Berkeley as well as a MBA and MRED (Master of Real Estate Development) from the University of Southern California. The MRED degree in particular focused on planning and historic preservation in the approvals process. I work in real estate development and have experience dealing with adaptive reuse and incorporating the historic elements of a property into new projects. I am currently the senior member of this commission and have served during the transition from a Design Review to a Design Review & Historic Preservation Committee during the Certified Local Government certification process.

CITY OF SONOMA
COMMISSION APPLICATION

Name: Kelso G. Barnett
Address: 135 W. Napa Street, Unit 301
Sonoma, CA 95476
Mailing Address: Same as above
Contact Info: cell: 707.758.3805
e-mail: kelsogbarnett@gmail.com

Commission of Interest: Design Review Board

Have you ever attended a
mtg. of this commission?: Not yet

If you are not selected for the commission listed above, would you be interested in serving on any of our other commissions? If so, please indicate which commissions:

Planning Commission.
(I've attended those meetings over the years.)

How many years have you resided in Sonoma:

20+ over the past (almost) 30 years. Other time spent at school in Berkeley, and living/working in San Francisco, Boston and Newport Beach.

Present Occupation: Real Estate Development Consultant

Education

<u>School</u>	<u>Major</u>	<u>Graduation Date & Degree</u>
U.C. Berkeley	Political Science History	2004 Bachelor's Degree

Other education notes: I will be applying to MBA programs this fall. I plan to apply to local programs and remain living in Sonoma. I graduated from Justin-Siena High School.

Community Service Experience

Since I left for college, my only Sonoma "community service" experience was helping to organize the "No on Measure C" effort during the spring of 2006 (the hospital bond/Leveroni Farm eminent domain issue).

While away, however, I was actively involved in the communities in which I lived. I've served as a lector at Catholic churches in Berkeley, San Francisco and Boston.

In Boston, I was involved in "UrbanPlan," a program of the Urban Land Institute in which I taught the fundamentals of real estate development to high school economics students.

In Newport Beach, I was a founding member of "Future Leaders of Orange County," a community service organization that pairs young professionals with service opportunities.

As I've only been back in Sonoma for a few months, I plan to get more involved in local community service organizations.

Other Relevant Experience or Expertise

I've always had a passion for land use and good planning and design. While this wasn't my academic emphasis in college, I did take a few "urban planning" courses during my time at Cal.

I have since translated this passion into a career. For the past four years, I've worked in real estate development consulting, providing market, economic and financial analysis for a variety of real estate land uses at different points in the development timeline.

This opportunity has given me experience with a wide spectrum of development, as well as exposed me to design that works as well as design that fails.

What is your understanding of the role and responsibility of this commission?

Sonoma is a unique place - a throwback in modern California. It's a sustainable, well-planned community whose charm and design delights both families who have lived here for generations as well as visitors from around the world.

I view the leaders of Sonoma as stewards, preserving the town they were given until it is time to hand it off to the next generation.

The Design Review Board is an essential element in this process, for our architectural heritage and design is a major part of what makes Sonoma unique. Whether it's the barrel tile roofs that

pay respect to our founding as a Mexican Pueblo, the Victorians along Broadway, or the art-deco elements of the Cheese Factory, Sonoma is an architectural treasure.

Ultimately, that is this commission's charge; ensuring new development projects have excellent design features, as well as making sure they favorably contribute to our town's architectural and design fabric.

Which activities of this commission interest you the most?

In the short-term, if selected, I look forward to working with and learning from the five established members of the Design Review Board. After reading agendas and minutes from over the past few years, all activities of this commission are of interest.

Whether it's approving retail signage on the Plaza or reviewing the plans of a new custom home, playing an active role in the preservation of Sonoma's architectural and design heritage appeals to me.

Which activities of this commission interest you the least?

In a small town like Sonoma, it is inevitable that projects will be brought forward by people I know or with whom I have some sort of connection.

My ultimate loyalty will be to the commission's charge and Sonoma's architectural heritage. I'll have no problem voting against the projects of my friends or acquaintances if they do not meet Sonoma's strict standards.

That said, potentially straining relations with neighbors is the one aspect of the commission that interests me the least.

What would be your goal as a commissioner?

My personal goal as a commissioner of the Design Review Board mirrors the goal of the commission at large; to preserve and carry forward our town's architectural and design heritage. I'll ask whether each project contributes to this heritage and vote against the ones that do not.

Another goal is to encourage projects to go beyond our recently passed Green Building Ordinance. Taking advantage of all economically feasible green design elements should be part of every new project in Sonoma.

In a similar vein to green building design, I'll also encourage projects to promote, as best they can, alternative forms of transportation, such as walking or cycling.

In my view, the Design Review Board not only preserves our town for the locals, but is an important element of our main economic driver: tourism. Bad design reflects poorly on a community. When people rave about Sonoma's charm, they're raving about elements a Design Review Board considers. My goal is to keep both the locals and our guests raving.

What do you feel you could contribute to see these goals realized?

I can contribute both experience and context to the Design Review Board. Both are important as we consider new projects and how they will blend with Sonoma's historic core.

Experience; My background in real estate development gives me both economic and design experience as I consider new projects. In addition, since college, I've lived in two cities known for their design (San Francisco and Boston) as well as a region that is not (Orange County). I have been exposed to what works and what doesn't.

Context; I was born in Sonoma, have lived here for most of my life, and stayed involved even when I did not. I've always paid attention to Design Review; I remember the KFC "red roof" uproar as well as the skirmish over the bear family at the Black Bear Diner. I remember developments that turned out well along with those that did not. As the saying goes, those who forget history are doomed to repeat it. I won't forget, for history and context matters.

I am committed to Sonoma's long-term preservation, as I plan to be around for at least another 50 years.

These contributions will combine to ensure my goals, as well as the goals of the commission, are met.

Please list two local references and their phone numbers:

August Sebastiani	481-5635
Ken Brown	938-8623

Kelso Grant Barnett
Applicant signature

June 17, 2010
Date

Statement of Qualifications

for

Certified Local Governments Commissioners

Local Government City of Sonoma

Name of Commissioner Wend Atkins, staff to Commission

Date of Appointment: Hired 5/30/06

Date Term Expires: N/A

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Are you a professional in one of the disciplines associated with historic preservation?

Yes

No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.

Received a Bachelor of Arts degree in Environmental Studies and Planning.

Wendy C. Atkins
No. 1 The Plaza
Sonoma, CA 95476
(707) 933-2204

Objective: Resume for Certified Local Government Annual Report.

Skills:

- Knowledgeable of the California Environmental Quality Act, including Secretary of Interior Standards for Historic Preservation
- Lead staff to the Design Review and Historic Preservation Commission
- Geographic Information Systems operator
- Maintains confidence and perseverance in complex assignments
- Trained to produce team success
- Committed to solving problems through strategic approaches
- Strong organizational skills
- A motivated problem solver and a quick learner

Experience:

- Present
05/06 Participates on a variety of boards and commissions, prepares agenda items, meets with and advises individual property owners on Planning policy.
City of Sonoma Planning Department Sonoma, CA
- 03/05
11/05 Created and digitized maps using Geographic Information Systems. Researched and created baseline documentation for easements.
Sonoma County Agricultural Preservation and Open Space District
Santa Rosa, CA
- 03/02
09/02 Mapped stormwater drainage infrastructure using Global Positioning Systems.
Contra Costa County Department of Public Works Martinez, CA
- 06/98
11/00 Responsible for import and export of Beringer wines. Managed allocation of wines for worldwide distribution.
- 10/87
06/98 Managed shipping, receiving, and accounting for firms in the semiconductor industry.

Education:

- Sonoma State University** Sonoma, CA
May 2006
Bachelor of Art degree in Environmental Studies and Planning (cum laude and Graduation with Distinction).
- Napa Valley College** Napa, CA
May 2004
Associate of Arts degrees achieved in Natural Sciences and Mathematics, Humanities and Fine Arts, and General Education (Graduation with Honors).

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
MEETING
October 20, 2015**

Community Meeting Room, 177 First Street West, Sonoma, CA

MINUTES

Chair Anderson called the meeting to order at 6:33 p.m.

Roll Call:

Present:	Chair Anderson, Comms. Johnson, Essert, Tippell
Absent:	Chair Barnett, Comm. Randolph
Others Present:	Planning Director Goodison,, Administrative Assistant Morris

Chair Anderson stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: CHANGES TO AGENDA ORDER: None

CORRESPONDENCE: Late mail on Item #5 from Patricia Cullinan and Marilynn Caccia.

Item #1 – Consideration of a projecting sign and a portable freestanding sign for a restaurant (Tasca Tasca) at 122 West Napa Street.

Applicant: Tasca Tasca

Planning Director Goodison presented staff's report.

Chair Anderson opened the item to public comment.

Manuel Azevedo, Tasca Tasca restaurant owner/applicant, described the replacement signs and wanted to draw more attention to the new commercial business.

Chair Anderson closed the item to public comment.

Comms. Johnson is satisfied with the signs.

Chair Anderson and Comm. Tippell felt the shape and configuration of the signs are an improvement.

Comm. Essert concurred with his fellow Commissioners and approved of the new business signage.

Comm. Tippell made a motion to approve the application as submitted. Comm. Johnson seconded. The motion carried unanimously (4-0).

Item # 2 – Consideration of design review and two wall signs for a commercial building (G&C Auto Body) at 19286 Sonoma Highway.

Applicant: G&C Auto Body

Planning Director Goodison presented staff's report.

Chair Anderson opened the item to public comment.

Shawn Crozet, Crozat Family Properties LLC/applicant, said that his goal is to freshen up the storefront with a new color scheme for the building, new door awnings, and a new stone facing.

Chair Anderson closed the item to public comment.

Comms. Johnson liked the new proposal and viewed as an improvement to the Highway 12 corridor.

Comm. Tippell appreciated the stonework and in her view the colors made sense. She agreed with Comm. Johnson that the proposed changes improved the building façade.

Chair Anderson concurred with Comm. Tippell and liked the stonework and color scheme presented and felt the new logo is attractive.

Comms. Johnson and Essert agreed with the colors selected.

All the Commissioners felt the building refresh will be an enhancement.

Comm. Johnson made a motion to approve the proposal as submitted. Comm. Essert seconded. The motion carried unanimously (4-0).

Item # 3 – Consideration of design review and additions to a residence at 597 Third St. East.

Applicant: Cliff Clark

Planning Director Goodison presented staff's report.

Chair Anderson opened the item to public comment.

Fred O'Donnell, FIGO Design, represented the applicant and explained that the owners wanted to preserve the integrity of the historical home with the remodel. The building façade will blend into the neighborhood.

Chair Anderson closed the item to public comment.

Comm. Johnson supported the home remodel as complementing the qualities of the existing residence.

Comm. Tippell is pleased with the recognition of the characteristics in the home that will be retained since it is in the Historic District.

Chair Anderson agreed that the proposed changes will blend in with the existing homes in the neighborhood and preserve the historic features of the residence.

Comm. Essert made a motion to approve as submitted. Comm. Johnson seconded. The motion carried unanimously (4-0)

Item # 4 – Consideration of design review for a vacation rental at 835 Broadway.

Applicant: 835 Broadway LLC

Chair Anderson recused due to proximity and left the room.

Planning Director Goodison presented staff's report.

Chair Tippell opened the item to public comment.

Ryan Snow, part owner, worked with the Building and Planning departments and as a result is before the DRHPC for further review. He said that Fred O'Donnell, Project Designer, was available to answer any questions about the project specifics.

Comm. Essert inquired about the window specifications.

Fred O'Donnell, Project Designer, responded, that although he did not select the window type, it was his understanding the new windows are wood trimmed to match the existing window style.

Chair Tippell closed the item to public comment.

Comm. Johnson confirmed with the applicant the main elements of the project are exterior modifications to the existing building, ADA compliant platform lift at the northeast corner of the house, addition of a layer of concrete to raise the front porch to the level of the interior floor, rebuilding of steps and step railing to accommodate the new height of the porch, meeting accessibility standards and modification of master bath window on the north side of the house.

Comm. Essert agreed with the conversion to a vacation rental and but wanted to be sure that that the proposed 200 series double-hung windows would match the existing window designs.

Comms. Tippell and Johnson supported the use in this mixed use location.

All the Commissioners viewed the proposal as an improvement and were confident the owners would select the correct type of windows.

Comm. Johnson made a motion to approve with the condition that the window replacement re-use the existing window or match the existing window. Comm. Essert seconded. The motion was unanimously approved 3-0 (Chair Anderson recused)

Chair Anderson returned to the dais.

Item # 5 – Consideration of a demolition of a single-family residence at 790 Second St. East.

Applicant: Sandra and William Burcham

Planning Director Goodison presented staff's report.

Chair Anderson confirmed with staff that the project is in the Historic Overlay Zone but it is not listed on the local Historic Resources Survey.

Chair Anderson opened the item to public comment.

Sandra Burcham and William Burcham, new property owners/applicants, said they recently purchased the home. It was their understanding it had been neglected for many years and needed renovation. They commissioned Alice P. Dufee, Historic Preservation Planner, to prepare a Historic Resource Evaluation for the site. After careful consideration a decision was made to demolish the home and build a new residence.

Chair Anderson confirmed with the applicant that the landscaping will be replaced.

Chair Anderson closed the item to public comment.

Comm. Johnson is satisfied with the demolition and supports the concept of replacing it with a single-story structure.

Comm. Essert visited the site accepts the demolition proposal since the structure is not deemed Historic according to the historic resource evaluation.

Chair Anderson agreed with Comm. Johnson that given the analysis presented, demolition may be supported and that the proposed concept for the replacement residence is appropriate.

All the Commissioners requested that neighborhood outreach continue during the home construction and that the applicant monitor construction work hours to comply with City rules.

Comm. Tippell made a motion to approve the demolition. Comm. Johnson seconded. The motion was unanimously approved (4-0).

Planning Director Goodison reported the following:

Staff is working with Page and Turnbull to prepare the Downtown Housing Guidelines and a steering committee will be formed that will include DRHPC members, staff, and the Chamber of Commerce. A date for the kickoff meeting is being discussed.

A 2-acre site at 20269 Broadway is owned by the Sonoma County Housing Authority, which has recently issued an RFP seeking a development partner for an affordable housing project on the site.

Comments from the Commission: Chair Anderson is pleased with the projects in town that were reviewed by the Commission especially Corner 101 and Pangloss Cellars in the Plaza Historic District.

Adjournment: Chair Anderson made a motion to adjourn the meeting at 7:40 p.m. Comm. Tippell seconded. The motion was unanimously carried. The next regular meeting scheduled is at 6:30 p.m. on Tuesday, November 17, 2015.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 17th day of November 2015.

Respectfully submitted

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
November 17, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Anderson, Randolph, Tippell, Johnson, Essert
(Alternate)

Absent:

Others Senior Planner Gjestland, Associate Planner Atkins

Present:

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Randolph made a motion to approve the minutes of October 20, 2015. Comm. Tippell seconded. The motion was unanimously approved.

CORRESPONDENCE: Late mail was received on Items 1, 2, and 3.

Item #1 – Design Review – Design review of a replacement porch for a commercial building at 445-447 First Street West (Applicant: Sidney Hoover).

Associate Planner Atkins presented the staff report.

Comm. Tippell inquired as to the current height of the railing and staff requested that question be addressed by the applicant.

Chair Barnett opened the public comment.

Sidney Hoover, applicant, explained that the existing railings are tapered and do not meet the existing building code. The railing has to meet current building code requirements in order for it to be used. The existing porch is sloped down and the proposed design brings the edge of the porch up so pedestrians cannot reach up and grab it.

Chair Barnett requested the applicant address the proposal to move the posts back eighteen inches from the street.

The applicant stated that the Building Official requested the post be moved back eighteen inches to avoid contact with vehicle bumpers.

Chair Barnett asked if the balcony is currently in use and the applicant replied in the affirmative.

Comm. Randolph inquired as to the height of the new awning and the applicant replied that the height will be the same at the building line. Comm. Randolph further inquired if the new 43-inch railing will obstruct the view of the window and the door from the street. The applicant replied that it probably will but that is the best he can do to meet the requirements.

Chair Barnett asked if there was any thought given to mimicking the height as it is now and then having some sort of glass behind it that would create the 42-inch high railing. The applicant replied in the negative.

Comm. Randolph asked if the balustrade on the building was originally intended to be used as a porch. The applicant requested that there is little history available on the building.

Mary Martinez stated that she wrote a letter that addressed her concerns with the façade change. She suggested that the new railing will change the appearance of the building and whittle away its history. She asked if it was necessary do make this change right now? She stated she was okay with the "L" beam if it is at the same scale. She asked the commission to consider this application carefully.

Chair Barnett closed the public comment.

Comm. Johnson stated that these projects are always difficult and he appreciates the comments from the public. He can understand why the proposal is necessary and initially would not have agreed with the decision to move the posts back 18-inches but understands now that it is an issue with safety. He will support the project but will consider other comments from the commission.

Comm. Tippell asked if safety compliance trumps historic compliance and she thinks it does. In a perfect world she would like to keep it the same. She supports moving the posts back 18-inches. She appreciates that the new design duplicates the existing design and she supports it.

Comm. Anderson stated that it appears that the architect has really studied the issues and put a lot into preserving the aesthetics of the building. This is the best alternative given the building code requirements.

Comm. Randolph stated that she loves this building and it contributes to the feeling of living in history. She feels that the applicant does not have any other choice. She is alright with the proposal even though it would change the way the building looks.

Chair Barnett stated that he worries about unintended consequences when reviewing applications such as the one before the commission tonight. He also likes historic buildings that are functional. He stated that he is concerned with moving the post back additional 10-inches from the street and how that may change the aesthetics from the sidewalk but he understands the reasons for the modification.

Comm. Johnson made a motion to approve the project as submitted. Comm. Tippell seconded. The motion was unanimously approved

Item #2 – Design Review – Site design and architectural review of proposed alterations and an addition to the residence at 227 East Spain Street (Applicant: Robert Baumann & Associates).

Senior Planner Gjestland presented the staff report.

Chair Barnett suggested the commission break review of the item into two parts given the significant amount of late correspondence that was received: first address historic matters then conduct site design and architectural review.

Chair Barnett opened the public comment.

Alice Duffee, APD Preservation, noted that she had prepared three reports for the property/project including a Historic Resource Evaluation, Determination of Effect, and a Secretary of the Interior's analysis. She confirmed that the residence is an historic resource under CEQA and summarized aspects of the property that contribute to the National Register District.

Chair Barnett confirmed with the historic consultant that the DRHPC should evaluate the project the same whether the residence is individually significant or significant as a contributor to the National Register District.

Alice Duffee, APD Preservation, expressed unlikelihood that archaeological resources would be discovered during construction given extensive disturbance that has occurred on site.

George McKale, representing the Sonoma League for Historic Preservation, noted the League is scrutinizing the project because the residence is one of the oldest buildings in Sonoma. He disagreed with APD Preservation's findings and felt that the project would adversely impact the resource.

Alice Duffee, APD Preservation, responded by showing a graphic that illustrated how the structure was substantially modified over time with the original salt box home engulfed.

Chair Barnett asked the historic consultant if the 1918 Queen Anne iteration can be viewed individually historically significant. Alice Duffee indicated that, while old enough, it cannot because it has been highly modified and exterior changes over the years compromised the historic significance of the building. Chair Barnett found this conclusion troubling since most people consider the residence historically significant and because the League gave an award for the 2001-2003 renovation. Alice Duffee responded that the renovation created a false sense of historicism and degraded the structure's true features. Chair Barnett confirmed with the historic consultant that a building can seem or appear to be historically significant but not be based on the rigid standards under CEQA.

Based on this discussion Comm. Randolph concluded that the DRHPC should treat the building as an historic resource due to its contribution to the National Register District and focus project review on how the remodel addresses the four aspects of location, materials, setting, and feeling.

Chair Barnett pointed out that Historic Resource Evaluations are not typically disputed, and when a similar disagreement came up in review of a remodel/addition project at 563 Second Street East, the DRHPC required peer review. Given Mr. McKale's concerns and credentials, Chair Barnett suggested that peer review may be warranted in this case. Comm. Randolph noted that several people had requested peer review.

Chair Barnett confirmed with staff how the process would lay out if more analysis or peer review were required by the DRHPC. He then asked if Mr. McKale wanted peer review. Mr. McKale answered that he does not feel peer review is needed though additional research is necessary, which could result in changes to the project. Personally, he does not like being peer-reviewed himself and would prefer to work with the historic consultant to come to an agreement about impacts.

Comm. Randolph emphasized that the DRHPC's responsibility is to review the project in terms of scale, massing and feeling.

Robert Baumann, applicant and project architect, noted that lots of time, effort, and money have been expended to design a proposal that addresses the various parameters that apply to the property. He pointed out that the structure has significant decay and many life-safety issues based on inspections. He met with staff and APD Preservation early on to figure out how to approach the project and meet his client's needs. Ultimately, the

direction was to save the front façade, even though he didn't feel the façade warranted preservation, and increase the second floor height to make it usable and code-compliant. The project meets all zoning requirements and the project would use similar but not identical materials consistent with the Secretary of the Interior's Standards.

Comm. Randolph, appreciated the significant effort put into the proposal but noted this is the first time the DRHPC has seen the project.

Chair Barnett requested public comment on the project design.

Kathy Sperring, adjoining neighbor at 442 Second Street East, stated the project is a significant enlargement that will adversely impact her. She expressed specific concern about the second dwelling unit proposed along the back of the property and increased storm water runoff onto her property from the development. She requested the DRHPC review the drainage issue and second unit. She also requested that the DRHPC require a greater setback for the second unit, and include the second unit's floor area in the Floor Area Ratio.

Chair Barnett confirmed that the DRHPC does not have discretion or review authority over the second dwelling unit or drainage matters.

Robert Baumann stated they have been proactive and hired Adobe & Associated 2-3 weeks prior to develop a drainage plan. He indicated that the Sperrings are disputing the location of the common property line which is why they feel so impacted.

Gene Sperring, adjoining neighbor at 442 Second Street East, asked the DRHPC to delay their decision in order to find out what's planned for drainage and grading. He indicated that there is a dispute about where the common property line is located.

Chair Barnett appreciated the concerns but reiterated those matters are outside the DRHPC's discretion.

Steve Weingard, adjoining neighbor at 245 East Spain Street, expressed the view that the scale and mass of the proposed home is excessive and will appear enormous from the street. He suggested that an addition could be designed to go deeper into the lot rather than wider.

Mary Martinez, resident, concurred with Mr. Weingard's comments. She showed a visual to contrast the difference in scale between the existing and proposed residence. She stated the project will dwarf the home to the east and adversely affect the historic fabric of the neighborhood.

Robert Bauman, project architect, responded by showing a more comprehensive visual diagram that illustrated the difference in scale between existing and proposed conditions. He noted that scale is subjective but professionally he feels the project meets the design intent, and is compatible with the texture of the east side and East Spain Street. He believes this is a successful solution given the variety of parameters that apply.

Chair Barnett inquired with Alice Duffee about how scale and mass should be treated. Ms. Duffee responded that the building is a historic resource for purposes of CEQA, and the Secretary of the Interior's Standards that apply are the rehabilitation standards.

Chair Barnett went through the rehabilitation standards to highlight the project's inconsistency with them and the discrepancy that arises when applying them in this case, even if the building is considered significant as a contributor rather than individually significant. Alice Duffee indicated there is very little guidance or direction on how to navigate the rehabilitation standards when dealing with a historic resource that is a contributor to a district but not individually significant.

Comm. Randolph asked the project architect about the rationale for increasing the width of the façade. Robert Baumann indicated that the design approach resulted from discussion with the City and historic consultant.

Tamara Honeybourne, 558 Second Street East, expressed concern that the project could impact the historic integrity of the neighborhood and urged the DRHPC to carefully consider the mass, size, and scale of the home.

Chair Barnett closed the public comment.

Comm. Anderson felt the main consideration was balancing the building's historic significance and the compatibility of new construction for modern needs. He noted the proposal is under the maximum height limit and complies with all other zoning standards.

Comm. Tippell concurred with Comm. Anderson and recognized that a significant amount of time and effort went into developing the proposal. She thinks the residence is historically significant given its association and the League award. She noted there are two differing professional opinions on the building's historic significance and ultimately the commissioners will have to decide. She felt the massing of the house on the street is significant and will appear prominent. She preferred the existing west elevation in comparison to the proposed which she felt was plain and also indicated a preference for a detached garage. She expressed concern about the proposed yellow siding color and suggested a lighter shade or cooler color tone.

Comm. Johnson agreed with APD's analysis. He understood neighbor concerns but noted the project is within the zoning standards. He concurred with Comm. Tippell regarding the proposed colors. He concluded that the proposal as presented falls within the parameters of what is allowable and therefore could not oppose it.

Comm. Randolph felt the primary consideration is the qualitative aspects of the project. She expressed her view that, despite the attractive design, the house feels too large and massive for the space and streetscape.

Chair Barnett noted that the DRHPC's interest is to preserve historic resources and he finds this particular case confusing. He recognized the property's significance in contributing to the streetscape and agreed that was a key consideration in reviewing the project. However, he felt the residence is individually significant and stated that he cannot approve the project as submitted because it does not comply with the Secretary of the Interior's Standards for rehabilitation.

Alice Duffee explained that the DRHPC needs to determine if the historic resource is the district or the individual structure and if the building is considered significant as a contributor rather than individually significant then the most important aspect is preserving the façade.

Bill Wisiaslowski, property owner, indicated that he wants to save the structure but also make it a two story, family home which requires major repairs and upgrades given current conditions. He emphasized that the proposal complies with all the zoning rules and explained that his intent is to improve the property and neighborhood.

Comm. Tippell suggested the DRHPC consider this a study session review and have the applicants come back to address their comments, similar to the DRHPC's initial review of the remodel/addition project at 563 Second Street East. Comm. Anderson concurred. Chair Barnett polled the commission who generally supported this approach, but recommended more specific direction be provided.

In providing more specific direction Comm. Tippell requested a different color palette. Comm. Johnson asked for size and mass to be addressed, and more distinction between old from new construction. Comm. Anderson indicated that he was prepared to approve the project as submitted but acknowledged other commissioners

concerns about massing at the streetscape. Comm. Randolph asked that the applicant revisit different options for the streetscape elevation. Chair Barnett felt the streetscape should be preserved as is with an addition at the back of the home. Chair Barnett also felt that peer review of the historic analysis should be required as the structure could be individually significant.

Senior Planner Gjestland asked the commission to clarify whether they desired peer review. The majority of the commission did not feel that peer review should be required.

Comm. Tippell made a motion to continue the item with direction given to the applicant. Comm. Anderson seconded. The motion was unanimously approved.

Item #3 – Demolition Review – Consider of a Demolition Permit to demolish the single-family home located at 19241 Fifth Street West (Applicant: Schellinger Brothers Construction).

Associate Planner Atkins presented the staff report.

Chair Barnett questioned the 1951 year built date on the staff report and noted the Sonoma League for Historic Preservation survey date indicated the building was constructed in 1925. Staff confirmed that the correct date is 1951 based on a 1941 topographic map, which confirmed that there were no buildings on the site in 1941. Aluminum clad sliding windows also indicated a mid-century building date.

Chair Barnett opened the public comment.

Tom Origer displayed an aerial photograph from 1948, which indicated that there were no buildings on the site; therefore, the Sonoma League for Historic Preservation survey was incorrect.

Bill Schellinger, applicant, stated he had no additional comments, except that he would like approval to demolish the building right away.

Comm. Randolph asked the applicant if he was going to build anything on the property and the applicant replied in the affirmative.

Chair Barnett closed the public comment.

Comm. Johnson made a motion to approve the project as presented and Comm. Randolph seconded. The motion was unanimously approved.

Issues Update: Associate Planner Atkins reported that the kick off meeting for the Downtown Design Guidelines project is on Thursday.

Comments from the Commission: Comm. Tippell requested that the Commission discuss and review the requirements for commercial real estate signs. Staff indicated that that item could be placed on the December agenda.

Comments from the Audience:

Adjournment: Chair Barnett made a motion to adjourn at 10.05p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, December 15, 2015. Comm. Tippell seconded. The motion was unanimously approved.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 19th day of January 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
December 15, 2015
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Barnett called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Barnett, Comms. Randolph, Tippell, Johnson, Essert (Alternate)
Absent: Comm. Anderson
Others: Associate Planner Atkins, Planning Director Goodison, Administrative
Present: Assistant Morris

Chair Barnett stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Mary Martinez, complimented the DRHPC on the approval of the new awning for Sweet Scoops Ice Cream that she felt complimented exterior façade of the building in the Plaza Historic District.

APPROVAL OF MINUTES: None

CHANGES TO AGENDA: Chair Barnett made a motion to move Items #2, #3 & #4 up before Item # 1 but after Item # 1A. Comm. Tippell seconded. The motion was unanimously approved.

CORRESPONDENCE: Late mail was received on Items #1 and #4.

Item #1A - Consent Calendar - These items will be acted upon in one motion unless removed from the Consent Calendar for discussion by Commissioners or any interested party. (Proposal to install banners on the Plaza light standards for the Sonoma Valley Hospital from May 1, 2016 to May 31, 2016)

Comm. Tippell made a motion to approve the consent calendar as recommended. Comm. Johnson seconded. The motion was unanimously approved.

Item #1 - Sign Review-Consideration of a new monument sign for a mobile home park (Sonoma Oaks) at 19275 Sonoma Highway.

Applicant: Thomsen Properties

Associate Planner Atkins presented the staff report.

Chair Barnett opened the public comment period.

Robert Sanders, Robert Sanders & Company, described the new signage as more visually appealing.

Chair Barnett closed the public comment period.

Comms. Tippell and Johnson said the new monument sign for the mobile home park is an improvement.

Comm. Randolph agreed with her colleague's comments and supported the new signage.

Comms. Essert and Chair Barnett viewed the new monument sign as more visible and easier to read.

Chair Barnett is pleased with the new design and agreed with his fellow Commissioners that it is a vast improvement.

Comm. Essert made a motion to approve the sign proposal as submitted. Comm. Johnson seconded. The motion was unanimously adopted.

Item # 2- Consideration of a new monument sign and a window sign for a mixed use building at 545 West Napa Street

Applicant: Lucy Moreno

Associate Planner Atkins presented the staff report.

Chair Barnett opened the public comment period.

Lucy Moreno, business owner, requested the new signage to advertise her business. She removed the non-compliant signs as requested by the City.

Comm. Tippell is not fond of the green paint color chosen but thought it could be acceptable if all the signs were coordinated on site. She recommended a maroon/burgundy color for the background with white lettering to complement the peach tone of the building.

Comm. Essert liked the suggestions made and deferred to his fellow Commissioners for making a recommendation to the applicant.

Chair Barnett closed the public comment period.

Comm. Johnson is pleased with the design and font size for the new signage.

Comm. Essert thanked the applicant for being flexible about the suggestions made for the new signage which he found helpful in his review.

Chair Barnett agreed with Comm. Essert that the applicant's open mindedness to the recommendations from the Commissioners was very important.

Comm. Tippell made a motion to approve the monument sign and a window sign for the mixed use building as follows: 1) the monument sign shall include a burgundy background with either black or gold lettering; and, 2) the window sign shall not include a border. Comm. Randolph seconded. The motion was unanimously adopted.

Item #4- Design Review- Consideration of new paint colors for a hotel (El Dorado Hotel) at 405 First Street West.

Applicant: El Dorado Hotel

Associate Planner Atkins presented the staff report.

Comm. Tippell confirmed with staff that brush outs are in the back entrance near the stairwell.

Chair Barnett opened the public comment period.

Julie Workman, Moana Restaurant Group, Project Manager for EDI, said the goal is to refresh the hotel's façade with a darker color palette.

Comm. Randolph inquired if changes were proposed for the doors. The applicant responded that a change in door color is being considered.

Mary Martinez, resident, is disappointed that the color palette chosen is too dark. She urged the Commission to postpone the review until more information was submitted.

Planning Director Goodison noted that many of the original elements of the Adobe have been removed over time.

Chair Barnett closed the public comment period.

Comm. Tippell favored "trendy" charcoal grays but thought the proposed colors might be too extreme for this prominent corner in the Historic District. She recommended softer gray tones with a mustard color as an accent color.

Comm. Randolph agreed with Comm. Tippell's comments that the entryway is too dark.

Comm. Essert agreed with Comm. Randolph's comments with nothing further to add.

Comm. Johnson agreed with his fellow Commissioners that a mustard color is a good choice.

Chair Barnett suggested lighter color options.

Comm. Tippell made a motion to continue the item with the suggestions made for lighter color choices and a mock up to better illustrate the proposal. Comm. Randolph seconded. The motion was unanimously adopted.

Item #1 (taken out of agenda order) - Continued Design Review - Site design and architectural review of proposed alterations and an addition to a residence at 227 East Spain Street.

Applicant: Robert Baumann & Associates

Associate Planner Atkins presented the staff report.

Chair Barnett clarified that the residence was a contributing resource under CEQA and the Secretary of Interior's standards should be followed. He noted that it might be possible to de-list the building, if it is truly not a historic resource, in which case the Secretary of Interior's standards would no longer apply.

Chair Barnett opened the public comment period.

Robert Baumann, Robert Baumann & Associates, project Architect, stated that the proposal is in full compliance with all the zoning regulations and the Development Code and revisions were made based on recommendations from the previous meeting. For example, retaining the salt shape box, bringing the side yard into compliance, more lighting in the east elevation of the plan, and a reduction of 18 inches in the roof height. He followed the Secretary of Interior (SOI) standards. The eave break is a delineation of the old portion of the home to the new section. The project is sympathetic to the characteristics of Sonoma.

Alice P. Duffee, Historic Preservation Planner APD Preservation LLC, the consultant retained by the applicant to review the historic aspects of the project, summarized her findings.

Amy Alper, local Architect, submitted late mail directly to Chair Barnett at 5: 35 p.m. that indicated full support of the project. Chair Barnett read the letter into the public record.

Chair Barnett inquired about the roof level.

Robert Baumann responded that the roof level is subordinated and the eave break is a delineation of the old portion of the home and the new section.

Comm. Tippell inquired about the design changes made to the home.

George McKale, representing the League for Historic Preservation, agreed with Alice Duffee's analysis of the proposal and the importance of retaining certain features of the structure.

Comm. Essert questioned the fenestration and door issues addressed by Alice Duffee in her report. He does not see a significant distinction between the old and new windows and his impression is that the new windows look similar. Comm. Essert said differentiating the old from the new is an important element of the proposal as discussed by Chair Barnett.

Robert Baumann noted that the windows are not scaled and the only change is 3 over 1. The original 20th century windows were replaced.

Chair Barnett is concerned with all 82 buildings in Sonoma that are contributing historic resources to the District, including this one, as they are a unique and irreplaceable resource. He noted that some of the interpretations are subjective in nature but disagreed with the opinions expressed that the integrity of historic residence should not be fully preserved. He referred to the seven elements and findings that must be applied under the Secretary of Interior Standards and Guidelines.

Mark Parry, Architectural Historian, is concerned with the deterioration of valuable cultural resources in cities. He described the historic home as a typical Queen Anne from the 1918 Era. He opposed the changes being proposed by the applicant since he is of the opinion they do not adhere to the Secretary of Interior standards as applied in other jurisdictions.

Comm. Randolph asked Mr. Parry if changing the fence was material. He responded that the additions should normally be placed in the rear so the streetscape remained the same, regardless of whether or not a fence is removed.

Robert Demler, resident/President for the League of Historic Preservation, confirmed that George McKale spoke on behalf of the League at the Board level. He appreciated all the parties input and the fair amount of negotiation and compromise made.

George McKale, stated that the League's opinion has changed after the revision made to the east elevation and in his view the standards are met.

Cathy Sperring, neighbor (442 Second St. East), asked that a letter written by Karla Noyes, not received by Staff or DRHPC members, be read into the public record. Planning Director Goodison was handed the correspondence and read the letter, expressing Karla Noyes' opposition to the application.

Bill Wisialowski, the property owner, expressed his desire to be flexible and integrate into the neighborhood. He intended to live in the home long-term and planned to leave the residence to his family. He was encouraged by his neighbors to make exterior/interior changes because of disrepair, safety concerns, and deferred maintenance issues. He hired local experts for his plan of action to repair the historic residence and felt he has been entirely responsive to the DRHPC suggestions

Victor Conforti, local architect, expressed confidence in Mr. Baumann's abilities as an experienced architect. He is of the opinion that the new roofline and the east addition detract from the historic qualities of the original residence. The Secretary of Interior guidelines advise against changing defining features, which is clearly being done with the changed massing of the building and new roof design. He is surprised by the reports that indicated the structure is not of historical significance according to State and Federal guidelines and in light of the Certified Local Government status for the City.

Mark Parry, felt that delisting the property from the National Registry is not the solution and the impact on the Historic District must be retained with proper treatment to the existing elements.

Chair Barnett closed the public comment period.

Comm. Essert appreciated the efforts made so far and wanted to preserve the historic integrity of the home as much as possible, He agreed with Mr. Parry about the significance of the small home and visibility from the street and preferred that it be built backward.

Comm. Randolph thanked the applicants and appreciated their flexibility and hoped a decision could be met so the owner could move forward. Her primary concern is the fence location in relation to the home.

Comm. Tippell thanked the applicants and expressed her desire to make a decision one way or another so the home would not deteriorate further. She interpreted the data as subjective and felt that the required findings could be made for the revised project.

Comm. Johnson thanked the applicant and is encouraged that members of the League supported the proposal. He felt they met the design parameters.

Comm. Randolph clarified that her previous comments are not intended to represent a decision and she hoped that with further discussion, clear direction for the applicant could be provided.

Chair Barnett asked about the circumstances, from staff's perspective of the original approach that was taken in the design of the additions. He also raised the question of whether a peer review should be undertaken of the Cultural Resources Evaluation.

Planning Director Goodison reviewed the staff contacts and meetings that were held with the architect and the other consultants to the project. He recommended against a peer review, noting that it is the job of the Commission to make independent findings. Having yet another study would not change that requirement.

Chair Barnett's concurred that a peer review might not be useful, but reiterated that the main issue from his perspective is that he does not agree that the project, even as revised, complies with the applicable Secretary of Interior standards. That said, he respected the right of the property owners and the architect's project goals and he believes that these could be fulfilled through an alternative design approach.

Chair Barnett re-opened the item for public comment.

Mr. Parry felt the remodel is not appropriate for Sonoma and the standards of care need to be followed.

Victor Conforti critiqued the project in terms of loss of integrity to the original building and said more improvements could be made.

Chair Barnett confirmed with Mr. Baumann that the roof extends back 2 feet and the fascia of the porch is continuous,

Comm. Essert said respect for the resource is key and the main focus should be on the salt box and then build back from that point to compromise the space in the back to respect the historic structure.

Comm. Randolph asked Mr. Conforti if doing certain items might retain the integrity of the historic integrity of the addition/remodel and whether the roof line should be lowered.

Robert Baumann said the determination could be considered subjective in nature but ultimately compliance with the standards should determine the property owner's ability to use the property as he/she determines is the best use. In his view, the Commission should respect the work that has been done by the historic resources consultant and the concurrence of the League for Historic Preservation. Applicants are advised to hire experts to guide them and to consult with the League. If the findings of these experts are brushed aside, why require them in the first place?

Bill Wisialowski, homeowner, said that he and his team had worked in good faith to address all the concerns raised by the Commission.

Chair Barnett asked the applicant if enough feedback was provided to move forward.

The Commission took a five-minute recess.

Robert Baumann requested that the Commission continue the item so that they could take some time to assess the feedback from the Commission and determine whether there is a way forward.

Comm. Essert made a motion to continue the project to the next meeting on January 19, 2015, with a recommendation for revised plans to be submitted, 3 D renderings, and further review of the Secretary of Interior Standards. Comm. Randolph seconded. The motion was unanimously adopted. (Comm. Anderson absent)

Item # 5 Discussion Item- Discussion and review of sign regulations related to commercial real estate signs.

Comm. Tippell made a motion to continue the Item #5 to the next meeting on January 19, 2016. Comm. Johnson seconded. The motion was unanimously approved.

Issues Update: Associate Planner Atkins reported the following;

The Downtown Design Guidelines will be reviewed at a special study session at 6:30 p.m. January 25, 2016, at the Sonoma Community Center.

Comments from the Audience: None

Election of Officers: Chair Barnett nominated Comm. Micaelia Randolph for Chair, Comm. Tippell seconded. The nomination was unanimously approved. Chair Barnett nominated Christopher Johnson as Vice Chair. Comm. Randolph second. The nomination was unanimously approved.

Planning Director Goodison thanked Chair Barnett for his great service and appreciated all the efforts of the Commissioners and congratulated the new Commissioners on their appointment.

Adjournment: Chair Barnett made a motion to adjourn at 10:15 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, January 19, 2016. The motion was unanimously approved.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 19th day of January 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
January 19, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Randolph, Comms. Barnett, Tippell, Johnson, Essert

Absent: None.

Others Present: Associate Planner Atkins, Planning Director Goodison, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. He reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Mary Martinez, resident, encouraged the public to participate in the discussions regarding the Downtown Design Guidelines by attending the upcoming City sponsored meeting at the Sonoma Community Center on January 25th at 6:30 p.m.

Robert Demler, resident, suggested that all late mail received prior to the meetings be distributed to all interested parties listed on the City's email distribution list.

APPROVAL OF MINUTES: Comm. Barnett made a motion to approve the minutes of November 17, 2015 and December 15, 2015 with changes noted. Comm. Essert seconded. The motion carried unanimously 5-0.

CHANGES TO AGENDA: None

CORRESPONDENCE: Late mail was received on Items #1 from Mary Martinez, and #2 from Lee Parry and Patricia Cullinan.

Item #1 – Continued Design Review – Consideration of new paint colors for a hotel (El Dorado Hotel) at 405 First Street West.

Applicant: El Dorado Hotel

Associate Planner Atkins presented the staff report.

Julie Workman, Moana Restaurant Group, Project Manager for EDI, proposed changing the hotel's façade and presented large visual displays.

Comm. Barnett confirmed that Julie Workman preferred design option 1 or 2.

Chair Randolph opened the item to public comment.

Mary Martinez, resident, encouraged the Commission to select “warm” paint color.

Chair Randolph closed the item to public comment.

Comm. Tippell appreciated the applicant working with the Commission and supported the revisions made. She preferred option 2 or 3.

Comm. Johnson agreed with Comm. Tippell’s comments and supported option 2.

Comm. Barnett complimented the applicant for submitting a complete application that included site history. He preferred option 2.

Comm. Essert supported option 2 because it exudes warmth and contrast.

Chair Randolph agreed with her fellow commissioners and preferred option 2. She appreciated seeing the brand palette since it was very helpful in making a decision.

Comm. Barnett appreciated the new design and agreed with his fellow Commissioners that it was a vast improvement.

Comm. Tippell made a motion to approve the application as submitted with the recommendation for option 2. (Benjamin Moore paint). Comm. Johnson seconded. The motion carried unanimously (5-0).

Comm. Barnett addressed the public, at the request of Planning Director Goodison, and said it was not necessary for him to recuse from Item # 2 as was requested by Robert Baumann, Robert Baumann & Associates, in a letter.

Item # 2 – Site design and architectural review of proposed alterations and an addition to a residence at 227 East Spain Street.

Applicant: Robert Baumann & Associates

Associate Planner Atkins presented the staff report.

Chair Randolph opened the item to public comment.

Bill Wisialowski, property owner, proposed a new design to restore the original structure with a connector between the old and new addition. He said the design was inspired by the Barracks and he wanted to make it different.

Comm. Barnett appreciated the new design and questioned whether the applicant responded to direction given or independently preferred a Monterey Colonial home.

Charlene Hunter, neighbor/League of Historic Preservation member, confirmed with the applicant that the tank house will be removed. She is disappointed that many historic homes are being replaced therefore diminishing the neighborhood character forever.

Steve Weingard, next door neighbor, is disappointed with the uninterrupted mass and height and disagreed that the project complied with the Historic District guidelines. He believes that the addition should be set back from the existing structure.

Bill Jasper, resident, felt the project could be compared to the restoration of the "Haunted House" on Fourth Street East.

Cathy Sperring, neighbor, is primarily concerned with the second unit in the back that would compromise her privacy. She viewed the proposal as inconsistent with elements of the Development Code.

Staff noted that accessory buildings are not subject to review by the DRHPC, but are evaluated as part of the building permitting process.

Simon Blattner, neighbor, (20 year resident) stated that while he had no objection in principle to the concept of an addition, he was concerned about potential privacy impacts and hoped that the applicant would address that issue.

Johanna Patri, resident/former President for the League of Historic Preservation complimented the applicant for efforts made to preserve the home. She is of the opinion that the intent of the Secretary of Interior Standards is not to duplicate the structure or to introduce replications of historic structures, but rather to restore in modes that are contemporary but also complementary. She agrees that the Monterey style clashes with the original structure and that the massing of the addition is incompatible.

Mark Parry, architectural historian, stated that the project had been improved by retaining the historic façade and setting back the addition, but he was concerned that the design and materials proposed for the addition, as in his view, they are not subordinate to the original home and the materials selected are a distraction.

Robert Demler, resident/President for the League of Historic Preservation, said that the property owner is member of the League and that George McKale spoke on behalf of the League at the last meeting. He said the League discussed the proposal with the owner but did not have an opinion on the latest design.

Mary Martinez suggested that story poles would be helpful.

Patty DaFerne, resident/former Planning Commissioner, is mainly concerned with the addition and how it might impact views of the property from the street and the neighbor on the east.

Victor Conforti, resident/local architect, expressed reservations regarding current plan. He felt the addition could be viewed as false historicism. He is confident in Robert Baumann's ability to solve the problem of differentiating the design in a revised proposal.

In response to a question from Comm. Barnett, Planning Director Goodison confirmed that detached garages (up to 400 square feet) are exempt from the floor area ratio.

Chair Randolph asked the applicant to return to the lecturn.

Bill Wisialowski, property owner reviewed illustrations for his presentation to respond to the concerns that had been raised and expressed his desire to be flexible. He noted that the grade of the back yard would not be raised and that a drainage plan would be developed and implemented. He agreed with comments that the east elevation could be improved and that the existing house could be better integrated with the new addition.

Commissioner Comments:

Comm. Tippell is sympathetic to the applicant returning for a third review session and she appreciated the preservation of the existing residence and the significant setback associated with the proposed addition. However, she opposed the new design, and would prefer a less contrasting style (i.e. traditional, farmhouse, single story) and suggested a lighter palette and the same roofing style for a harmonious ridge line.

Comm. Johnson applauded the efforts made to preserve the original structure but found the remodel disjointed in terms of its relationship to the original structure. He felt that a design that is more complementary to the existing structure should be used.

Comm. Barnett is pleased that the historic resource is addressed in the revised plan with respect to adhering to specific historic guidelines. He recognized a need to strike a fair balance between the rights of property owners and stringent regulations. His major concern is that the new addition should be subordinate to the original structure. Although there has been tremendous progress made, he did not support the architectural style and is concerned by the unresolved issues expressed by the neighbors. He stated that the addition does not comply with the spirit of the Standards.

Comm. Essert thanked the applicant and agreed with the majority of his fellow commissioner's comments. He recognized the importance of respecting the historic resource. He suggested having story poles so neighbors can better understand the scope of the project. He would prefer a single story addition, if that can be accommodated in the program.

Chair Randolph is concerned with the massing, neighborhood compatibility, and overall style. She agreed with Comm. Essert that the commission's role is not to design the home, but rather to offer suggestions during the review process.

The owner is receptive to the comments made and welcomed another review. He and his team will work in good faith to address all the concerns raised by the Commission.

Comm. Barnett made a motion to continue the item to the next meeting on February 16, 2016. Comm. Essert amended the motion to have the applicant include story poles on site and provide a landscape plan rendering. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #3 – Sign Review – Consideration of six window signs for a convenience store (Easy Stop Market #1) at 925 Broadway.

Applicant: Easy Stop Market #1

Associate Planner Atkins presented staff's report.

Comm. Barnett confirmed with staff that the existing signs are neon not LED.

Chair Randolph opened the item to public comment.

Tom Mackin, business owner/tenant, (12 years), commended the store owner for the positive changes made to improve his store front. He recommended a City survey of non-conforming signs and felt it should be uniform throughout the community.

Associate Planner Atkins responded that the City Investigates code enforcement issues on a complaint basis.

Chair Randolph closed the item to public comment.

Comm. Essert supported the six signs.

Comm. Barnett agreed with Comm. Essert that this site might need a variance to allow for additional signage because of its setback location along Broadway/Highway 12.

Comms. Johnson and Tippell applauded the applicant for removing the non-compliant signs.

Comm. Barnett made a motion to approve the proposal for seven window signs at 925 Broadway. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #4 – Sign Review – Consideration of a new illuminated monument sign for a gas station (76 Service Station) at 19249 Sonoma Highway.

Applicant: United Sign System

Associate Planner Atkins presented staff's report.

Comm. Barnett confirmed that the existing signs were approved in 2014 and the new sign is larger.

Comm. Johnson questioned if all the illegal signs were removed.

Miguel Bunting, business operator, will remove everything on the windows that advertise promotional items. He explained the Phillip 66 corporate office is reverting back to the original logo for branding purposes.

Chair Randolph opened the item to public comment.

Brian Campbell, Sales Rep//United Sign Systems, said the sign will be similar and placed on the existing base.

Chair Randolph closed the item to public comment.

Comms. Tippell, Barnett, Essert and Chair Randolph supported the new design.

Comm. Johnson concurred and encouraged the applicant to remind outside vendors not to put non-conforming signs up.

Comm. Essert made a motion to approve a new illuminated monument sign for the 76 Service Station at 19249 Sonoma Highway as submitted subject to the conditions of approval that include conformance with California Building Code. Comm. Barnett seconded. The motion carried unanimously (5-0).

Item #5 – Sign Review – Consideration of design review and new canopy signs for a sign for a gas station (76 Service Station) at 19249 Sonoma Highway.

Applicant: Perry Builders, Inc.

Associate Planner Atkins presented staff's report.

Joe Sands, Parry Builders Inc., said that aluminum composite will be used not plastic.

Comm. Barnett confirmed the valiances will be illuminated.

Comm. Essert confirmed with the applicant there will be no audio sound or LED T.V.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comms. Tippell and Barnett are satisfied with the new modern branding proposed.

Comm. Essert liked the car wash.

Comm. Johnson made a motion to approve new canopy signs for a sign for a gas station (76 Service Station) at 19249 Sonoma Highway. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #6 – Sign Review – Consideration of design review for a restaurant (Slice by Mary's), at 14 West Spain Street

Applicant: Michael Ross, AIA

Associate Planner Atkins presented staff's report.

Comm. Barnett inquired when the building was built. Atkins replied that Senior Planner Gjestland determined it was built between 1941 and 1943.

Michael Ross, AIA, Ross Drulis Cusenbery Architecture, Inc., proposed a minor alteration to the building to accommodate a new service for the restaurant. The building underwent a major renovation in 1987.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comms. Tippell, Johnson, and Barnett supported the remodel application from a well-respected architect on behalf of a long time business on the Plaza.

Comm. Essert inquired about the windows.

Michael Ross said no changes are proposed for windows or the building's exterior.

Comm. Barnett made a motion to approve a restaurant addition (Slice by Mary's), at 14 West Spain Street. Comm. Essert seconded. The motion carried unanimously (5-0).

Item #6 – Design Review – Design review of exterior modifications for two vacation rental units at 162-166 West Spain St.

Applicant: Laura Olson

Associate Planner Atkins presented staff's report.

Chair Randolph opened the item to public comment.

No public Comment.

Chair Randolph closed the item to public comment.

Comm. Essert had reservations about the project as proposed. He confirmed with staff that George McKale, Historic consultant, submitted a letter of determination that the door is acceptable.

Comm. Barnett felt the proposal is respectful of the Historic standards.

Comms Tippell, Johnson, and Barnett supported the proposed modifications.

Comm. Johnson made a motion to approve exterior modifications for two vacation rental units at 162-166 West Spain St. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item # 7 – Design Review – Design review for a new single family residence and attached garage at 790 Second Street East.

Applicant: Russell Nobles

Associate Planner Atkins presented staff's report.

Comm. Tippell requested to see the siding samples.

Gary Bishop, representing Russell Nobles Construction, showed building material samples for the home.

Chair Randolph opened the item to public comment.

William Burcham, homeowner, stated he spoke with the neighbors and received support for the project.

Chair Randolph closed the item to public comment.

Comms. Johnson and Barnett are impressed with the project and the receptiveness from the neighbors.

Comm. Barnett felt neighbors would have attended the meeting if there was opposition.

Comm. Essert concurred with Comm. Barnett and is pleased with the cleanup efforts.

Chair Randolph agreed that there has been significant improvement made to the property.

Comm. Barnett made a motion to approve a new single family residence and attached garage at 790 Second Street East. Comm. Tippell seconded. The motion carried unanimously (5-0).

Postponed to the meeting on February 16, 2016.

Discussion Item #8 – Discussion and review of sign regulations related to commercial real estate signs.

Issues Update: Associate Planner Atkins reported the following;

The Downtown Design Guidelines will be reviewed at a special study session on January 25, 2016, 6:30 p.m. at the Sonoma Community Center.

Associate Planner Atkins proposed action item minutes for the approval of the outstanding minutes from 2015.

All the commissioners agreed this was a good course of action.

Chair Randolph welcomed Comm. Essert as a regular member of the DRHPC.

Comments from the Audience: None

Adjournment: Chair Randolph made a motion to adjourn at 10:21 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, February 16, 2016. The motion carried unanimously (5-0).

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 16th day of February 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
February 16, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Randolph, Comms. Barnett, Tippell, Johnson, Essert

Absent:

Others Present: Associate Planner Atkins, Planning Director Goodison, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC:

APPROVAL OF MINUTES: Comm. Johnson made a motion to approve the minutes of January 20, 2015, February 17, 2015, March 17, 2015 and January 19, 2016 with changes noted. Comm. Essert seconded. The motion carried unanimously (5-0).

CHANGES TO AGENDA: Comm. Barnett made a motion to move Item 2 after Item 4. Comm. Johnson seconded. The motion carried unanimously (5-0).

CORRESPONDENCE: Late mail was received on Items #2 from Cathy and Gene Sperry and Bill Wisialowski.

Item #1 – Consent Calendar

Comm. Barnett made a motion to approve the consent calendar that included installation of banners on Plaza lights for the 2016 Jack London Centennial. Comm. Tippell seconded. The motion carried unanimously (5-0).

Marcus Jack London State Historic Park, brought a sample of the approved banner with the sponsor named.

Comm. Essert confirmed with Associate Planner Atkins that the banner policy allows for non-profit sponsorship as long as it does not encompass more than 20% of the banner.

Item 2- Site and Design Review- Consideration of two new awnings and four new awning signs for a hotel (Sonoma Hotel) at 110 West Spain Street.

Applicant: Tim Farfan and Craig Miller

Associate Planner Atkins presented the staff report.

Craig Miller, co-owner, requested to change the color and to replace the previously approved signs that fell down during a windstorm.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Tippell felt the color selected is too similar to the building color and recommended a brighter color.

Comm. Johnson agreed with Comm. Tippell's comments and preferred burgandy.

Comms. Barnett, Essert and Chair Randolph are of the opinion that paint color changes should be at the sole discretion of the business owners.

Comm. Barnett made a motion to approve the two new awnings and four new awning signs for Sonoma Hotel. Comm. Essert seconded. The motion carried (4-1). (Comm. Tippell dissenting).

Item # 3 (formerly #4) Sign Review- consideration of design review for a restaurant(Murphy's Irish Pub Expansion) at 464 First Street East.

Applicant: Murphy's Irish Pub, LLC

Associate Planner Atkins presented the staff report.

Chair Randolph opened the item to public comment.

Bill Pollack, co-owner of Murphy's Irish Pub LLC, said the expansion into the former smoke shop space is intended to host small scale special events. There will be an outdoor fire pit, bench seating and will offer classic cocktails.

Comm. Essert confirmed with the applicant that the fabric will be a new design element.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Essert preferred the new design but is disappointed with the metal awning because it compresses the space. He recommended a more traditional appearance.

Comms. Johnson, Barnett and Tippell supported the proposed changes especially the new fire pit.

Chair Randolph agreed the expansion is a great addition to the alleyway.

Bill Pollack explained the rationale for the design of the screening is so it can be pulled down with one hand.

Comm. Tippell made a motion to approve the restaurant expansion for Murphy's Irish Pub as submitted. Comm. Johnson seconded The motion carried unanimously (5-0).

Item # 4 – Site design and architectural review of proposed alterations and an addition to a residence at 227 East Spain Street.

Applicant: Robert Baumann & Associates

Associate Planner Atkins presented the staff report.

Chair Randolph opened the item to public comment.

Bill Wisialowski, property owner, agreed with staff that the existing tree is located more to the south than indicated on the site plan. He said no changes will be made to the original house design but there is a connector between the old and new addition. The single level addition will accommodate his desire to "age in place".

Comm. Tippell requested seeing the actual paint colors.

Comm. Johnson visited the site and appreciated the survey.

Steve Weingard, next door neighbor, is confused by the story board and location of the dormer to the East side. He opposed the five windows that in his view will compromise his privacy. Although he agreed with some of the changes made, he disagreed that the project complied with the Secretary of Interior Standards in terms of scale and mass and felt the addition should be set back further from the existing structure.

Comm. Barnett inquired about the specific guidelines for story poles.

Planning Director Goodison responded they typically have been used for larger projects.

Cathy Sperring, neighbor, is primarily concerned with setbacks since the new structure is along the adjoining side yard.

Robert Demler, resident/President for the League of Historic Preservation, said the Board supported the application and clarified that George McKale spoke on behalf of the League at the last meeting. Bill Wisialowski, property owner, is a member of the League of Historic Preservation in Sonoma.

Victor Conforti, resident/local architect, said he was not contacted by the applicant. He expressed reservations with the site plan since he viewed the story poles did not accurately reflect the proposal. He contended that CEQA/Secretary of Interior requirements prohibit diminishing the size and scale of the original structure and recommended a reduction. Furthermore, he suggested that the State could remove the property as a contributing member of the Historic District.

Chair Randolph closed the item to public comment.

Planning Director Goodison confirmed that CEQA is a major factor that must be considered when making a decision on the proposal.

Bill Wisialowski, responded to the Sperring's concern that the back of the building will compromise their privacy and said it will be more oriented towards the internal backyard area. He believed the placement of the story poles is accurate.

Planning Director Goodison and Associate Planner Atkins measured the story poles and concurred that the story pole locations were consistent with the site plan.

Robert Baumann, project architect, clarified that the wall height does not include the roof in response to Mr. Conforti's concern and maintained the new structure complies with all codes.

Bill Wisialowski sent an email to neighbors late last week for input about the plan.

Alice Duffee, Historic Resource Preservation consultant, stated that she felt the current proposal is consistent with the Secretary of Interior Standards and an attempt to delist the property from the Sonoma Plaza NRHP district would not be feasible.

Comm. Barnett confirmed with the consultant that certain Historic resource elements must be retained.

Comm. Essert questioned whether the second unit complied in regards to square footage and character design.

Commissioner Comments:

Comm. Essert commended the applicant's efforts to reduce the length of the addition.

Comm. Barnett appreciated the story poles, new design and respect for the historic district. He remained concerned for striking a balance between the rights of the property owners and preserving the quality of life for residents and the community at large in regards to the stringent historic regulations in place.

Patricia Cullinan, resident, recommended a State Historic Preservation review in addition to the DRHPC's project evaluation.

Comm. Johnson applauded the applicant's efforts and felt the "spirit" of historic preservation is being addressed and is sympathetic to the resident's concerns for retaining the neighborhood character.

Comm. Tippell preferred the new traditional farmhouse design and is more confident with the project's merits since the League of Historic Preservation supported it.

Chair Randolph appreciated the project team reaching out to neighbors and staff and is hopeful for a decision tonight.

Comm. Barnett will not support until the State Office of Historic Preservation has reviewed it.

Planning Director Goodison said since the City is a Certified Local Government the commissioners have discretion to evaluate the State and Federal guidelines for historic preservation.

Alice Duffee stated that in her experience the State is available on an advisory basis.

Comm. Johnson made a motion to approve the proposed alterations and an addition to the residence at 227 East Spain Street as submitted. Comm. Tippell seconded. The motion carried 4-1 (Comm. Barnett dissenting).

Discussion Item #8 – Discussion and review of sign regulations related to commercial real estate signs.

Associate Planner Atkins presented the staff report.

There is an 18 month time limit for real estate signs in the City. She recommended removing the language of five or more units so it applies to all real estate signs. Staff will return to the commission with updated language on how signs should be attached to historic designated structures.

Issues Update: Associate Planner Atkins reported the following;

There is a California preservation webinar training for commissioners on February 17th at noon at the City Hall Conference room. Leslie Tippell, Bill Essert and Kelso Barnett will attend.

Comments from the Audience: None

Comments from the Commission: Chair Barnett received comments about the color of the LED lights recently installed on the light standards around the City.

Comm. Barnett is of the opinion that the new illuminated sign at the Sonoma Community Center sign might be too bright.

Adjournment: Chair Randolph made a motion to adjourn at 8:55 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, March 15, 2016. The motion carried unanimously (5-0).

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 15th day of March 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
March 15, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Roll Call:

Present: Chair Randolph, Comms. Tippell, Johnson, Essert, Cory (Alternate)

Absent: Comm. Barnett

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Johnson made a motion to approve the minutes of February 16, 2016. Comm. Tippell seconded. The motion carried unanimously 4-0 (Comm. Cory abstained)

CHANGES TO AGENDA: None

CORRESPONDENCE: Late mail was received on Item 1

Comm. Tippell recused due to financial interest and left the dais.

Item 1- Consideration of design review of three vacation rentals and a duplex at 158, 164, 166 and 172 West Napa Street.

Applicant: Michael Marino

Associate Planner Atkins presented the staff report.

Chair Randolph opened the item to public comment.

Michael Marino, resident/business owner California Wine Tours/vacation rental operator (850 Broadway) intended to remodel the Historic Hawker House preserving the historic elements that can be retained. He clarified with staff and the DRHPC that Monterey White is the proposed paint color not Montgomery white as indicated in the staff report. The duplex is proposed for a long term rental not a vacation rental.

Comms. Johnson and Cory visited the site.

Kevin Dixon, project architect/contractor, aimed to retain the original shape of the building by building from the inside out. He hoped to strike a balance between the architecture and construction.

Leslie Tippell, color specialist, confirmed that a glazing specialist will preserve the original windows and the trim color is Monterey white. The Benjamin Moore historic colors compliment the details of the original Hawker House. The new roof is composition shingles. She recognized the historic Hawker House is the focal point so as many historical elements as possible will be preserved and continued throughout.

Comm. Essert confirmed with the color specialist that the exterior of the Millgard windows will be painted black.

Comm. Cory inquired about suggestions he made to the applicant about the thickness of the roof shingles. He felt that a thinner roof material would be more period appropriate.

Leslie Tippell indicated that the applicant would be open to considering a thinner roof material and would like approval for both options..

Kevin Dixon, project architect/contractor envisioned the three roofs incorporating different textures.

Comm. Cory is disappointed that the three houses will have the same roof materials even though the colors will be different. He recommended that the roofing materials for the historic Hawker House be more period appropriate and the roof material should be flat. He also objected to the roofing material and the garage door on the duplex. He felt the style of the garage door is overused and suggested using plywood with trim instead. On 164 West Napa Street he felt that two different styles were being used on the face of the building and that the style of the house did not call for a mansard roof. He also did not support the picture window. On 172 West Napa he objected to the lights on the French doors being a different size than on the windows and he did not feel that a picture window was appropriate.

Michael Marino said that when he applied for the Building Permit for the Hawker House the only Planning requirement was to replace the roof material in-kind. He would like the option to explore either thickness for the roofing material.

Comm. Essert stressed that CEQA guidelines must be followed. He inquired whether restoration or recycled glass will be used in in the windows. Michael Marino stated that the original window glass and the design material will be replaced with like kind.

Patricia Cullinan, resident, complimented the owner and project team for their efforts and hoped that the Secretary of Interior standards might be better clarified for future projects. She added that a historic preservation design professional could give better guidance on the roofing material.

Robert Demler, resident/west side property owner is satisfied with the proposed changes for the site and viewed nice enhancement and viewed as an improvement to the West side of town.

Chair Randolph closed the item to public comment.

Comm. Johnson is satisfied with the owner's experience remodeling homes.

Comm. Essert echoed the comments from public and felt the scale is appropriate. He appreciated reusing the bricks under the window sills. He suggested that the bay window and copper roof on 172 West Napa Street does not effectively represent the time period and he suggested placing a grill on the window to block the view from the gas station. He commented that black paint on the window trim is attractive but challenging to maintain. He stated that restoration glass is preferred for the replacement windows. Finally, he recommended that the applicant consult with a historical consultant for roof material.

Comm. Cory is concerned with the Hawker House since it has been placed on the National Register and requested that it be kept as authentic as possible.

Chair Randolph agreed with her fellow commissioner comments that the attention to detail is impressive in the plan.

Comm. Essert made a motion to approve the project as submitted with the condition that the applicant consult with a historic consultant to ensure the roof material for 158 West Spain Street is period appropriate. Comm. Johnson seconded. The motion carried unanimously (4-0)

Commissioner Comments:

Issues Update: Associate Planner Atkins reported the following; A webinar on Historic building codes will be held on March 23rd at the City Hall conference room.

Comments from the Audience:

Comments from the Commission:

Adjournment: Chair Randolph made a motion to adjourn at 7:45 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, April 26, 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 17th day of May 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
May 17, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Tippell, Essert, Barnett, Cory (Alternate)

Absent: Comm. Johnson

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: Comm. Tippell made a motion to approve the minutes of April 21, 2015, May 19, 2015, and March 15, 2016 as submitted. Comm. Barnett seconded. The motion carried unanimously (4-0). (Comm. Cory abstained)

Item 1- Sign and Design-consideration of design review and new signs for a bar (Starling Bar) at 19380 Sonoma Highway.

Applicant: Anthony Lauino/Fred Johnson (Starling Bar)

Associate Planner Atkins presented the staff report.

Comm. Essert confirmed with staff that a 16 square foot sign is proposed at the rear entrance and 3 feet is allowed.

Chair Randolph clarified with staff that the main body color proposed in color scheme A is Benjamin Moore Summer Nights.

Chair Randolph opened the item to public comment.

Anthony Lauino, co-business partner Speaker New/Starling Bar felt the blue color had a better impact than neutral taupe.

Chair Randolph closed the item to public comment.

Comm. Cory questioned why the sign would be illuminated during non-business hours.

Fred Johnson, co-owner, said it is for visibility at this prominent corner that would help promote the establishment.

Comm. Tippell asked the applicant to explain the new business concept.

The applicant said he intended to have a more formal atmosphere, in comparison to the Blue Moon, to attract a sophisticated clientele.

Comm. Tippell preferred color design option A that she believed is well coordinated with the new branding. She is satisfied with the signage proposed.

Comm. Barnett questioned whether the fence along Highway 12 will be removed.

The applicant will not remove the fencing but it is an option in the future given possible changes along this corridor. He supported the plan and deferred to the business owner to select the sign color and materials.

Comm. Essert preferred color option B.

Chair Randolph felt the blue color was a good choice.

Comm. Essert made a motion to approve the project as submitted with color option A or B. Comm. Barnett seconded. The motion carried unanimously (5-0).

Item 2- Design review-consideration of design review for a commercial building at 117 West Napa Street.

Applicant: Bill Hooper(Kenwood Investments, LLC)

Associate Planner Atkins presented the staff report.

Michael Ross, project architect/ Ross Drulis Cusenbery, noted that adaptive re-use of the building is critical to the historic district. The interior expansion and renovation will not have an adverse effect on the historical resource.

Comm. Barnett questioned the parapet, slump stone planter, and sign reduction for the Index Tribune sign.

Michael Ross explained the parapet will be functioning and conceal mechanical equipment. Paige and Turnbull, historical consultant, reported that the slump stone planter is one of a number of identified character-defining features (however, a somewhat less important one), so removing the planter will not affect the overall design, character, or significance of the building. He said the current sign appeared oversized for the size of the building but would be addressed when a comprehensive sign proposal was submitted.

Comm. Essert questioned the height of the parapet.

Michael Ross responded the height would be 27 feet.

Chair Randolph confirmed with Mr. Ross that parking was addressed in the Use Permit approval.

Comm. Tippell inquired if the balcony will be used.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Cory was satisfied with the plan.

Comm. Barnett wanted to ensure that the "character defining features" of the existing sign were preserved and requested that this issue be addressed by the historical consultants, Page & Turnbull.

Comm. Tippell is pleased with the Monterey white and sign reduction.

Chair Randolph agreed with Comm. Barnett and would like to review the sign reduction as part of a full signage program.

Comm. Barnett made a motion to approve the project as submitted with the condition that the applicant returns to the DRHPC with a revised sign application. Comm. Essert seconded. The motion carried unanimously (5-0).

Item 3- Design review-consideration of site design and architectural review of a new accessory structure (barn) at 277 Fourth Street East.

Applicant: Sutton Suzuki Architects

Associate Planner Atkins presented the staff report.

Ron Sutton, Sutton Suzuki Architects, said the gravel road is a defining feature for the new barn and no trees will be removed.

Comm. Barnett asked if the view from the bike path is compromised.

Comm. Essert questioned the operability of the doors.

Ron Sutton said the doors will be sliding and blend in with the building.

Chair Randolph confirmed with the project architect that a rust colored roof is proposed.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comms. Tippell and Barnett were impressed with the application.

Comms. Essert , Cory, and Chair Randolph supported the application.

Comm. Barnett made a motion to approve the project as submitted. Comm. Cory seconded. The motion carried unanimously (5-0).

Item 4- Demolition Review of a duplex at 166 and 168 West Napa Street.

Applicant: Michael Marino

Comm. Tippell recused due to financial interest and left the dais.

Associate Planner Atkins presented the staff report.

Michael Marino, resident/business owner California Wine Tours/vacation rental operator (850 Broadway), obtained permits to remodel the building and is now moving forward with a proposal to reconfigure the property by merging the two parcels.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

All commissioners supported the changes.

Comm. Essert made a motion to approve the Demolition Permit as project as submitted. Comm. Cory seconded. The motion carried unanimously (4-0) (Comm. Tippell recused).

Comm. Tippell returned to the dais.

Issues Update: Associate Planner Atkins reported the following;

A special meeting will be held on May 31st.

A draft of the Downtown Design Guidelines will be reviewed at the June 21st meeting.

Comments from the Commission:

Comm. Essert recommended louder volume on the meeting room speakers.

Comm. Essert was pleased to attend the League of Historic Preservation conference and thanked staff. He suggested that commissioners consider CEQA workshops and touring historic buildings.

Adjournment: Chair Randolph made a motion to adjourn at 7:52 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, May 31, 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 31st day of May 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
SPECIAL MEETING
May 31, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Johnson, Essert, Barnett, Cory (Alternate)

Absent: Comm. Tippell

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: No public comments.

CORRESPONDENCE: Late mail was received on Item #2 from Mary Martinez and Item #4 from Glenn Ikemoto, Ron Alpert, MacNair & Associates, and Horticulture Associates.

APPROVAL OF MINUTES: Comm. Barnett made a motion to approve the minutes of June 16, 2015 as submitted and May 17, 2016 with changes noted. Comm. Essert seconded. The motion carried unanimously (5-0).

Item 1- Consideration of design review for two commercial buildings at 19366 and 19370 Sonoma Highway.

Applicant: Studio 101 Designs

Associate Planner Atkins presented the staff report.

Comm. Barnett confirmed with staff that the use permit is active since building permits had been issued for the residential units in the Planned Unit Development.

Steven Mosley, Studio 101 Designs, said the changes will modernize the building.

Chair Randolph opened the item to public comment.

Joan Jennings, resident Villa de Lunas, viewed the proposal for the mixed use parcel as not conforming with the Development Code and General Plan in regards to size and compatibility. She said the "transition between residential and commercial" is not cohesive with the neighboring uses. She urged the Commission to reevaluate the area and oppose the proposal.

Nick Dolata, neighbor, concurred with Joan Jennings' comments and considered it a "piece meal" development. He encouraged the Commission to deny the application.

Jack Ding, resident, is primarily concerned with parking. He supported the use of City funds to develop affordable housing.

Brian Rowlands, neighbor, is concerned with parking and the location for garbage bins. He requested that the developer fix the gate.

Steve Jennings, neighbor, wants the landscape plan revised to ensure an adequate buffer between the homes and commercial buildings since the Planning Commission had requested harmonizing uses. The neighbors are disappointed that there has been no contact with Kibbey Road, LLC. He felt the townhome residents are absent of consideration.

Chair Randolph closed the item to public comment.

Comm. Barnett questioned if the design fits into the area along Highway 12. He evaluated the proposal within the context of the approved master plan.

Comm. Essert preferred a wood guard rail welded with wire mesh that conformed with the regional architecture in the wine country.

The applicant has not developed a landscape plan but the bio swale retention will be included in the landscape plan.

Comm. Essert asked the applicant if underground parking was considered.

The applicant responded that it was an option but cost prohibited.

Comm. Johnson asked about proposed changes from the original plan.

Chair Randolph confirmed with staff the parameters under review.

Associate Planner Atkins said the DRHPC is limited to elevation details, colors and materials, landscaping, lighting, and site details.

Comm. Essert confirmed with staff that the DRHPC approved a landscape plan on April 18, 2006.

Chair Randolph reopened the item to public comment.

Joan Jennings said it is problematic to approve a "piece meal" development and she is not satisfied with the communications with the developer and felt they should be more flexible.

Jack Ding, neighbor, is disappointed that more consideration is not made for the residents.

Christine Rowlands, resident, is very concerned with traffic flow (i.e. ingress/egress into the project).

Chair Randolph closed the item to public comment.

Comm. Johnson struggled with the overall design.

Comm. Barnett noted two primary concerns; 1) project aesthetics 2) unable to make the finding that the project responds appropriately to the context of the adjacent development, as well as existing site conditions and environmental features.

Comm. Essert agreed with Comm. Barnett and recommended more collaboration with the neighbors regarding parking concerns.

Comm. Cory visited the project site and recognized the views expressed by the residents.

Chair Randolph appreciated the public comments and noted that it is customary for commissioners to read the entire packets before considering the merits of a project.

Comm. Essert viewed parking as a tradeoff between underground or between the residential and commercial buildings.

Comm. Barnett made a motion to consider the meeting a study session and encouraged the developer to attend the next meeting, make a good faith effort to work with the neighborhood to come up with a revised development solution, return with a full landscape plan that addresses buffering with the existing development, highway frontage, and Lyon Street frontage, and strongly encourage repairs be made to the gate. The motion carried unanimously (5-0).

Item 2- Demolition review demolition of a single family residence well and pump house and two sheds at 1181 Broadway.

Applicant: Scott and Claudia Murray

Associate Planner Atkins presented the staff report.

Comm. Essert questioned why the narrative stated it was not historically significant.

Chair Randolph opened the item to public comment.

Scott Murray, Valley resident/property owner, said the existing structure had no redeeming value and he was granted a demolition permit 10 years ago. He is meeting a City goal of building more affordable housing units.

Mary Martinez, resident, is concerned with infill projects located on the Broadway corridor.

Chair Randolph closed the item to public comment.

Comm. Barnett suggested that the applicant submit a historical evaluation.

Comms Essert and Johnson agreed that a report would be helpful.

Comm. Cory stated he had discussed the plan with Mr. Murray and is satisfied.

Chair Randolph reopened the item to public comment.

Scott Murray said the plans are the same and did not hire a consultant to prepare a historic report because of the cost.

Chair Randolph closed the item to public comment.

Comm. Essert made a motion to request the applicant return with a Historic Resource Evaluation. Comm. Johnson seconded. The motion carried unanimously (5-0).

Item 3- Demolition Review of a single family residence at 324 Second Street East.

Applicant: Glenn Ikemoto

Comm. Johnson recused and left the room.

Associate Planner Atkins presented the staff report.

Glenn Ikemoto, applicant, was available to answer questions.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Barnett complimented the applicant on submitting a Historic Resource Evaluation.

Comms. Essert, Cory and Chair Randolph agreed with Comm. Barnett's comments and supported the demolition.

Comm. Barnett made a motion to approve the Demolition Permit project as submitted. Comm. Essert seconded. The motion carried unanimously (4-0) (Comm. Johnson recused).

Item # 4 Design Review- Consideration of site design and architectural review of a new single-family residence, and accessory structures at 314-324 Second Street East.

Applicant: Glenn Ikemoto

Associate Planner Atkins presented the staff report. Comm. Barnett confirmed with staff that the setbacks conformed with City standards and it was staff's opinion that the findings could be made.

Comm. Essert questioned the exterior lighting plan. He confirmed with staff that the proposal is contingent upon merging the two lots together.

Chair Randolph opened the item to public comment.

Glenn Ikemeto, applicant, introduced the project team Ira Kurlander, Architect, Penny McGrain, project designer and thanked staff. His goal is to accommodate his extended family and preserve the "rural setting" as much as possible. He felt he addressed the neighbors' concerns by providing a shade study and arborist report.

Claudia Ranniker, neighbor, valued her gardening and outdoor living space. She requested that five trees be removed.

Ira Kurlander, project architect, presented the sample board to illustrate the building and design materials. He said the "T" shape of the parcel was an anomaly. He said the top of the residence will peek over the garage and olive trees will be situated in the center of the property.

Penny McGrain, project designer, held the parcel in the highest regard and envisioned a non-evasive integration into the neighborhood. She said the olive grove will be an enhancement to the streetscape.

Comm. Barnett clarified that the olive trees planted will be over 150 years old.

Mr. Ikemeto claimed that shade will not negatively impact the neighbor's along the northern property line.

Ron Albert, adjoining property owner/landlord, did not oppose the uses proposed but his main concern is with the guest house, which is a two-story building at the rear of his property. He applauded the applicant's efforts (i.e., preserving the view to the north and the plantings of olive trees). He said that Claudia and Roger Ranniker are good neighbors. He said he received an email sent by Rob Gjestland where the roof height is 26 feet. He is concerned with privacy, the health of the tree on his property, and the environment for the tenants. He felt the shade study did not validate the applicant's contention that both arborists' report were the same. He is of the opinion that the proposal is not harmonious with the adjoining neighbors.

Claudia Ranniker, neighbor, felt encroached upon by the intensification of uses proposed especially the landscaping, which would limit her freedom. She felt constrained by the proposal and suggested a sense of "entitlement" by the applicant.

Comm. Essert asked Claudia Ranniker if she had a solution/remedy to improve the situation and she replied in the negative.

Comm. Barnett appreciated her comments and confirmed that by cutting down trees it provided more sunlight for her fruits and vegetables. He stated that the property owner is well below the development potential for the site which is 11 units per acre.

Comm. Cory is of the opinion that it would be ideal to remove the Italian cypress tree.

Molly Rolig, tenant, downstairs unit (310 Second St. East) is concerned with the solid front wall of the structure compromising her privacy and sunlight.

Penny McGain, project designer, believed the shade line is improved with the proposal.

Chair Randolph closed the item to public comment.

Comm. Cory felt the shade issue is not enough of a reason to deny the application.

Comm. Essert appreciated the team building, neighbor dialogue, positioning of the guest house and overall site design.

Comm. Barnett appreciated the complete submittal. He thought that the applicant made "good faith efforts" with the adjoining property owners. He acknowledged the conflicting arborist reports and is satisfied with the shade studies. His main concern was the positioning of the guest house.

Chair Randolph was impressed with the project and level of creativity for the space. She understands the concerns over the location of the guest house and is confident that the tree will be protected. She is not convinced that relocating the guest house will be a vast improvement for the shading issues raised.

Comm. Essert made a motion to approve the project as submitted. Comm. Barnett seconded. The motion carried unanimously. (4-0) (Comm. Johnson recused) (The approval is contingent upon merging the two lots together prior to the submittal of any building permits).

Issues Update: Associate Planner Atkins reported the following

A draft of the Downtown Design Guidelines will be reviewed at the June 21st meeting.

Comments from the Commission: Comm. Essert asked that the use of story poles be placed as a future agenda item. He said the microphone volume at the dais had improved.

Adjournment: Chair Randolph made a motion to adjourn at 10:50 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, June 21, 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 19th day of July.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
June 21, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Tippell, Essert, Barnett, Johnson,

Absent: Comm. Cory (Alternate)

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: None

APPROVAL OF MINUTES: None

Item 1- Sign Review consideration of a portable freestanding sign, two interchangeable wall signs, and illumination for a previously approved wall sign for a wine tasting room (Lake Sonoma) at 134 Church Street.

Applicant: Tyler Galts

Associate Planner Atkins presented the staff report.

Tyler Galts, applicant, said the new tasting room location is somewhat problematic since it is setback from the street 30 yards so a larger sign for more visibility is proposed.

Comm. Barnett questioned the reasoning behind the sandwich board request.

Comm. Essert confirmed with the applicant that the proposed lighting complied with standards.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Johnson questioned the value of having a sandwich board.

Comm. Tippell is satisfied with the design package and preferred one sign.

Comm. Barnett is not opposed to the A board sign but only questioned why it is being proposed. He preferred installing two smaller signs.

Comm. Essert agreed with the applicants reasoning for having one sign as opposed to three signs.

Chair Randolph agreed with her fellow commissioners and is comfortable with three signs. She supported an A frame sign on the site.

Comm. Johnson made a motion to approve the proposal as submitted. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item 2- Issue: Review of Draft Downtown Sonoma Preservation Design Guidelines.

Associate Planner Atkins presented the staff report.

Christina Dikas, project manager, Page and Turnbull, presented an overview of the draft Downtown Sonoma Preservation Design Guidelines that is based on the Secretary of the Interior's Standards for Rehabilitation. She outlined the process and stated the objective is to have a clear focus. There was an advisory group meeting that elicited questions/feedback. The general consensus is that the Plaza is the "heart and soul" of Sonoma, that includes a variety of architectural styles (character defining features) that must be preserved, while changes are being proposed, along with having building height and massing to scale.

Chair Randolph opened the item to public comment.

Jim Bohar, historic district resident, questioned the relationship between this document and the existing historic overlay guidelines. He is primarily concerned with adaptive reuse and neighborhood compatibility.

Associate Planner Atkins clarified that the scope of the design guidelines focused on aesthetics rather than adaptive reuse.

Mary Martinez, resident/business owner, requested a longer period of time to comment on the draft guidelines. Her initial impression was that the document is too general and more substance is needed including consideration for a building's footprint. She questioned the standard to be used for comparing renovated historic buildings to the original buildings with no alterations in regard to color schemes.

Patricia Cullinan, resident, is concerned with demands made on the community and she questioned if solar panel installations will be addressed in the design guidelines.

Victor Conforti, local architect, agreed with Mary Martinez that specific terms related to the size and massing of the project should be included. In general, he felt the document was well written but adding more substance is necessary to be an effective planning tool. He recommended that the DRHPC review projects prior to Planning Commission review.

Robert Demler, resident/League of Historic Preservation, concurred that the draft is a good starting point. He suggested providing clarity on what could be approved according to City standards.

Gina Cuclis, valley resident/ former City planning commissioner, sees value in clarifying what can be approved according to City standards to gain a better perspective that in her view the new document will provide. She noted a difference between zoning requirements and design review guidelines.

Prema Behan, resident, recommended that the guidelines be reviewed in the initial stages of project review prior to any planning approvals.

Amy Alper, resident, recommended having active links included in the document and successful examples.

Victor Conforti, resident/ local architect, recommended that the commission use the document when evaluating development proposals.

Robert Demler, resident, recommended having a document check list as an initial review.

Chair Randolph closed the item to public comment.

Comm. Barnett thanked City staff for initiating the process and engaging the consultant. He felt the document will be valuable to identify restrictions in the preliminary stages of project design. He suggested reexamining some portions of the development code in context of the downtown design guidelines. He wants a more aligned approach between the Planning Commission and DRHPC.

Comm. Essert is of the opinion that something is missing/disconnect with some of the subjective language used. For example, "necessary" as referenced in the Windows and Doors section 5.1.4.

Comm. Johnson applauded the public for their insightful input and he agreed with his fellow commissioners that it is a good start.

Comm. Tippell agreed with Robert Demler that a checklist as a benchmark will benefit applicants.

Chair Randolph is pleased with the discussion and she recommended having more examples of successful projects for reference. She reminded everyone that the draft report is available at <http://www.sonomacity.org/News/Alcalde-Reception.aspx>. She asked for an explanation about why color options were not included and recommended incorporating the Cochran binders from the League of Historic Preservation as an additional resource.

Associate Planner Atkins clarified that the guidelines should be relevant to the Downtown District rather than outside the district that will use the development code.

Chair Randolph reopened the item for public comment.

Mary Martinez, resident, is of the opinion that the floor area ratio (FAR) should be considered by the DRHPC so the massing is appropriate in the Historic District.

Victor Conforti, suggested that the design guidelines should override FAR that is under the Planning Commission purview. He suggested reducing the FAR in the development code specific for the Historic Overlay District.

Chair Randolph closed the item for public comment.

Comm. Essert confirmed with Associate Planner Atkins that the Planning Commission will refer to the document.

Associate Planner Atkins confirmed that the scope of the project is for the Downtown District and said the goal is to expand/apply the guidelines to the entire City in the future.

Comm. Barnett suggested there should be a sense of urgency in implementing the document.

Comm. Barnett made a motion to forward to the City Council, with recommendation to approve the Downtown Sonoma Preservation Guidelines after Page and Turnbull has incorporated all the public feedback from this meeting and the Planning Commission meeting in addition, the DRHPC strongly encourages the City Council to allocate resources for additional preservation guidelines for the remaining planning districts starting with filing in the districts located in the Historic Overlay Zone. Comm. Essert seconded. The motion was unanimously approved. (5-0).

Next Steps:

July 14, 2016 Review by the Planning Commission,
August 15, 2016 City Council adoption of final Downtown Sonoma Preservation Design Guidelines.

Item 3- Review future items/projects priority list.

Associate Planner Atkins presented the staff report.

Comm. Johnson recommended demolition by neglect as a priority then commercial real estate signs.

Comm. Barnett agreed with working on water efficiency first then commercial real estate signs.

Comm. Essert is interested in discussing story poles.

All the commissioners recommended the following priority list:

1. MWELo
2. Demolition by Neglect
3. Story Pole Requirement
4. Commercial Real Estate Signs (how attached to buildings)
5. Threshold of Significance (1945 vs. 50 years old)

Chair Randolph appreciated Associate Planner Atkin's quick responses.

Issues Update: None

Comments from the Commission: Patricia Cullinan, resident, said demolition by neglect is not always obvious and is very important in the Downtown District.

Adjournment: Chair Randolph made a motion to adjourn at 8:45 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, July 19 , 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 19th day July of 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
July 19, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Essert, Barnett, Johnson, Cory (Alternate)

Absent: Comm. Tippell

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Fred Allebach, Community Advisory committee member for SAHA affordable housing project, stated the committee is currently reviewing design review elements of the proposal.

Comm. Johnson made a motion to approve the minutes of September 15, 2015, May 31, 2015, and June 21, 2016 as submitted. Comm. Essert seconded. The motion was unanimously approved 5-0.

Item 1- Sign Review consideration of two new wall signs and a new moment sign for a storage facility (Extra Space Storage) at 19240 Sonoma Highway

Applicant: Johnson Sign Company

Associate Planner Atkins presented the staff report.

Comm. Barnett asked if the business was a formula business. His only concern is that the chain storage facility signage (corporate driven), is compatible with the coloring of the building.

Associate Planner Atkins will report back.

Chair Randolph opened the item to public comment.

Comm. Essert questioned why the lighting is requested after business hours.

Todd Johnson, Johnson Sign Company, said the corporate office established the lighting hours but said the illuminated/fluorescent sign can be turned off at 10 p.m.

Chair Randolph closed the item to public comment.

Comm. Johnson said the new sign format is clearer and he recommended that the sign only be on during business hours.

Comm. Barnett is only concerned with the sign matching the building since it is corporate branding. He requested that the feather signs be removed.

Comm. Essert is pleased with the color selection and agreed with Comm. Johnson about changing the lighting until 10 p.m.

Chair Randolph agreed with her fellow commissioners comments.

Comm. Essert made a motion to approve the proposal as submitted with the condition that the sign illumination shall be limited to dusk to 10 p.m. Staff will notify the DRHPC if the business is considered a formula business. Comm. Barnett seconded. The motion carried unanimously (5-0).

Item 2-Consideration of a new monument sign for an office building (Marcy House) at 205 First Street West.

Applicant: Sonoma Valley Historical Society

Associate Planner Atkins presented the staff report.

Comm. Essert inquired about the font type.

Fred Allebach, Sonoma Valley Historic Society member, representing Patricia Cullinan, Sonoma Valley Historic Society Board President, said the new signage is consistent and compatible with the Depot Park signage. He recommended the Sister Cities landmark metal plaque #6 not be removed and he will report back on the historical significance.

Comm. Johnson questioned the time frame for the sign installation.

Associate Planner Atkins said that Planning Director Goodison is satisfied with the City landmark designation.

Comm. Essert questioned if the Sister Cities sign will be removed and whether the informational verbiage on the sign is customary to help identify important historical landmarks. He appreciated the valuable context on this multipurpose sign.

Chair Randolph is pleased that the archive research center is a public resource for citizens to obtain valuable historical records.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Essert questioned if this type of multi-purpose sign is described in the sign ordinance.

Associate Planner Atkins responded that Planning Director Goodison took no issue with the landmark signage proposed since the sign ordinance has no provisions to disallow a multipurpose sign.

Comm. Barnett made the majority of his comments during the questions of staff portion of the meeting. He is disappointed with the overall quality of the submittal since his questions about the existing sign and flagpole were not addressed.

Comm. Johnson agreed with Comms. Barnett and Essert's comments.

Comm. Cory stated he had no additional comments.

Chair Randolph agreed with Mr. Allebach that city landmark #6 is a "sentimental keepsake" to be preserved.

Associate Planner Atkins confirmed with Patricia Cullinan, that the sign will be setback 6 feet from the sidewalk.

Chair Randolph is satisfied the sign blended in well with the building.

All the commissioners agreed that more clarification is needed in regards to the text, color, and placement of the sign in relation to the flagpole.

Chair Randolph reopened the item for public comment.

Fred Allebach said the project is a "work in progress" and the new sign is not intended to be obstructed by the flagpole. He said Patricia Cullinan, Sonoma Valley Historical Society Board President, will address any concerns at a future meeting.

Comm. Cory suggested that the sign be placed further back from the sidewalk.

All the commissioners and staff agreed to continue the item to the next meeting on August 16th with tonight's review considered a study session.

Item 3-Demolition Review of a single-family residence well and pump house and two sheds at 1181 Broadway.

Applicant: Scott and Claudia Murray

Associate Planner Atkins presented the staff report.

Comm. Essert confirmed that the ADP report determined that the building was not a contributing historic resource for the Broadway Corridor.

Scott Murray, co-owner, agreed with staff that a demolition should not be approved until a new structure is approved.

Chair Randolph opened the item to public comment.

No public comment.

Chair Randolph closed the item to public comment.

Comm. Johnson appreciated having the report since Sonoma is a Certified Local Government.

Comm. Cory supported the proposal.

Comm. Barnett concurred with Comms. Johnson and Essert that the Historical report may have appeared as an impediment to the process but was necessary to confirm the site did not qualify as a significant historic resource.

Comm. Barnett made a motion to demolish a single-family residence, well and pump house, and two sheds at 1181 Broadway. Comm. Johnson seconded. The motion was unanimously approved. (5-0).

Item 4- Design Review of building elevations, exterior colors, materials, lighting, and landscaping for a 6-unit condominium project at 1181 Broadway.

Applicant: Scott and Claudia Murray

Associate Planner Atkins presented the staff report.

Robert Sanders, Robert Sanders and Company, asked staff if a hedge could be added as an additional buffer.

Staff noted a correction, a CMU trash enclosure is proposed not wood as indicated in the staff report.

Comm. Barnett requested more discussions with respect to design guidelines aligning more with the Development Code.

Chair Randolph opened the item to public comment.

Scott Murray, co-owner, said he resurrected the project after 10 years. He presented large visuals of the exterior/interior color palettes. There is one affordable moderate income unit and the business owner will maintain a front office. He said adding a hedge, as requested by the adjoining neighbor, is problematic because of a large drainage ditch/swale.

Robert Burkhart, neighbor/adjoining property owner, (1211 Broadway) confirmed the applicant was correct in regards to the existing drainage swale and felt the hedge request should not be granted. He supported the application.

Chair Randolph closed the item to public comment.

Comm. Johnson is satisfied with the project.

Comm. Cory concurred with Comm. Johnson's comments.

Comm. Barnett did not support the neighbor's hedge request since he said it is not within the commission's purview to condition for additional privacy screening when one already exists.

Chair Randolph appreciated the detailed landscape plan.

Comm. Johnson made a motion to approve the project as submitted, building elevations, exterior colors, materials, lighting, and landscaping for a 6-unit condominium project at 1181 Broadway. Comm. Cory seconded. The motion was unanimously approved (5-0).

Issues Update:

The DRHPC decision to approve the project at 314-324 Second Street East was appealed and will be heard at the City Council meeting on August 15th.

The Planning Commission will continue the review of the Downtown Sonoma Preservation Design Guidelines on September 8th.

The City Council will review the Downtown Sonoma Preservation Design Guidelines in October.

Comments from the Commission:

Adjournment: Chair Randolph made a motion to adjourn at 8:00 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, September 16, 2016. The motion carried unanimously.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 16th day of August 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
August 16, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Essert, Barnett, Johnson, Tippell, Cory (Alternate)

Absent:

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Patricia Cullinan, resident, questioned if the plan approved by the DRHPC is the same project under construction at 158-172 West Napa Street and whether a demolition permit was approved for the Hawker House. She distributed a letter to the commissioners.

Associate Planner Atkins will report back after review of the building permits.

Comm. Essert made a motion to approve the minutes of July 19, 2016, as submitted. Comm. Johnson seconded. The motion was unanimously approved 5-0.

Correspondence: Late mail was received on Item #1 from Stephen Moseley, Henry Fleischmann, Alicia Razzari, and Item #4 from Willy North,

Item 1- Continued consideration of design and landscaping review for two commercial buildings at 19366 and 19370 Sonoma Highway.

Applicant: Studio 101 Designs

Associate Planner Atkins presented the staff report.

Steven Moseley, project manager/Studio 101 Designs, said the developer was not able to attend the meeting but two productive meetings with the neighbors resulted in project modifications consisting of a new stucco building design and a clay tile roof. Landscape plan revisions include an increased landscape buffer on the east side of the property containing a vine trellis to mask the guard rail and wall, which will eventually provide a visual barrier. Mr. Moseley presented a proposed design which includes a series of cypress trees intermixed in the trellis in an attempt to mask some of the second story windows. The property owner is doing everything she can to see that the gate becomes automated.

Comm. Barnett confirmed with Mr. Moseley that the cypress trees were recommended by the landscape architect.

Chair Randolph opened the item to public comment.

Brian Rowlands, 880 Lyon Street, is concerned with parking, garbage service, and the broken gate. He discussed many non-compliance issues with the conditions of approval including landscaping, pavement markings, and park development. He would like to see detailed plans including landscaping, parking spaces, and building dimensions. In addition, he would like the gate to be automated and the trash enclosure fully enclosed.

Steve Jennings, 868 Palou Street, is not satisfied with the revised site plan. He concurred with his neighbors that the gate is a defective common feature and parking and trash enclosures must comply with City standards. He requested the developer provide for more plants in the townhome area to provide a privacy buffer and fix the gate. On a positive note Mr. Jennings stated that none of the residents of the Villas de Luna are opposed to the commercial building and were pleased with the revised design.

Jack Ding, 859 Palou Street, appreciated the commission's recommendation for more dialogue between the developer and residents that proved productive. He would like the developer to do more research on trees that use less water than redbuds. He is also concerned with Valley Oak residents parking in Villas de Luna resident parking areas.

Nick Dolata, 856 Palou Street and Villas de Luna/HOA board member, is pleased with the ongoing discussions between the developer and HOA members. He is concerned with the garbage area and would like to see an enclosed garbage area utilizing garbage cans rather than a dumpster. He wants to have a meeting with the City of Sonoma and the Valley Oaks manager to discuss issues such as widening Lyon Street. He would like to see flowering trees mixed in with the trellis on the east portion of the property.

Maria Pecavar, resident, (900 and 904 Lyon St.) is mainly concerned with parking.

Nick Dolata, neighbor, stressed the importance of a functional electric gate.

Chair Randolph closed the item to public comment.

Comm. Johnson inquired if the landscape plan described is the final rendering.

Chair Randolph reopened the item to public comment.

Comm. Essert confirmed details, with Mr. Moseley, of the buffer area and confirmed that the applicant would be open to considering adding shrubs to the area.

The developer met with Associate Planner Atkins and Planning Director Goodison to review the tree placement/landscape plan and parking plan.

Comm. Essert confirmed with staff that 21 parking spaces were proposed.

Steve Jennings, resident, disagreed with the applicant's statement that an agreement was made with the residents regarding the cypress trees.

Chair Randolph closed the item to public comment.

Comm. Johnson agreed with Comm. Barnett that an opaque wall is necessary and water usage is critical. He would like to see an enclosed trash area.

Comm. Tippell is satisfied with the architectural features, roof materials, and color scheme. She does not support the cypress trees and recommended a tree with a canopy for privacy screening. She recognized that parking and the gate are huge issues and should be addressed.

Comm. Barnett concurred with Comm. Tippell and Johnson's comments and said many concerns expressed are not under the DRHPC's purview. He liked the new design and that it was compatible with the surrounding area. He felt the landscape plan required more work. The gate and the parking issues are outside of the DRHPC's purview. He indicated that some speakers had eluded to an appeal and maybe these other issues can be addressed by the City Council. Work still needs to be done on the landscape plan. He wanted to be on the record of stating there is something wrong with the parking in this area.

Comm. Essert agreed with his fellow commissioner's comments and is impressed with the building details and trellis. He liked the details of the building design and the elegant roof. He thought the trellis element is a nice addition and would like to see the addition of trees.

Chair Randolph applauded the efforts made but was disappointed that neither the owner nor the landscape architect were present.

Associate Planner Atkins said the commission's discretion is limited to design review of the commercial buildings, trash enclosure, and the landscape plan.

Comm. Barnett confirmed that 2005 State water standards did not apply and a variance is not an option.

Chair Randolph reopened the item to public comment.

Brian Rowlands, resident, requested the developer install irrigation to the planter strips on the townhome properties and the gate be electrified.

Steven Moseley, project manager, confirmed that the DRHPC was in support of the design of the commercial buildings and the landscape plan in general with the exception of the landscape buffer area. He pointed out that the site plan approved by the Planning Commission did not include a buffer area. He felt that the developer was being penalized for working with the neighbors on a solution.

Nick Dolato, neighbor, requested more landscaping consideration for the residents to the south.

Chair Randolph closed the item to public comment.

Comm. Barnett is satisfied with additional trees.

Associate Planner Atkins offered the following options: 1) Approve the design review of the commercial buildings and continue the review of the landscape plan to a future meeting; 2) Deny the entire application; 3) Continue the entire application to a future meeting; or 4) Approve the design review of the commercial buildings and the landscape plan (with or without modifications) with conditions of approval including fully enclosing the trash enclosure area.

Comm. Tippell asked if the design review could be approved and the landscape plan denied?

Comm. Barnett made a motion to approve the architectural renderings and design as submitted with a condition of approval that the trash enclosure area be fully enclosed and deny the landscape proposal as submitted. Comm. Johnson seconded. The motion carried unanimously (5-0).

Item 2- Consideration of site design and architectural review of an addition to a residence at 277 Fourth Street East.

Applicant: Sutton Suzuki Architects

Associate Planner Atkins presented the staff report.

Comm. Essert questioned the setback requirements

Associate Planner Atkins responded there is a minimum front and rear setback of 30 feet. The neighbor's property is a further distance away.

Peter Sealey, property owner/Sealey Mission Vineyard, proposed a 1,500 square foot addition.

Comm. Barnett reviewed the historic report and questioned the historic integrity of the building.

Mr. Sealey discussed the relevance of questioning the Historic report from 2010 and construction history for the site. He clarified the address of 249 Fourth Street East is on the frontage road and 247 Fourth Street East is setback.

Comm. Barnett explained his reasoning for asking the questions is that if the home was Historic in 2010, even though it was remodeled, then renovations made today must meet the standards.

Chair Randolph opened the item to public comment.

Shawn Beatty, property caretaker of reconverted main house is referred to as the main house.

Alice Duffee, ADP Preservation, discussed the merits of the historic report. She stated that exterior modifications of a historic structure come under the review of the DRHPC.

Chair Randolph closed the item to public comment.

Comm. Johnson recommended more clarification before making a decision.

Comm. Tippell did not want to penalize the applicant by delaying a decision but respected the consensus of her fellow commissioners.

Comm. Barnett is convinced there might have been some information in 2010 that would assist in his evaluation.

Comm. Essert sympathized with the project team's concern about postponing the item but in his opinion the role of the commission is to preserve the historic integrity of sites.

Comm. Barnett made a motion to continue the item to a future meeting after staff confirmed the background in 2010, and that addresses locations. Comm. Essert seconded. The motion was unanimously approved (5-0).

Item 3- Demolition Review of a single-family residence and detached garage at 630 Austin Avenue.

Applicant: Jeanne Montague and Chad Overway

Associate Planner Atkins presented the staff report.

Chad Overway, owner, hired Alice Duffee to prepare the Historic report. He will hand demolish the building and recycle the materials.

Chair Randolph opened the item to public comment.

Patricia Cullinan, resident, supported the demolition and applauded the applicant.

Joe Aaron, neighbor, said the new home will add value.

Fred Gilbert, neighbor, felt the demolition will upgrade the community.

Kathy Obert, neighbor, is pleased with the hand demolition process since there will be less disturbance for the neighbors.

Chair Randolph closed the item to public comment.

Comm. Barnett made a motion to approve the demolition of the single-family residence and detached garage with the following condition of approval: Photo-documentation of the buildings shall be submitted to the Sonoma League for Historic Preservation and to the City of Sonoma prior to demolition. Comm. Johnson seconded. The motion was unanimously approved (5-0).

Item 4- Design Review- Consideration of design review for a new single-family residence and detached garage and detached guesthouse at 630 Austin Avenue.

Applicant: Jeanne Montague and Chad Overway

Associate Planner Atkins presented the staff report.

Jeanne Montague, homeowner, received positive feedback from neighborhood outreach.

Comm. Essert questioned if the high reflectivity of the glass windows was discussed.

The applicant responded that with the existing westerly exposure the resulting reflectivity would be less than 20 percent. Landscape screening on the south and north property lines will be blocked by new and existing landscaping.

Chair Randolph opened the item to public comment.

Joe Aaron, neighbor, supported the plan and viewed it as an improvement.

Comm. Johnson appreciated the low profile of the modern structure.

Comm. Tippell appreciated the contemporary single story home and congratulated the homeowner for successfully working with the neighbors.

Comm. Barnett appreciated the complete package and enthusiastically supported the project.

Comm. Essert concurred with his fellow commissioner's comments.

Chair Randolph was satisfied with the site design.

Patricia Cullinan, resident, supported the demolition and applauded the applicant.

Joe Aaron, neighbor, is impressed with the quality craftsmanship of the homes built by Chad Overway AIA, RIBA.

Fred Gilberd, neighbor, supported the proposal.

Pam Gilberd, neighbor, is pleased with the creativity of the fence.

Jeanne Montague, homeowner, said the majority of the landscaping will remain.

Chair Randolph closed the item to public comment.

Comm. Essert supported the project.

Comm. Barnett appreciated the hand demolishing process for building green.

Comms. Tippell, Johnson and Chair Randolph concurred with their fellow commissioners. Comm. Essert made a motion to approve the project as submitted. Comm. Tippell seconded. The motion was unanimously approved (5-0).

Issues Update:

A Draft Water Efficiency Landscape Ordinance will be heard at the next meeting.

The City Council will hear an appeal of the DRHPC decision to approve the project at 314-324 Second Street East on August 15th.

The Planning Commission will continue the review of the Downtown Sonoma Preservation Design Guidelines on September 8th.

The City Council will review the Downtown Sonoma Preservation Design Guidelines in October.

Comments from the Commission:

Adjournment: Chair Randolph made a motion to adjourn at 9:30 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, September 20, 2016.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the 27th day of September 2016.

Approved:

Cristina Morris, Administrative Assistant

**CITY OF SONOMA
DESIGN REVIEW AND HISTORIC PRESERVATION COMMISSION
Special MEETING
September 27, 2016
Community Meeting Room, 177 First Street West, Sonoma, CA
Draft MINUTES**

Chair Randolph called the meeting to order at 6:30 p.m.

Present: Chair Randolph, Comms. Essert, Barnett, Tippell, Cory (Alternate)

Absent: Comm. Johnson

Others Present: Associate Planner Atkins, Administrative Assistant Morris

Chair Randolph stated that no new items would be heard after 10:30 p.m. unless the Design Review and Historic Preservation Commission so decides. Any decisions made tonight can be appealed within 15 days to the City Council. She reminded everyone to turn off cell phones and pagers.

COMMENTS FROM THE PUBLIC: Patricia Cullinan, resident, requested consideration for establishing a Depot Park/Train District adjacent to Depot Park-bordered by First Street West and First Street East. She emphasized the importance of the early Victorian Era Pre-Mexican revolution as a cultural resource that depicted the character of Sonoma. In her view, Building Code regulations often differ from the historic preservation restrictions/guidelines.

Associate Planner Atkins said the topic will be discussed at the November 15th DRHPC meeting.

Comm. Barnett made a motion to approve the minutes of August 16, 2016, as submitted. Comm. Essert seconded. The motion was unanimously approved 5-0.

Correspondence: Late mail was received on Item #1 from Patricia Cullinan and distributed at the dais.

Item 1- Consideration of a new monument sign for an office building (Marcy House)

Applicant: Sonoma Valley Historical Society

Associate Planner Atkins presented staff's report.

Comm. Essert confirmed with staff that a wood post is used for the new sign.

Patricia Cullinan, Sonoma Valley Historical Society, showed the actual font size and said the board selected is the same color as the train museum for branding. The existing flagpole will not be removed. She explained the City landmark has gone by the name Marcy House since 1990.

Comm. Essert confirmed with Patricia Cullinan that the gray color is a lighter version of the same color and is consistent with the logo design.

Chair Randolph confirmed the sign placement is perpendicular to the existing sign.

Chair Randolph opened the item to public comment.

Mary Martinez, resident, complimented Patricia Cullinan and the Sonoma Valley Historical Society for rejuvenating the historic Marcy House. She recalled her volunteer work for the improvements made when it was moved from Broadway to its current location at 205 First Street West.

Chair Randolph closed the item to public comment.

Comm. Essert confirmed with staff, as illustrated on the overhead projector, that the double sided sign is six feet from the fence and perpendicular to the existing sign.

Comm. Tippell is satisfied with the design, color, bear logo, and overall preservation efforts.

Comm. Barnett concurred with Comm. Tippell and felt the signage is harmonious and compatible with its surroundings. He complimented Patricia Cullinan for her successes.

Comm. Essert is pleased with the sign designer.

Comm. Cory agreed with his fellow commissioners comments.

Chair Randolph appreciated the sign including a description of the museum.

Comm. Barnett made a motion to approve the new monument sign located at 205 First Street West as submitted. Comm. Tippell seconded. The motion carried unanimously (5-0).

Item #2 was postponed to the DRHPC meeting on October 18th, 2016.

Issues Update: Associate Planner Atkins reported

Joan Jennings and Villas de Luna HOA filed an appeal of the DRHPC decision for 19366 & 19370 Sonoma Highway for the City Council meeting on October 3, 2016.

Comments from the Commission: Patricia Cullinan, Sonoma Valley Historical Society, is excited that a full time archivist was hired to catalogue the historical documents.

Adjournment: Chair Randolph made a motion to adjourn at 7:00 p.m. to the next regular meeting scheduled for 6:30 p.m. on Tuesday, October 18, 2016.

I HEREBY CERTIFY that the foregoing minutes were duly and regularly adopted at a regular meeting of the Design Review and Historic Preservation Commission on the day of 2016.

Approved:

Cristina Morris, Administrative Assistant



**We need your help to
prepare design guidelines
for SONOMA'S
DOWNTOWN**

**Monday, January 25, 2016
6:30-8:30 p.m.**

**Sonoma Community Center
276 East Napa Street, Room 110**

The City of Sonoma is proud to sponsor the development of Downtown Design and Preservation Guidelines that will serve as a tool to encourage high quality design and historically compatible infill and alterations or improvements that reflect the established character of downtown Sonoma and its historic Plaza area. In 2014, Sonoma was designated as a Certified Local Government and the development and implementation of Downtown Design Guidelines will help fulfill the City's Preservation Plan. You are invited to learn more about this exciting project, and to contribute by sharing your photographs, maps, and other materials or information you may have that pertain to historic architecture in the downtown area. We will be able to scan images at the workshop.

Please join us for this informative workshop. We look forward to seeing you there!

If you have questions about this workshop, please call the City of Sonoma Planning Department at (707) 938-3681.

